



CITY OF PORT WENTWORTH
ZONING BOARD OF APPEALS
FEBRUARY 2, 2026

Council Meeting Room

Regular Session

3:00 PM

7224 GA HIGHWAY 21
PORT WENTWORTH, GA 31407

- 1. CALL MEETING TO ORDER**
- 2. PRAYER AND PLEDGE OF ALLEGIANCE**
- 3. ROLL CALL - CLERK OF COUNCIL**
- 4. APPROVAL OF AGENDA**
- 5. ADOPTION OF MINUTES**
- 6. COMMITTEE REPORTS**
- 7. NEW BUSINESS**
 - A. Consideration of a Variance Application submitted by Board of Commissioners of Chatham County, to allow for a reduction of building setbacks. PIN # 70014 06015, located in the 2nd Council District, on Falkirk St., zoned PUD.
 - **PUBLIC HEARING**
- 8. ADJOURNMENT**



Zoning Board of Appeals
7224 GA Highway 21
Port Wentworth, GA 31407

Meeting: 02/02/26
Department: Development Services
Category: Ordinance
Prepared By: Katie Dunnigan
Department Head: Katie Dunnigan

SCHEDULED

AGENDA ITEM (ID)

DOC ID:

Consideration of a Variance Application submitted by Board of Commissioners of Chatham County, to allow for a reduction of building setbacks. PIN # 70014 06015, located in the 2nd Council District, on Falkirk St., zoned PUD.

•

PUBLIC HEARING

Issue/Item: Consideration of a Variance Application submitted by Board of Commissioners of Chatham County, to allow for a reduction of building setbacks. PIN # 70014 06015, located in the 2nd Council District, on Falkirk St., zoned PUD.

Background:

- The applicant requests a variance from building setbacks to allow for mixed residential development within an approved PUD.
- The PUD zoning for The Villages at Carter Manor was approved by City Council on April 18, 2024.
 - The original Residential component of the PUD was approved as 18.65 acres.
 - The subsequent subdivision of the property reduced the area to 11.5 acres, with City of Port Wentworth retaining the remainder to include a berm easement along the railway and preserve a border on the northern boundary for green space and a future walking trail.
- Pursuant to the City of Port Wentworth Code Ordinances, Zoning Ordinances, Table 5.40: Residential use within a PUD, unless otherwise approved, must conform to:
 - The R-2 Zoning District for Single Family dwellings
 - The R-5 Zoning District for townhomes
- The City of Port Wentworth Code Ordinances, Zoning Ordinances, Table 3.40A and Table 3.40D show setbacks relevant to this application as:
 - Single Family
 - Front - 25'
 - Side Street - 20'
 - Side - 5'
 - Rear - 20'
 - Lot Width - 60'
 - Townhomes
 - Front - 5'
 - Side Street - 5'
 - Side - 10'
 - Rear - 25'
 - Lot Width - 25'
- The applicant's variance request would amend the setbacks as follows:
 - Single Family
 - Front - 25' reduced to 10' to accommodate rear/alley loading
 - Side Street - 20' reduced to 10'

- Side - 5' no change
- Rear - 20' no change
- Lot Width - 60' reduced to 50'
- Townhomes
 - Front - 5' no change
 - Side Street - 5' no change
 - Side - 10' reduced to 7.5'
 - Rear - 25' no change
 - Lot Width - 25' reduced to 20'

Facts and Finding:

- The intent of PUD zoning as described in the City of Port Wentworth Code of Ordinances, Zoning Ordinances, Section 5.10 includes recognition that *"that traditional zoning, with its segregation of uses and rigid dimensional requirements, may not be suitable in all situations to best achieve the objectives of the City relative to desired land use and preservation of its resources and character. In order to permit and encourage more creative and innovative land development for the benefit of the community as a whole and in furtherance of the vision and goals of the City of Port Wentworth Comprehensive Plan, planned unit development (PUD) may be permitted"*
- Since the time of approval of the PUD zoning, the site size has been compressed in depth and along the northern boundary.
- The requested variance from Section 3.40 does not impact surrounding properties or create significant change to the approved project.

Suggested Action

Staff recommends the approval of the requested variance(s) from Section 3.40.

Funding: N/A

Recommendation:

APPLICATION
CITY OF PORT WENTWORTH ZONING BOARD OF APPEALS

Date Filed: _____
Project #: _____

The APPLICATION and all SUPPORTING DOCUMENTS with the REQUIRED PLOT PLAN must be submitted to the Department of Development Services.

PLEASE PRINT OR TYPE:

Name of Applicant: Board of Commissioners of Chatham County

Property Owner (if different from applicant): _____

*** Authorization of Property Owner Form required if Applicant and property owner is not the same. ***

Property Location: Coleraine Dr. 70014 06015
Address/Street Name Lot Number

Subdivision/Ward: _____ Zoning District: PUD

NAMES, MAILING ADDRESSES and PIN #'S of property owners within 300 feet of the property line. Include those directly across a public right-of-way. Use additional sheet if necessary.

NAME	ADDRESS	PIN #
SANJUAN LAUREE M	831 BARNESLEY RD.	70013 21026
POOLE DERRICK R & STACI L	829 BARNESLEY RD.	70013 21025
WOODS SHIRLEY HARREL	827 BARNESLEY RD.	70013 21024
PW CITY OF TOWN HALL	323 CANTYRE ST.	70013 21001
MCMILLAN JOHN W & JACKIE R	401 CANTYRE ST.	70014 06013
JACKSON VIRGINIA K.	401 CANTYRE ST.	70014 06012
PHILLIPS STEPHEN LEE	403 CANTYRE ST.	70014 06011
TPR INVESTMENTS LLC	405 CANTYRE ST.	70014 06010
HOWARD ALICE C	407 CANTYRE ST.	70014 06009

REASON FOR APPEAL: Check appropriate section(s).

- () A decision of the Zoning Administrator which the applicant believes to be contrary to the meaning of the Zoning Ordinance.
- () An application to establish a use which must be approved by the Board of Appeals.
- (X) A request to vary:
 - () ___ foot ___ yard variance
 - () ___ lot area variance
 - () Fence variance
 - () ___ lot width variance
 - () X setback variance
 - () ___ % building coverage variance
- () A request for extension of a non-conforming use.

() Other: <u>SINGLE FAMILY SETBACK VARIANCES REQUEST:</u>	<u>TOWNHOME SETBACK VARIANCE REQUEST:</u>
10' FRONT YARD VARIANCE	2.5' SIDE YARD VARIANCE
10' SIDE STREET YARD VARIANCE	<u>PROPOSED NEW SETBACKS:</u>
<u>PROPOSED NEW SETBACKS</u>	5' FRONT YARD
10' FRONT YARD	7.5' SIDE YARD (INTERNAL)
5' SIDE YARD (INTERNAL)	5' SIDE YARD (STREET)
10' SIDE YARD (STREET)	25' REAR YARD
20' REAR YARD	

Describe those things you feel justify the action requested. List specific of the Zoning Ordinance which have a bearing on your request.

Lined area for describing the justification for the request.

Suzanne Coak
Signature of Applicant

124 Bull St, Savannah 31401
Mailing Address of Applicant

912-652-7825
Telephone Number

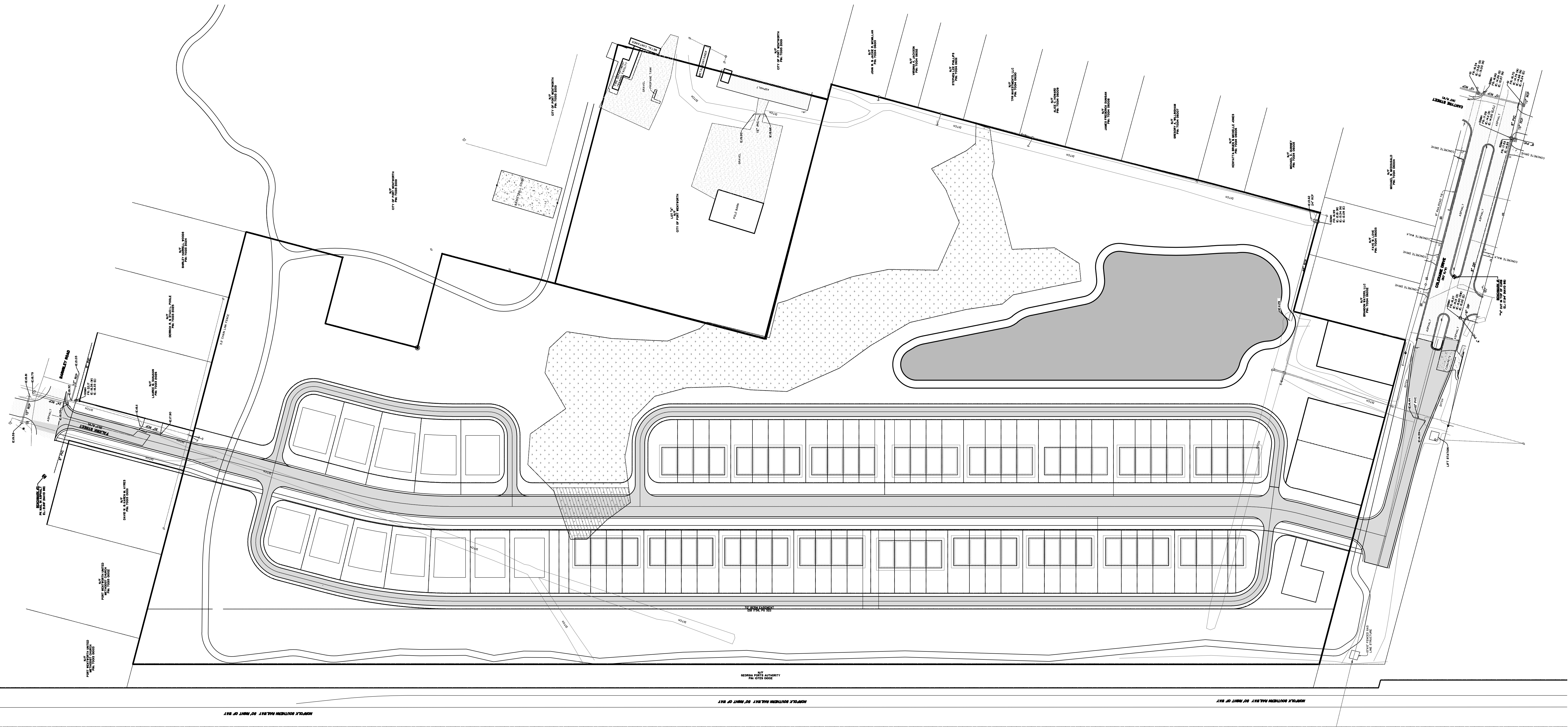
svcooler@chathamcounty.org
Email Address

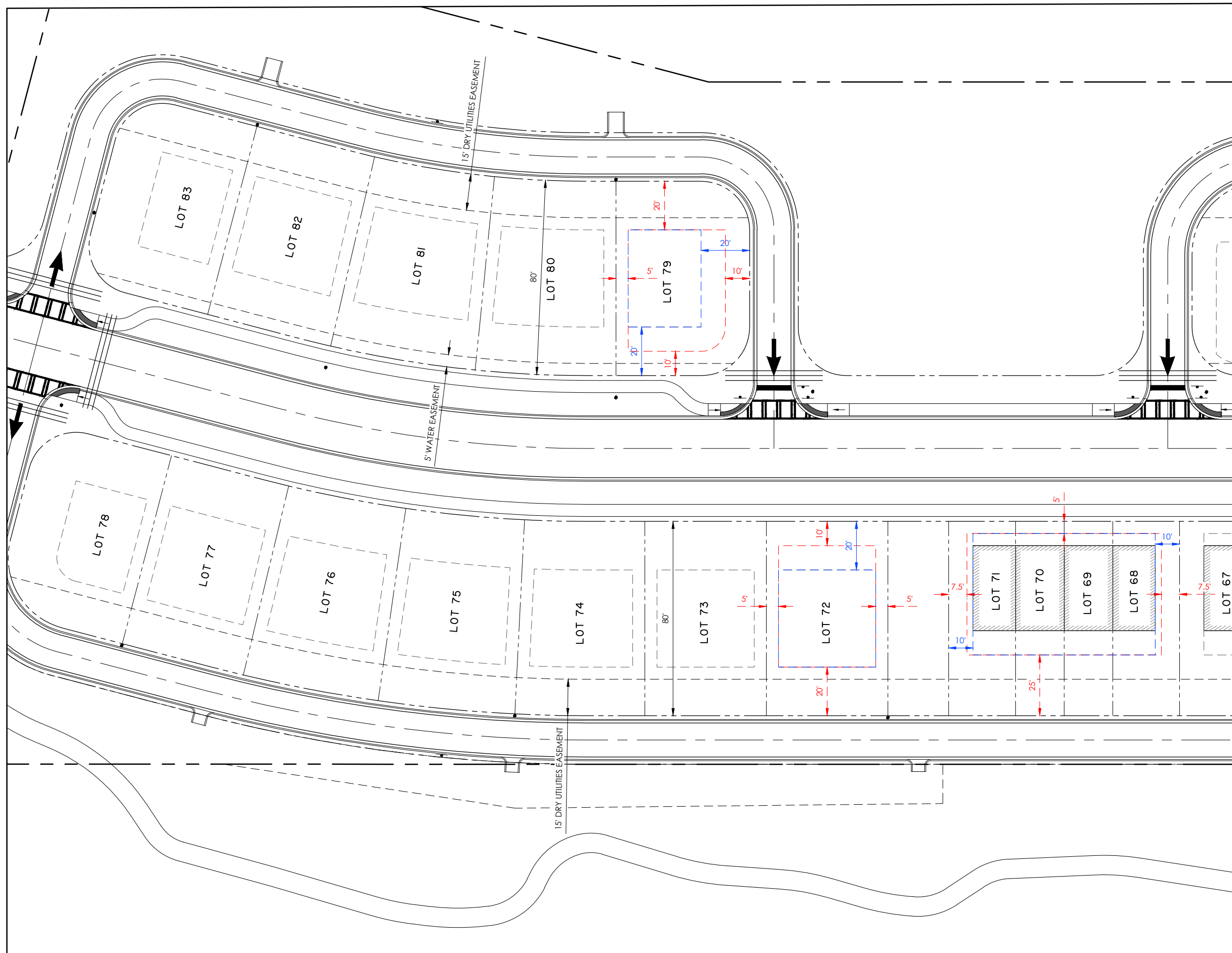
Total Fees: Administrative Fee + Zoning Board of Appeals Application Fee = Total
(Please refer to the current "Business User Fee Schedule")

Date Paid _____

*** Any application not completed in full will not be processed ***

NAME	ADDRESS	PIN #
HOWARD ALICE C	407 CANTYRE ST.	70014 06009
DUNIGAN JAMES FREDERICK JR	409 CANTYRE ST.	70014 06008
BRUEN KENYATTA JONES MICHELLE	413 CANTYRE ST.	70014 06006
QUINNEY MICHAEL E	415 CANTYRE ST.	70014 06005
MCDUGALD MICHAEL W.	202 COLERAINE DR.	70014 06004
LOVE FAYE W	206 COLERAINE DR.	70014 06003
BRANDON WATERS LLC	210 COLERAINE DR.	70014 06002
AYRES KAREN	901 BARNSLEY RD.	70013 01001
TRUSTEES OF THE PW UNITED METHODIST CHURCH	903 BARNSLEY RD.	70013 01002
SCOTT SABRIYA	90 BARNSLEY RD.	70013 01003
PORT WENTWORTH	COLERAINE RD.	70014 06001

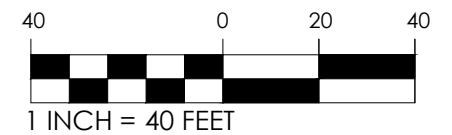




LEGEND:

CURRENT SETBACKS - - - - -

PROPOSED SETBACKS (VARIANCE) - - - - -



THE VILLAGES AT CARTER MANOR

SHEET NAME:

SETBACKS EXHIBIT

CLIENT:

CHATHAM COUNTY ENGINEERING

LOCATION: COLERAINE DR.

DATE: 12/10/25

JOB NUMBER: J-32265.0001

DRAWN BY: MRE

SHEET: EX1.1

REVIEWED BY: JVG

SCALE: 1" = 40'



50 Park of Commerce Way
Savannah, GA 31405 • 912.234.5300

www.thomasandhutton.com

1

2

3

4

5

D

D



Front Elevation

Scale: 1/4"=1'-0"

C

C



Rear Elevation

Scale: 1/4"=1'-0"

B

B

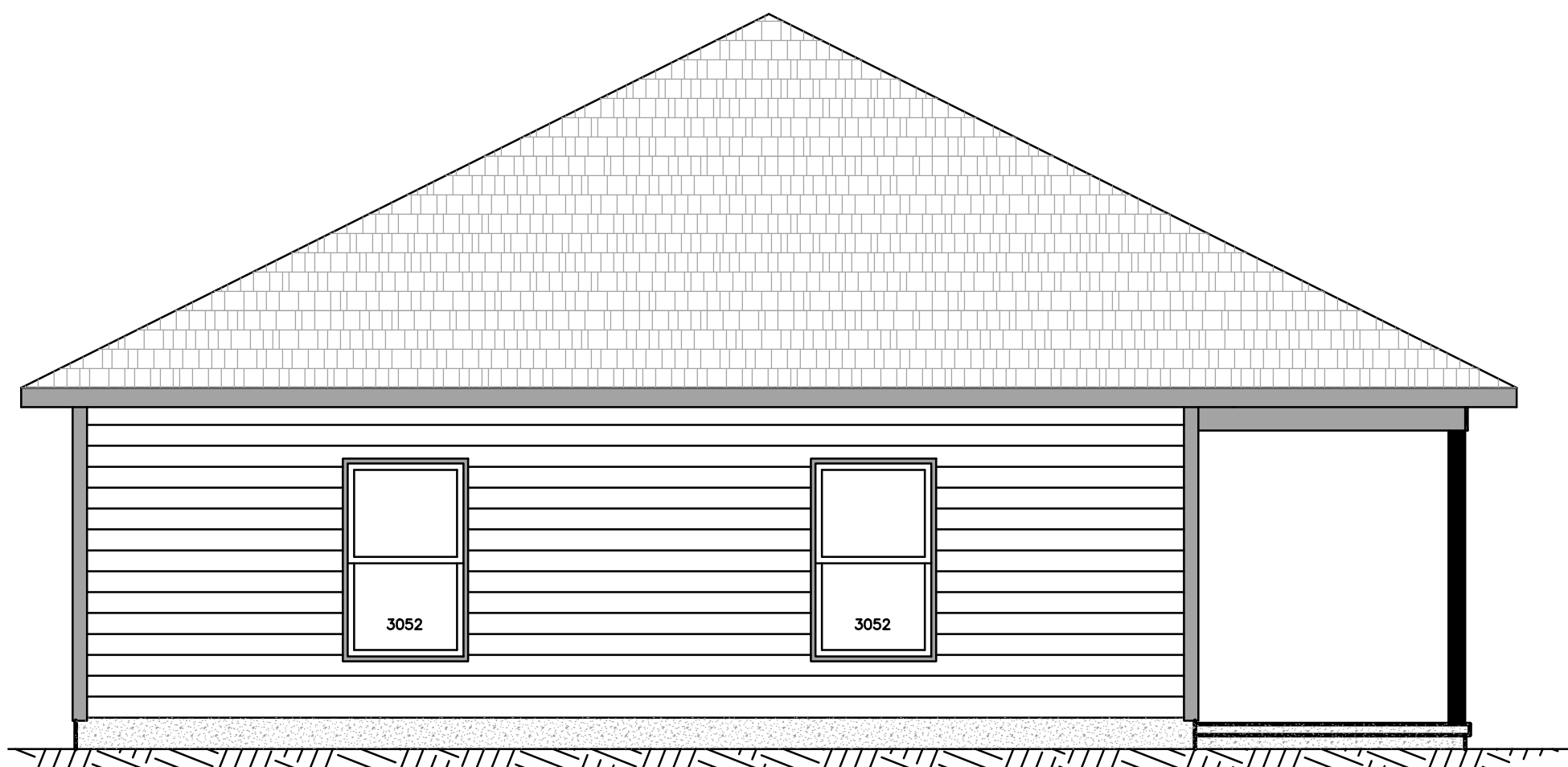


Right Elevation

Scale: 1/4"=1'-0"

A

A



Left Elevation

Scale: 1/4"=1'-0"

1

2

3

4

5

07/19/2022



RDF-PE, LLC
 Engineering, Design, Consulting & Construction Services
 4 Windseek Lane 5/111
 Savannah, GA 31408
 404 / 206 - 482

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Habitat for Humanity - Single Family Residence
 146 Darling St, Savannah, GA 31408

Rev	Date	Description
0	07/29/21	Issued for Construction
1	03/06/22	Modified Kitchen Layout, Trim Notes
2	07/19/22	Modified Plans for Stick-Built Roof

DRAWN BY: **RDF**
 DATE: 07/13/21
 SCALE: As Noted

Elevations

SHEET:
A-3.0₉

1

2

3

4

5

Design Info

Lot A Of A Subdivision
 Of Lot 26 And Lot 27, Block 2, Woodville Subdivision
 Located in the City of Savannah
 Chatham County, Georgia
 146 Darling Street
 Current Zoning: RSF-6
 PIN: 20716 08006
 Flood Zone: X; DFIRM Panel 13051C-0134-G,
 Revision Date: 8/16/2018
 Total Lot Area: 8,123 sq ft
 0.19 Acre
 Average Grade: Approx 14'
 First Floor Elevation: Approx 15'

Scope of Work

Construct one single family residence for Habitat for Humanity. Residence is 1,204 sq. ft. and consists of wood frame construction with truss roof on a Slab-on-Grade foundation.

All work is to be in accordance with the 2018 IRC, 2020 NEC, 2018 IPC, 2015 IECC, 2008 ICC 600, and all Georgia State and local amendments.

Table of Contents	
Sheet #	Description
C-1.0	Site Plan
A-1.0	First Floor Plan / General Notes
A-2.0	Foundations
A-3.0	Elevations
A-4.0	Sections
A-5.0	Ceiling Plan
A-6.0	Roof Plan
M-1.0	MEP Plan

Loading:
 Wind: 135 MPH Ultimate Wind Speed per ASCE 7-10
 Floor:
 Dead: 10psf
 Live: 40psf
 Soil Bearing: 1,500psf
 Sq. Ft. Calculations:
 Conditioned: 1,204
 Front Porch: 344
 Rear Patio: 140

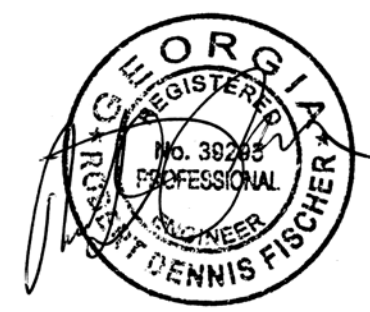
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 146 Darling St, Savannah, GA 31408

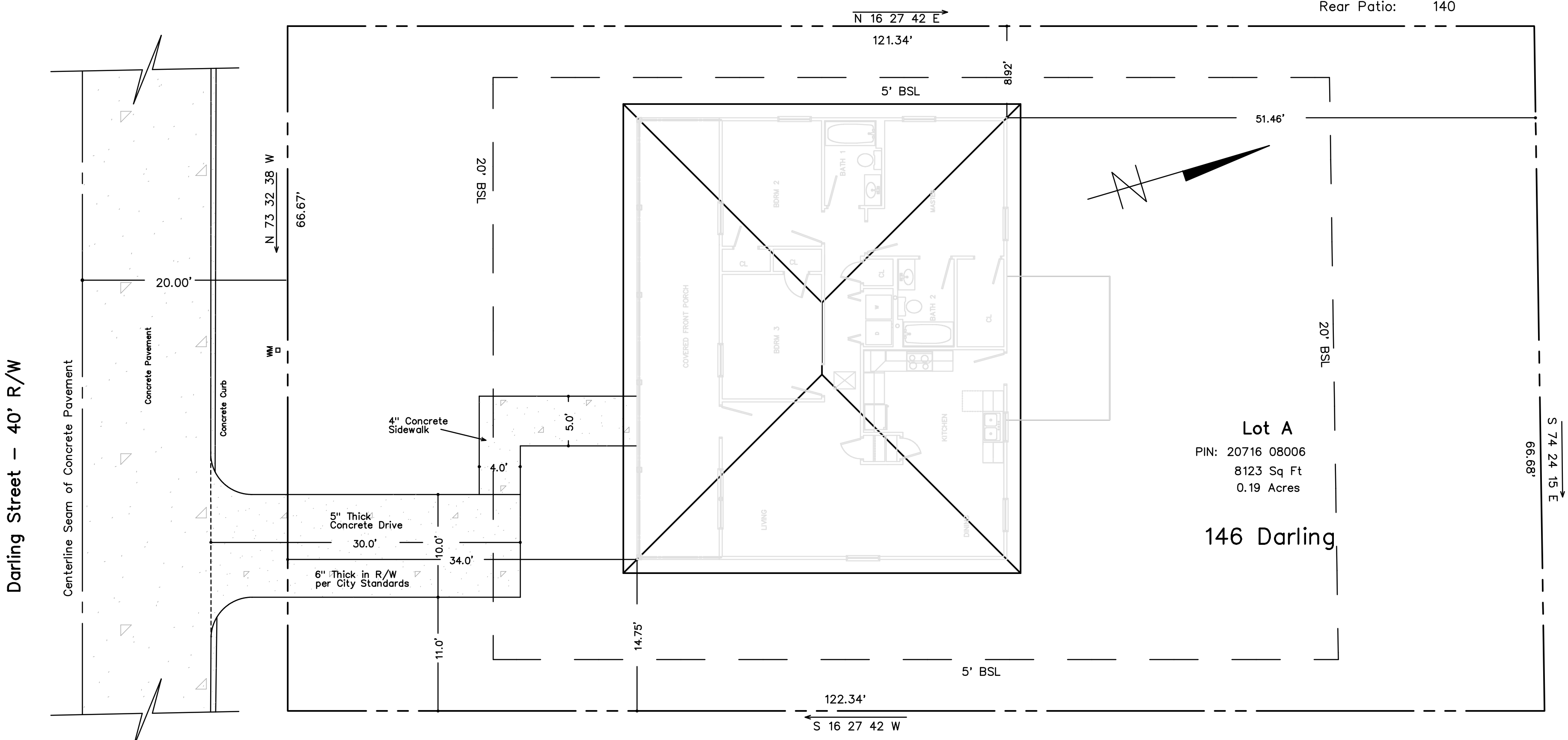
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DRAWN BY: RDF
 DATE: 07/13/21
 SCALE: As Noted

Site Plan
 SHEET:
C-1.0



07/19/2022



Site Plan
 Scale: 1/8"=1'-0"

1

2

3

4

5

General Notes:

Where conflicts occur between these general notes and the specific notes on the drawings, the specific notes on the drawings shall take precedence over these general notes. Where options are given in these notes (i.e.: note #7) and it is not noted otherwise on the drawings, the options can be used in lieu of the specific requirements stated on the drawings (i.e.: QuickTies Vs Strapping Vs Threaded Rods) with the spacings specified on the drawings. When in doubt, contact RDF-PE for clarification.

1. General Requirements
- 1.1 Verify all existing conditions, dimensions and elevations before starting work. Notify RDF-PE, LLC of any discrepancy.
- 1.2 The Contractor is responsible for the design, adequacy and safety of all temporary erection bracing, shoring, supports, etc. used during construction and not a permanent part of the structural system. The permanent structure is not stable until completely erected and fastened.

2. Codes and Specifications

- 2.1 All Structural work shall be designed and installed in accordance with the 2018 International Residential Building Code, including all State of Georgia and local amendments; the 2018 Wood Frame Construction Manual; the 2018 National Design Specification for Wood Construction; ACI 318-05 Building Code Requirements for Structural Concrete; ACI 301 Specifications for structural Concrete for Buildings; ASCE 7-16; all latest edition.

3. Design Loads

- 3.1 Floor Dead Load 10 PSF
- 3.2 Floor Live Loads 40PSF
- 3.2.1 Sleeping Areas 30 PSF
- 3.2.2 Attic Dead Load 10 PSF
- 3.2.3 Attic Live Load 20 PSF
- 3.2.4 Decks and all other areas 40 PSF

- 3.3 Wind
- 3.3.1 Basic Wind Speed 136 MPH Ultimate per ASCE 7-16
- 3.3.2 Risk Category II
- 3.3.3 Importance Factor 1
- 3.3.4 Exposure Category B
- 3.3.5 Internal Pressure Coefficient G_{opi} = +/- 0.18

- 3.4 Soil Bearing Capacity 1500 PSF

4. Foundations

- 4.1 Contractor shall remove all organic material, rubble, sub-grade structures, etc that are within 3 feet of the limits of the new work.
- 4.2 The bottom of all footings shall be a minimum of one foot below finished grade and rest on virgin well compacted soil.
- 4.3 Any questionable sub-grade below footings shall be over excavated and backfilled with structural fill compacted to a minimum density of 95% modified proctor in maximum 8" lifts.
- 4.4 Foundations have been designed based on a soil bearing capacity of 1500 psf. Contractor is responsible for having the soil tested to confirm bearing capacity. If solid bearing capacity is found to be below 1500 psf, contractor is to consult RDF-PE, LLC for corrective action or redesign.
- 4.5 Prevent all sub-surface and surface water from entering excavations. Do not place concrete in any standing water that may be in footing excavations. Remove all water & softened materials from footing and slab excavations prior to pouring concrete.
- 4.6 Support all rebar 3" off the bottom of the footing with plastic rebar supports or concrete bricks.

5. Concrete & Masonry

- 5.1 All concrete work shall conform to ACI 301 Specifications for Structural Concrete for Buildings, latest edition. Concrete design is based on ACI318, Building Code Requirements for Structural Concrete, latest edition, the 2018 International Residential Code including all state and local amendments.
- 5.2 All masonry work shall be in accordance with the 2018 International Residential Code including all state and local amendments, TMS 403, or TMS 402/ACI 530/ASCE5.
- 5.3 Unless otherwise noted, all concrete and grout shall be normal weight, 3 - 6% air entrained and with a minimum 28 day compressive strength of 3000 psi.
- 5.4 Calcium chloride ions, or other salts are not allowed.

- 5.5 Detail all reinforcement and accessories in accordance with ACI 315 Detail Manual, latest edition.
- 5.6 Reinforcing steel shall conform to ASTM A615, Grade 60, unless otherwise noted.
- 5.7 Provide continuous reinforcing wherever possible. Splice rebar only as shown on the drawings. Stagger splices where possible. Lap all splices a minimum of 40 bar diameters (25" for #5 bar).
- 5.8 Reinforcing shall have a minimum of 3" cover where concrete is cast against the earth and a minimum of 2" cover where concrete is exposed to weather or formed and then exposed to earth.
6. Wood
- 6.1 All framing shall conform to the 2018 International Residential Code, as amended by state and local amendments, and all reference standards included therein including, but not limited to the 2018 National Design Specification for Wood Construction, and the Wood Frame Construction Manual, 2018 Edition.

- 6.2 All joists and rafters shall be #2 SYP or better with a minimum bending strength (F_b) of 1000 psi, Minimum Shear Strength (F_v) of 175 psi, and a Minimum Modulus of Elasticity (E) of 1,400,000.
- 6.3 Unless otherwise noted, all exterior wall and interior bearing wall headers shall be a minimum of #2 SYP in accordance with the following sizes:
 - 6.3.1 Clear openings up to 5'-6"; 2 - 2x8s (Interior openings up to 3'-4" can use 2-2x6's)
 - 6.3.2 Clear openings up to 8'-1"; 2 - 2x10s
 - 6.3.3 Clear openings up to 10'-1"; 2 - 2x12s
 - 6.3.4 Clear openings up to 13'-9"; 3 - 2x12s
- 6.4 Unless otherwise noted, all exterior bearing wall headers shall bear on two jack studs supported by two king studs. Interior bearing wall headers up to 8'-1" can be supported by 1 jack and 1 king.

- 6.5 All studs shall be stud grade and full length. No splices are allowed in any studs, jacks and kings. Blocking used for spaces, etc. between full length studs is allowed and does not need to be full length.
- 6.6 The exposed frame should be weather protected as soon as possible and not be allowed to sit exposed for a long period of time. Any standing water shall be removed immediately and the wood allowed to dry prior to cover-up.
- 6.7 All wood exposed to the weather or concrete and within 18" of grade shall be pressure treated. (Beams allowed to within 12")

7. Uplift, and overturning resistance shall be thru 1/2" threaded rods spaced no greater than 6'-0" O.C. on exterior walls. Rods shall be placed within 1'-0" of each side of each exterior framing opening and within 1'-0" of each exterior corner. Rods shall penetrate the top wall plate and be capped off with a 3x3x1/8" washer and nut. Rods shall connect to the foundation anchor bolts with a 5/8" x 1/2" coupling.

In lieu of 1/2" rods. QTG (Quickties (green)) may be used as above with a spacing of 8'-0" O.C. maximum.

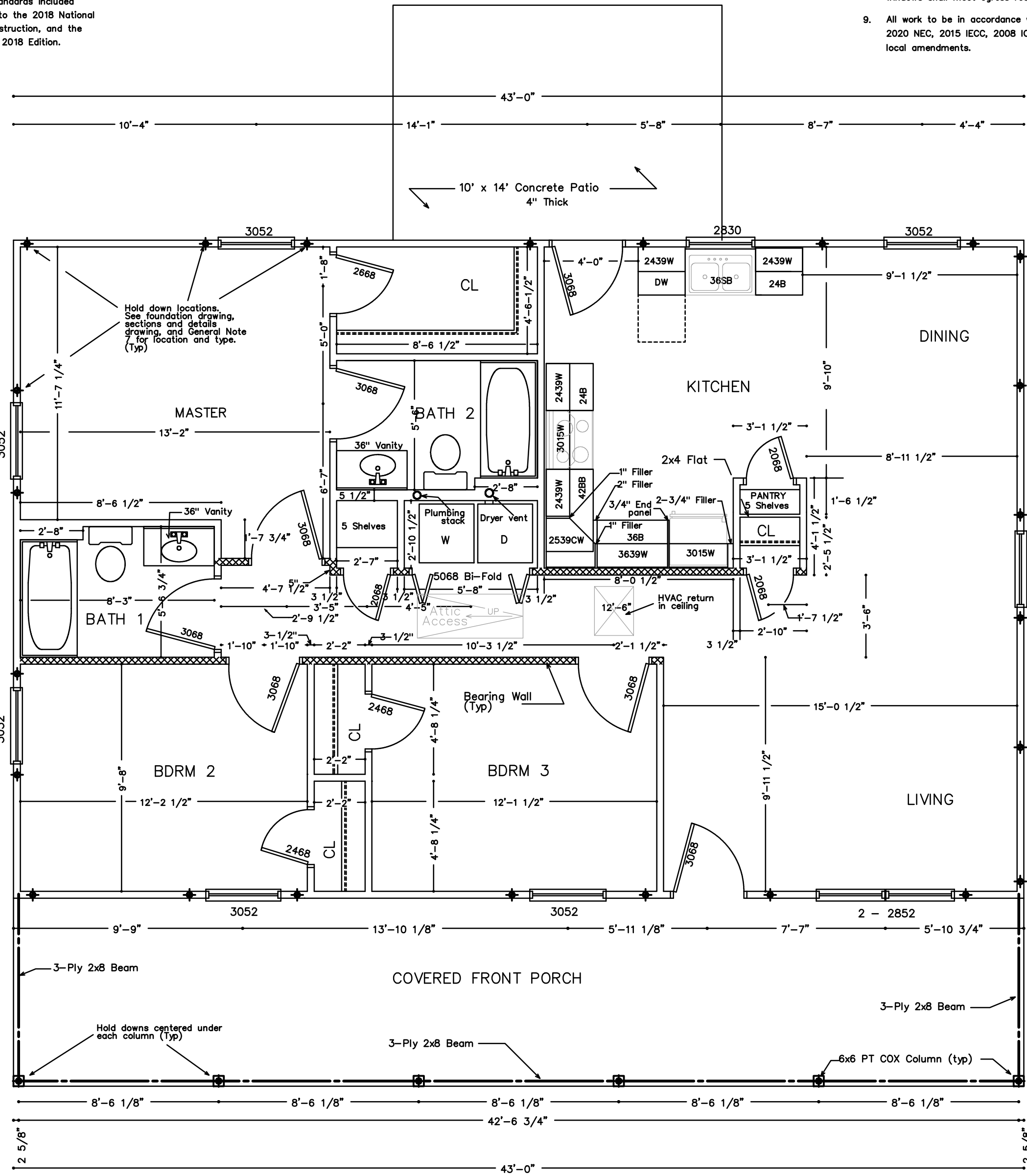
In lieu of rods or Quickties, contractor may use straps and holdowns in each exterior wall corner in accordance with the prescriptive requirements of the codes. All headers, jacks, and sill to studs shall have stopping to resist uplift.
8. Windows shall have a DP rating of no less than 35psf and a thermal efficiency rating of no greater than 0.40. All bedroom windows shall meet egress requirements.
9. All work to be in accordance with the 2018 IRC, IBC, IMC, IPC, 2020 NEC, 2015 IECC, 2008 ICC600, including all Georgia and local amendments.

- C 3.3.5 Internal Pressure Coefficient G_{opi} = +/- 0.18
- C 3.4 Soil Bearing Capacity 1500 PSF
- B 4.6 Support all rebar 3" off the bottom of the footing with plastic rebar supports or concrete bricks.
- A 5.4 Calcium chloride ions, or other salts are not allowed.

Finish Schedule	
Space	Floor Finish
Living	Vinyl
Kitchen	Sheet Goods
Hallway	Vinyl
Bath No 1	Tile
Bath No 2	Tile
Master Bdrm	Vinyl
Bedroom No 2	Vinyl
Bedroom No 3	Vinyl
Dining	Vinyl
Laundry/Utility	Sheet Goods
All walls and ceilings to be 1/2" Gypsum Board and paint.	

Framing Notes:

1. Exterior wall headers shall be 2-2x10's with 1/2" plywood or OSB flitch plates or 1/2" foam insulation, supported by 1 jack stud and 1 king stud each side for all openings up to 40" wide. All headers to be adjacent to top plate.
2. Interior bearing wall headers shall be a minimum of 2-2x6's with 1/2" plywood or OSB flitch plates, supported by 1 jack and 1 king stud each side for clear openings up to 40" wide. For clear openings over 40" and up to 66" in width, use a minimum of 2-2x8's with 1 jack and 1 king each side. For openings over 66" refer to the general notes or specific notes on the drawings.
2. Refer to General Notes for all other requirements.



CONDITIONED AREA: 1204 Sq Ft
COVERED FRONT PORCH: 344 Sq Ft

First Floor Plan

Scale: 1/4" = 1'-0"



RDF-PE, LLC
 Engineering, Design, Consulting & Construction Services
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 Savannah, GA 31408
 404 / 206 - 482

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DRAWN BY: RDF

DATE: 07/13/21

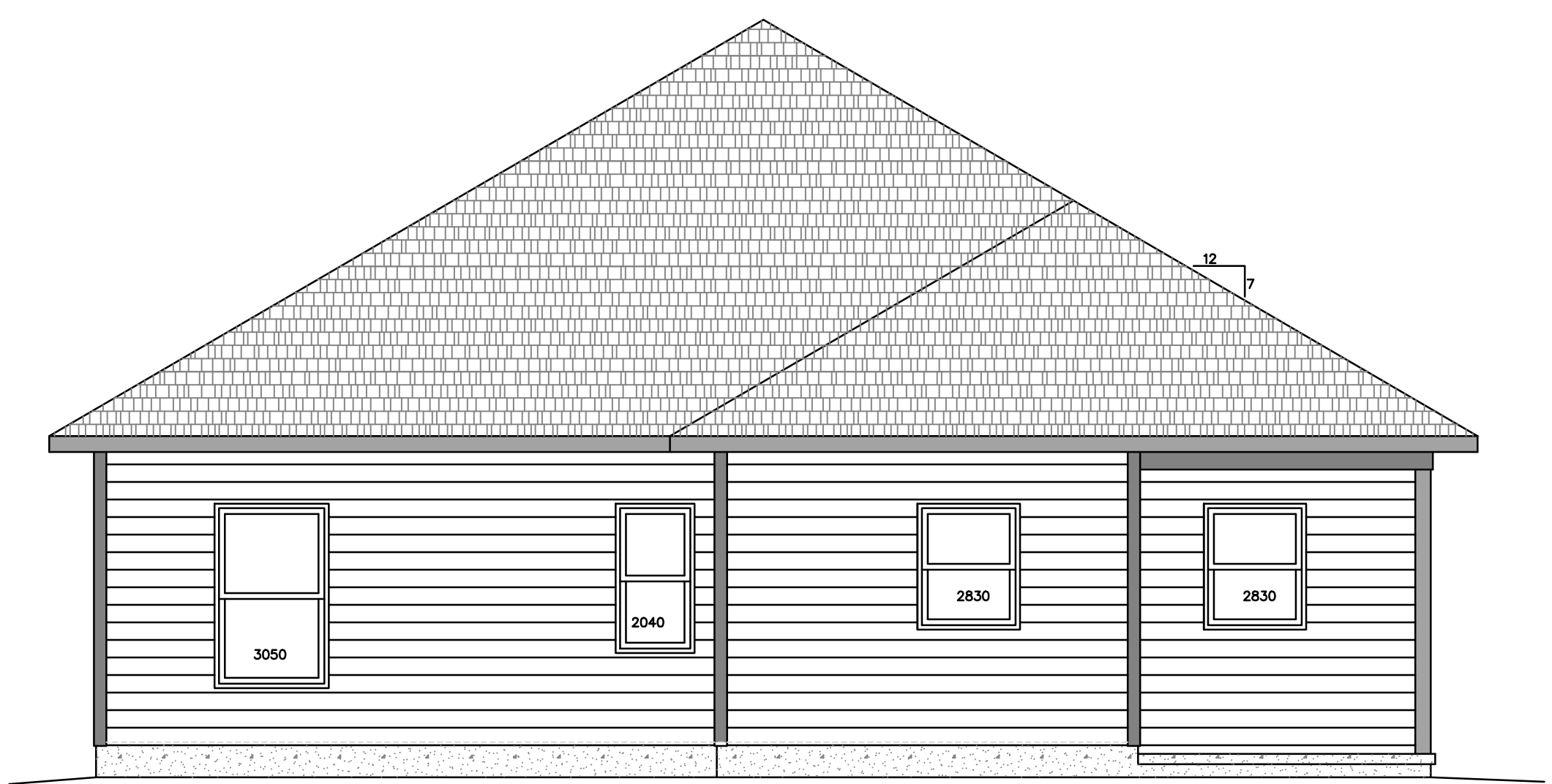
SCALE: As Noted

First Floor Plan

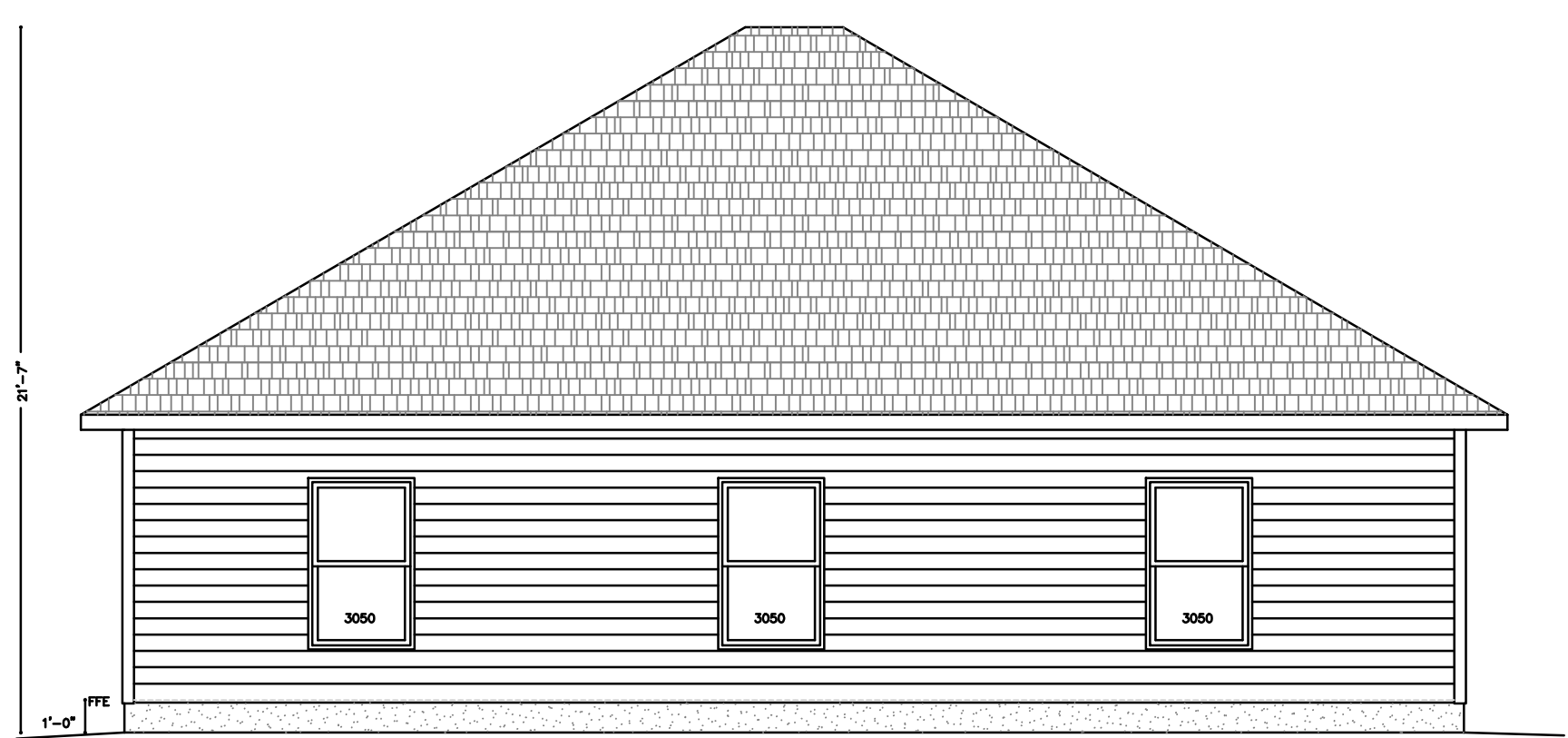
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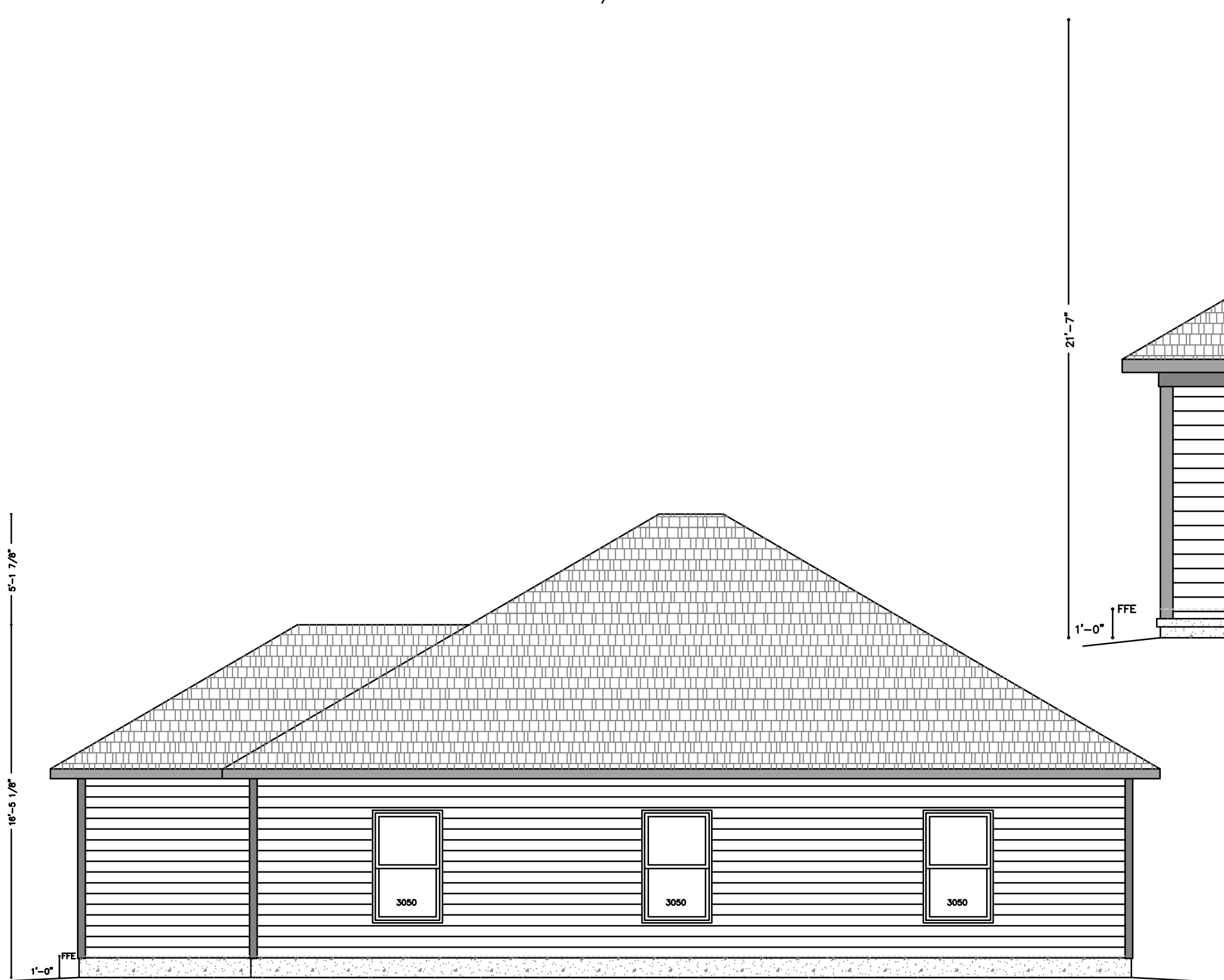
07/19/2022



Rear Elevation
Scale: 1/4"=1'-0"



Right Elevation
Scale: 3/16"=1'-0"



Left Elevation
Scale: 3/16"=1'-0"



Front Elevation
Scale: 1/4"=1'-0"

RDF-PE, LLC
Engineering, Design, Consulting & Construction Services
4 Urdadeck Lane, 3rd Fl.
Savannah, GA 31411
#4 / 206 - 482

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Habitat for Humanity - Single Family Residence
4 Bedroom Plan - Spivey Development, Savannah

Rev	Date	Description
AA	09/27/2022	Issued for Final Comments

DRAWN BY: **RDF**
DATE: 06/02/2022
SCALE: As Noted

Elevations

SHEET:
A-5.0

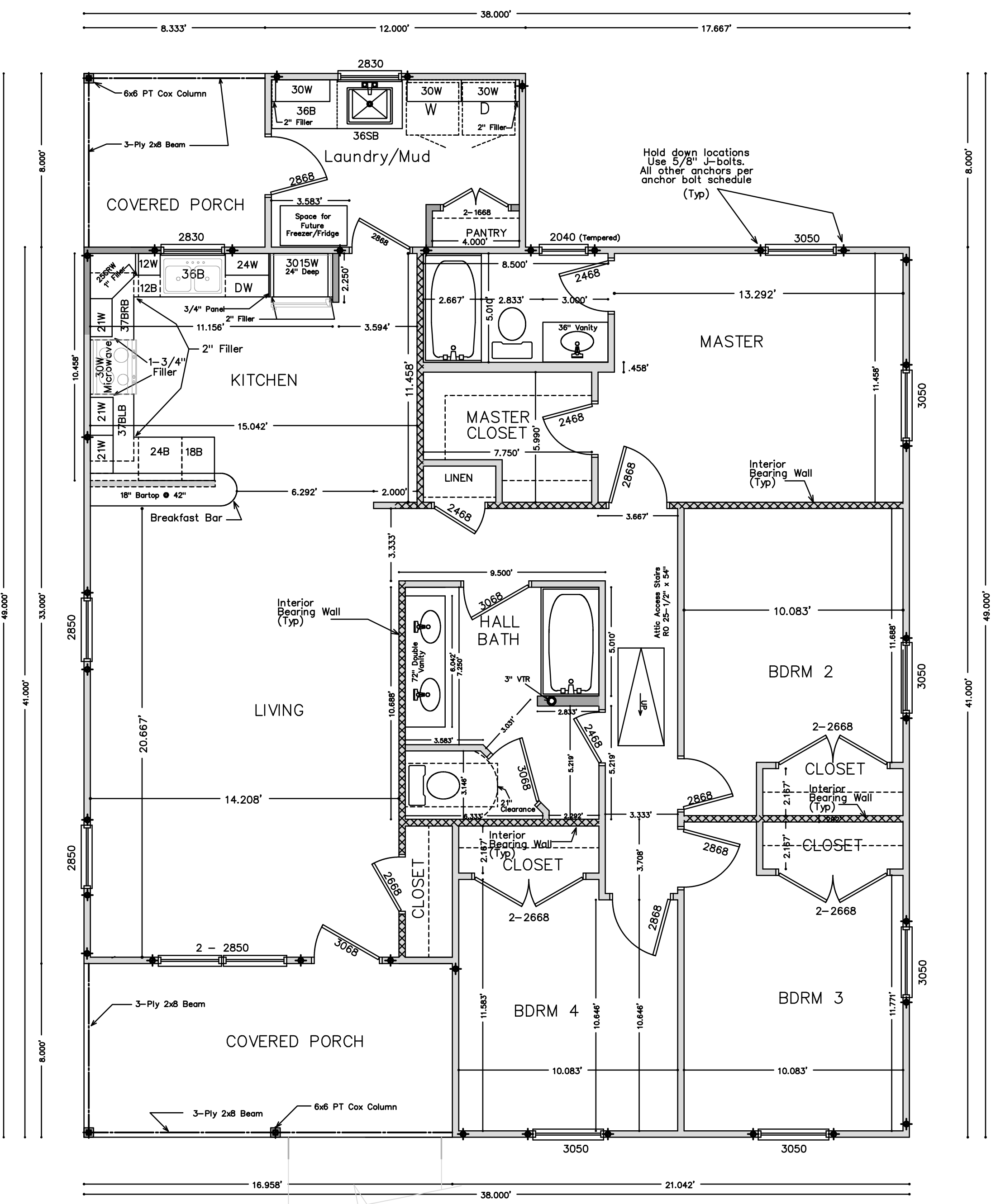
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 - 4.1 Contractor shall remove all organic material, rubble, sub-grade structures, etc that are within 3 feet of the limits of the new work.
 - 4.2 The bottom of all footings shall be a minimum of one foot below finished grade and rest on virgin well compacted soil.
 - 4.3 Any questionable sub-grade below footings shall be over excavated and backfilled with structural fill compacted to a minimum density of 95% modified proctor in maximum 6" lifts.
 - 4.4 Foundations have been designed based on a soil bearing capacity of 1500 psf. Contractor is responsible for having the soil tested to confirm bearing capacity. If soil bearing capacity is found to be below 1500 psf, contractor is to consult RDF-PE, LLC for corrective action or redesign.
 - 4.5 Prevent all sub-surface and surface water from entering excavations. Do not place concrete in any standing water that may be in footing excavations. Remove all water & softened materials from footing and slab excavations prior to pouring concrete.
- 4.6 Support all rebar 3" off the bottom of the footing with plastic rebar supports or concrete bricks.
5. Concrete & Masonry
 - 5.1 All concrete work shall conform to ACI 301 Specifications for Structural Concrete for Buildings, latest edition. Concrete design is based on ACI318, Building Code Requirements for Structural Concrete, latest edition, the 2018 International Residential Code including all state and local amendments.
 - 5.2 All masonry work shall be in accordance with the 2018 International Residential Code including all state and local amendments, TMS 403, or TMS 402/ACI 530/ASCE5.
 - 5.3 Unless otherwise noted, all concrete and grout shall be normal weight, 3 - 6% air entrained and with a minimum 28 day compressive strength of 3000 psi.
 - 5.4 Calcium chloride ions, or other salts are not allowed.
 - 5.5 Detail all reinforcement and accessories in accordance with ACI 315 Detail Manual, latest edition.
 - 5.6 Reinforcing steel shall conform to ASTM A615, Grade 60, unless otherwise noted.
 - 5.7 Provide continuous reinforcing wherever possible. Splice rebar only as shown on the drawings. Stagger splices where possible. Lap all splices a minimum of 40 bar diameters (25" for #5 bar).
- 5.8 Reinforcing shall have a minimum of 3" cover where concrete is cast against the earth and a minimum of 2" cover where concrete is exposed to weather or formed and then exposed to earth.
6. Wood
 - 6.1 All framing shall conform to the 2018 International Residential Code, as amended by state and local amendments, and all reference standards included therein including, but not limited to the 2018 National Design Specification for Wood Construction, and the Wood Frame Construction Manual, 2018 Edition.
- 6.2 All joists and rafters shall be #2 SYP or better with a minimum bending strength (Fb) of 1000 psi, Minimum Shear Strength (Fv) of 175 psi, and a Minimum Modulus of Elasticity (E) of 1,400,000.
- 6.3 Unless otherwise noted, all exterior wall and interior bearing wall headers shall be a minimum of #2 SYP in accordance with the following sizes:
 - 6.3.1 Clear openings up to 5'-6" : 2 - 2x8s (Interior openings up to 3'-4" can use 2-2x6's)
 - 6.3.2 Clear openings up to 8'-1" : 2 - 2x10s
 - 6.3.3 Clear openings up to 10'-1" : 2 - 2x12s
 - 6.3.4 Clear openings up to 13'-9" : 3 - 2x12s
- 6.4 Unless otherwise noted, all exterior bearing wall headers shall bear on two jack studs supported by two king studs. Interior bearing wall headers up to 8'-1" can be supported by 1 jack and 1 king.
- 6.5 All studs shall be stud grade and full length. No splices are allowed in any studs, jacks and kings. Blocking used for spaces, etc, between full length studs is allowed and does not need to be full length.
- 6.6 The exposed frame should be weather protected as soon as possible and not be allowed to sit exposed for a long period of time. Any standing water shall be removed immediately and the wood allowed to dry prior to cover-up.
- 6.7 All wood exposed to the weather or concrete and within 18" of grade shall be pressure treated. (Beams allowed to within 12")
7. Uplift, and overturning resistance shall be thru 1/2" threaded rods spaced no greater than 6'-0" O.C. on exterior walls. Rods shall be placed within 1'-0" of each side of each exterior framing opening and within 1'-0" of each exterior corner. Rods shall penetrate the top wall plate and be capped off with a 3x3x1/8" washer and nut. Rods shall connect to the foundation anchor bolts with a 5/8" x 1/2" coupling.

In lieu of 1/2" rods. QTG (Quickties (green)) may be used as above with a spacing of 8'-0" O.C. maximum.

In lieu of rods or Quickties, contractor may use straps and holdowns in each exterior wall corner in accordance with the prescriptive requirements of the codes. All headers, jacks, and sill studs shall have stopping to resist uplift.
8. Windows shall have a DP rating of no less than 35psf and a thermal coefficient rating of no greater than 0.40. All bedroom windows shall meet egress requirements.
9. All work to be in accordance with the 2018 IRC, IBC, IMC, IPC, 2020 NEC, 2015 IECC, 2008 ICC600, including all Georgia and local amendments.



Finish Schedule	
Space	Floor Finish
Living/Dining	Vinyl Plank
Kitchen	Vinyl Plank
Hallways/Closets	Vinyl Plank
Hall Bath	Tile
Master Bath	Tile
Master Bedroom	Vinyl Plank
Bedroom No 2	Vinyl Plank
Bedroom No 3	Vinyl Plank
Bedroom No 4	Vinyl Plank
Laundry/Mud	Vinyl Plank
All walls and ceilings to be 1/2" Gypsum Board and paint.	

First Floor Plan
Scale: 1/4" = 1'-0"

Area=1,518 sqft Conditioned
136 sqft Front Porch
67 sqft Rear Porch

RDF-PE, LLC
Engineering, Design, Consulting & Construction Services
4 Urdadek Lane, Suite 3111
Savannah, GA 31411
TEL: 912.427.1111
FAX: 912.427.1112
WWW.RDF-PE.COM
THIS DRAWING IS THE PROPERTY OF RDF-PE, LLC AND IS TO BE USED ONLY FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED ON THE DRAWING. IT IS NOT TO BE REPRODUCED, COPIED, OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, WITHOUT THE WRITTEN PERMISSION OF RDF-PE, LLC. ANY UNAUTHORIZED USE OF THIS DRAWING IS PROHIBITED AND IS TO BE RETURNED UPON REQUEST.

Habitat for Humanity - Single Family Residence
4 Bedroom Plan - Spivey Development, Savannah

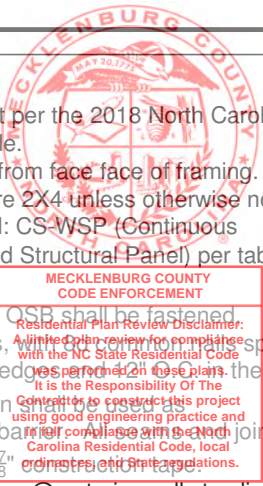
Rev	Date	Description
AA	09/27/2022	Issued for Final Comments

DRAWN BY: **RDF**
DATE: 06/02/2022
SCALE: As Noted
First Floor Plan
SHEET:

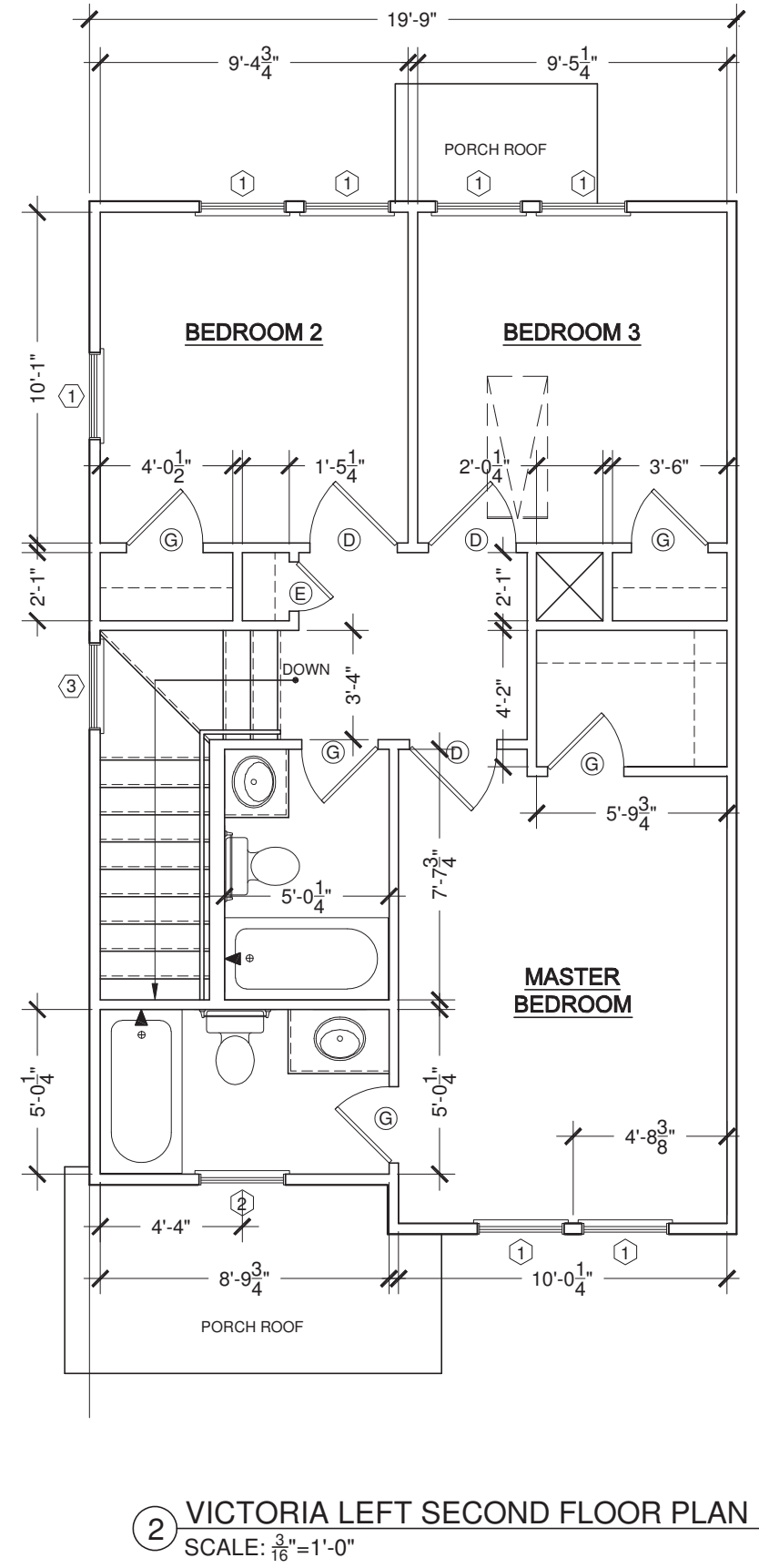
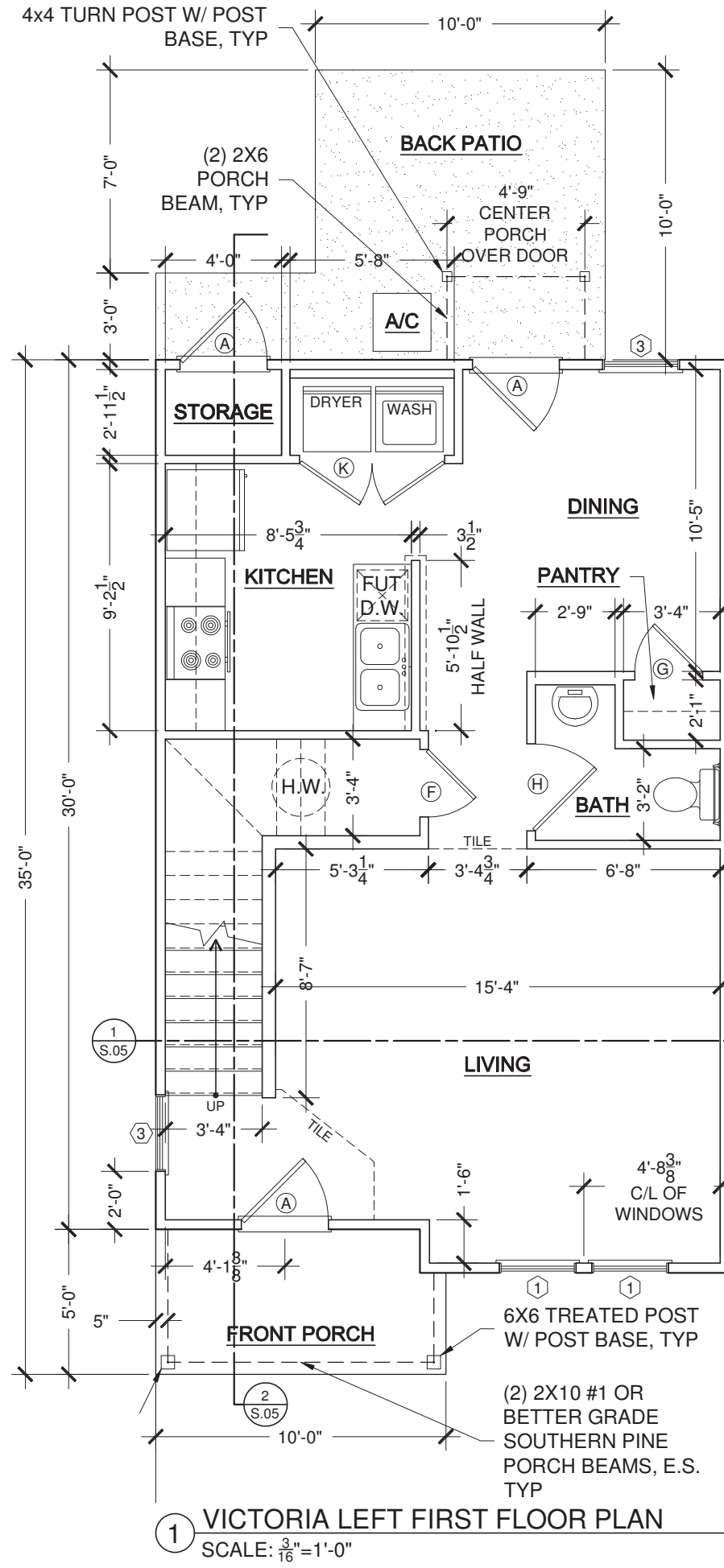


GENERAL NOTES:

- Plans to be built per the 2018 North Carolina Residential Code.
- All dimensions from face face of framing.
- All wall studs are 2X4 unless otherwise noted.
- Bracing Method: CS-WSP (Continuous Sheathing-Wood Structural Panel) per table 602.10.1.
- 1/2" X 4' X 8' OSB shall be fastened continuous, spaced 6" O.C. at edges of the field.
- 1/2" rigid insulation water-resistive barrier joints to be taped with 2" construction tape.
- Face of sheathing @ exterior walls to align with face of masonry below.
- All window locations to be determined on site unless otherwise dimensioned.
- All windows and doors to be covered by porches and flashed.
- All windows and doors shall have an overall U-Factor of .35 or less, and a SHGC of .30 or less.
- Water resistant flooring shall be used in kitchen, bathroom(s), and laundry areas AND w/in 3 feet of all exterior doors.
- Clothes dryer shall be exhausted directly to outdoors.
- Drain and drain pan -OR- single throw supply valve shall be installed for clothes washer.
- Water heater to be located in designated closet as shown; drain and drain pan shall be installed; drain shall lead directly to outdoors.
- HVAC attic return to be located in hall ceiling.
- Engineered roof trusses (by others) shall be installed 2'-0" O.C., in-line with framing below, shall bear on exterior walls ONLY (unless otherwise noted), have a raised heel, and 12" overhangs.
- Any building face within 10' of property line requires protection behind aluminum & vinyl soffits per NCRC 2018 Section R302.1.1.
- TERMITE TREATMENT: Treatment of all framing within 3' of foundation.
- Insulation shall be installed per manufacturer's specs with no substantial gaps, voids, compressions, or wind intrusion. Insulation and air barrier shall be in physical contact with each other.
- Seal external cracks, joints, etc. around windows and doors with caulking and install pest proof screens.
- Provide minimum of 20' X 10' concrete driveway AND 4' sidewalk to front door.



WINDOW SCHEDULE:	DOOR SCHEDULE:	WALL HEADERS:
1. 2'-8"X4'-4"	(A) 36" Exterior Metal Entry Door	Windows 1st (2) 2X10
2. 2'-8" X 3'0"	(B) 32" Exterior Metal Entry Door	Ext Doors 1st (2) 2X10
3. 2'-8"X4'-4" Tempered	(C) 24" Interior Door	Windows 2nd (2) 2X6
Meets all egress and glazing requirements per 2018 NC RES BLDG Code	(D) 32" Interior Door	#1 or better grade Southern Pine lumber per NCRC 2018 Table R602.7(1)
STUD SPACING:	(E) 18" Interior Door	JACK STUD REQ:
Ext. Walls - 2X4s @ 16" O.C.	(F) 30" Interior Door	First floor (2)
Int. Walls - 2X4s @ 24" O.C.*	(G) 28" Interior Door	Second floor (1)
UNIT SQUARE FOOTAGE:	(H) 36" Interior Door	Per Table R602.7(1)
Heated	(I) 36" Bi-hung Interior Door	
Unheated	(J) 48" Bi-hung Interior Door	
	(K) 60" Bi-hung Interior Door	



3815 LATROBE DRIVE
CHARLOTTE, NC 28211
TELEPHONE: 704-376-2054
FAX: 704-342-1797
DWN. BY: CARRIE MASTO
cmasto@habitatcharlotte.org

ENGINEER:
Gavel and Dorn Engineering
6730 Freedom Drive
Charlotte, NC 28214
(704)-919-1900

HABITAT FOR HUMANITY OF CHARLOTTE
TOWNHOMES AT CITISIDE
925, 929, 933, 937 PLAZA WALK DRIVE
CHARLOTTE, NC 28215

DATE:
NOVEMBER 4, 2019
SHEET #:

A.08

NOTES

- 1. FIELD EQUIPMENT USED FOR THIS SURVEY: GEOMAX ZOOM90 R2
2. THE FIELD DATA UPON WHICH THIS MAP OR PLAT IS BASED HAS A CLOSURE RATIO OF 1 FOOT IN 198,280 FEET...

REFERENCES

- 1. A MINOR SUBDIVISION PLAT PREPARED BY T.R. LONG ENGINEERING, P.C. DATED AUGUST 30, 2023
2. A MINOR SUBDIVISION PLAT PREPARED BY THOMAS & HUTTON, INC. SEPTEMBER 11, 2024...

LEGEND

- BENCHMARK
CONC. MONUMENT FOUND
IRON REBAR FOUND
MEANDER POINT (NO MONUMENT)

DETAIL "A" (1"=20")

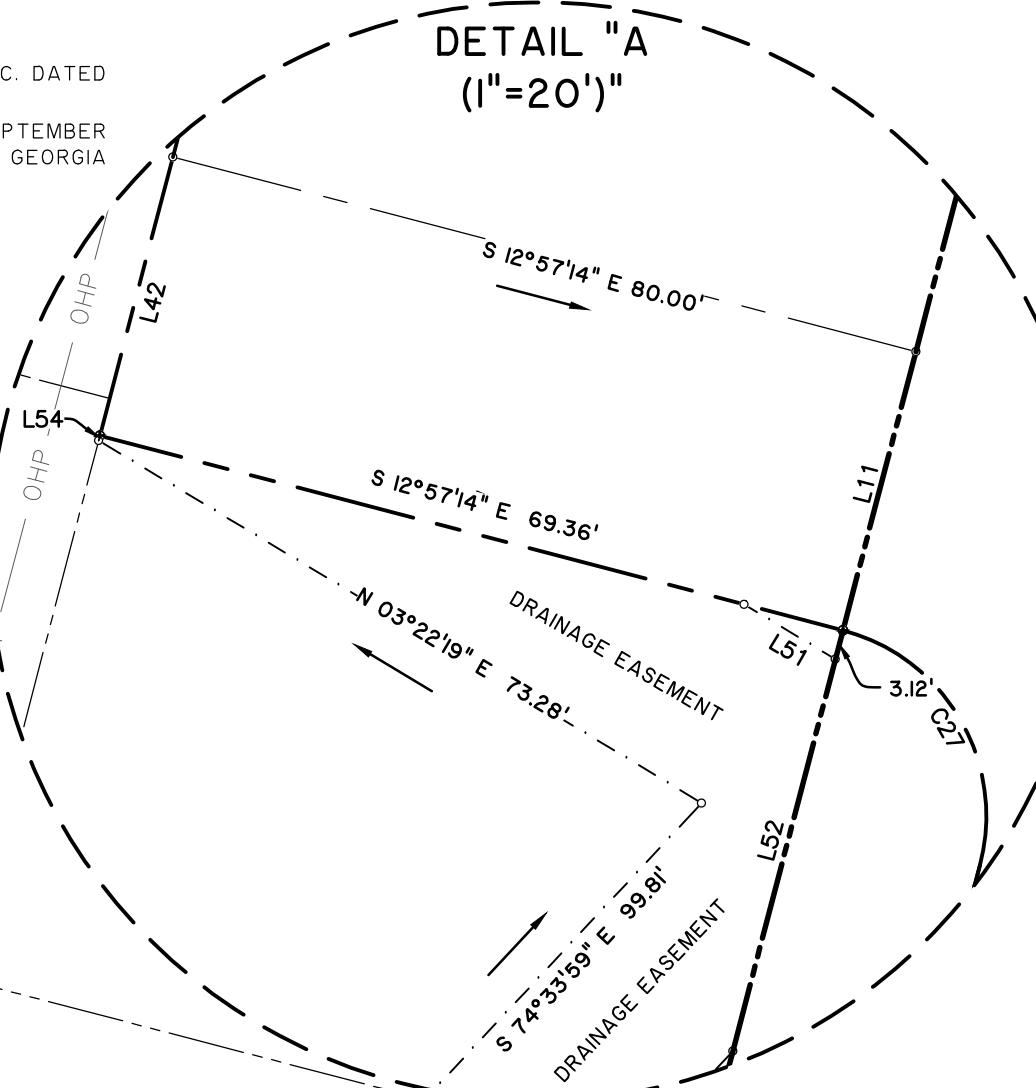


Table with columns: CURVE, RADIUS, LENGTH, CURVE TABLE, CH LENGTH, DELTA. Contains curve data for the subdivision.

THIS SPACE RESERVED FOR THE CLERK OF SUPERIOR COURT

CITY OF PORT WENTWORTH APPROVAL
THE FOLLOWING GOVERNMENTAL BODIES HAVE APPROVED THIS MAP, PLAT, OR PLAN FOR FILING:

APPROVED BY THE CITY MANAGER OR AUTHORIZED DESIGNEE
OMAR SENATI-MARTINEZ
DEPUTY CITY MANAGER

LINE-TYPE LEGEND (UTILITIES)

OHP OVERHEAD POWER LINE

LINE-TYPE LEGEND (PLANIMETRICS)

RAIL ROAD TRACKS
CHAIN LINK/WOODEN FENCE
SUBJECT PROPERTY
ADJACENT PROPERTY

HATCH PATTERN LEGEND

FRESHWATER WETLAND

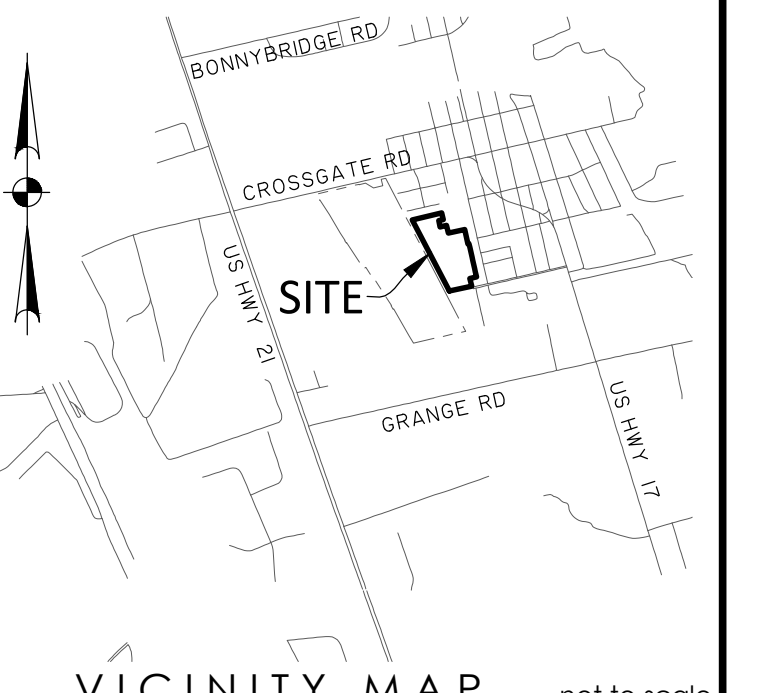
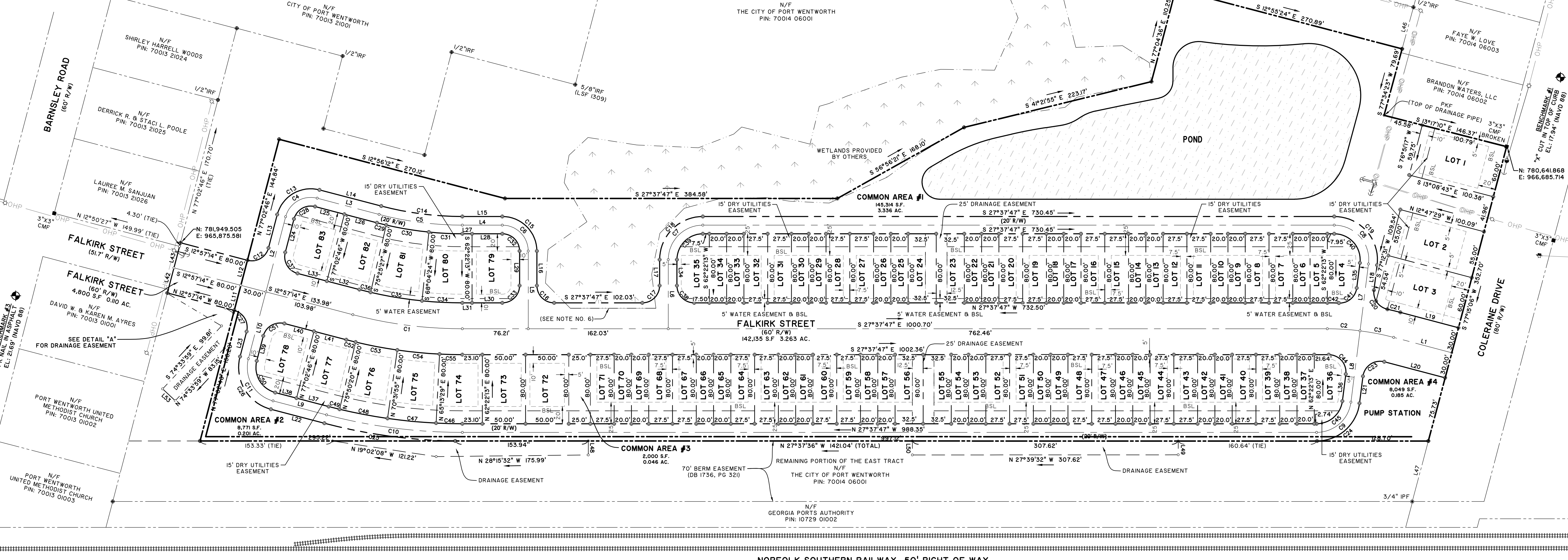
SETBACKS (UNLESS SHOWN OTHERWISE)

- SINGLE FAMILY
10' FRONT YARD SETBACK
5' SIDE YARD SETBACK (INTERNAL)
10' SIDE YARD SETBACK (STREET)

LOT ACREAGE TABLE

Table with columns: LOT, S.F., AC. for lots 1 through 55.

Table with columns: LINE, BEARING, LENGTH for lines L1 through L54.



AS THIS DOCUMENT AND ALL REPRODUCIBLE COPIES OF THIS DOCUMENT ARE THE PROPERTY OF THOMAS & HUTTON... ALTERATIONS TO THIS DOCUMENT ARE NOT PERMITTED.

ACREAGE TABLE
LOTS 4.582 AC.
RIGHT OF WAY 3.263 AC.
COMMON AREA 3.768 AC.
TOTAL 11.613 AC.

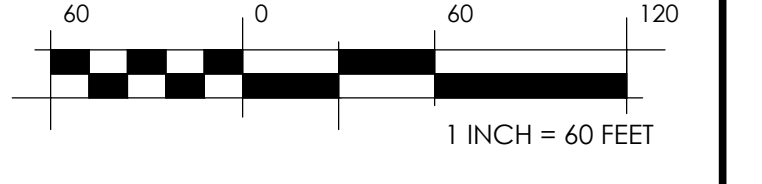
SURVEYOR'S CERTIFICATION
AS REQUIRED BY SUBSECTION (D) OF O.C.G.A. SECTION 15-6-67, THIS PLAT HAS BEEN PREPARED BY A LAND SURVEYOR AND APPROVED BY ALL APPLICABLE LOCAL JURISDICTIONS...

Professional seal for G. POWERS, JR., GEORGIA REGISTERED LAND SURVEYOR, RLS #2612 / LSF #145.

MAJOR SUBDIVISION
LOT "A"
EAST TRACT
PIN: 70014 06015
THE VILLAGES AT CARTER MANOR

8TH G.M. DISTRICT, CITY OF PORT WENTWORTH
CHATHAM COUNTY, GEORGIA
prepared for
BOARD OF COMMISSIONERS
CHATHAM COUNTY, GEORGIA

THOMAS & HUTTON logo and contact information: 50 Park of Commerce Way, Savannah, GA 31405 • 912.234.5300



plot drawn reviewed field crew
01/14/2026 APS WCP 03/19/2024 BJ
job 32265.0001 SHEET 1 OF 1