



CITY OF PORT WENTWORTH
PLANNING COMMISSION
NOVEMBER 12, 2024

Council Meeting Room

Regular Session

3:30 PM

7224 GA HIGHWAY 21
PORT WENTWORTH, GA 31407

1. CALL MEETING TO ORDER

2. PRAYER AND PLEDGE OF ALLEGIANCE

3. ROLL CALL - CLERK OF COUNCIL

4. APPROVAL OF AGENDA

5. ADOPTION OF MINUTES

6. NEW BUSINESS

- A. Peter Schoenauer as Agent for Shayanam, LLC requests the approval of a General Site Plan for "Hilton LivSmart & Hilton Tru". PIN# 7-0037-02-017 located on Hospitality Lane in the 3rd Council District, zoned C-2.
The submitted General Site Plan has been reviewed by Staff for compliance and conforms to the City of Port Wentworth Zoning Ordinances.
- B. Phillip McCorkle as Agent for Ronald Royal and SPH 21, LLC, requests the approval of a General Site Plan for "Port Wentworth Commerce Center". PINs# 7-0975-01-01024, 7-0975-01-028, 7-0906-01-001B located off Highway 21 in the 1st Council District, zoned I-1.
The submitted General Site Plan has been reviewed by Staff for compliance and conforms to the City of Port Wentworth Zoning Ordinances. Staff supports the petition for a modification to the required number of parking spaces.

7. RESOLUTIONS/ORDINANCES/PROCLAMATIONS

8. EXECUTIVE SESSION

9. ADJOURNMENT



Planning Commission
7224 GA Highway 21
Port Wentworth, GA 31407

Meeting: 11/12/24
Department: Development Services
Category: Ordinance
Prepared By: Katie Dunnigan
Department Head: Katie Dunnigan

SCHEDULED

AGENDA ITEM (ID)

DOC ID:

Peter Schoenauer as Agent for Shayanam, LLC requests the approval of a General Site Plan for "Hilton LivSmart & Hilton Tru". PIN# 7-0037-02-017 located on Hospitality Lane in the 3rd Council District, zoned C-2.

Issue/Item: Peter Schoenauer as Agent for Shayanam, LLC requests the approval of a General Site Plan for "Hilton LivSmart & Hilton Tru". PIN# 7-0037-02-017 located on Hospitality Lane in the 3rd Council District, zoned C-2.

Background: - The applicant proposes to develop two hotel buildings and associated site features.

- The property is within the C-2 zoning district, in which hotels are a permitted use.
- Adjacent property use to the north of the parcel is a Home2 Suites hotel.
- Pursuant to The Code of the City of Port Wentworth Georgia, Zoning Ordinances, Section 13.20: *"After review and recommendation by the Planning Commission, the City Council shall act upon all concept plans...required in Table 13.20."*

Facts and Finding: - A requisite community meeting was held for this project on July 23, 2024. No community input was received.

- Adjacent zoning to the north, east, and south of the proposed development is C-2, adjacent zoning to the east is R-4 (Newport subdivision).
- In addition to the required 35' buffer, the adjacent residential properties are separated from this project by a 245' GA Power easement and a 50' SGC gas line easement.
- The proposed hotels will have a combined total of approximately 227 guest rooms.
- 1.23 acres fronting Magellan Boulevard will be left undeveloped for future commercial use.

Funding: N/A

Recommendation: The submitted General Site Plan has been reviewed by Staff for compliance and conforms to the City of Port Wentworth Zoning Ordinances.



City of Port Wentworth
7224 Highway 21 • Port Wentworth • Georgia • 31407 • 912-999-2084

Site Plan Review Application

Site Plan Type (Check One): General / Concept Specific Development
Site Plan Address: 32 HOSPITALITY LANE
PIN #(s): 70037 02017
Zoning: C-2 Estimated Cost of Construction: \$ 12,000,000
Type of Construction: WOOD FRAME
Project Name: HILTON PROJECT 3, HILTON TRY

Applicant's Name: Peter Schoenauer
Mailing Address: 200 Plantation Chase
St. Simons Island, GA 31522
Phone #: 912 268 2164 Email: pote@tidewatereng.com

Owner's Name (if Different from Applicant): PSM 2021, LLC
Mailing Address: 4679 US Hwy 17
Richmond Hill, GA 31324
Phone #: 912 572-5328 Email: patel.jitan@gmail.com

I hereby acknowledge that the above information is true and correct.

Peter Schoenauer 7.25.24
Applicant's Signature Date
[Signature] 07/25/24
Owner's Signature (if Different from Applicant) Date

Please see page 2 for required submittal checklist

Site Plan Review Application Submittal Checklist

Documentation below is required for a complete submittal.

- Signed and Completed Application
- 3 Full size sets of site plan civil drawings or concept plan (depending on type of site plan)
- 3 half size (11" X 17") sets of site plan civil drawings or concept plan (depending on type of site plan)
- NA 2 copies of hydrology reports (if applicable)
- Names, mailing address, and PIN number of all property owners within 250 feet of all property lines
- 1 8 1/2" X 11" of site plan civil drawings or concept plan (depending on type of site plan)
- PDF of entire submittal on a flash drive or download link ONLY (NO CD'S)
- Other Engineering details or reports may be required once submittal has been received.
- If property owner and applicant are not the same, Authorization of Property Owner form.
- Site plan review fee check (*Please refer to the "Business User Fee Schedule" for the current year.*)
 - Concept / General - Site Plan Fee + Admin Fee = Total
 - Specific - Site Plan Fee + Admin Fee = Total

Additional Fee Statement: If engineer review cost to the City exceeds the site plan review fee that is paid at the time of initial application submittal, you may be required to pay additional review cost.

I have read and agree to the above additional fee statement

Pet Schum
Applicant's Signature

7-25-24
Date

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Richmond Hill, GA 31324
Phone #: 912 572-5328 Email: patel.jitan@gmail.com

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Applicant's Signature Date
[Signature] 07/25/24
Owner's Signature (if Different from Applicant) Date

Please see page 2 for required submittal checklist

1311 EUCLID LLC
1128 24TH ST
SANTA MONICA, CA 90403

3681 FIFTH AVENUE LLC & 3687 FIFTH /
1018 GUILDFORD CT
ENCINITAS, CA 92024

53 BEARING CIRCLE LLC
P O BOX 15516
SAVANNAH, GA 31416

AVALON COVE INVESTMENTS LLC
120 COMMERCE CT
POOLER, GA 31322

BARRETT SCOTT J
418 LIONS DEN DR
POOLER, GA 31322

BEARING 59 LLC
515 LEE BLVD
SAVANNAH, GA 31405

BHATT KETAN H
44 CORDAGE CIRCLE
PORT WENTWORTH, GA 31407

BIGHAM & OWENS KENNETH & SHANTE
37 CORDAGE CIR
PT WENTWORTH, GA 31407

BRIGHTON BLUFF INVESTMENTS LLC
120 COMMERCE CT
POOLER, GA 31322

CAPERS SHANTEEN
3 HALYARD DR
PT WENTWORTH, GA 31407

CAPITAL AVENUE INVESTMENTS LLC
120 COMMERCE CT
POOLER, GA 31322

COASTAL CLUB PORT WENTWORTH, LI
1031 WEST MORSE BLVD
STE 240
WINTER PARK, FL 32789

COLLINS FREDDIE L II
47 CORDAGE CIR
PORT WENTWORTH, GA 31407

CONNER CHARLES H SR
130 JIM WATERS RD
STATESBORO, GA 30458

CONYERS SHEILA WILCOX
59 D BEARING CIR
PORT WENTWORTH, GA 31407

COOK TIFFANY R
91 BEARING CIR
PT WENTWORTH, GA 31407

COVE AT NEWPORT CONDOMINIUM, AS
7160 HODGSON MEMORIAL DR.
STE 101
SAVANNAH, GA 31406

COVE AT NEWPORT CONDOMINIUM, AS
7160 HODGSON MEMORIAL DR
STE 101
SAVANNAH, GA 31406

COVE AT NEWPORT TOWNHOME ASSC
100 COMMERCE CT
POOLER, GA 31322

CRAMER JEFFREY WALLIS
55 BEARING CIRCLE
PORT WENTWORTH, GA 31407

CUMMINGS ALICIA
93 BEARING CIRCLE
PORT WENTWORTH, GA 31407

DAO CUONG C
210 FISH HAWK LN
SAVANNAH, GA 31410

DAVIS NORMAN E JR & EVELYN*
139 COBBLETON DR
RINCON, GA 31326

DEMPSEY DYNESHA D
52 BEARING CIRCLE
PORT WENTWORTH, GA 31407

DERRINGER HOLLY C
4 HALYARD DR
PORT WENTWORTH, GA 31407

DILLARD PARK INVESTMENTS LLC
120 COMMERCE CT
POOLER, GA 31322

DOUBLE REVERSE, LLC
250 N. ORANGE AVENUE
SUITE 1500
ORLANDO, FL 32801

EDEN LAKE INVESTMENTS LLC
120 COMMERCE CT
POOLER, GA 31322

ELLIOTT BRENDAN
23 DEERWOOD RD
SAVANNAH, GA 31410

FIGARO ASNEL
45 CORDAGE CIRCLE
PORT WENTWORTH, GA 31407

FISHER ISLE INVESTMENTS LLC
120 COMMERCE CT
POOLER, GA 31322

FLOWERS DETROIT, SALIM ZUENA MOH
95 BEARING CIRCLE
PORT WENTWORTH, GA 31407

GARNETT RIDGE INVESTMENTS LLC
120 COMMERCE CT
POOLER, GA 31322

GIST JONATHAN
58 BEARING CIRCLE
PORT WENTWORTH, GA 31407

GORDON KAYLA
89 BEARING CIR
PORT WENTWORTH, GA 31407

GREAT AMERICAN RV STORAGE OF PC
2248 MERIDIAN BOULEVARD
SUITE H
MINDEN, NV 89423

HARDEE GROVE INVESTMENTS LLC
120 COMMERCE CT
POOLER, GA 31322

HARVEY AIKEN DISHON G
43 CORDAGE CIRCLE
PORT WENTWORTH, GA 31407

HARVEY HORACE & BRIAN T.
59 A BEARING CIRCLE
PORT WENTWORTH, GA 31407

HENKEL SASA
305 E 53RD STREET
SAVANNAH, GA 31405

HOGAN ELIZABETH J.
6 HALYARD DRIVE
PORT WENTWORTH, GA 31407

JOHN P MITCHELL, DUFFEY TEBREA
54 BEARING CIRCLE
PORT WENTWORTH, GA 31407

LANE ROLONIA
100 S EFFINGHAM PLANTATION DR
GUYTON, GA 31312

MCCOY TERRY & RUBY JANIE*
35 CORDAGE CIRCLE
PORT WENTWORTH, GA 31407

MOODY FARMS, LLC
256 TOPI TRAIL
HINESVILLE, GA 31313

MORGAN CHRISTOPHER D.
58 BEARING CIRCLE, UNIT D
PORT WENTWORTH, GA 31407

ONEAL KAREN
48 CORDAGE CIR
PORT WENTWORTH, GA 31407

PICKETT CHRISTOPHER A & ANGEL L*
46 CORDAGE CIRCLE
PT WENTWORTH, GA 31407

PINTILIE CALIN
606 LEMON DR
ARLINGTON, TX 76018

PRIESTER DAVID
1 HALYARD DR
PORT WENTWORTH, GA 31407

PSM2021, LLC
3758 US 17
RICHMOND HILL, GA 31324

PW HOTEL, LLC
117 POST HOUSE TRAIL
POOLER, GA 31322

RANGEL, III ERNEST
123 FOUR OAKS CT
RINCON, GA 31326

REALTY INVESTORS US LLC
105 HILLSIDE DR
RINCON, GA 31326

RNJ INVESTMENTS LLC
7640 ABERCORN ST
SAVANNAH, GA 31406

RNJ INVESTMENTS LLC
7640 ABERCORN STREET
SAVANNAH, GA 31406

RODAS DELFIA
2 BINNACLE LN
PORT WENTWORTH, GA 31407

SAMS MONICA G., SAMS GLENN D.*
33 CORDAGE CIRCLE
PORT WENTWORTH, GA 31407

SANCHEZ MARGARITA
PO BOX 4314
SAVANNAH, GA 31407

SHAYANAM, LLC
ATTN: HEMLATA PATEL, MANAGER
3758 US 17
RICHMOND HILL, GA 31324

SILVA CARLOS N., GAMEZ CASTILLO LI:
41 CORDAGE CIRCLE
PORT WENTWORTH, GA 31407

SOUTHERN WOOD COMPANY, LLC
118 PIPEMAKERS CIRCLE, SUITE 100
POOLER, GA 31322

SPENCER BEULAH
146 CROSSING CIR
RINCON, GA 31326

TAGLIA MATTHEW TOWERY, & WAARA P
1404 TUGALOO DRIVE
ATLANTA, GA 30319

VOISINE HOME RENTALS, LLC
275 N TOPI TRL
HINESVILLE, GA 31313

WILLIAMS, JR. MICHAEL A.
21 WYNDY COURT
POOLER, GA 31322



11/05/24

TIDEWATER ENGINEERING, INC.
200 PLANTATION CHASE
ST. SIMONS ISLAND, GEORGIA 31522
PHONE: (912) 268-2164 email: info@tidewatereng.com

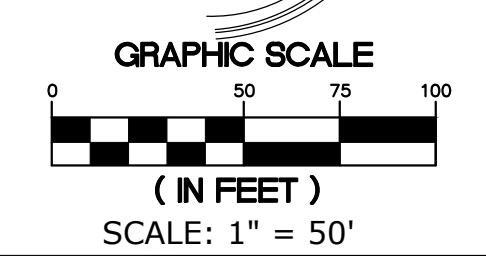
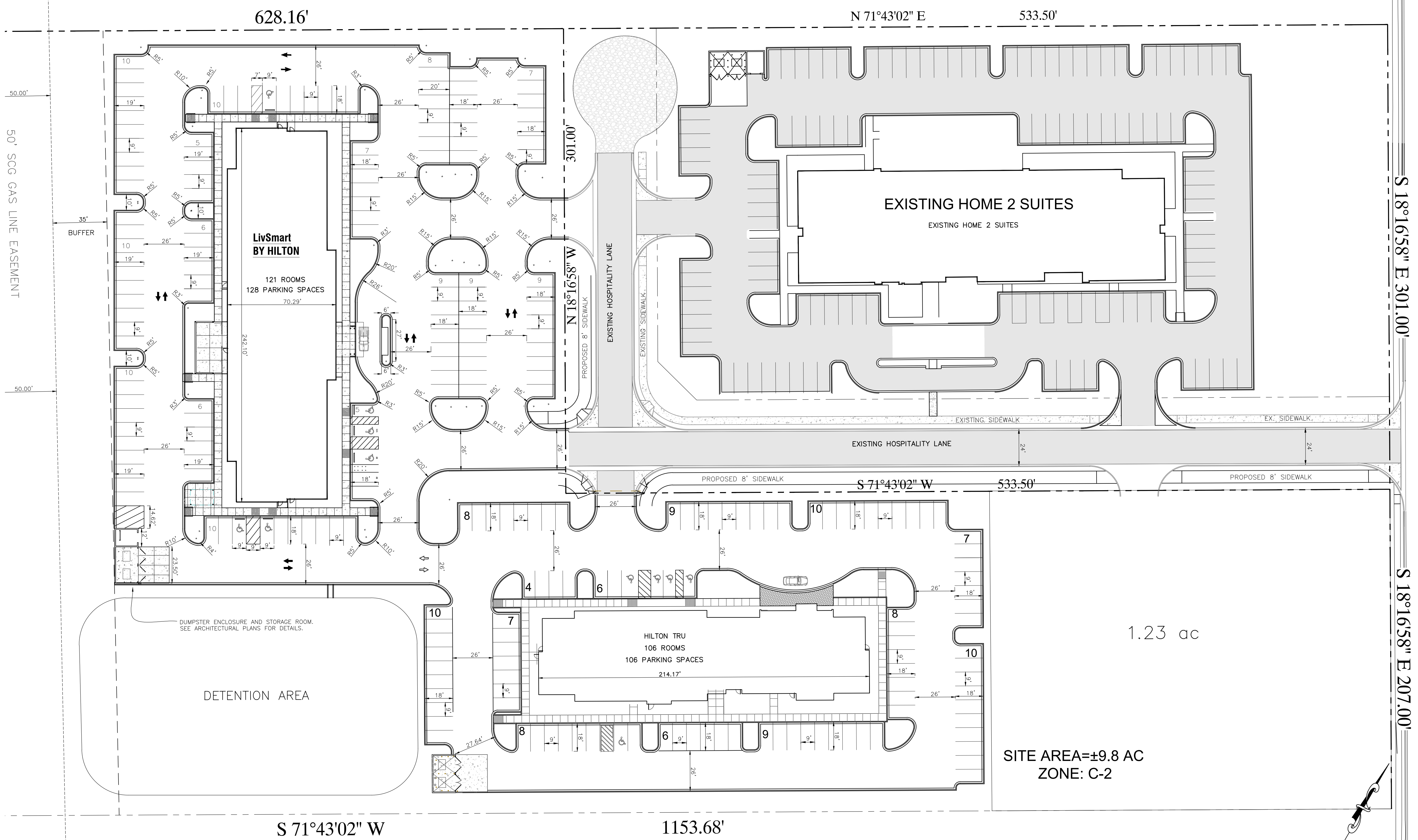
REV.	DATE:	DESCRIPTION

CONCEPTUAL SITE PLAN
HILTON HOTELS
HOSPITALITY LANE
PORT WENTWORTH, GA

CONCEPTUAL SITE PLAN

DRAWN: pss
APPROVED: pss
DATE:
PROJ#: 24-038
SCALE: AS SHOWN

SHEET
1 OF 22



SITE AREA=±9.8 AC
ZONE: C-2

1.23 ac

S 71°43'02" W

1153.68'

S 71°43'02" W 533.50'

S 18°16'58" E 301.00'

S 18°16'58" E 207.00'

628.16'

N 71°43'02" E

533.50'

301.00'

N 18°16'58" W

LivSmart BY HILTON

121 ROOMS
128 PARKING SPACES

HILTON TRU
106 ROOMS
106 PARKING SPACES

EXISTING HOME 2 SUITES
EXISTING HOME 2 SUITES

DUMPSTER ENCLOSURE AND STORAGE ROOM.
SEE ARCHITECTURAL PLANS FOR DETAILS.

DETENTION AREA

50' SOG GAS LINE EASEMENT

35' BUFFER

EXISTING HOSPITALITY LANE

EXISTING SIDEWALK

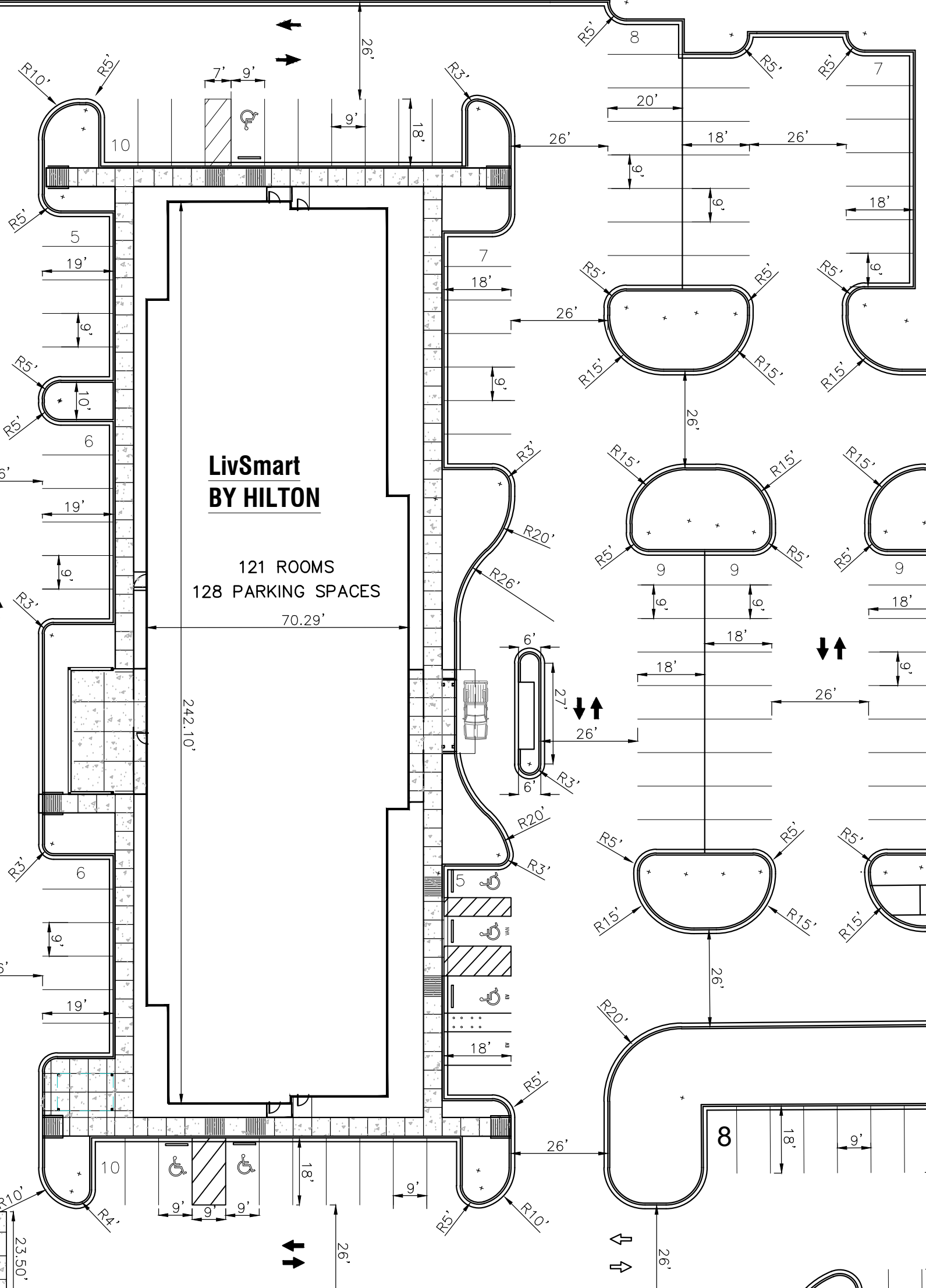
EXISTING HOSPITALITY LANE

EXISTING SIDEWALK

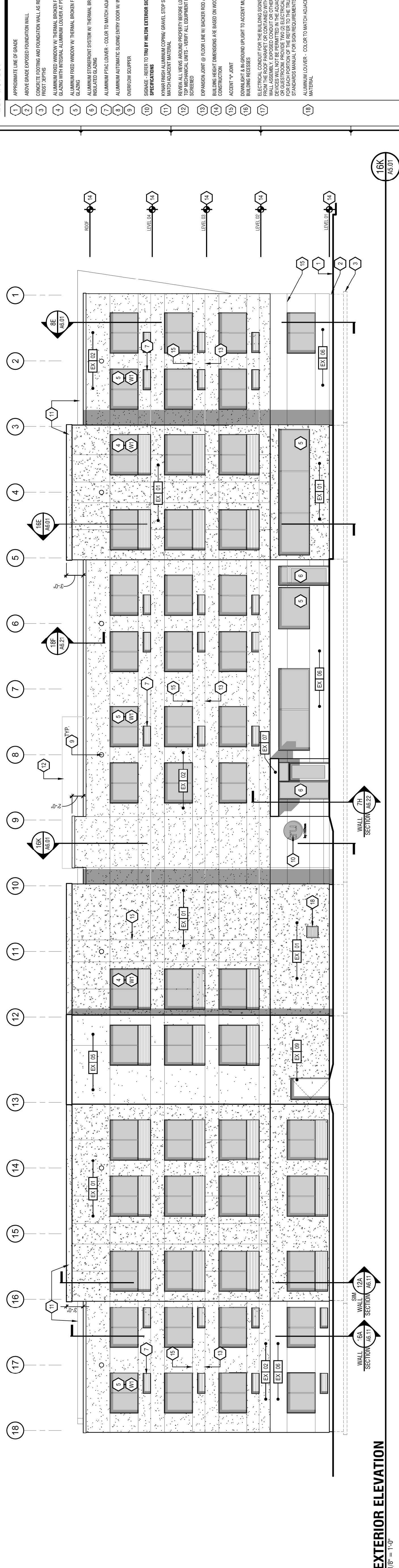
EX. SIDEWALK

PROPOSED 8' SIDEWALK

PROPOSED 8' SIDEWALK

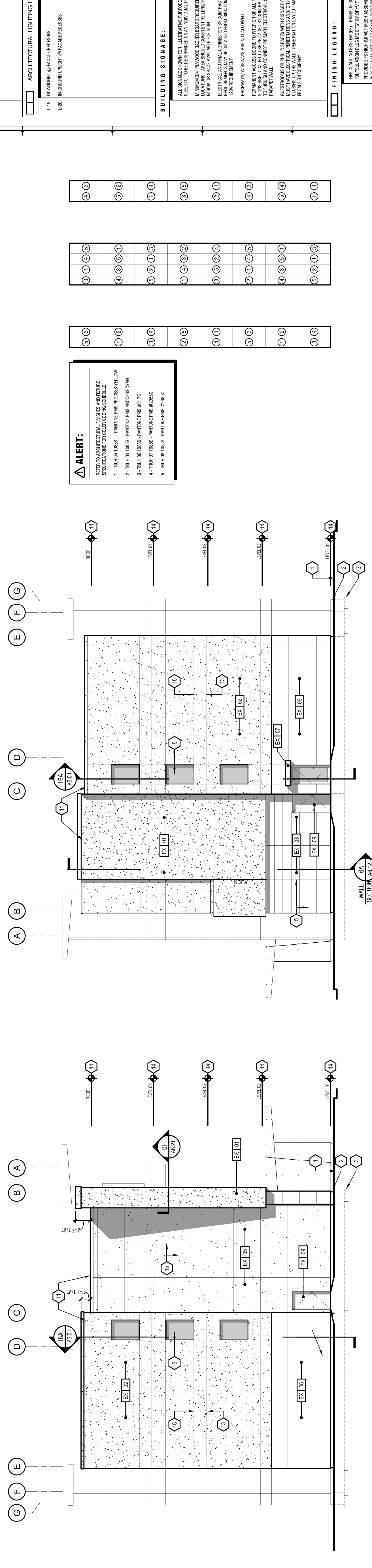


18 17 16 15 14 13 12 11 10 9 8 7 6 5 4 3 2 1



EXTERIOR ELEVATION
1/8" = 1'-0"

P N M L K J I H G F E D C B A

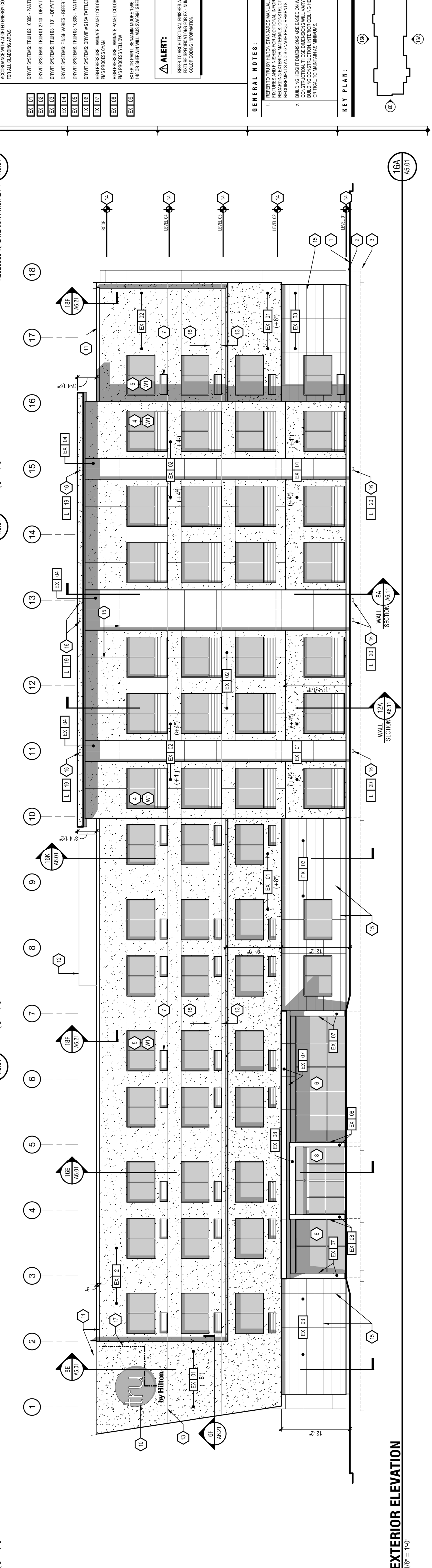


EXTERIOR ELEVATION
1/8" = 1'-0"

EXTERIOR ELEVATION
1/8" = 1'-0"

COLOR DIAGRAM
1/8" = 1'-0"

EXTERIOR ELEVATION
1/8" = 1'-0"



EXTERIOR ELEVATION
1/8" = 1'-0"

KEY NOTES:

- 1 APPROXIMATE LINE OF GRADE
- 2 ADVISE GRADE EXPOSED FOUNDATION WALL
- 3 CONCRETE FOOTING AND FOUNDATION WALL AS REQUIRED PER LOCAL FIRST SETS
- 4 ALUMINUM FRID WINDOW IN THERMAL BROWN FRAME INSULATED GLAZING WITH INTEGRAL ALUMINUM COVER AT FIC UNITS
- 5 ALUMINUM FRID WINDOW IN THERMAL BROWN FRAME INSULATED GLAZING
- 6 ALUMINUM EXTERIOR SYSTEM IN THERMAL BROWN FRAME AND INSULATED GLAZING
- 7 ALUMINUM FIC LOUVER - COLOR TO MATCH ADJACENT MATERIAL
- 8 ALUMINUM AUTOMATIC SLIDING ENTRY DOOR IN INSULATED GLAZING OVERFLOW SCOPPER
- 9 SIGNAGE - REFER TO THE EXTERIOR SIGNAGE
- 10 ASPHALT FINISH
- 11 ASPHALT FINISH OVER GRAVEL STOP SYSTEM - COLOR TO MATCH ADJACENT MATERIAL
- 12 REMOVE ALL NAILS AND PROTRUDERS BEFORE LOCATING ALL ROOF TOP MECHANICAL UNITS - VERIFY ALL EQUIPMENT IS ADEQUATELY BRACED
- 13 EXPANDED JOINT @ FLOOR LINE IN BACKER ROD AND SEALANT FINISHES
- 14 CONSTRUCTION DIMENSIONS ARE BASED ON WOOD FRAME
- 15 ACCENT "V" JOINT
- 16 DOWNLIGHT AND BROW LIGHT TO ACCENT MULTICOLORED BUILDING RECESSES
- 17 ELECTRICAL CONDUIT FOR THE BUILDING SIGNALS MUST BE ROUNDED MINIMUM 1/4" PLYWOOD BACKER BOARD REQUIRED AT SIGN WALL ASSEMBLY - EXPOSED CONDUIT FOR ELECTRICAL CONDUIT SHALL BE PROTECTED BY 1/2" THICK RIGID PVC OR GFCI CONDUIT PROTECTIVE COVERING SHALL BE INSTALLED PER SECTION OF THE REFER TO THE TRC BY FALCON
- 18 ALUMINUM LOUVER - COLOR TO MATCH ADJACENT WALL MATERIAL

ARCHITECTURAL LIGHTING LEGEND:

- 1-18 DOWNLIGHT @ FACADE RECESSES
- 1-18 DOWNLIGHT @ FACADE RECESSES

BUILDING SIGNAGE:

ALL SIGNAGE SHALL BE ILLUSTRATIVE PURPOSES ONLY - LOCATION, SIZE, ETC. TO BE DETERMINED FROM INDIVIDUAL PROJECT BASIS. MINIMUM 1/4" PLYWOOD BACKER BOARD REQUIRED AT SIGN WALL ASSEMBLY - EXPOSED CONDUIT FOR ELECTRICAL CONDUIT SHALL BE PROTECTED BY 1/2" THICK RIGID PVC OR GFCI CONDUIT PROTECTIVE COVERING SHALL BE INSTALLED PER SECTION OF THE REFER TO THE TRC BY FALCON. SIGNAGE SHALL BE OBTAINED FROM SIGN COMPANY - TYPICAL SIGNAGE DIMENSIONS ARE NOT ALLOWED. PERMANENT ACCESS SIGNS TO BE PROVIDED BY ALL MANUFACTURERS. SIGNS ARE TO BE PROVIDED BY CONTRACTOR - CONTRACTOR SHALL VERIFY ALL ELECTRICAL CONNECTIONS TO BE MADE TO PHASED WALL. QUESTIONS OR PUBLIC SPACES WITH SIGNAGE ON EXTERIOR WALLS MUST HAVE ELECTRICAL PENETRATION AND OR INSTALLED PRIOR TO CONSTRUCTION. PENETRATION COVERING SHALL BE OBTAINED FROM SIGN COMPANY.

FINISH LEGEND:

- EX 01 ASPHALT FINISH
- EX 02 ASPHALT FINISH
- EX 03 ASPHALT FINISH
- EX 04 ASPHALT FINISH
- EX 05 ASPHALT FINISH
- EX 06 ASPHALT FINISH
- EX 07 ASPHALT FINISH
- EX 08 ASPHALT FINISH

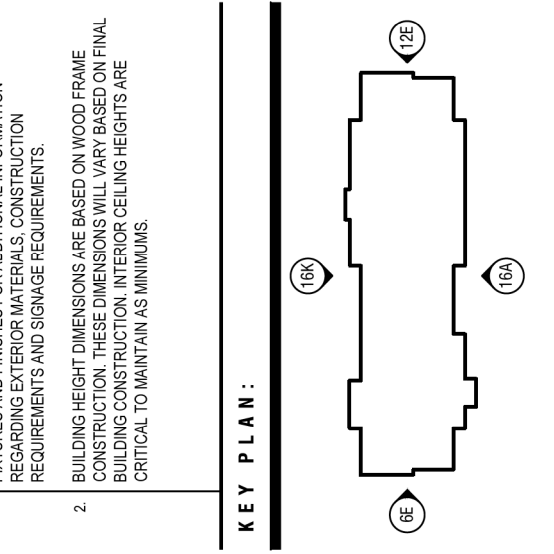
GENERAL NOTES:

- 1 REFER TO THE TRC BY FALCON FOR ALL ARCHITECTURAL FINISHES AND FURNITURE SPECIFICATIONS. REQUIREMENTS AND COORDINATE INFORMATION.
- 2 BUILDING HEIGHT DIMENSIONS ARE BASED ON WOOD FRAME CONSTRUCTION. THESE DIMENSIONS WILL VARY BASED ON FINAL CONSTRUCTION. VERIFY ALL DIMENSIONS WITH ARCHITECT PRIOR TO CONSTRUCTION. VERIFY ALL DIMENSIONS WITH ARCHITECT PRIOR TO CONSTRUCTION.

ALERT:

REFER TO ARCHITECTURAL FINISHES AND FURNITURE SPECIFICATIONS FOR COLOR COORDINATE SCHEDULE.

KEY PLAN:





Planning Commission
7224 GA Highway 21
Port Wentworth, GA 31407

Meeting: 11/12/24
Department: Development Services
Category: Ordinance
Prepared By: Katie Dunnigan
Department Head: Katie Dunnigan

SCHEDULED

AGENDA ITEM (ID)

DOC ID:

Phillip McCorkle as Agent for Ronald Royal and SPH 21, LLC, requests the approval of a General Site Plan for "Port Wentworth Commerce Center". PINs# 7-0975-01-01024, 7-0975-01-028,7-0906-01-001B located off Highway 21 in the 1st Council District, zoned I-1.

Issue/Item: Phillip McCorkle as Agent for Ronald Royal and SPH 21, LLC, requests the approval of a General Site Plan for "Port Wentworth Commerce Center". PINs# 7-0975-01-01024, 7-0975-01-028,7-0906-01-001B located off Highway 21 in the 1st Council District, zoned I-1.

Background: - The applicant proposes to develop 3 warehouses equaling approximately 1,116,00 square ft. situation on 82.3 acres

- The site is within the I-1 zoning district. Adjacent properties are R-1 to the north, I-1 to the west, and I-1 and C-2 to the south.
- The applicant believes the number of parking spaces may exceed that allowed by Section 8.40 of the City of Port Wentworth Zoning Ordinances
- Section 8.20 C of the Port Wentworth Zoning Ordinances provides that City Council may grant modification to parking requirements.
- Pursuant to The Code of the City of Port Wentworth Georgia, Zoning Ordinances, Section 13.20: "*After review and recommendation by the Planning Commission, the City Council shall act upon all concept plans...required in Table 13.20.*"

Facts and Finding: - Requisite community meetings were held for this project on September 24, 2024 and September 30, 2024. No community input was received.

- The design of the site provides significant natural vegetative buffering to provide visual screening to the north and east. The applicant is considering multiple options to bolster the 100' buffer along Jeffers Road to ensure maximum screening.
- Truck courts are located to the interior of the site.
- The site plan shows a site total of 563 employee parking spaces and 198 trailer parking spaces. The applicant believes that this will exceed the 1 space per employee or 1 space per 5,000 GFA plus 10% as allowed by Section 8 of the City of Port Wentworth Zoning Ordinances.
- The applicant's petition cites a need for 1 space per 2,000 GFA to attract tenants. This addition of impermeable surface is mitigated by the abundance of retained forested area.

Funding:

Recommendation: The submitted General Site Plan has been reviewed by Staff for compliance and conforms to the City of Port Wentworth Zoning Ordinances. Staff supports the petition for a modification to the required number of parking spaces.

RECEIVED
OCT 03 2024
BY: _____

BY: _____

City of Port Wentworth
7224 Highway 21 Port Wentworth Georgia 31407 912-999-2084

Site Plan Review Application

Site Plan Type (Check One): General / Concept Specific Development

Site Plan Address: 6510 Hwy 21 Port Wentworth GA 31407

PIN #(s): 70975 01024

Zoning: I-1 Estimated Cost of Construction: \$

Type of Construction: II B

Project Name: Port Wentworth Commerce Center

Applicant's Name: Phillip R. McCorkle

Mailing Address: 319 Tattnall Street, Savannah, Georgia 31401


Phone #: 912-232-7416 Email: prm@mccorklejohnson.com

Owner's Name (if Different form Applicant): Ronald Royal

Mailing Address: 6510 Hwy 21 Port Wentworth GA 31407

Phone #: Email:

I hereby acknowledge that the above information is true and correct.


Applicant's Signature

9/30/24
Date

Owner's Signature (if Different form Applicant)

Date

Please see page 2 for required submittal checklist


Site Plan Review Application Submittal Checklist

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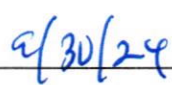
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- 3 half size (11" X 17") sets of site plan civil drawings or concept plan (depending on type of site plan)
- 2 copies of hydrology reports (if applicable)
- Names, mailing address, and PIN number of all property owners within 250 feet of all property lines
- 1 8 1/2" X 11" of site plan civil drawings or concept plan (depending on type of site plan)
- PDF of entire submittal on a flash drive or download link ONLY (NO CD'S)
- Other Engineering details or reports may be required once submittal has been received.
- If property owner and applicant are not the same, Authorization of Property Owner form.
- Site plan review fee check
 - o Concept / General - \$300.00 Site Plan Fee + \$75.00 Admin Fee = Total \$375.00
 - o Specific - \$1000.00 Site Plan Fee + \$75.00 Admin Fee = Total \$1075.00

Additional Fee Statement: If engineer review cost to the City exceeds the site plan review fee that is paid at the time of initial application submittal, you may be required to pay additional review cost.

I have read and agree to the above additional fee statement



Applicant's Signature



Date

AUTHORIZATION OF PROPERTY OWNER

I swear that I am the owner of the property which is the subject matter of the attached application, as is shown in the records of Port Wentworth, Georgia.

I authorize the person named below to act as applicant in the pursuit of a ^{concept plan approval} variance or for the rezoning of this property.

Name of Applicant: Ronald A. Royal

Address: 6510 Highway 21, Port Wentworth, Georgia 31407

Telephone Number: 912-665-0449

Ronald A. Royal
Signature of Owner

Personally appeared before me

Ronald A Royal

who swears that the information contained in this authorization is true and correct to the best of his or her knowledge and belief.

Marcella Vassell Robinson

Notary Public

09/18/2024

Date



Surrounding Property Owners Within 300 Feet

FAITH GOSPEL TEMPLE DELIVERENCE CENTER, INC.

PIN: 70975 02001

Property Address: 7548 Highway 21, Port Wentworth, Georgia 31407

Mailing Address: P.O. Box 18277, Savannah, Georgia 31418

Odessa Adams

PIN: 70975 02002A

Property Address: 7550 Highway 21, Port Wentworth, Georgia 31407

Mailing Address: 105 E 9th Street, Rincon, Georgia 31326

RVF RICE HOPE PROPERTY, LLC

PIN: 70906 04067

Property Address: 80 Magnolia Blvd, Port Wentworth, Georgia 31407

Mailing Address: 356 Martin Luther King Boulevard, Unit 8, Savannah, Georgia 31401

SPH 21, LLC

PIN: 70976 01001B

Property Address: 0 Augusta Road, Port Wentworth, Georgia 31407

Mailing Address: 5 Concourse Parkway, Suite 200, Atlanta, Georgia 30328

SPH 21, LLC

PIN: 70975 01026Y, 70975 01017A, 70975 01026Z

Property Address: 222, 226 and 0 Jeffers Road, Port Wentworth, Georgia 31407

Mailing Address: 5 Concourse Parkway, Suite 200, Atlanta, Georgia 30328

Fred Steele, Jr.

PIN: 70975 01012

Property Address: 202 Grant Road, Port Wentworth, Georgia 31407

Mailing Address: 202 Grant Road, Port Wentworth, Georgia 31407

LMS-PORT WENTWORTH, LLC

PIN: 70975 01025

Property Address: 0 Jeffers Road, Port Wentworth, Georgia 31407

Mailing Address: 3975 Asbury Road, Birmingham, Alabama 35248

LEGAL DESCRIPTIONSTRACT 1

BEGINNING AT A 5/8" IRON REBAR SET BEARING THE HORIZONTAL COORDINATES OF NORTHING:805,966.99', EASTING:954,144.06' (P.O.B.1); THENCE N 11°49'54" W A DISTANCE OF 2,255.65' TO A 4"x4" CONCRETE MONUMENT FOUND; THENCE S 80°02'53" E A DISTANCE OF 968.92' TO A CORNER THAT FALLS IN A 18" LAUREL OAK; THENCE S 13°54'27" E A DISTANCE OF 1,643.94' TO A 5/8" IRON REBAR SET; THENCE S 63°22'51" W A DISTANCE OF 992.14' TO A 5/8" IRON REBAR SET; WHICH IS THE POINT OF BEGINNING, HAVING AN AREA OF 1,810,251 SQUARE FEET, 41.558 ACRES.

Port Wentworth Commerce Center - Project Narrative

This project is proposed on an undeveloped piece of property, that is zoned for industrial use. We are proposing the first phase of the Port Wentworth Commerce Center, which includes approximately 82.3 acres. This first phase of development will include 3 speculative, class A single load buildings totaling approximately 1,116,000 sf. Building A will be a rear load facility, of approximately 377,000 sf and will include 250 employee parking spaces and 69 trailer parking spaces. Building B will be a front load facility, of approximately 378,000 sf and will include 148 employee spaces and 63 trailer parking spaces. Building C will be a rear load facility of approximately 361,000 sf and will include 195 employee parking spaces and 66 trailer parking spaces. All of the buildings will be constructed of concrete tilt-wall construction. Each of the buildings will be less than 50' tall and will be similar to the submitted proposed representative architecture including glass and aluminum store front entries We have developed the site plan for all truck courts to be internally facing to limit site lines into the loading dock areas from off site.

Parking narrative:

The applicant requests the right to exceed the maximum parking count included in the code in order to match the market standard parking levels for similar industrial buildings throughout the Savannah market. As it relates to this project, the maximum code parking for Buildings A, B and C would be 122, 122 and 117 parking spaces respectively. The typical tenants who are distribution, warehousing or light assembly users request 1 space per 2,000 sf, calculated on the entire building. If we were to build to the Port Wentworth parking requirements, we fear that our buildings would not be seen as acceptable to most tenants. IF we are able to offer 1 space per 2,000 sf, that level of parking will be sufficient for all but those users with a high employee density. We believe that amount would be sufficient for all but a few tenants who may have a high employee density. In those cases, we would ask that Port Wentworth administratively approve additional parking, to meet a tenant's specific stated need for employee parking.



PROJECT SITE: ± 87.30 ACRES

APPLICANT: PHILIP MCCORKLE
 pmm@mccorklejohnson.com

EXISTING PARCEL ACREAGE: 51.68 AC.
 (ROYAL TRACT / PIN 70975 01024)

CURRENT ZONING DISTRICT - I-1 (INDUSTRIAL)

PROPOSED LAND USE - I-1 (INDUSTRIAL)

I-1 ZONING DISTRICT SETBACKS: 50 FT

SITE SUMMARY:

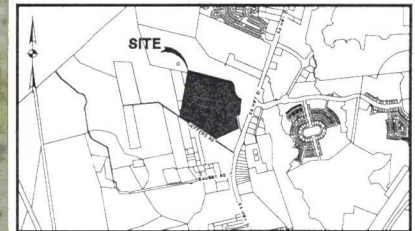
PROPOSED SITE AREA: ± 87.30 AC

FLOODPLAIN MITIGATION EASEMENT AREA: ± 5.2 AC

TOTAL BUILDING SF: ± 1,116,020 SF

FEMA FLOOD ZONE AE (13 & 14)
 FEMA PANEL: 13051C0030G

ANY PROPOSED FILL WITHIN THE FLOODPLAIN WILL BE MITIGATED IN ACCORDANCE WITH PORT WENTWORTH REQUIREMENTS.



VICINITY MAP
 1" = 2,000'

PORT WENTWORTH COMMERCE CENTER

CONCEPT PLAN

PORT WENTWORTH, GA

September 2024



50 PARK OF COMMERCE WAY
 SAVANNAH, GA 31405 • 912.234.5300
 www.thomasandhutton.com

Ossabaw Consulting, LLC

P.O. Box 30012 ▪ Savannah, GA 31410 ▪ ossabawconsulting@gmail.com ▪ (912) 658 8833

Arborist Site Report

SPH 21, LLC
c/o Chris Hayes

September 15, 2024

Location:

Royal Tract
Port Wentworth, GA

General Information:

The location is an undeveloped parcel of land within the city limits of Port Wentworth. A sampling of trees of qualifying size located within the parcel were identified as to their potential to become either 'heritage', 'grand' or 'specimen' trees. The trees were inspected during September of 2024 at a Level 2 Assessment, as defined by the International Society of Arboriculture (ISA).

Detailed Findings and Recommendations*:

The findings listed below are a sampling of the trees within the parcel and reflect the best species diversity the inspecting arborist could identify while in the field. The inspecting arborist may have selected random trees during the investigation due to their appearance, size or location outside of the pre-selected plot location. The following trees identified by the inspecting arborist have structural or health related issues that would impact their potential to become either 'heritage', 'grand' or 'specimen' trees, as defined by the City of Port Wentworth, and the supporting information is provided:

Tag Number	DBH	Common Name	Scientific Name	Tree Comments
1024	22	Laurel oak	<i>Quercus laurifolia</i>	This tree is decayed.
1023	12	Laurel oak	<i>Quercus laurifolia</i>	This tree is stressed and decayed.
1022	20	Laurel oak	<i>Quercus laurifolia</i>	This tree is declining and decayed.
1020	12	Sweetgum	<i>Liquidambar styraciflua</i>	The tree has decay.

1014	27	Willow oak	<i>Quercus phellos</i>	This tree has decay.
1012	16	Willow oak	<i>Quercus phellos</i>	This tree has decay and cankers.
1010	14	Willow oak	<i>Quercus phellos</i>	This tree has cankers and decay.
1007	24	Willow oak	<i>Quercus phellos</i>	This tree has decay and prominent lean.
1006	24	Willow oak	<i>Quercus phellos</i>	This tree has decay.
1005	18	Willow oak	<i>Quercus phellos</i>	This tree has decay.

The following trees identified by the inspecting arborist do not have any major structural or health related issues that would impact their potential to become either 'heritage', 'grand' or 'specimen' trees, as defined by the City of Port Wentworth.

Tag Number	DBH	Common Name	Scientific Name
1025	18	Southern red oak	<i>Quercus falcata</i>
1021	12	Loblolly pine	<i>Pinus taeda</i>
1019	21	Sweetgum	<i>Liquidambar styraciflua</i>
1018	12	Sweetgum	<i>Liquidambar styraciflua</i>
1017	12	Sweetgum	<i>Liquidambar styraciflua</i>
1016	19	Live oak	<i>Quercus virginiana</i>
1015	12	Red maple	<i>Acer rubrum</i>
1013	13	Willow oak	<i>Quercus phellos</i>
1011	16	Loblolly pine	<i>Pinus taeda</i>
1009	20	Willow oak	<i>Quercus phellos</i>
1008	12	Red maple	<i>Acer rubrum</i>
1004	25	Live oak	<i>Quercus virginiana</i>
1003	12	Water oak	<i>Quercus nigra</i>
1002	13	Hickory	<i>Carya species</i>
1001	12	Water oak	<i>Quercus nigra</i>

2000	30	Southern red oak	<i>Quercus falcata</i>
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Attached to the report is an aerial map of the location. During the investigation, the arborist found that most of the parcel has been cleared and is in an early successional field and new pine forest. This area is covered with grasses, briars, and naturally established young pines. The pines within this area range from 1-inch to 2-inch in caliper. Additionally, the area to the south has smaller Loblolly Pines and Sweetgums and along the ditch there are mixture for riparian hardwoods.

It is recommended that if any trees remain on site, that they have a tree protection zone to the drip line or at least 1.25ft in radii around the tree for every diameter inch of the trunk, if possible. Tree protection zones should be constructed of chain link fencing and no equipment shall enter or be stored within the tree protection zone. Mulch should be added within the tree protection zone and should be shredded hardwood and not exceed 4 inches in depth; if possible, irrigation should also be installed within the tree protection zone. Trees should be fertilized three times annually for three years to lessen the stress effects of the construction and trees should also be treated to prevent the infestation of wood boring insects.

It is also recommended that all trees that remain on site should be pruned to eliminate any hazardous limbs and improve overall safety. Pruning should be conducted under the supervision of an ISA Certified Arborist and should adhere to the most recent ANSI A300 standards and ISA Best Management Practices for tree pruning. It is also recommended that no cutting or pruning of tree roots be conducted, however if there is a need for such a practice, an ISA Certified Arborist should direct and supervise the cutting or pruning. In addition to the pruning, all trees that remain on site should be inspected annually by an ISA Certified Arborist.

Inspector’s information:

Michael W. Pavlis, BS, MS
 ISA Certified Arborist, SO-5588A
 ISA Tree Risk Qualification

Thank you for your consideration and business,

Michael W. Pavlis
 Ossabaw Consulting, LLC

*Trees are a living organism and are undergoing constant change. Recommendations are based on current and ideal conditions. Conditions may change as time progresses. While we strive for complete diagnosis there are some defects that are not visible and failure of in or of a tree may occur, unless otherwise stated by Ossabaw Consulting, LLC.



Mixed hardwoods and softwoods

Tree No. 1016

Area within orange box has been recently cleared.

This area is small pines and sweetgums

Jeffers Rd

Riparian Hardwoods

21

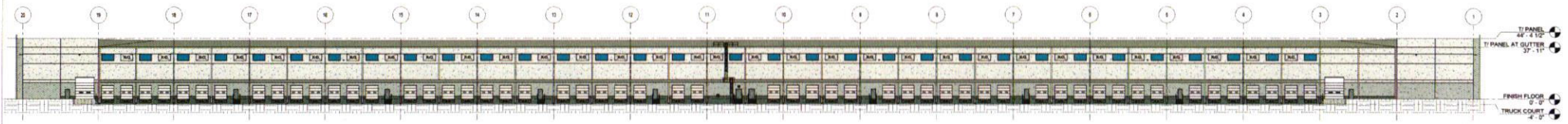
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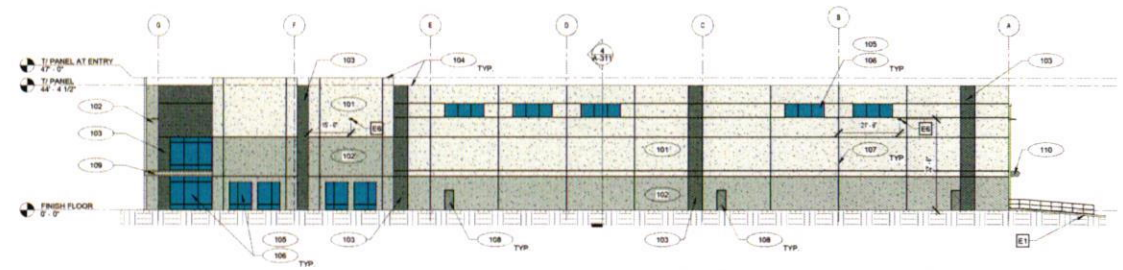
PORT WENTWORTH COMMERCE CENTER
PORT WENTWORTH, GEORGIA

HILLWOOD
A PEROT COMPANY*

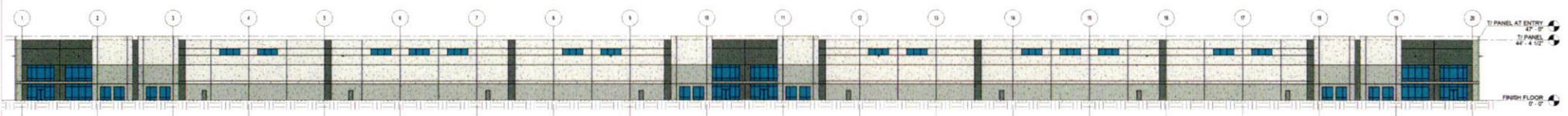
REPRESENTATIVE ARCHITECTURE
SEPTEMBER 12, 2024



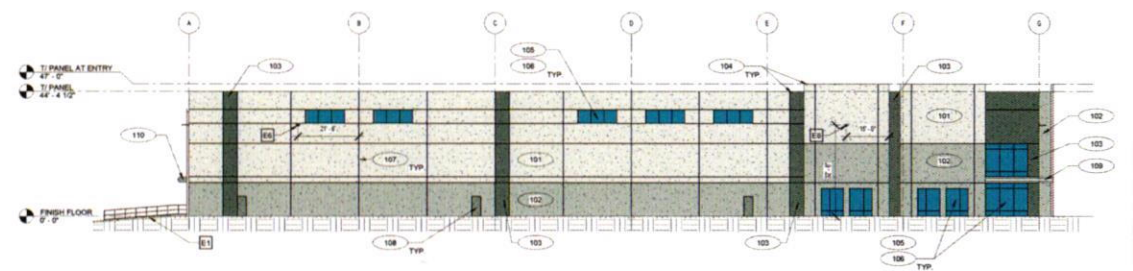
1 OVERALL NORTH ELEVATION



2 OVERALL EAST ELEVATION



3 OVERALL SOUTH ELEVATION

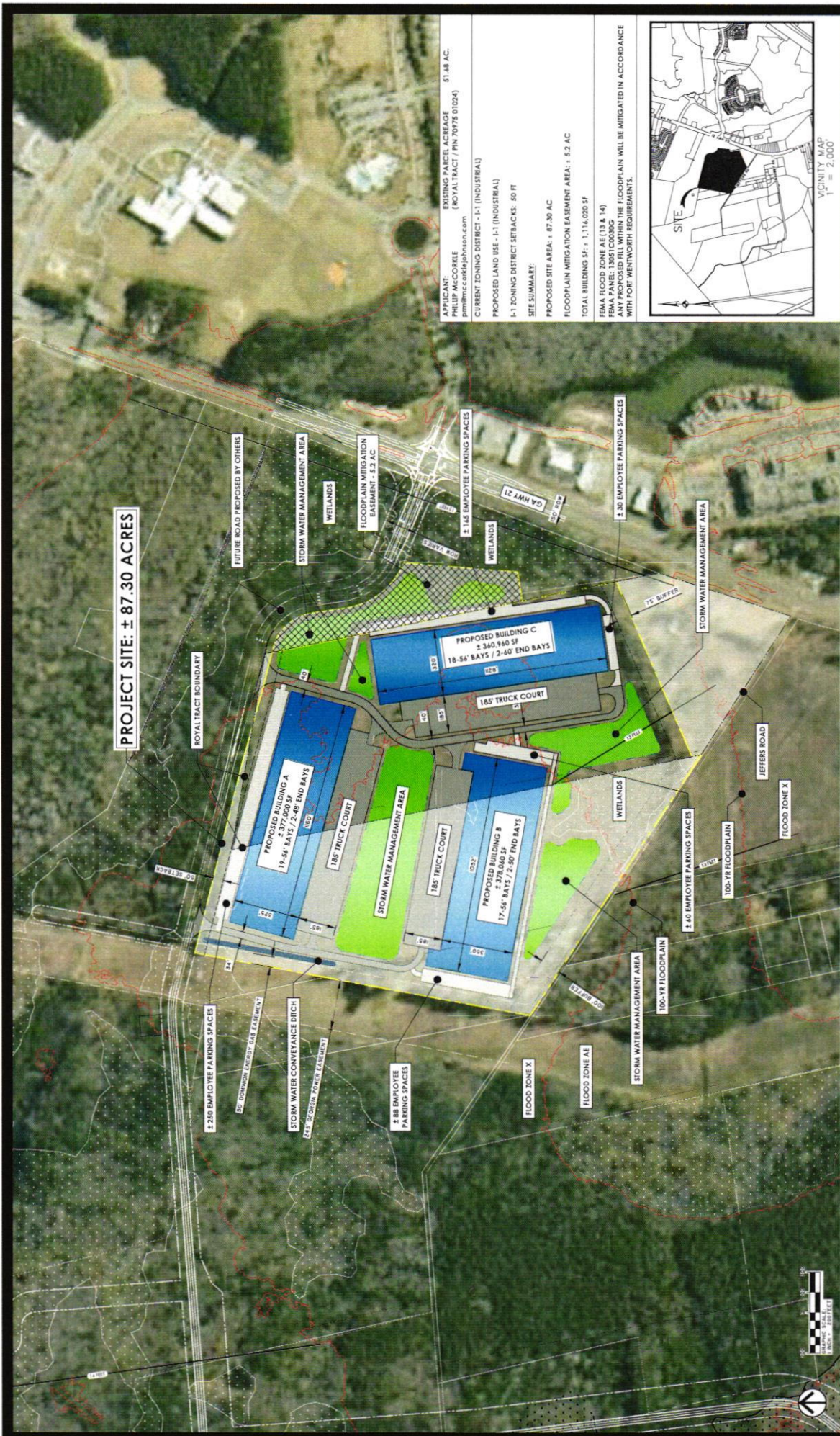


4 OVERALL WEST ELEVATION

PORT WENTWORTH COMMERCE CENTER
 PORT WENTWORTH, GEORGIA

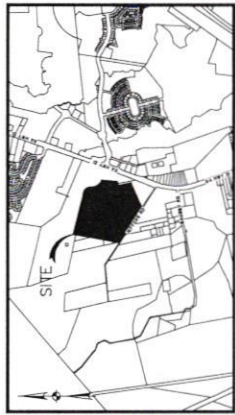
REPRESENTATIVE ARCHITECTURE
 SEPTEMBER 12, 2024





PROJECT SITE: ± 87.30 ACRES

APPLICANT: PHILIP MCCORKE
 pmhmc@hutton.com
 EXISTING PARCEL ACREAGE: 51.48 AC.
 (ROYAL TRACT / PIN 70975 01024)
 CURRENT ZONING DISTRICT: I-1 (INDUSTRIAL)
 PROPOSED LAND USE: I-1 (INDUSTRIAL)
 I-1 TONING DISTRICT SETBACKS: 50 FT
 SITE SUMMARY:
 PROPOSED SITE AREA: ± 87.30 AC
 FLOODPLAIN MITIGATION EASEMENT AREA: ± 5.2 AC
 TOTAL BUILDING SF: ± 1,114,600 SF
 FEMA FLOOD ZONE AE (1.3 & 1.4)
 FEMA PANEL: 13051C0000G
 ANY PROPOSED FILL WITHIN THE FLOODPLAIN WILL BE MITIGATED IN ACCORDANCE WITH PORT WENTWORTH REQUIREMENTS.



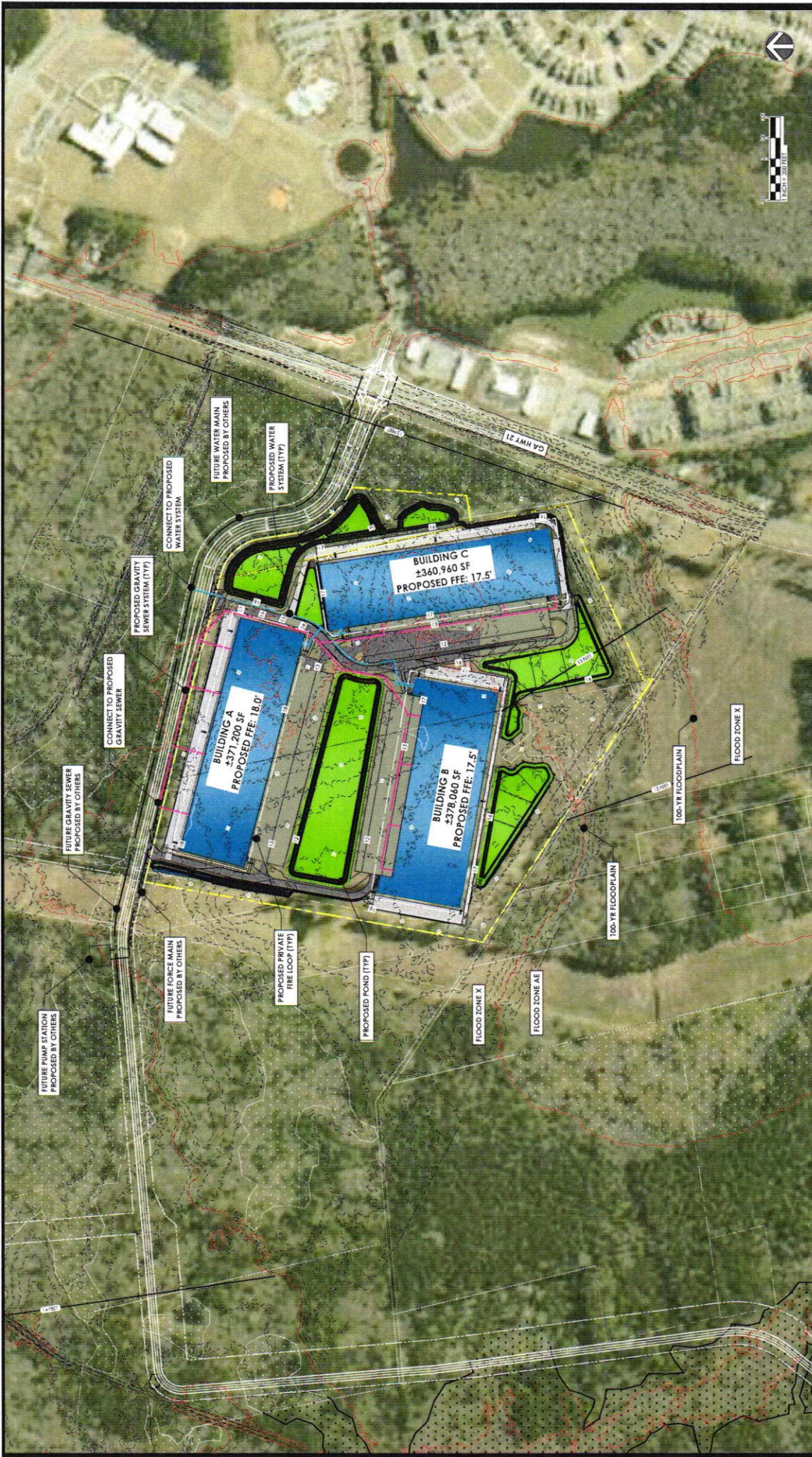
PORT WENTWORTH COMMERCE CENTER

CONCEPT PLAN

PORT WENTWORTH, GA

September 2024

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This report, including all general plans of the development, shall be for reference only. It is not intended to be used for any other purpose. The user of this report shall be responsible for obtaining all necessary permits and approvals from the appropriate authorities. The user shall also be responsible for obtaining all necessary approvals from the appropriate authorities. The user shall also be responsible for obtaining all necessary approvals from the appropriate authorities.

PORT WENTWORTH COMMERCE CENTER CONCEPTUAL GRADING & UTILITY PLAN PORT WENTWORTH, GA

September 2024