



CITY OF PORT WENTWORTH
CITY COUNCIL
OCTOBER 16, 2025

Council Meeting Room

Regular Session

7:00 PM

7224 GA HIGHWAY 21
PORT WENTWORTH, GA 31407

- 1. CALL MEETING TO ORDER**
- 2. PRAYER AND PLEDGE OF ALLEGIANCE**
- 3. ROLL CALL - CLERK OF COUNCIL**
- 4. APPROVAL OF AGENDA**
- 5. RECOGNITION OF SPECIAL GUESTS**
 - A. Senior Center Presentation- Barbera Harris**
- 6. PUBLIC COMMENTS - REGISTERED SPEAKERS**
- 7. ELECTIONS & APPOINTMENTS**
- 8. ADOPTION OF MINUTES**
 - A. Regular Council Meeting Minutes- September 18, 2025**
- 9. COMMUNICATIONS & PETITIONS**
 - A. Domestic Violence Awareness Month**
 - B. National Down Syndrome Awareness Month**
 - C. Breast Cancer Awareness Month**
 - D. National Disability Employment Awareness Month**
 - E. Retired Educators Day**
 - F. City Manager Update**
- 10. COMMITTEE REPORTS**
- 11. CONSENT AGENDA**
- 12. UNFINISHED BUSINESS**
 - A. Consideration of the Second Reading for a Zoning Map Amendment Application submitted by the City of Port Wentworth, requesting to rezone 34 acres from R-4 to R-5, for the purpose of land use conformance. PIN # 70976 02021, located in the 3rd Council District, at 50 Newport Blvd.**
 - B. Consideration of the Second Reading for a Zoning Map Amendment Application submitted by the City of Port Wentworth, requesting to rezone 31 acres from R-4 to R-5, for the purpose of land use conformance. PIN # 70907 01003, located in the 1st Council District, at 7450 Highway 21.**

- C. Consideration of the Second Reading for a Zoning Map Amendment Application submitted by the City of Port Wentworth, requesting to rezone .4 acres from R-4 to C-1, for the purpose of land use conformance. PIN # 70010 04002 & 70010 04002L, located in the 4th Council District, at 3 Birkenhead St.

13. NEW BUSINESS

- A. Leo Port Wentworth Development Agreement

- B. Consideration of the approval of a Concept Site Plan application submitted by Integrity Engineering & Development Services, Inc., as Agent for Publix Super Markets, Inc., for "McDonald's", PIN# 70906 04088, located at 1 Supermarket Lane in the 4th Council District. Zoned PUD (Commercial).

- C. The Planning Commission recommends the approval of a Zoning Map Amendment Application submitted by Phillip R. McCorkle as Agent for L-A Crossgate-Savannah, LLC, requesting to rezone 7.6 acres from R-3 to C-2, to allow for commercial development. PIN # 70005 01005, located in the 2nd Council District, on Bonnybridge Road.
 - **PUBLIC HEARING**

14. RESOLUTIONS/ORDINANCES/PROCLAMATIONS

15. EXECUTIVE SESSION

- A. Litigation**
- B. Personnel**
- C. Real Estate**

16. ADJOURNMENT



City Council
7224 GA Highway 21
Port Wentworth, GA 31407

Meeting: 10/16/25
Department: Development Services
Category: Ordinance
Prepared By: Katie Dunnigan
Department Head: Katie Dunnigan

SCHEDULED

AGENDA ITEM (ID)

DOC ID:

Consideration of the Second Reading for a Zoning Map Amendment Application submitted by the City of Port Wentworth, requesting to rezone 34 acres from R-4 to R-5, for the purpose of land use conformance. PIN # 70976 02021, located in the 3rd Council District, at 50 Newport Blvd.

Issue/Item: A Zoning Map Amendment Application has been submitted by the City of Port Wentworth, requesting to rezone 34 acres from R-4 to R-5, for the purpose of land use conformance. PIN # 70976 02021, located in the 3rd Council District, at 50 Newport Blvd.

Background:

- The City of Port Wentworth seeks to bring existing operations of an Apartment Complex in to zoning compliance.
- The existing Point Grand apartment community is within the R-4 zoning district which does not include multi-family residential as a permitted use.
- Pursuant to the City of Port Wentworth Code of Ordinances, Zoning Ordinances, Article 3, Section 3.30, Multifamily Residential use is limited to the R-5 zoning district.
- The Future Land Use Map identifies this parcel as being in the Residential use category.

Facts and Finding: Recommendation:

Staff recommends the approval the request to rezone 34 acres from R-4 to R-5. At the September 2, 2025 meeting, the Planning Commission voted to recommend approval.

Funding: N/A

Recommendation:

RE-ZONING, VARIANCES, AND SPECIAL USE PERMIT APPLICATION



Applicant Information:

Name City of Port Wentworth
Phone 912-999-2084 Email: KDunnigan@portwentworth
Mailing Address 7224 Hwy 21, Port Wentworth, GA 31407
ga.gov

Property Information:

Site Address 50 Newport Blvd
Pin/ Parcel # 70976 02021
Total Acreage/ Square Feet 34

Description of Project Rezone from R-4 to R-5

Existing apartment community - Point Grand
R-5 zoning is needed for compliance with
contemporary zoning ordinances.

Explanation of Variance Request

No variance requested.

Applicant Name/Title Omar Senati - Martinez, Deputy City Manager

Authorized City Official Signature: Omar Senati - Martinez

40 TRANSOM RD LLC
4397 BEAVER POND COURT
LOGANVILLE, GA 30052

AMERICAN HOMES 4 RENT PROPERTIE
23975 PARK SORRENTO
SUITE 300
CALABASAS, CA 91302

AMERICAN HOMES 4 RENT PROPERTIE
23975 PARK SORRENTO STE 300
CALABASAS, CA 91302

AMH 2014-2 BORROWER LP
23975 PARK SORRENTO
SUITE 300
CALABASAS, CA 91302

ANDERSON TAMARA H
10 TRANSOM RD
PORT WENTWORTH, GA 31407

ARMSTRONG SEEDRA
32 TILLER WAY
PORT WENTWORTH, GA 31407

AVALON COVE INVESTMENTS LLC
120 COMMERCE CT
POOLER, GA 31322

BEARING PUTTER LLC
195 SPANTON CRES
POOLER, GA 31322

BRIGHTON BLUFF INVESTMENTS LLC
120 COMMERCE CT
POOLER, GA 31322

BRISBON PATRICIA ANN
4 STEMSON WAY
PORT WENTWORTH, GA 31407

BROWN CINDY L
9 TILLER WY
PORT WENTWORTH, GA 31407

BROWN MICHAEL A
44 TRANSOM RD
PT WENTWORTH, GA 31407

CAPITAL AVENUE INVESTMENTS LLC
120 COMMERCE CT
POOLER, GA 31322

CASABLANCA LUIS, CASABLANCA JANI
47 HAWSER WAY
PORT WENTWORTH, GA 31407

CASSELL JOHN
26 TRANSOM RD
PORT WENTWORTH, GA 31407

CASTILLO PHILLIP LEE
25 A NEWPORT BLVD
PORT WENTWORTH, GA 31407

CITY OF PORT WENTWORTH, GEORGIA
7224 GEORGIA HIGHWAY 21
PORT WENTWORTH, GA 31407

CITY OF PORT WENTWORTH
305 S COASTAL HWY
PORT WENTWORTH, GA 31407

COLEMAN MALICIA L
7 STEMSON WAY
PORT WENTWORTH, GA 31407

CORLEY & CORLEY JUSTIN D & ELISHA
117 BEARING CIR
PT WENTWORTH, GA 31407

COVE AT NEWPORT TOWNHOME ASSO
100 COMMERCE CT
POOLER, GA 31322

CURTIS DEIDRE D
2 TRANSOM ROAD
PT WENTWORTH, GA 31407

DENG XIAOCHEN
24 STEMSON WAY
FORT WENTWORTH, GA 31407

DENNIS R FORD PROPERTIES LLC
135 AQUINNAH DR
POOLER, GA 31322

DIAZ VILLALBA VALERIA A.
30 TRANSOME ROAD
PORT WENTWORTH, GA 31407

DILBERT-EAGLE STEPHANIE
24 TRANSOM ROAD
PORT WENTWORTH, GA 31407

DILLARD PARK INVESTMENTS LLC
120 COMMERCE CT
POOLER, GA 31322

DZURILLA DEAN M., DZURILLA NICOLE
8414 LA PLATA LOOP
AUSTIN, TX 78737

EDEN LAKE INVESTMENTS LLC
120 COMMERCE CT
POOLER, GA 31322

EILAND JERRELL T., EILAND CAROLYN
121 BEARING CIRCLE
PORT WENTWORTH, GA 31407

FILLINGIM JUSTIN W & ANGHARAD S*
27 NEWPORT BLVD
PORT WENTWORTH, GA 31407

FRAZIER MARLENA
16 TRANSOM RD
PT WENTWORTH, GA 31407

GREEN ARDESHIA C
18 TILLER WAY
PORT WENTWORTH, GA 31407

HAMPTON FIELDS LLC
106 RIVERBROOK CIR
SAVANNAH, GA 31404

HARGETT CHRISTOPHER C
26 TILLER WAY
PT WENTWORTH, GA 31407

HEATH FRED J & STARLA WICKS*
32 TRANSOM RD
PORT WENTWORTH, GA 31407

HESTER ROBERT L
8 NANNY COVE CT
BLUFFTON, SC 29910

HESTER ROBERT LEE
8 NANNY COVE CT
BLUFFTON, SC 29910

HOUFAID OTHMANE
50 TRANSOM RD
PORT WENTWORTH, GA 31407

HUNTER RAY S & SALAYTHIA Y*
20 TILLER WAY
PORT WENTWORTH, GA 31407

JALIL JULIO & GLADYS*
7 HAMILTON GROVE DR
POOLER, GA 31322

JOHNSON-BRUNNER MARY ETAL*
55 RIVER DRIVE SOUTH
209
JERSEY CITY, NJ 07310

JOHNSON-GREENE DEBBIE
18 STEMSON WY
PORT WENTWORTH, GA 31407

JONES JAMES BRIAN
4 TRANSOM ROAD
PORT WENTWORTH, GA 31407

JONES NATASCHA D
127 BEARING CIR
PORT WENTWORTH, GA 31407

JONES RAQUISHA SHANTORIA
54 TRANSOM RD
PORT WENTWORTH, GA 31407

KENNEDY CLARISSA
8 STEMSON WAY
PORT WENTWORTH, GA 31407

LAWSON JENNIFER A
42 TRANSOM RD
PORT WENTWORTH, GA 31407

LEWIS ERICKA
7 TILLER WAY
PORT WENTWORTH, GA 31407

LITTEN JILL L & TIMOTHY R*
8 TILLER WAY
PORT WENTWORTH, GA 31407

LUANGCO TRUST DATED 03/11/2024
12 STEMSON WAY
PORT WENTWORTH, GA 31407

MANLEY WARREN
117 POLK LN
FITZGERALD, GA 31750

MAYERS IRIS P
16 STEMSON WY
PORT WENTWORTH, GA 31407

MAZO SANDRA G
34 TRANSOM RD
PT WENTWORTH, GA 31407

MEREDITH TRACEY
16 TILLER WAY
PORT WENTWORTH, GA 31407

MILES & WALKER-MILES JAMES E & CH
123 BEARING CIR
PORT WENTWORTH, GA 31407

MOBLEY ASHLEY S
56 TRANSOM RD
PORT WENTWORTH, GA 31407

MOORE JAMESHA & JASON*
28 TILLER WAY
PORT WENTWORTH, GA 31407

MYDELL FRANCES A
14 TRANSOM ROAD
PT WENTWORTH, GA 31407

NEWPORT HOMEOWNERS ASSOCIATIC
7160 HODGSON MEMORIAL DR.
STE 101
SAVANNAH, GA 31406

NEWPORT HOMEOWNERS ASSOCIATO 100 COMMERCE CT POOLER, GA 31322	NUNN CHARLES K II 66 TRANSOM RD PORT WENTWORTH, GA 31407	OGHAGBON OSASUMWEN FAITH & MAE 12 TRANSOM RD PORT WENTWORTH, GA 31407
OLYMPIC HOME INVESTORS, LLC, A GE P.O. BOX 14026 SAVANNAH, GA 31416	OREI POINTE GRAND PROPERTY OWNI 1200 BRICKELL AVE, PH 2020 MIAMI, FL 33131	PAGE MARY TONEITHA 46 TRANSOM ROAD PORT WENTWORTH, GA 31407
PAYNE-HEADEN SHIRLEY J 2 STEMSON WY PT WENTWORTH, GA 31407	PEBBLESTONE LAKE LLC 106 RIVERBROOK CIRCLE SAVANNAH, GA 31404	POINTE GRAND SAVANNAH , LLC 1031 WEST MORSE BLVD STE 240 WINTER PARK, FL 32789
PRITCHARD MATTHEW 9 STEMSON WAY PORT WENTWORTH, GA 31407	REDBROOK MANOR LLC 120 COMMERCE CT POOLER, GA 31322	RICE SHAUNA N 10 STEMSON WAY PT WENTWORTH, GA 31407
RILEY-HOWLETT SANDRA E 62 TRANSOM ROAD PORT WENTWORTH, GA 31407	ROBERTS KAYLA 18 TRANSOM ROAD PORT WENTWORTH, GA 31407	SAVANNAH ECONOMIC DEVELOPMENT 906 DRAYTON STREET SAVANNAH, GA 31401
SAYLER KENNETH JAMES & LORENA, Y 1865 DENTRO DE LOMAS RD BONSALL, CA 92003	SCHOFIELD ZACHARY SCOTT 417 WHITAKER STREET SAVANNAH, GA 31401	SCHOFIELD ZACHARY 5488 SADDLER LN WOODBIDGE, VA 22193
SEAGATE BLUFF LLC 120 COMMERCE CT POOLER, GA 31322	SHORT NAKIA A 36 TILLER WY PT WENTWORTH, GA 31407	SIMMONS TAMISHA L 64 TRANSOM RD PORT WENTWORTH, GA 31407
SOUTHERN WOOD COMPANY, LLC 118 PIPEMAKERS CIRCLE, SUITE 100 POOLER, GA 31322	SPARKS SHENGHUA 412 E MCDONOUGH ST SAVANNAH, GA 31401	STARLING ERNESTINE M. 318 LAUREL OAK LANE SAVANNAH, GA 31404
STEELE CHRISTOPHER D 1 STEMSON WAY PORT WENTWORTH, GA 31407	STEPHENS JR JAMES E, STEPHENS KIM 14 STEMSON WAY PORT WENTWORTH, GA 31407	SULLIVAN ASHLEY 58 TRANSOM RD PORT WENTWORTH, GA 31407
THOMAS CHIQUIA M. 9 GALLEY LN. PORT WENTWORTH, GA 31407	THOMPSON CHE J 34 TILLER WY PT WENTWORTH, GA 31407	VIERS & HUGHES TERESA & KAREN A* 22 TILLER WAY PORT WENTWORTH, GA 31407

WEBBER MORGHAN, WEBBER ANTONIO
48 TRANSOM ROAD
PORT WENTWORTH, GA 31407

WESTOVER BLUFF LLC
106 RIVERBROOK CIRCLE
SAVANNAH, GA 31404

WILLIAMS DESTINY LAUTRELLE
119 BEARING CIRCLE
PORT WENTWORTH, GA 31407

WILSON KENISHA E
24 TILLER WAY
PORT WENTWORTH, GA 31407

WINDSOR GARDENS LLC
120 COMMERCE CT
POOLER, GA 31322

WOOD ANAGEN DUMANDAN
36 TRANSOM RD
PT WENTWORTH, GA 31407

WORTHINGTON MEGAN
28 TRANSOM ROAD
PORT WENTWORTH, GA 31407

WRIGHT RONNELL ARKEEM
25-B NEWPORT BLVD
SAVANNAH, GA 31408





City Council
7224 GA Highway 21
Port Wentworth, GA 31407

Meeting: 10/16/25
Department: Development Services
Category: Ordinance
Prepared By: Katie Dunnigan
Department Head: Katie Dunnigan

SCHEDULED

AGENDA ITEM (ID)

DOC ID:

Consideration of the Second Reading for a Zoning Map Amendment Application submitted by the City of Port Wentworth, requesting to rezone 31 acres from R-4 to R-5, for the purpose of land use conformance. PIN # 70907 01003, located in the 1st Council District, at 7450 Highway 21.

Issue/Item: A Zoning Map Amendment Application has been submitted by the City of Port Wentworth, requesting to rezone 31 acres from R-4 to R-5, for the purpose of land use conformance. PIN # 70907 01003, located in the 1st Council District, at 7450 Highway 21

Background:

- The City of Port Wentworth seeks to bring existing operations of an Apartment Complex in to zoning compliance.
- The existing Wentworth Park apartment community is within the R-4 zoning district which does not include multi-family residential as a permitted use.
- Pursuant to the City of Port Wentworth Code of Ordinances, Zoning Ordinances, Article 3, Section 3.30, Multifamily Residential use is limited to the R-5 zoning district.
- The Future Land Use Map identifies this parcel as being in the Residential use category.

Facts and Finding: Recommendations:

Staff recommends the approval of the request to rezone 31 acres from R-4 to R-5. At the September 2, 2025 meeting, the Planning Commission voted to recommend approval.

Funding: N/A

Recommendation:

RE-ZONING, VARIANCES, AND SPECIAL USE PERMIT APPLICATION



Applicant Information:

Name City of Port Wentworth
Phone 912-999-2084 Email: KDunnigan@portwentworthga.gov
Mailing Address 7224 Hwy 21, Port Wentworth, GA 31407

Property Information:

Site Address 7450 Hwy 21
Pin/ Parcel # 20907 01003
Total Acreage/ Square Feet 31 acres

Description of Project Rezone from R-4 to R-5

Existing apartment community - Wentworth Park
R-5 zoning is needed for compliance with
Contemporary zoning ordinances.

Explanation of Variance Request

No variance requested

Applicant Name/Title Omar Senati-Martinez, Deputy City Manager

Authorized City Official Signature: *Omar Senati-Martinez*

ALVIAREZ DULCE LEONOR CARRENO, (
18 TREADWAY STREET
PORT WENTWORTH, GA 31407

ANDERSON KAREN F
PO BOX 15353
SAVANNAH, GA 31416

BEP RICE HOPE LLC
100 LAKESIDE BLVD
PORT WENTWORTH, GA 31407

BRUNSON JAMES S & CINDY
5 TREADWAY ST
SAVANNAH, GA 31407

BRYANT RICHARD
40 COTTINGHAM WAY
POOLER, GA 31322

CHISHOLM PAMELA R
19 TREADWAY ST
PORT WENTWORTH, GA 31407

EDGE MELISSA G
102 RILEY CT
SPRINGFIELD, GA 31329

FIELDSTONE GROUP LLC
204 WILEY BOTTOM RD
SAVANNAH, GA 31411

GALLETTA SR JOHN LANGDON L/T
15 TREADWAY ST
PORT WENTWORTH, GA 31407

GOVEA RAUL HUERTA
6 TREADWAY ST
PORT WENTWORTH, GA 31407

GRAHAM GREGORY, GRAHAM STAYCEI
112 BLACK CREEK ROAD
PORT WENTWORTH, GA 31407

GRANT MICHAEL
14 TREADWAY ST
PT WENTWORTH, GA 31407

HARDEN & REED PRISCILLA INDV &ANC
7411 US HWY 21
PORT WENTWORTH, GA 31407

HARDEN JOHN L & PRISCILLA HAWL
7411 HWY 21
PORT WENTWORTH, GA 31407

HEATH JAMES, BRITTANY DANIELLE BA
6 PONDEROSA DR
PORT WENTWORTH, GA 31407

HICKS ALEXANDER III
7425 HIGHWAY 21
PORT WENTWORTH, GA 31407

HICKS ALEXANDER
7425 HWY 21
PORT WENTWORTH, GA 31407

HICKS VIOLA ET AL*
8613 GATESHEAD ROAD *
ALEXANDRIA, VA 22309

HOLT TIMOTHY G
16 TREADWAY
PT WENTWORTH, GA 31407

JACKSON BOSTICK
362 SAUSSY RD
SAVANNAH, GA 31407

JAMES CATHLEEN DAWN
22 PONDEROSA DRIVE
PORT WENTWORTH, GA 31407

JOHNSON DEVENEY A
22 TREADWAY ST
PORT WENTWORTH, GA 31407

JOHNSTON RANDY D & TONI S
12 TREADWAY ST
SAVANNAH, GA 31407

LANDING DAVID
3072 GOLDEN POND BLVD
ORANGE PARK, FL 32073

MACK EVON
216 BLACK CREEK RD
PORT WENTWORTH, GA 31407

MAMIE JEAN W WOODLIEF IRREVOCAE
205 PROVIDENCE DR
SAVANNAH, GA 31407

MCREAL LLC
200 LITTLE MCCALL RD
GUYTON, GA 31312

MOORE LORRI A
20 PONDEROSA DR
PORT WENTWORTH, GA 31407

MORANT SAIVON TRESHAUN
204 TREADWAY STREET
PORT WENTWORTH, GA 31407

MORGAN JANICE L
203 PROVIDENCE DR
PORT WENTWORTH, GA 31407

MOSS REALTY & INVESTMENT INC
412 CLIFF DRIVE
POOLER, GA 31322

NISBETH DANOVA
2800 CAPITAL STREET
PORT WENTWORTH, GA 31407

OSWELL CHERYL A
4 PONDEROSA DR
SAVANNAH, GA 31407

OTTO JAMES PAUL
322 CONAWAY RD
BLOOMINGDALE, GA 31302

PORT WENTWORTH APARTMENT RESII
1545 PEACHTREE STREET NE
SUITE 245
ATLANTA, GA 30303

PORT WENTWORTH SFR LLC
100 LAKESIDE BLVD
PORT WENTWORTH, GA 31407

RANDERWALA ROSHNI
112 PARKSIDE BLVD
PORT WENTWORTH, GA 31407

REARDON MATTHEW DAVID, REARDON
4 TREADWAY STREET
PORT WENTWORTH, GA 31407

RICHMOND BAPTIST CHURCH
7351 GA HWY. 21
PORT WENTWORTH, GA 31407

RICHMOND BAPTIST CHURCH
7351 GEORGIA HIGHWAY 21
PORT WENTWORTH, GA 31407

RODRIGUEZ RAUL
17 TREADWAY ST
PORT WENTWORTH, GA 31407

SCRUGGS NICHOLE L.
24 PONDEROSA DRIVE
PORT WENTWORTH, GA 31407

SECOND STREET HOLDINGS SAVANNA
P.O. BOX 16134
SAVANNAH, GA 31416

SIMMONS MARY
PO BOX 1705
SAVANNAH, GA 31402

SMITH MARK LEMUEL & DEBRA L*
9 TREADWAY ST
PORT WENTWORTH, GA 31407

SPH 21, LLC
6 CONCOURSE PARKWAY, SUITE 200
ATLANTA, GA 30328

TABERNACLE OF FAITH MISSIONARY, B
726 W 9TH ST
RINCON, GA 31326

THORNTON MICHAEL JAMES PERRY, TI
11 TREADWAY STREET
PORT WENTWORTH, GA 31407

WOODARD & DEMPSEY RONALD & LOF
105 SHUFF DR # *
RED LION, PA 17356

WRIGHT DEBORAH
2 TREADWAY ST
PORT WENTWORTH, GA 31407





City Council
7224 GA Highway 21
Port Wentworth, GA 31407

Meeting: 10/16/25
Department: Development Services
Category: Ordinance
Prepared By: Katie Dunnigan
Department Head: Katie Dunnigan

SCHEDULED

AGENDA ITEM (ID)

DOC ID:

Consideration of the Second Reading for a Zoning Map Amendment Application submitted by the City of Port Wentworth, requesting to rezone .4 acres from R-4 to C-1, for the purpose of land use conformance. PIN # 70010 04002 & 70010 04002L, located in the 4th Council District, at 3 Birkenhead St.

Issue/Item: A Zoning Map Amendment Application has been submitted by the City of Port Wentworth, requesting to rezone .4 acres from R-4 to C-1, for the purpose of land use conformance. PIN # 70010 04002 & 70010 04002L, located in the 4th Council District, at 3 Birkenhead St.

- **PUBLIC HEARING**

Background:

- The City of Port Wentworth seeks to bring existing operations of an inflatable rentals operation in to zoning compliance.
- The description of use for inflatable rentals best falls under General Offices and Services, which is not permitted in the Mixed Residential zoning district.
- Pursuant to the City of Port Wentworth Code of Ordinances, Zoning Ordinances, Article 4, Section 4.30, General Offices and Services are permitted uses within the C-1 zoning district.
- The Future Land Use Map identifies this parcel as being in the Mixed Use category, in which C-1 is a listed zoning district.
- An application for PIN# 70010 04002 was heard at the May 5, 2025 Planning Commission meeting, no action was taken.

Facts and Finding: Recommendations:

Staff recommends approval off the request to rezone .4 acres from R-4 to C-1. At the September 2, 2025 meeting, the Planning Commission voted to recommend approval.

Funding: N/A

Recommendation:

RE-ZONING, VARIANCES, AND SPECIAL USE PERMIT APPLICATION



Applicant Information:

Name City of Port Wentworth
Phone 912-999-2084 Email: KDunnigan@portwentworthga.gov
Mailing Address 7224 Hwy 21, Port Wentworth, GA 31407

Property Information:

Site Address Birkenhead Street
Pin/ Parcel # 76010 04002 + 76010 04003L
Total Acreage/ Square Feet .4 acres


Description of Project Rezone from R-4 to C-1

Existing commercial use (inflatable rentals) is incompatible with Mixed Residential zoning. Property requires C-1 zoning to conform with contemporary zoning ordinances.

Explanation of Variance Request

No variance requested.

Applicant Name/Title Omar Senati-Martinez, Deputy City Manager

Authorized City Official Signature: 

BELMONT GATE LLC
120 COMMERCE CT
POOLER, GA 31322

BLUE MOUNTAIN HOLDINGS, LLC
8375 SW BEAVERTON HILLSDALE HWY
PORTLAND, OR 97225

CATES PAUL
PO BOX 7601
SAVANNAH, GA 31418

DSI REALTY COMPANY II LLC
1 BIRKENHEAD RD
PORT WENTWORTH, GA 31407

GRIESEMER MARK O.
6 DIXIE STREET
PORT WENTWORTH, GA 31407

HARLEY LESLIE R
P O BOX 8755
SAVANNAH, GA 31412

JOHNSON DUANE
PO BOX 1294
SAVANNAH, GA 31407

LEE JUDITH DIANNE
PO BOX 4084
PT WENTWORTH, GA 31407

LEONARD JOHN
PO BOX 235
POOLER, GA 31322

LTB FRAZIER PROPERTIES LLC
7281 KELTER DRIVE
WEST CHESTER, OH 45069

NORFOLK SOUTHERN COPR, TAXATION
650 WEST PEACHTREE STREET NW
ATLANTA, GA 30308

OWENS SIEGLINDE & JOSEPH N*
8 DIXIE ST
PT WENTWORTH, GA 31407

PORT WENTWORTH CITY OF
7224 GA HIGHWAY 21
PORT WENTWORTH, GA 31407

SOUTHERN REGION INDUSTRIAL REAL
650 W PEACHTREE ST NW
ATLANTA, GA 30308

SOUTHERN REGION INDUSTRIAL REAL
650 W PEACHTREE ST., NW
ATLANTA, GA 30308

WALTER ROSS MINISTRIES INC
844 SAGEWOOD DR
HINESVILLE, GA 31313

ZAMORA VALERIE L
111 CANTYRE ST
PORT WENTWORTH, GA 31407

ZAMORA VALERIE L
111 CANTYRE STREET
PORT WENTWORTH, GA 31407

ZAMORA VALERIE LYNN
111 CANTYRE STREET
PORT WENTWORTH, GA 31407







City Council
7224 GA Highway 21
Port Wentworth, GA 31407

Meeting: 10/16/25
Department: Administration
Category: Agreement
Prepared By: Zahnay Smoak
Department Head:

SCHEDULED

AGENDA ITEM (ID)

DOC ID:

Leo Port Wentworth Development Agreement

Issue/Item: Development Agreement

Background: LEO is along Meinhard Road and is a single-family home rental community with 250 units. These units are broken into 1, 2 and 3 bedroom units. This project already has zoning and permitting and is currently under construction.

Facts and Finding:

In furtherance of the goals, purposes, the benefit of the City of Port Wentworth and in the public interest, the city desires the following outlined items in the agreement which the developer agrees to fund for this project in exchange for potable water and wastewater services.

- Extension of 12-inch water main along Hwy 30 to Benton Blvd
- Emergency Entrance from Hwy 30 with Knox box access
- Commitment to the vision of City’s multiuse pedestrian paths
- Payments for dedicated ERU’s of water

Funding: N/A

Recommendation: Approve

DEVELOPMENT AGREEMENT REGARDING WATER LINE

This **DEVELOPMENT AGREEMENT REGARDING WATER LINE** (this “**Agreement**”) is entered into this ____ day of _____, 2025 (the “**Effective Date**”), by and among the **CITY OF PORT WENTWORTH**, a political subdivision of the State of Georgia (the “**City**”), and **PORT WENTWORTH SFR OWNER, LLC**, a Delaware limited liability company (“**LEO**”).

RECITALS

WHEREAS, LEO is the owner of that certain property located at _____ in the City of Port Wentworth, Chatham County, Georgia (the “**Property**”), upon which LEO is in the process of developing and constructing a build to rent community to be known as LEO@Port Wentworth (the “**Project**”);

WHEREAS, the City and LEO agree that water line improvements are in both of their best interests, LEO has agreed to assist the City in the design, construction and installation of a 12-inch C900 potable waterline (the “**Water Line**”), at LEO’s sole cost and expense, to be installed in the unpaved portion of the right way along GA-30 beginning at a point adjacent to the Property and extending to the intersection of GA-30 and Benton Boulevard as more specifically depicted in Exhibit A attached hereto (the “**Water Line Project**”);

WHEREAS, in exchange for LEO’s construction and installation of the Water Line, the City agrees that the “aid in construction fee” at \$5481/ERU and the payment of such fee shall be deferred until after the construction completion of the Water Line Project and dedication thereof to the City; and

WHEREAS, the City and LEO desire to enter into this Agreement to set forth the procedure for LEO to design, construct, and install the Water Line.

NOW, THEREFORE, in consideration of the premises, mutual promises and other good and valuable considerations exchanged between the parties hereto, the receipt and sufficiency of which are hereby acknowledged, the parties hereto agree as follows:

1. Recitals. The above recitals are true and correct and incorporated herein by reference.
2. Plans and Specifications of the Water Line Project. LEO has engaged Kimley-Horn (the “**Engineer**”) to design the Water Line Project and the Engineer has prepared plans for the Water Line Project as set forth in the **Meinhard Road, Rev 6** plans dated _____, 2025, (Job No. _____) and attached hereto as Exhibit B (the “**Plans and Specifications**”). The Plans and Specifications have been reviewed and preliminarily approved by the City and LEO, such plans having been prepared and reviewed based on the following assumptions: (i) the Water Line can be installed between the existing power lines that

are currently installed and the shoulder of GA-30, and (ii) there are no subsurface impediments that would require additional work or excavation to remove. In the event any changes or adjustments are required to the Plans and Specifications as a result of some subsurface obstruction or other unforeseeable impediment, or any change or revision required by any applicable governmental authority, LEO will revise such Plans and Specifications to address any such changes and the City will give LEO a dollar-for-dollar set off against the remaining Aid in Construction Fee that is to be paid at construction completion of the Water Line Project. LEO shall promptly provide the City with all correspondence and documentation relating to any such changes or revisions to the Plans and Specifications. In addition, the City agrees to assist LEO in expediting LEO's application to obtain all required permits and approvals for the Water Line Project from all necessary governmental authorities.

3. Construction of the Water Line Project.

(a) LEO shall be responsible for the diligent construction of the Water Line which shall include engaging the general contractor, obtaining all required permits and purchasing all construction materials. LEO agrees that it shall (i) commence construction within thirty (30) days after LEO has sent the Notice to Proceed to the contractor that will be constructing the Water Line (the "**Commencement Date**"), and (ii) diligently complete the construction of the Water Line on or before the date that is eighteen (18) months following the Commencement Date (the "**Completion Date**") in accordance with the Plans and Specifications and any applicable law, ordinance, rule or regulation or any permit or approval applicable to the construction of the Water Line.

(b) In connection with the construction of the Water Line, the City shall also execute and deliver a temporary construction easement in favor of LEO in the form attached hereto as Exhibit C (the "**Easement Form**").

4. Aid in Construction Fee. As of the Effective Date, LEO has paid \$_____ in the aid in construction fee (the "**Aid in Construction Fee**") for the LEO Project. In exchange for LEO's construction of the Water Line, the City agrees (a) that the balance of any Aid in Construction Fee that remains due shall be at the rate of \$5481/ERU, and (ii) the payment of the balance of the Aid In Construction Fee (as it may be adjusted pursuant to Section 2 above) shall be deferred and payable within thirty (30) days after construction completion of the Water Line Project and dedication thereof to the City.

5. Termination of this Agreement. Upon construction completion of the Water Line Project, LEO shall turn over the Water Line to the City and shall simultaneously deliver a maintenance bond that will remain in effect for twelve (12) months. The City shall have the right, but not the obligation, to conduct periodic reviews of the Water Line during construction and the City shall also have final decision making authority with regard to final acceptance of the Water Line. This Agreement shall terminate upon the expiration of the maintenance bond.

6. Project Professionals. Advenir Azora Development, LLC, a Delaware limited liability company and affiliate of LEO ("**AAD**") is the development manager of the Project.

The City and LEO agree that AAD shall also serve as the development manager for the construction and installation of the Water Line and AAD's obligations in connection therewith shall be governed by the terms and conditions of that certain Development Management Agreement by and between LEO and AAD dated as of March 12, 2025. LEO specifically acknowledges that the City will not be financially responsible for any payments to AAD, the Engineer or any subcontractors.

7. City's Responsibilities.

(a) Management of Project; Designation of Contact. To facilitate performance of the City's responsibilities hereunder, the City shall designate an individual who shall have the authority to render approvals and make decisions on behalf of the City, as applicable (the "**City's Contact**"). The City, as applicable, may change the City's Contact from time to time by notice to LEO and AAD. The initial City's Contact shall be: Steve Davis, City Manager, 912-964-4379, sdavis@portwentworthga.gov. Until the LEO and AAD receive notice from the City changing the City's Contact, LEO and AAD shall be entitled to rely on the approvals and decisions of the then currently established City's Contact.

(b) Cooperation. The City and LEO shall reasonably cooperate with each other with respect to each party's performance of its responsibilities under this Agreement.

(c) Information. The City shall provide information and data relating to the Water Line Project to LEO and to AAD upon request. LEO and the City shall cooperate in good faith to maintain the confidentiality of information provided by the City that is specifically designated by the City in writing to be confidential; provided, however, the City acknowledges and agrees that the communication of information provided by the City to third parties will be essential to the ability of LEO to perform its obligations as set forth in this Agreement. The City shall provide LEO all documentation relevant to the Water Line Project for LEO's use in performing its obligations hereunder, and the City shall endeavor to satisfy all reasonable requests for information or access made by LEO in furtherance of performance of its obligations hereunder.

(d) Approvals. The City shall render approvals and make decisions with reasonable promptness to minimize delay in completion of the Water Line Project. The City recognizes that LEO must receive timely responses to its requests for consent by the City to conduct its duties hereunder. The City shall provide any required written consent to LEO within three (3) business days of any request made by LEO. If LEO receives no objection or communication withholding the City's consent, LEO shall be deemed authorized to proceed as if the City had provided its consent and LEO shall not be liable for actions deemed authorized.

(e) Costs and Expenses. Subject to the limitations set forth herein, or as otherwise mutually agreed in writing by the City and LEO, LEO shall bear all costs and expenses of the Water Line Project and for all of the services performed by AAD under this Agreement shall be performed at the cost and expense of, and for the account of, LEO. LEO shall make available all funds necessary to pay all Water Line Project costs. Under no circumstances shall

the City have any duty or obligation to advance any funds for the payment of the Water Line Project.

8. Indemnity.

(a) LEO agrees to indemnify and hold the City harmless from any and all claims, liabilities and damages arising out of or resulting from any services to be provided by LEO as may be described or provided in this Agreement that are caused in whole or in part by any negligent act or willful misconduct of LEO, or any of its agents; provided, however, LEO's obligations under this Section 11 shall not extend to any acts or omissions of the Engineer, the general contractor, subcontractor, or any third party consultants. LEO's indemnification obligations shall terminate upon the issuance of the completion and acceptance of the Water Line Project as set forth in Section 5 hereof.

(b) To the extent permitted by law, the City shall release, defend (with counsel reasonably acceptable to LEO), indemnify and hold harmless LEO and its members, managers, directors, officers, agents and employees from and against any and all claims, demands, actions, causes of action, suits, liabilities, damages, losses, costs and expenses of any kind or nature whatsoever (including, without limitation, reasonable attorneys' fees and court costs incurred in enforcing this indemnity at trial or on appeal and otherwise) that LEO may suffer or incur, or which may be asserted against LEO, whether meritorious or not, and which arise in connection with the Water Line Project, arising out of or resulting from the services provided and caused by the negligent acts or omissions of the City, or anyone directly or indirectly employed by them or anyone for whose acts they may be liable, or the performance by the City of any of its duties and obligations under this Agreement, to the extent caused by the negligent acts or omissions, recklessness or intentional misconduct of the City. Notwithstanding the foregoing, however, the fact that a portion of the liability, damages, losses or expenses is alleged to have been caused by LEO shall not release the City from its responsibility to the extent of the liability, damages, losses and costs caused by the negligence, recklessness or intentional misconduct of the City, and City hereby specifically waives sovereign immunity with respect to this Agreement.

(c) In no event shall the indemnification provisions of this Section 11 diminish, affect, impede or impair, in any manner whatsoever, the benefits to which either party may be entitled under any insurance policy with respect to the Water Line Project required by this Agreement or otherwise, or under the terms of any waiver of subrogation contained therein. If any court of law or any insurer makes the determination that any such provisions, in fact, do any of the things mentioned in the preceding sentence, then the parties shall be deemed to have amended this Agreement to invalidate, waive or remove such indemnities to the extent necessary to preserve the insurance protection.

9. Notices. All notices provided for or permitted to be given pursuant to this Agreement must be in writing, and shall be given or served either: (1) by delivering such notice in person to such party, or (2) by Federal Express, United Parcel Service, or other nationally recognized overnight courier delivery service, or (3) by electronic mail, with confirmation of

transmission, and a copy of the notice delivered the following day as provided in the preceding clauses (1) and (2). All notices are to be sent to or made at the addresses set forth below:

LEO: Port Wentworth SFR Owner, LLC
c/o Advenir Azora Development, LLC
17501 Biscayne Boulevard, Suite 300
Aventura, FL 33160
Attention: Marc Mariano
Email: mmariano@advenirazora.com

With a copy to: Advenir Azora Development, LLC
17501 Biscayne Boulevard, Suite 300
Aventura, FL 33160
Attention: S. Maki Uchiyama, Esq.
Email: muchiyama@advenirazora.com

City: Steve Davis, City Manager
City of Port Wentworth
7224 GA Highway 21
Port Wentworth, GA 31407
sdavis@portwentworthga.gov

With a copy to: City Attorney
7224 GA Highway 21
Port Wentworth, GA 31407
cityattorney@portwentworthga.gov

All notices given in accordance with this Agreement shall be effective upon delivery at the address of the addressee. By giving written notice thereof, each party shall have the right from time to time to change its address pursuant hereto.

10. Counterparts: Electronic Signature. This Agreement may be executed in two or more counterparts, each of which shall be deemed an original, but all of which together shall constitute one and the same instrument. Counterparts may be delivered via facsimile, electronic mail (including pdf or any electronic signature complying with the U.S. federal ESIGN Act of 2000, e.g., www.docusign.com), or other transmission method, and any counterpart so delivered shall be deemed to have been duly and validly delivered and be valid and effective for all purposes. Any electronic or other facsimile copy of this Agreement or a counterpart of this Agreement shall be admissible into evidence in any proceeding as though the same were an original.

11. Governing Law: Venue. The terms and conditions of this Agreement shall be construed and controlled in accordance with the laws of the State of Georgia; venue for any action

arising hereunder shall be in Chatham County, Georgia.

12. Captions. Titles or captions of paragraphs contained in this Agreement are inserted only as a matter of convenience and for reference and in no way define, limit, extend or describe the scope of this Agreement or the intent of any provision hereof.

13. Severability. This Agreement is intended to be performed in accordance with, and only to the extent permitted by, all applicable laws, ordinances, rules and regulations. If any provision of this Agreement or the application thereof to any person or circumstances shall be invalid or unenforceable, the remainder of this Agreement and the application of such provision to other persons or circumstances shall not be affected thereby but instead shall continue in effect to the extent permitted by law.

14. Successors and Assigns. This Agreement may not be assigned, in whole or in part, by any party without the express consent of the other parties. Subject to the immediately preceding sentence, this Agreement shall be binding upon, and shall inure to the benefit of, the parties and their respective executors, administrators, legal representatives, heirs, successors, and assigns.

15. No Third Party Beneficiaries. All services rendered by LEO are rendered solely for the benefit of the City and nothing contained herein shall be deemed to give any third party (a) the status of a third party beneficiary, or (b) any right to make any claim, or (c) any right of action against the City or LEO.

16. Amendments. No provision of this Agreement may be amended or modified, except by a written instrument executed by all of the Parties.

17. Attorneys' Fees. Each party waives the right to attorneys' fees for enforcement of this Agreement, including any legal actions or appeal filed.

18. Waiver by Jury Trial. BECAUSE DISPUTES ARISING IN CONNECTION WITH COMPLEX TRANSACTIONS ARE MOST QUICKLY AND ECONOMICALLY RESOLVED BY AN EXPERIENCED AND EXPERT PERSON, AND THE PARTIES WISH APPLICABLE STATE AND FEDERAL LAWS TO APPLY (RATHER THAN ARBITRATION RULES), THE PARTIES DESIRE THAT THEIR DISPUTES BE RESOLVED BY A JUDGE APPLYING SUCH APPLICABLE LAWS. THEREFORE, TO ACHIEVE THE BEST COMBINATION OF THE BENEFITS OF THE JUDICIAL SYSTEM AND OF ARBITRATION, EACH PARTY TO THIS AGREEMENT, BY THIS AGREEMENT, SHALL IN GOOD FAITH PARTICIPATE IN MEDIATION OR ARBITRATION IN ANY ACTION, SUIT, OR PROCEEDING BROUGHT TO RESOLVE ANY DISPUTE BETWEEN OR AMONG ANY OF THE PARTIES TO THIS AGREEMENT, WHETHER ARISING IN CONTRACT, TORT, OR OTHERWISE, ARISING OUT OF, CONNECTED WITH, RELATED OR INCIDENTAL TO THIS AGREEMENT, THE TRANSACTIONS CONTEMPLATED BY THIS AGREEMENT, AND/OR THE RELATIONSHIP ESTABLISHED AMONG THE PARTIES UNDER THIS AGREEMENT.

[Signature Pages Follow]

IN WITNESS WHEREOF, the parties hereto have caused this Agreement to be executed as of the day and year first above written.

ATTEST:

CITY OF PORT WENTWORTH

By: _____

Name: _____

Title: _____

[Signatures Continue on Next Page]

Witnesses:

PORT WENTWORTH SFR OWNER, LLC,
a Delaware limited liability company

Print Name: _____
Address: _____

By: _____
Marc A. Mariano
Authorized Signatory

Print Name: _____
Address: _____

ACKNOWLEDGEMENT

STATE OF FLORIDA
COUNTY OF PINELLAS

PERSONALLY APPEARED before me, the undersigned authority, Marc A. Mariano, as an Authorized Signatory of PORT WENTWORTH SFR OWNER, LLC, a Delaware limited liability company, who is personally known to me or who produced _____ as identification, and he acknowledged before me that he executed the foregoing instrument, and that he was authorized so to do.

WITNESS my hand and official seal this _____ day of _____, 2025.

Notary Public
Print Name:
My commission expires:

EXHIBIT A
WATER LINE PROJECT

EXHIBIT B
PLANS AND SPECIFICATIONS

EXHIBIT C
EASEMENT FORM



City Council
7224 GA Highway 21
Port Wentworth, GA 31407

Meeting: 10/16/25
Department: Development Services
Category: Ordinance
Prepared By: Katie Dunnigan
Department Head: Katie Dunnigan

SCHEDULED

AGENDA ITEM (ID)

DOC ID:

Consideration of the approval of a Concept Site Plan application submitted by Integrity Engineering & Development Services, Inc., as Agent for Publix Super Markets, Inc., for "McDonald's", PIN# 70906 04088, located at 1 Supermarket Lane in the 4th Council District. Zoned PUD (Commercial).

Issue/Item: Integrity Engineering & Development Services, Inc., as Agent for Publix Super Markets, Inc., requests the approval of a Concept Site Plan "McDonald's", PIN# 70906 04088, located at 1 Supermarket Lane in the 4th Council District. Zoned PUD (Commercial).

Background:

- The applicant proposes to develop a McDonald's restaurant.
- The subject parcel is a Publix outparcel at the entrance to the Rice Hope PUD.
- A requisite neighborhood meeting was held for this project on August 6, 2025. No community members attended to provide input.
- *Pursuant to The Code of the City of Port Wentworth Georgia, Zoning Ordinances, Section 13.20: "After review and recommendation by the Planning Commission, the City Council shall act upon all concept plans...required in Table 13.20."*

Facts and Finding:

- The Future Land Use Map identifies the subject parcel as commercial, within a mixed use corridor; which emphasizes neighborhood services and commercial use on parcels with frontage on well-traveled roads.
- The site proposes two access points via Supermarket Lane, which connects to Market Boulevard. No access is proposed to Highway 21.
- The applicant has worked with the City to provide a store model which compliments surrounding structures.

Recommendations:

- The submitted Concept Site Plan complies with City of Port Wentworth ordinances. At the October 6, 2025 meeting, the Planning Commission voted to recommend approval.

Funding:

Recommendation:

City of Port Wentworth
7224 Highway 21 Port Wentworth Georgia 31407 912-999-2084

Site Plan Review Application

Site Plan Type (Check One): General / Concept Specific Development

Site Plan Address: Address Not Yet Issued - Using Publix Address of 7936 GA Highway 21

PIN #(s): 70906 04088

Zoning: Planned Unit Development (PUD) Estimated Cost of Construction: \$ Site: \$850,000, Bldg: \$1.3M

Type of Construction: Commercial - Restaurant (A2 - VB)

Project Name: McDonald's

Applicant's Name: Integrity Engineering & Development Services, Inc.

Mailing Address: 3615 Braselton Highway, Suite 201, Dacula, GA 30019

Phone #: 770-361-2892

Email: wynn@integrityeng.net

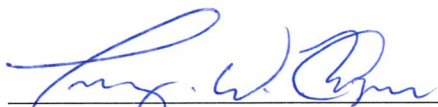
Owner's Name (If Different form Applicant): Publix Super Markets, Inc.

Mailing Address: P.O. Box 32018 Lakeland, FL 33802-2018

Phone #: 863-619-4285

Email: jamie.hall@publix.com

I hereby acknowledge that the above information is true and correct.


Applicant's Signature

7/28/2025
Date

Owner's Signature (If Different form Applicant)

Date

Please see page 2 for required submittal checklist

City of Port Wentworth
 7224 Highway 21 ▪ Port Wentworth ▪ Georgia ▪ 31407 ▪ 912-999-2084

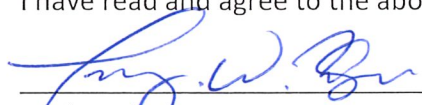
Site Plan Review Application Submittal Checklist


Documentation below is required for a complete submittal.

- Signed and Completed Application
- 3 Full size sets of site plan civil drawings or concept plan (depending on type of site plan)
- 3 half size (11" X 17") sets of site plan civil drawings or concept plan (depending on type of site plan)
- N/A 2 copies of hydrology reports (if applicable)
- Names, mailing address, and PIN number of all property owners within 250 feet of all property lines
- 1 8 ½" X 11" of site plan civil drawings or concept plan (depending on type of site plan)
- PDF of entire submittal on a flash drive or download link ONLY (NO CD'S)
- Other Engineering details or reports may be required once submittal has been received.
- If property owner and applicant are not the same, Authorization of Property Owner form.
- Site plan review fee check (*Please refer to the "Business User Fee Schedule" for the current year.*)
 - Concept / General - Site Plan Fee + Admin Fee = Total
 - Specific - Site Plan Fee + Admin Fee = Total

Additional Fee Statement: If engineer review cost to the City exceeds the site plan review fee that is paid at the time of initial application submittal, you may be required to pay additional review cost.

I have read and agree to the above additional fee statement


 Applicant's Signature


 Date

Adjoining Property Owners Within 250 Feet

Adjoining Property Owner's Name and Address	Property Owner's Tenant's Name and Address	PIN
Board of Education 208 Bull Street Savannah, GA 31401	Rice Creek School 100 Mulberry Ave Port Wentworth, GA 31407	70906 04026
Publix Super Markets Inc. P.O. Box 32018 Lakeland, FL 33802-2018	GNC 7934 GA-21, Suite 400 Port Wentworth, GA 31407	70906 04025
Publix Super Markets Inc. P.O. Box 32018 Lakeland, FL 33802-2018	Great Clips 7934 GA-21, Suite 100 Port Wentworth, GA 31407	70906 04025
Publix Super Markets Inc. P.O. Box 32018 Lakeland, FL 33802-2018	Hanami Japanese Cuisine 7934 GA-21, Suite 300 Port Wentworth, GA 31407	70906 04025
Publix Super Markets Inc. P.O. Box 32018 Lakeland, FL 33802-2018	Marco's Pizza 7936 GA-21, Suite 200 Port Wentworth, GA 31407	70906 04025
Publix Super Markets Inc. P.O. Box 32018 Lakeland, FL 33802-2018	Delight Nail Salon 7938 GA-21, Suite 100 Port Wentworth, GA 31407	70906 04025
Publix Super Markets Inc. P.O. Box 32018 Lakeland, FL 33802-2018	Publix Super Market 7936 GA-21 Port Wentworth, GA 31407	70906 04025
Publix Super Markets Inc. P.O. Box 32018 Lakeland, FL 33802-2018	Rice Hope Liquors 7938 GA-21, Suite 500 Port Wentworth, GA 31407	70906 04025
Publix Super Markets Inc. P.O. Box 32018 Lakeland, FL 33802-2018	T-Mobile 7938 GA-21, Suite 400 Port Wentworth, GA 31407	70906 04025
W4 Properties Port Wentworth, LLC P.O. Box 42 Bogart, GA 30622	Tidal Wave Auto Spa Car Wash 34 Tidal Wave Court Port Wentworth, GA 31407	70906 01035

NO.	DATE:	DESCRIPTION	SUBMIT FOR PERMITS
1	08-22-25		
2			
3			
4			



McDonald's USA, L.L.C.
110 North Carpenter Street, Chicago, IL 06607

These drawings and specifications are the confidential and proprietary property of McDonald's USA, L.L.C. and are not to be used, copied, or reproduced in any form without the prior written consent of McDonald's USA, L.L.C. The contractor shall be responsible for obtaining all necessary permits and approvals from the appropriate authorities. The contractor shall verify the invert elevations of all existing storm and sanitary sewer structures prior to commencement of storm and sanitary sewer construction. The contractor shall notify the engineer and owner/developer of any information found in the field that is different from what is shown on these design plans.

McDonald's
7936 GA-21
PORT WENTWORTH, GA 31407
TAX PARCEL # 70906 04088
PORT WENTWORTH, CHATHAM COUNTY
ZONED: C-2

MCD STATE SITE CODE:
10-1561

IEDS PROJECT NUMBER:
MCD-24176

SHEET TITLE:
SITE PLAN

SHEET NUMBER
C-4.0

SITE PLAN LEGEND

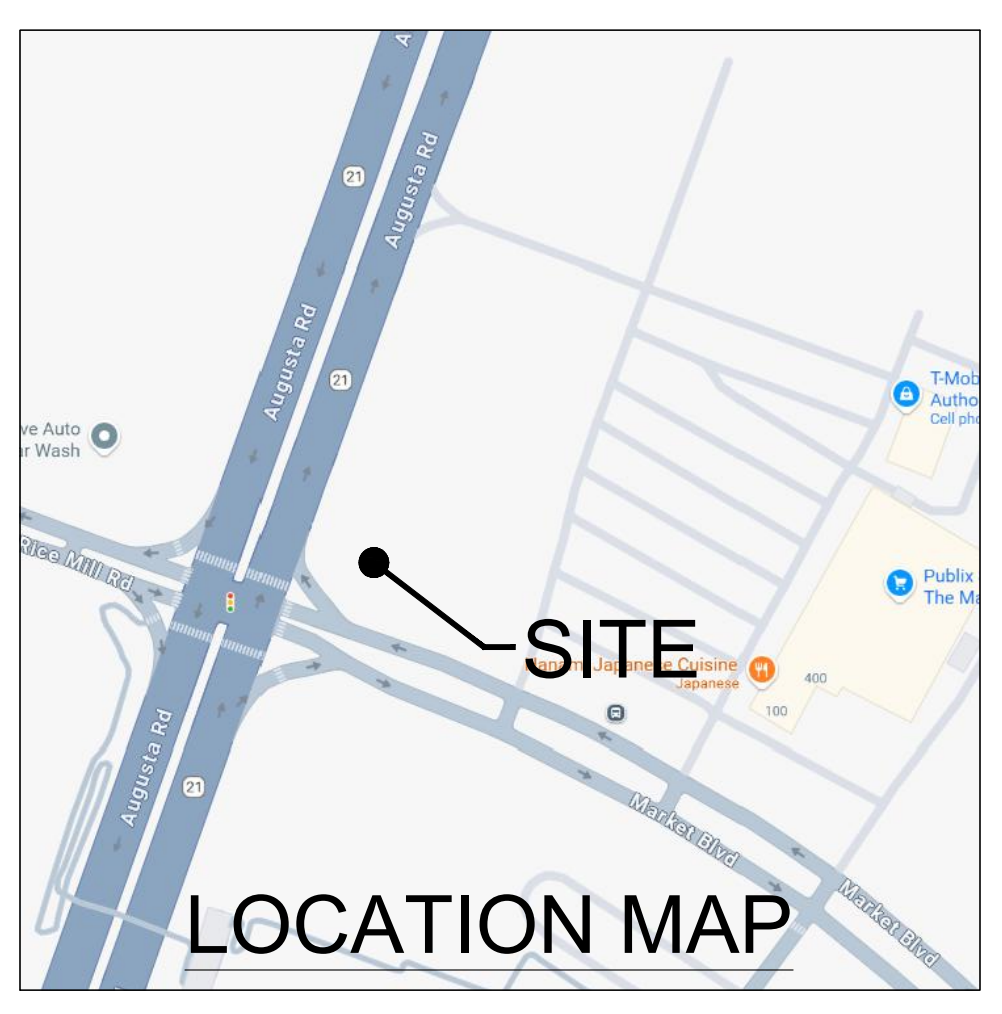
- NOTE: NOT ALL ITEMS IN LEGEND MAY BE INCLUDED ON PLANS
- S-1 DIGITAL MENU BOARD (REFER TO STRUCTURAL PLANS FOR FOUNDATION DETAILS)
 - S-2 SPRING BOARD CANOPY (REFER TO STRUCTURAL PLANS FOR FOUNDATION DETAILS)
 - S-3 DIGITAL PRESALE BOARD
 - S-4 MUTCD SIGN R7-8 - HANDICAP PARKING
 - S-5 MUTCD SIGN R7-8 & R7-8a - ADA VAN ACCESSIBLE HANDICAP PARKING. NOTE: BECAUSE THE ACCESSIBLE SPACES ARE AT AN ANGLE, THE ACCESSIBLE VAN SPACE SHOULD HAVE THE ACCESS AISLE ON THE PASSENGER SIDE.
 - S-6 "WELCOME" SIGN (REFER TO STRUCTURAL PLANS FOR FOUNDATION DETAILS)
 - S-7 "THANK YOU" SIGN (REFER TO STRUCTURAL PLANS FOR FOUNDATION DETAILS)
 - S-8 DOUBLE GATEWAY SIGN (REFER TO STRUCTURAL PLANS FOR FOUNDATION DETAILS)
 - S-9 DO NOT ENTER SIGN
 - S-10 FLAG POLE
 - S-11 OOSP SIGNAGE
 - S-12 MOBILE ORDER SIGN
 - S-13 PROPOSED MONUMENT SIGN (PERMITTED BY OTHERS)
 - S-14 "CAUTION PEDESTRIAN CROSSING" SIGN
 - S-15 STOP SIGN
 - S-16 DELIVERY COURIER PARKING SIGN

- STRIPING LEGEND**
- A-1 ADA ACCESSIBLE STALL WITH WHITE SYMBOL PER ADA REQUIREMENTS (REFER TO ADA ACCESSIBILITY PLAN FOR DETAILS)
 - A-2 HANDICAP ACCESSIBLE AISLE-4" WHITE STRIPES @ 45°, 2' O.C.
 - A-3 5' WIDE PEDESTRIAN ACCESS AISLE WITH 8" WHITE STRIPES (REFER TO ADA ACCESSIBILITY PLAN FOR DETAILS)
 - A-4 4" WHITE PARKING STRIPE OR STRIPED AREA - 4" WHITE STRIPES (TYP)
 - A-5 6" YELLOW DRIVE-THRU STRIPE PAINTED ON ASPHALT FROM EDGE OF CONCRETE
 - A-6 6" YELLOW STOP BAR
 - A-7 4" YELLOW OOSP STRIPING
 - A-8 "DRIVE THRU" W/ YELLOW DIRECTIONAL ARROW PAVEMENT MARKING
 - A-9 "THANK YOU" PAVEMENT MARKING
 - A-10 PARKING LOT ARROWS @ 40° - 60° (52" IDEAL) (REFER TO SITE DETAILS SHEET FOR DETAILS)
 - A-11 INGRESS / EGRESS ARROWS (REFER TO SITE DETAILS SHEET FOR DETAILS)
 - A-12 24" STOP BAR
 - A-13 MOBILE ORDER PAVEMENT MARKING
 - A-14 DOUBLE YELLOW LINE
 - A-15 MERGE POINT STRIPING (REFER TO DRIVE THRU DETAILS SHEET FOR PLACEMENT DETAILS)

- STANDARD CURB, GUTTER, SIDEWALK AND PAVING ON SITE**
- P-1 CONCRETE PAVING (REFER TO SOILS REPORT SPECIFICATIONS AND RECOMMENDATIONS)
 - P-2 CONCRETE DUMPSTER PAD (REFER TO STRUCTURAL PLANS AND SOILS REPORT SPECIFICATIONS AND RECOMMENDATIONS)
 - P-3 PAVER SIDEWALK (REFER TO SITE DETAILS SHEET FOR DETAILS)
 - P-4 24" CURB & GUTTER (REFER TO SITE DETAILS SHEET FOR DETAILS)
 - P-5 6" STANDING CURB
 - P-6 N/A
 - P-7 CONCRETE SIDEWALK (REFER TO SITE DETAILS SHEET FOR DETAILS)
 - P-8 CONCRETE TRASH APRON (REFER TO TRASH CORRAL DETAILS SHEET AND SOILS REPORT SPECIFICATIONS AND RECOMMENDATIONS)
 - P-9 ASPHALT PAVING (REFER TO SOILS REPORT SPECIFICATIONS AND RECOMMENDATIONS)
 - P-10 5" OPTIONAL CONCRETE DRIP APRON (REFER TO SOILS REPORT SPECIFICATIONS AND RECOMMENDATIONS)
 - P-11 OPTIONAL CONCRETE DELIVERY TRUCK APRON (REFER TO SOILS REPORT SPECIFICATIONS AND RECOMMENDATIONS)
 - P-12 DELIVERY RAMP
 - P-13 DETECTOR LOOP (REFER TO DRIVE THRU DETAILS SHEET FOR DETAILS)
 - P-14 6" BOLLARD (REFER TO SITE DETAILS SHEET FOR DETAILS)
 - P-15 CONCRETE TRANSFORMER PAD (COORDINATE EXACT SIZE AND EXACT LOCATION REQUIREMENTS WITH LOCAL POWER SERVICE PROVIDER)
 - P-16 TRELLIS OVERHANG (REFER TO ARCHITECTURAL PLANS FOR DETAILS)
 - P-17 6" GUARD RAIL (REFER TO ADA DETAILS SHEET FOR DETAILS)
 - P-18 N/A
 - P-19 N/A
 - P-20 TYPE III HVC RAMP (REFER TO ADA DETAILS SHEET FOR DETAILS)
 - P-21 EXTENTS OF CURB & GUTTER AND/OR ASPHALT PAVING. TIE TO EXISTING AT THIS POINT.
 - P-22 TRANSITION FROM ASPHALT TO CONCRETE (SEE SITE DETAILS SHEET FOR DETAILS)
 - P-23 DUMPSTER ENCLOSURE (REFER TO STRUCTURAL PLANS FOR DETAILS) EXTERIOR FINISH TO MATCH BUILDING.
 - P-24 STORAGE SHED (REFER TO STRUCTURAL PLANS FOR DETAILS) EXTERIOR FINISH TO MATCH DUMPSTER ENCLOSURE / BUILDING.
 - P-25 CONCRETE DRAINAGE FLUME (SEE SITE DETAILS SHEET FOR DETAILS)
 - P-26 N/A
 - P-27 PROTECT ALL OFF-SITE PAVING/CURBING (TO REMAIN) FROM CHIPPING OR BREAKING DURING ALL CONSTRUCTION. PATCH & REPAIR EXISTING ITEMS DAMAGED DURING CONSTRUCTION AT NO COST TO THE OWNER.
 - P-28 PROTECT EXISTING UTILITIES TO REMAIN - TYPICAL G.C. TO CONTACT ALL APPLICABLE UTILITY COMPANIES TO ENSURE THE UTILITIES ARE PROPERLY SHUT-DOWN PRIOR TO THE START OF ANY SITE AND/OR DEMOLITION WORK.
 - P-29 REFER TO DRIVE THRU LAYOUT SHEET FOR STAKING INFORMATION AND DIMENSIONS.
 - P-30 N/A

PLAN APPROVAL

SIGNATURE (2 REQUIRED)	DATE
REGIONAL MANAGER	
REGIONAL DEV. DIRECTOR	
REGIONAL CONSTRUCTION MGR.	
REGIONAL REAL ESTATE MGR.	
AREA CONSTRUCTION MGR.	CO-SIGN SIGNATURES
CONTRACTOR	



PROJECT NOTES:

OWNER:
PUBLIX SUPER MARKETS, INC.
PO BOX 407
LAKELAND, FL 33802-0407
PHONE: 800-242-1227
CONTACT: CUSTOMER CARE

ENGINEER:
INTEGRITY ENGINEERING & DEVELOPMENT SERVICES, INC.
CERTIFICATE OF AUTHORIZATION # PE000569
3615 BRASELTON HIGHWAY, SUITE 201
DACULA, GEORGIA 30019
PHONE: (678) 546-0446
CONTACT: HENG YI LIANG
E-MAIL ADDRESS: GARY@INTEGRITYENG.NET

PROPERTY LOCATED IN PORT WENTWORTH, CHATHAM COUNTY, GA PARCEL NO. 70906 04023

ZONING: C-2

BUILDING SETBACKS:
FRONT- 10'
SIDE- 5'
REAR- 5'

PROPOSED USE IS MCDONALD'S RESTAURANT.

PROPOSED BUILDING HEIGHT 18'-9 1/2".

TOTAL TRACT CONTAINS 1.35 ACRES/DISTURBED AREA= 1.26 ACRES ±.

BOUNDARY INFORMATION OBTAINED FROM SURVEY BY ATWELL

TOPOGRAPHICAL INFORMATION OBTAINED FROM SURVEY BY ATWELL

VERTICAL DATUM FOR TOPOGRAPHY IS MEAN SEA LEVEL BASED ON NAVD88.

CONTOUR INTERVAL IS ONE (1) FEET.

THIS PROPERTY IS SHOWN ON F.I.R.M. PANEL NUMBER 13051C0030G, DATED 8/16/2018 AND IS NOT LOCATED WITHIN A SPECIAL FLOOD HAZARD ZONE.

THE LOCATION OF UNDERGROUND UTILITIES SHOWN IS APPROXIMATE BASED ON SURFACE FIELD EVIDENCE AND INFORMATION SUPPLIED BY UTILITY AGENCIES. THE SURVEY MAKES NO CERTIFICATION AS TO THE COMPLETENESS OF THE LOCATIONS SHOWN HERON. APPROPRIATE UTILITY COMPANIES SHOULD BE CONTACTED FOR VERIFICATION OF LOCATIONS PRIOR TO ANY CONSTRUCTION ACTIVITY.

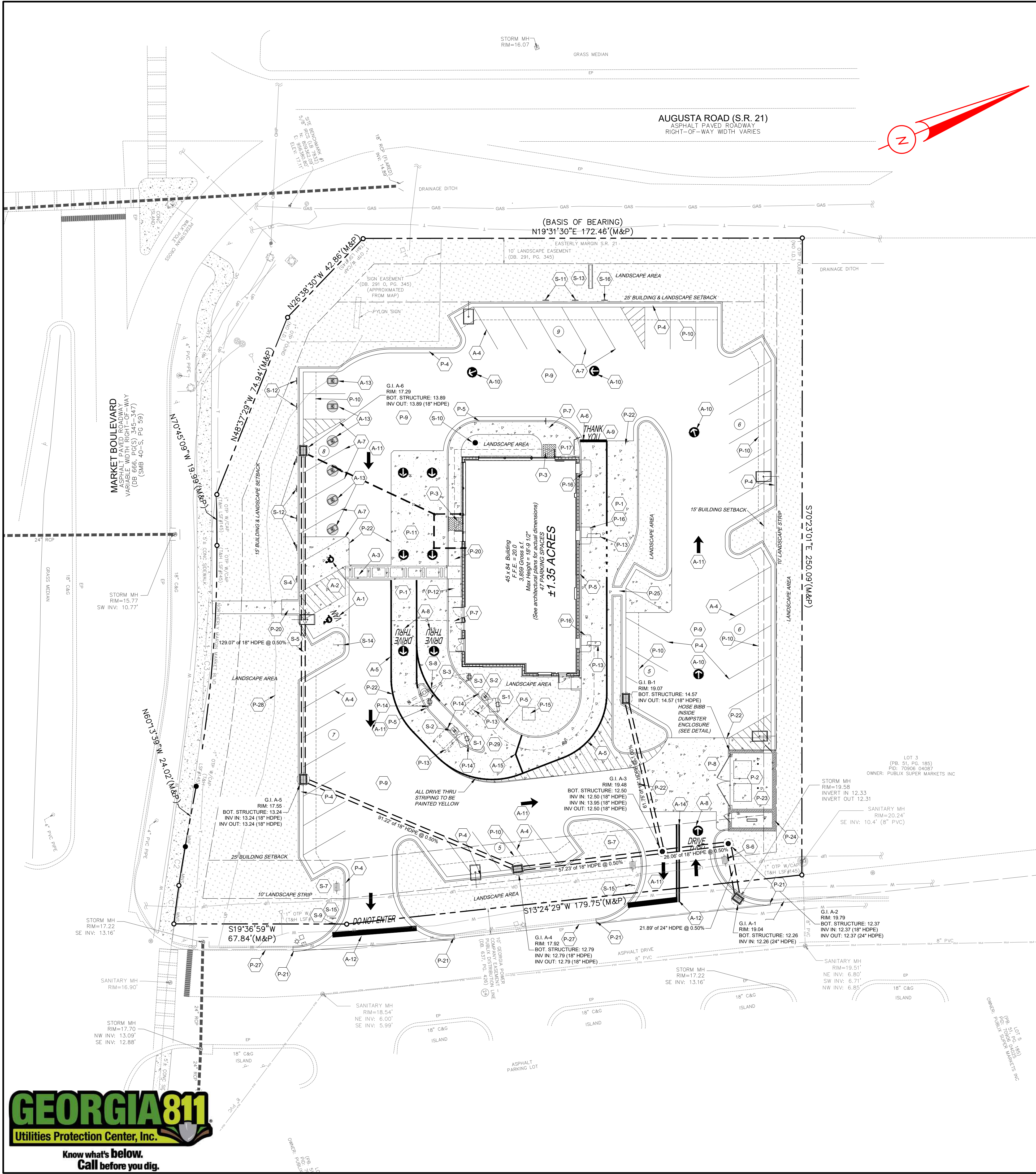
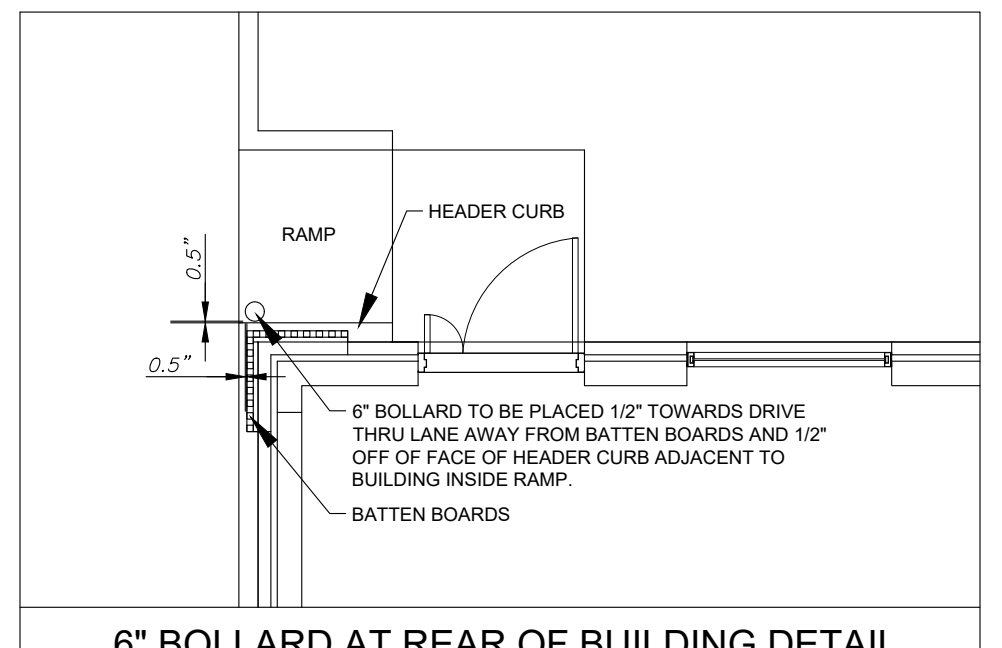
THE CONTRACTOR SHALL VERIFY THE INVERT ELEVATIONS OF ALL EXISTING STORM AND SANITARY SEWER STRUCTURES PRIOR TO COMMENCEMENT OF STORM AND SANITARY SEWER CONSTRUCTION.

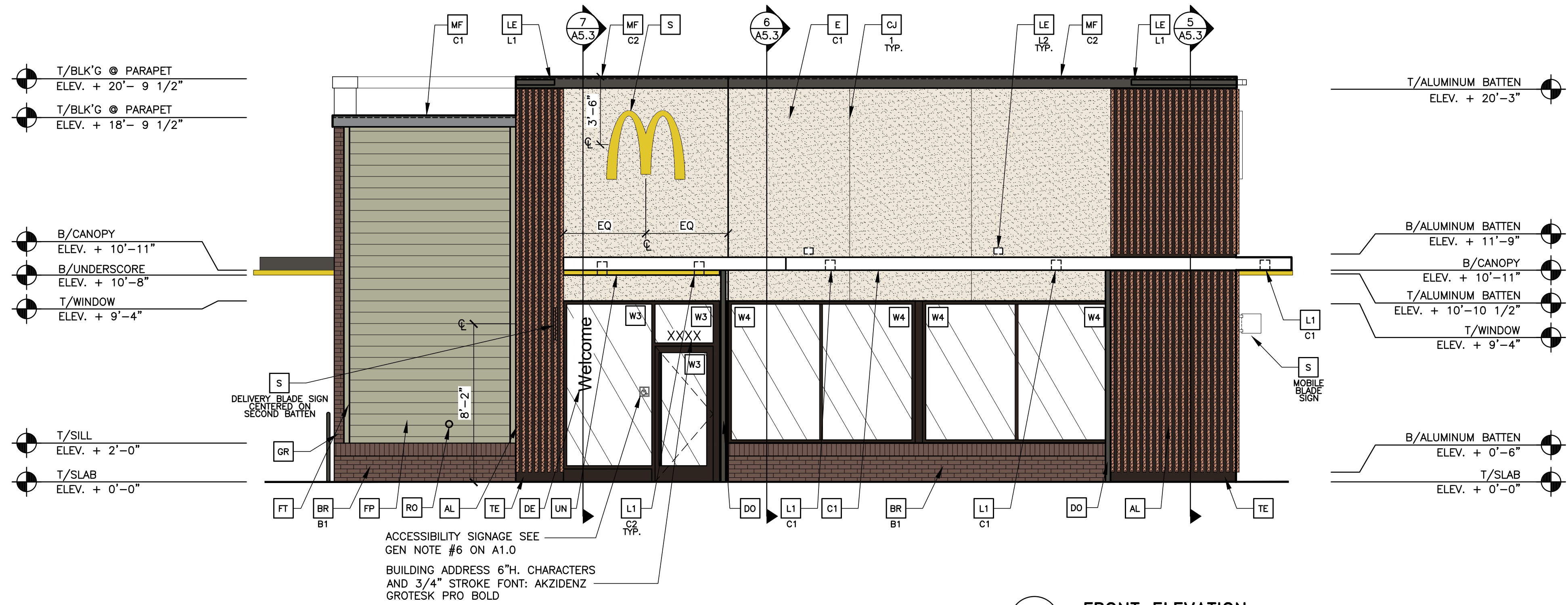
CONTRACTOR SHALL NOTIFY THE ENGINEER AND OWNER/DEVELOPER OF ANY INFORMATION FOUND IN THE FIELD THAT IS DIFFERENT FROM WHAT IS SHOWN ON THESE DESIGN PLANS.

PARKING DATA

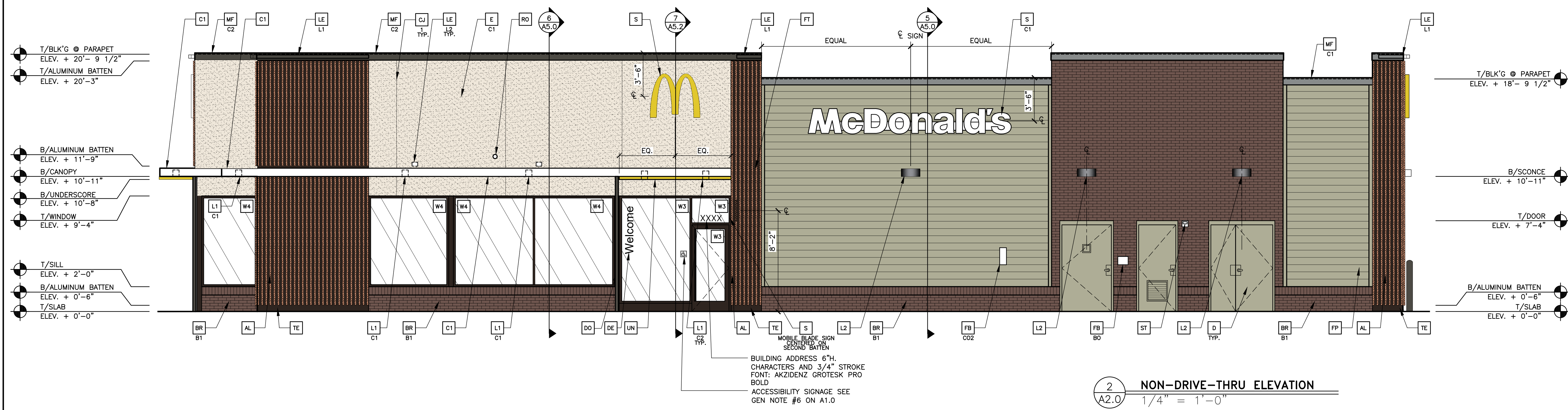
REQUIREMENTS	REQUIRED	PROVIDED
MINIMUM PARKING REQUIRED	1 SPACE PER 75 S.F. OF USABLE AREA	46 SPACES
MAX PARKING REQUIRED	3,248 / 75 = 43 SPACES	N/A

REFER TO GEOTECHNICAL REPORT FOR PAVING SPECIFICATIONS





1 FRONT ELEVATION
A2.0 1/4" = 1'-0"



2 NON-DRIVE-THRU ELEVATION
A2.0 1/4" = 1'-0"

- KEY NOTES:**
- AL ALUMINUM BATTEN SYSTEM
SIZE: 2"x2" PROFILE
COLOR: WOOD GRAIN, BACKRAIL UNFINISHED, ENDCAP PAINTED TO MATCH SUBSTRATE; 1/2" EXTERIOR HIGH DENSITY OVERLAY (HDO) PLYWOOD, BB, GROUP 1, HDO BOTH FACES, APA TRADEMARKED.
COURSE GRIT SAND SURFACES PRIOR TO PRIMING. PRIME AND PAINT BOTH SIDES AND ALL EDGES PRIOR TO INSTALLATION.
SUBSTRATE COLOR: "IRON ORE" SW 7069 BY SHERWIN WILLIAMS
 - BR MODULAR FACE BRICK
B1 - COLOR: "DAKOTA COMMON" SMOOTH BY HEBRON BRICK COMPANY
 - C1 ALUMINUM CANOPY SYSTEM
COLOR: WHITE
 - C2 ALUMINUM CANOPY SYSTEM
COLOR: RAL 7022
 - CJ CONTROL JOINT
1 - TYPE: 1 = EIFS
 - D HOLLOW METAL DOOR
PAINT: PAINT: 1029-4 PHOTO GRAY BY PPG
 - DE DECAL BY GRAPHICS SUPPLIER
SURFACE APPLIED, FIELD INSTALLED, PRE CUT, PRE SPACED.
SUPPLIERS:
VOMELA (865) 330-7337, ann.bowen@vomela.com
GEX INTERNATIONAL (847) 543-4600, mcdonaldsdecor@gfci.com
 - DO DOWNSPOUT
3" DOWNSPOUT BY CANOPY SYSTEM MANUFACTURER
COLOR: RAL 7022
COORDINATE WITH CIVIL TO TIE INTO STORM DRAINAGE
 - E EXTERIOR INSULATION FINISH SYSTEM (E.I.F.S.)
C1 - COLOR:
C1 = 14-23 EDELWEISS BY PPG
 - EJ EXPANSION JOINT, SEE DETAIL 7/A.4.1
 - FB FIBER CEMENT LAP SIDING: SMOOTH HARDI-BOARD PLANK BY JAMES HARDIE, 8-1/4" WIDTH, 7" EXPOSURE, HZ10
PAINT: 1029-4 PHOTO GRAY BY PPG
 - FT FIBER CEMENT TRIM: HARDIE TRIM BOARDS 4/4 SMOOTH,
3 1/2" WIDTH, 3/4" THICK, HZ10
PAINT: 1029-4 PHOTO GRAY BY PPG
 - GR GUARD RAIL - SEE SITE PLAN FOR EXACT LOCATION AND LENGTH
PAINT: "IRON ORE" SW 7069 BY SHERWIN WILLIAMS
 - L1 RECESSED DOWN LIGHT FIXTURE - SEE ELECTRICAL
C1 - COLOR:
C1 = WHITE
C2 = GOLD
 - L2 RADIAL SCIENCE LIGHT FIXTURE - SEE ELECTRICAL
COLOR: PLATINUM SILVER
 - LE ACCENT LIGHTING - SEE ELECTRICAL
L1 - LED LIGHT:
L1 = SUM LED (DOWN ONLY)
L2 = UP ONLY FLOOD FIXTURE
 - MF PRE-FAB ANCHOR-TITE METAL FASCIA
C1 - COLOR:
C1 = WEATHERED ZINC
C2 = RAL 7022
 - PB PIPE BOLLARD - USA 310-SD BASTION
PAINT RAL 7022
 - RO ROOF DRAIN OVERFLOW PIPE PAINT TO MATCH SURROUNDING MATERIAL
 - S McDONALD'S SIGNAGE BY OTHERS - UNDER SEPARATE PERMIT.
C1 - COLOR:
C1 = WEATHERED ZINC RACEWAY
C2 = RAL 7022 RACEWAY
 - ST CO2 STROBE/ALARM. SEE MECHANICAL DRAWINGS FOR SPECIFICATION.
 - TE TRU EXTERIOR 1"x6" TRIM, PAINTED ON SITE
COLOR: "IRON ORE" SW 7069 BY SHERWIN WILLIAMS
 - UN METAL UNDERSCORE
COLOR: GOLD
 - W4 EXTERIOR WINDOW ASSEMBLY - TEMPERED GLASS
COLOR: DARK BRONZE
SEE SHEET A6.0
 - W2 DRIVE-THRU WINDOW BY READY ACCESS
MODEL: 600 SERIES, 36" SERVICE HEIGHT WITH TRANSOM, MANUAL OPEN, ELECTRONIC RELEASE
COLOR: DEEP BRONZE
SLIDE DIRECTION: RL = RIGHT TO LEFT
LR = LEFT TO RIGHT

PUBLIX SCHEME

DATE	REV	DESCRIPTION
XX.XX.2025		
DATE	REV	DESCRIPTION
XX.XX.2025		
DATE	REV	DESCRIPTION
XX.XX.2025		

PREPARED BY: **AISI INFRASTRUCTURE**
70 MANSSELL CT, SUITE 200
ROSWELL, GEORGIA 30076
PHONE: (678) 395-4920

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McDonald's USA, LLC
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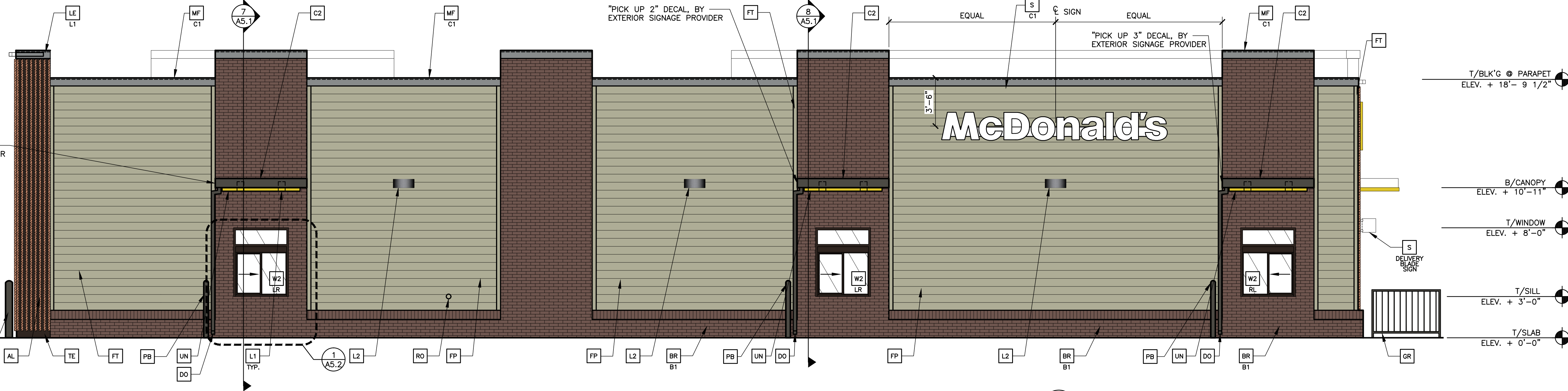
DRAWN BY: XX
STD. ISSUE DATE: 2025_06
REVIEWED BY: XX
DATE ISSUED: XX.XX.2025

TITLE: 2025 STANDARD BUILDING-BB20
4590 - MS
DESCRIPTION: MASONRY LOAD BEARING WALLS
STEEL JOIST ROOF FRAMING
E.I.F.S./BATTEN/LAP SIDING EXTERIOR FINISH
SITE ADDRESS: 10-1561 8000 GA-21 PORT WENTWORTH, GA 31407

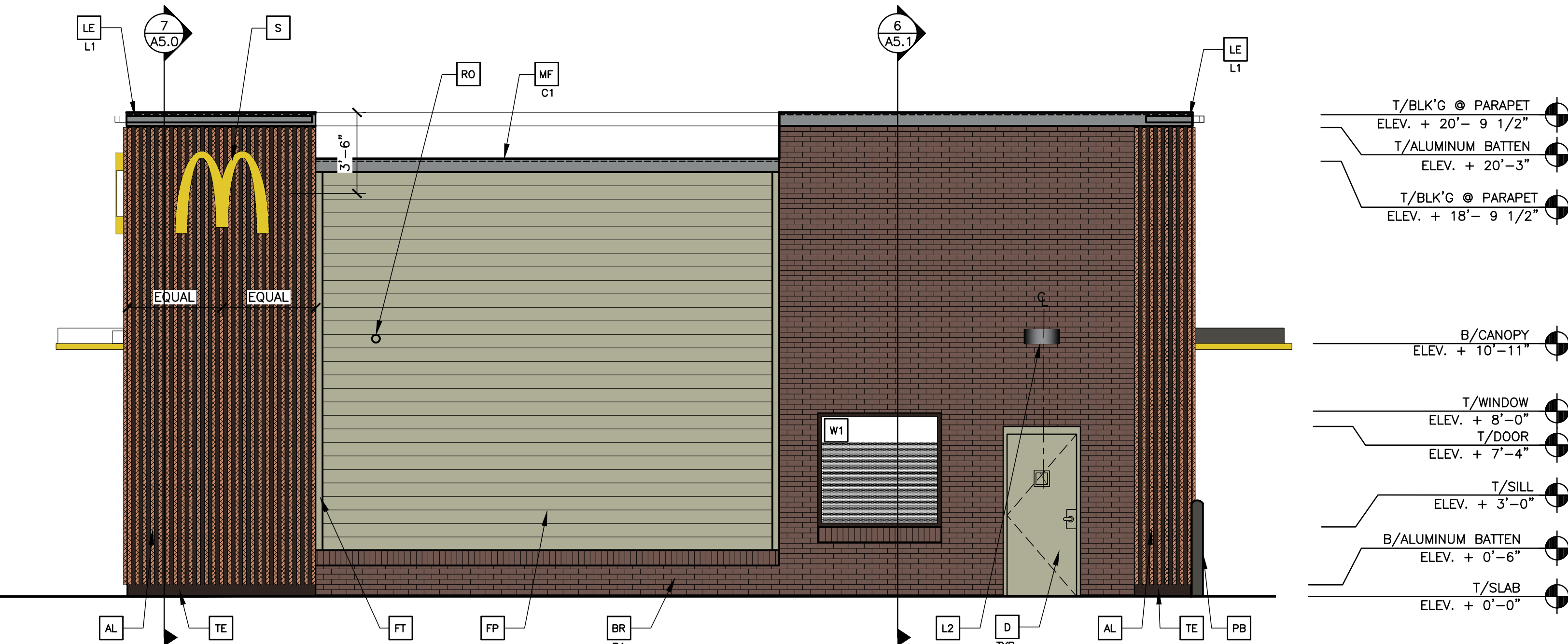
NSN#: **A2.0**
COLORED ELEVATIONS

KEY NOTES:

- AL ALUMINUM BATTEN SYSTEM
SIZE: 2"x2" PROFILE
COLOR: WOOD GRAIN, BACKRAIL UNFINISHED, ENDCAP PAINTED TO MATCH SUBSTRATE; 1/2" EXTERIOR HIGH DENSITY OVERLAY (HDO) PLYWOOD, BB, GROUP 1, HDO BOTH FACES, APA TRADEMARKED.
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SUBSTRATE COLOR: "IRON ORE" SW 7069 BY SHERWIN WILLIAMS
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MODEL: 600 SERIES, 36" SERVICE HEIGHT WITH TRANSOM, MANUAL OPEN; ELECTRONIC RELEASE
COLOR: DEEP BRONZE
SLIDE DIRECTION: RL = RIGHT TO LEFT
LR = LEFT TO RIGHT



1 DRIVE THRU ELEVATION
A2.1 1/4" = 1'-0"



2 REAR ELEVATION
A2.1 1/4" = 1'-0"

TITLE	2025 STANDARD BUILDING-BB20	NSN#:	A2.1
SHEET NO.	4590 - MS	COLOR	COLOR ELEVATIONS
DESCRIPTION	MASONRY LOAD BEARING WALLS STEEL JOIST ROOF FRAMING E.I.F.S./BATTEN/LAP SIDING EXTERIOR FINISH	DATE ISSUED	XX.XX.2025
SITE ID	10-1561	SITE ADDRESS	8000 GA-21 PORT WENTWORTH, GA 31407
DATE	XX.XX.2025	DATE	XX.XX.2025
REV		DATE	
DESCRIPTION		DATE	
BY		DATE	

PREPARED BY:
AXIS INFRASTRUCTURE
70 MANSELL CT, SUITE 200
ROSWELL, GEORGIA 30076
PHONE: (678) 395-4920

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McDonald's USA, LLC
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August 7th, 2025

City of Port Wentworth Planning & Zoning
7306 GA Highway 21, Suite 301
Port Wentworth, GA 31407

**RE: McDonald's Neighborhood/Community Meeting
GA-21
Port Wentworth, GA 31407**

Ms. Dunnigan,

The following is a summary of the Neighborhood/Community Meeting that was held from 6PM EST to 8PM EST at 2 Magnolia Blvd, Suite C, Port Wentworth, GA 31407. The purpose of this meeting was to gather community feedback regarding the proposed development of a McDonald's restaurant in front of the Publix shopping center located at 7936 GA Highway 21, Port Wentworth, GA 31407-9720.

The following individuals are located within 300' of the site and were notified two (2) weeks prior to the meeting:

Tidal Wave Auto Spa Car Wash

34 Tidal Wave Court, Port Wentworth, GA 31407
Owner: W4 PROPERTIES PORT WENTWORTH, LLC
P.O. BOX 42 BOGART GA 30622

Publix Super Market

7936 GA-21, Port Wentworth, GA 31407
Owner: PUBLIX SUPER MARKETS INC
PO BOX 32018 LAKELAND FL 33802-2018

Great Clips

7934 GA-21 Ste 100, Port Wentworth, GA 31407
Owner: PUBLIX SUPER MARKETS INC
PO BOX 32018 LAKELAND FL 33802-2018

T-Mobile

7938 GA-21 Suite 400, Port Wentworth, GA 31407
Owner: PUBLIX SUPER MARKETS INC
PO BOX 32018 LAKELAND FL 33802-2018

Hanami Japanese Cuisine

7934 GA-21, Suite 300, Port Wentworth, GA 31407
Owner: PUBLIX SUPER MARKETS INC
PO BOX 32018 LAKELAND FL 33802-2018

GNC

7934 GA-21, Suite 400, Port Wentworth, GA 31407
Owner: PUBLIX SUPER MARKETS INC
PO BOX 32018 LAKELAND FL 33802-2018

Marcos Pizza

7936 GA-21 Suite #200, Port Wentworth, GA 31407
Owner: PUBLIX SUPER MARKETS INC
PO BOX 32018 LAKELAND FL 33802-2018

Delight Nail Salon

7938 GA-21 #100, Port Wentworth, GA 31407
Owner: PUBLIX SUPER MARKETS INC
PO BOX 32018 LAKELAND FL 33802-2018

Rice Hope Liquors

7938 GA-21 #500, Port Wentworth, GA 31407
Owner: PUBLIX SUPER MARKETS INC
PO BOX 32018 LAKELAND FL 33802-2018

Rice Creek School

100 Mulberry Ave, Port Wentworth, GA 31407
Owner: Board of education
208 BULL STREET SAVANNAH, GA 31401

The following individuals attended the meeting:

- 1) Will Marshall (Integrity Engineering)
- 2) Branden Côté (Integrity Engineering)
- 3) Steve Davis (City)
- 4) Gabrielle Nelson (City)
- 5) David Stahl (City)
- 6) Katie Dunnigan (City)

No individuals were opposed to the development of the proposed McDonald's. The main item of discussion included the revision of the Hardie-board siding on the McDonald's building to brick in order to better match the Publix anchor building as required by Staff. The possibility of an indoor playplace was also discussed, in which Integrity Engineering stated would unfortunately not be feasible due to the location not meeting the thresholds of an indoor playplace building (location, sales, etc.).

Thank you,

William Marshall

Will Marshall
Project Engineer
Integrity Engineering & Development Services, Inc.
will@integrityeng.net
678-591-1353



City Council
7224 GA Highway 21
Port Wentworth, GA 31407

Meeting: 10/16/25
Department: Development Services
Category: Ordinance
Prepared By: Katie Dunnigan
Department Head: Katie Dunnigan

SCHEDULED

AGENDA ITEM (ID)

DOC ID:

The Planning Commission recommends the approval of a Zoning Map Amendment Application submitted by Phillip R. McCorkle as Agent for L-A Crossgate-Savannah, LLC, requesting to rezone 7.6 acres from R-3 to C-2, to allow for commercial development. PIN # 70005 01005, located in the 2nd Council District, on Bonnybridge Road.

•

PUBLIC HEARING

Issue/Item: A Zoning Map Amendment Application has been submitted by Phillip R. McCorkle as Agent for L-A Crossgate-Savannah, LLC, requesting to rezone 7.6 acres from R-3 to C-2, to allow for commercial development. PIN # 70005 01005, located in the 2nd Council District, on Bonnybridge Road.

- **PUBLIC HEARING**

Background:

- The applicant requests C-2 zoning for a commercial use yet to be determined.
- The C-2 zoning district is described in Section 4.20.B of the City of Port Wentworth Code of Ordinances, Zoning Ordinances as: *"intended for a range of retail, office, and service uses, such as large-scale retailers, restaurants, office buildings, professional services, and other related commercial uses serving local and regional markets. Sites may be closer to residential areas and, in some cases, are part of mixed-used development and typically have easy access to arterials or major roadways. Characteristics of uses and land in C-2 may include daytime and early evening operations, larger employers, outdoor sales areas, pedestrian-oriented design, generous landscaping and greenspace, and larger parking areas for higher volumes of customers and visitors".* Any future use would need to adhere to both the district intention as well as the Table 4.30.
- Neighboring properties to the north and east are within the R-3 zoning district, I-1 to the south. All adjacent properties are separated from the subject parcel by right of ways or rail lines.

Facts and Finding:

- The parcel borders Highway 21.
- A preliminary exhibit sketch shows 2 access points on Bonnybridge Road.
- The Future Land Use Map shows these parcels within the Industrial use category.
- Approval of this rezoning would cause a shift of approximately .08% of land use from R-3 to C-2.
- A Concept Site Plan will need to be evaluated by Staff and approved by Council once the use is known, additional processes may be needed for use approval.

Recommendations

- At the October 6, 2025 meeting, the Planning Commission voted to recommend approval of this item.

Funding: N/A

Recommendation:



APPLICATION TO AMEND THE ZONING MAP OF PORT WENTWORTH, GEORGIA

Applicant: Phillip R. McCorkle Phone # (912) 232-7416

Mailing Address: 319 Tattnall Street, Savannah, Georgia 31401

Property Owner: L-A Crossgate-Savannah, LLC Phone # (770) 828-2222

Use back if more than one owner

Owner Address: 5 Concourse Parkway, Suite 200, Atlanta, Georgia 30328

PIN #'s: 7-0005-01-005 # of Acres 7.614

Zoning Classification: Present R-3 Requested C-2

Use of Property: Present Vaccat Requested Truck Service Facility

If the requested change is to extend an existing adjacent zoning district to include this property, explain below why the proposed change should be made.

X If the requested change is not to extend an adjacent zoning district, explain below why this property should be placed in a different zoning district than all adjoining properties. (How does it differ from adjoining properties and why should it be subject to different restrictions than those applying to adjoining properties?)

The boundary to the north is Bonnybridge Road and the Property on the other side of the road is owned by the Railroad and is undeveloped wetlands; the Eastern boundary is Jimmy Deloach Parkway; the Southern boundary is Railroad right-of-way and the Property across the right-of-way is zoned industrial. The Western boundary is Highway 21. There are no residences within 300 feet. General Commercial is an appropriate use of the Property.

Attach the following documents:

- 1. Written legal description of the property (e.g. copy of deed) – full metes and bounds description rather than plat reference.
2. Name, PIN #, property address and mailing address of property owners within 300 feet of this property.
3. Plat showing property lines with lengths and bearings, adjoining streets, locations of existing buildings, north arrow and scale. Submit three (3) copies of in 11" x 17", one 1 copy in 8.5" x 11", and a PDF on a flash drive.
4. Site Plan of proposed use of property. Submit three (3) copies in 11" x 17", one 1 copy in 8.5" x 11", and a PDF on a flash drive.
5. Disclosure of Campaign Contributions and Gifts form.
6. Disclosure of Financial Interests form
7. If property owner and applicant are not the same, Authorization by Property Owner form or Authorizations of Attorney form.
8. Filing fee of Zoning Map Amendment Fee + per acre + Administrative Fee = Total, payable to the City of Port Wentworth. (Please refer to the Business User Fee Schedule for the current year)

APPLICATION MUST BE FILED 20 BUSINESS DAYS PRIOR TO THE PLANNING COMMISSION MEETING AT WHICH THEY ARE TO BE CONSIDERED.

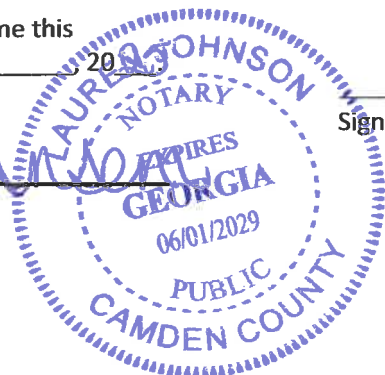
I hereby authorize the staff of the City of Port Wentworth to inspect the premises of the above described property and to post this property with the duly required notices. I hereby depose and say that all statements herein and attached statements submitted are true and correct to the best of my knowledge and belief.

Sworn to and subscribed before me this

25th day of August 2025

Signature of Notary Public

Notary Public



Signature of Applicant

Signature of Applicant

DISCLOSURE OF CAMPAIGN CONTRIBUTIONS
(Required by Title 36, Chapter 67A, Official Code of Georgia Annotated)

Reference: Application filed on _____, 20_____, to rezone real property described as follows:

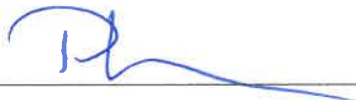
See Exhibit A attached hereto

Within the two years preceding the above filing date, the applicant has made campaign contributions aggregating \$250.00 or more to each member of the City Council of the City of Port Wentworth who will consider the application and is listed below. List (1) the name and official position of the local government official and (2) the dollar amount, description and date of each campaign contribution.


None

I hereby depose and say that all statements herein are true, correct and complete to the best of my knowledge and belief.

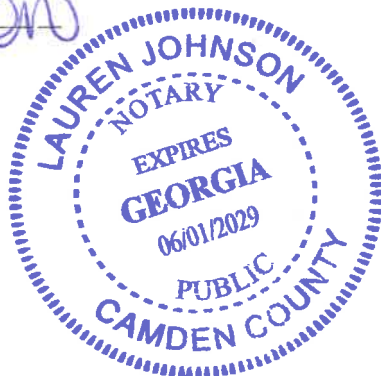
Sworn to and subscribed before me this
21st day of August, 2025.



Signature of Applicant



Notary Public



AUTHORIZATION OF PROPERTY OWNER

Application for Rezoning or Variance

I swear that I am the owner of the property which is the subject matter of the attached application, as is shown in the records of Port Wentworth, Georgia.

I authorize the person named below to act as applicant in the pursuit of a variance or for the rezoning of this property.

Name of Applicant: Phillip R. McCorkle

Address: 319 Tattnell Street, Savannah, Georgia 31401

Telephone Number: (912) 232-7416

L-A Savannah-Crossgate, LLC

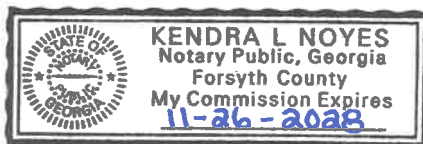
By: 
Signature of Owner

Personally appeared before me

who swears that the information contained in this authorization is true and correct to the best of his or her knowledge and belief.

Kendra L Noyes
Notary Public

1-30-2025
Date



Surrounding Property Owners

Southern Region Industrial Realty, Inc.

PINs: 70004 01029 and 70004 01028

Property Address: Highway 21 and Bonnybridge Road, Port Wentworth, Georgia 31407

Mailing Address: 650 W. Peachtree Street NW, Atlanta, Georgia 30308

1500 Crossgate LLC

PIN: 70035 01008

Property Address: 1500 Crossgate Road, Port Wentworth, Georgia 31407

Mailing Address: c/o Premier Leasing & Property Management, 49 Park of Commerce Way
#204, Savannah, Georgia 31405

Crescent Investments, Inc.

PIN: 70035 01002

Property Address: 6232 Highway 21, Port Wentworth, Georgia 31407

Mailing Address: 6232 Highway 21, Port Wentworth, Georgia 31407

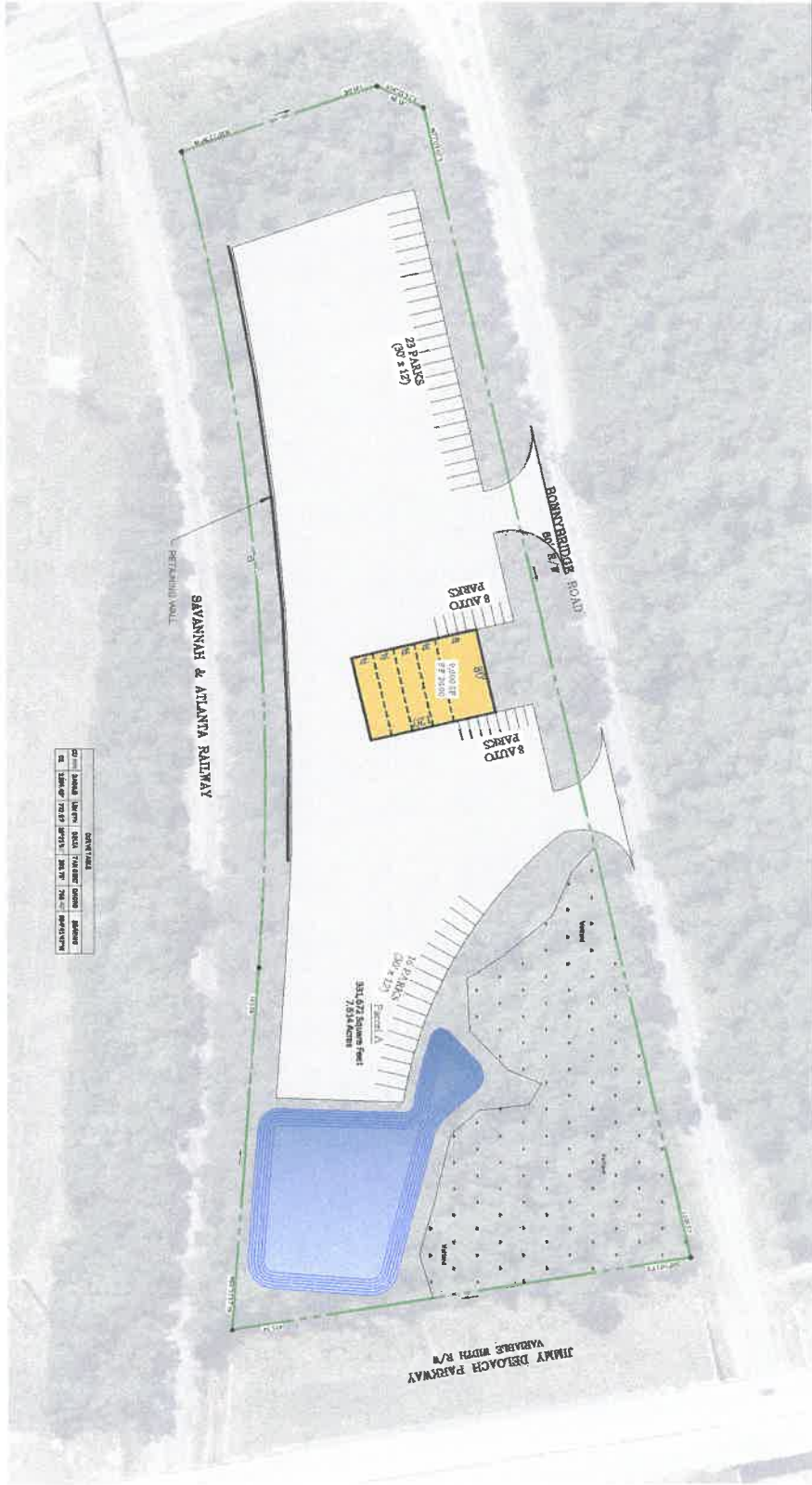
Exhibit A

**DESCRIPTION – WESTERN PORTION OF PARCEL A
BEING LANDS NOW OR FORMERLY OF SOUTHERN REGION INDUSTRIAL REALTY, INC.
7.614 ACRES**

A CERTAIN PARCEL OF LAND SITUATE, LYING AND BEING ON THE EAST SIDE OF GA HWY 21, BETWEEN BONNYBRIDGE ROAD AND CROSSGATE ROAD, AND BEING IN THE 8TH G.M. DISTRICT, CITY OF PORT WENTWORTH, CHATHAM COUNTY, GEORGIA, AND FURTHER DESCRIBED AS FOLLOWS:

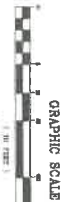
COMMENCING AND BEGINNING AT A POINT AT THE INTERSECTION OF THE SOUTHERLY RIGHT OF WAY LINE OF BONNYBRIDGE ROAD (80' PUBLIC R/W) AND THE EASTERLY RIGHT OF WAY LINE OF GA HWY 21 (PUBLIC R/W VARIES); THENCE N77°05'07"E A DISTANCE OF 1,108.57' TO A POINT; THENCE S08°56'13"E A DISTANCE OF 435.34' TO A POINT; THENCE N85°37'17"W A DISTANCE OF 343.06' TO A POINT; THENCE 772.07' ALONG THE ARC OF A CURVE TURNING TO THE LEFT, HAVING A RADIUS OF 2,284.43', A CHORD BEARING OF S84°41'47"W, AND A CHORD LENGTH OF 768.40' TO A POINT; THENCE N18°22'26"W A DISTANCE OF 193.08' TO A POINT; THENCE N24°21'51"E A DISTANCE OF 48.18' TO A POINT; WHICH IS THE POINT OF BEGINNING.

SAID PARCEL IS BOUND ON THE NORTH BY BONNYBRIDGE ROAD (80' PUBLIC R/W); ON THE EAST BY JIMMY DELOACH PARKWAY (PUBLIC R/W VARIES); ON THE SOUTH BY THE LANDS NOW OR FORMERLY OF SAVANNAH & ATLANTA RAILWAY; AND ON THE WEST BY GA HWY 21 (PUBLIC R/W VARIES) AND HAS AN AREA OF 331,672 SQUARE FEET, OR 7.614 ACRES.



DESCRIPTION	AREA	PERCENT
CONTRACTOR FACILITY	1,000,000	100%
8 AUTO PARKS	100,000	10%
16 AUTO PARKS	200,000	20%
381,672 Square Feet	7.614 ACRES	

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NOT FOR CONSTRUCTION
 PERMITTED FOR CONSTRUCTION

<p>PLANS OF CONTRACTOR FACILITY AT BONNYBRIDGE ROAD</p>	<p>Kern & Co., LLC Consulting Engineers • Land Surveyors • Land Planners Architects • Landscape Architects • Environmental Scientists 1000 Peachtree Street, N.E., Atlanta, Georgia 30309 Phone: 404.525.1000</p>	<p>DATE: 08/04/15</p>
		<p>PROJECT NO.: C1</p>