



CITY OF PORT WENTWORTH

PLANNING COMMISSION

NOVEMBER 14, 2022

Council Meeting Room

Regular Meeting

3:30 PM

**7224 GA HIGHWAY 21
PORT WENTWORTH, GA 31407**

1. CALL MEETING TO ORDER

2. PRAYER AND PLEDGE OF ALLEGIANCE

3. ROLL CALL - SECRETARY

4. APPROVAL OF AGENDA

5. ADOPTION OF MINUTES

A. Planning Commission - Regular Meeting - Oct 10, 2022 6:30 PM

6. ZONING MAP AMENDMENTS (REZONING)

A. Zoning Map Amendment Application submitted by Daniel Ben-Yisrael, Drayton Parker Companies, on behalf of Frank Neville Floyd, for PIN #'s 70976 02003, a portion of 70976 02029 and a portion of 70976B01001B (Northwest intersection of Highway 21 and Highway 30) to Rezone from RA (Residential Agriculture) to P-C-3 (Planned General Business) Zoning District for the purpose of a Convenience Store / Fuel Service Station (Parker's Kitchen)

- Public Hearing
- Action

7. ZONING TEXT AMENDMENTS (ORDINANCES)

8. SITE PLAN/SUBDIVISION APPROVAL

A. Subdivision Application submitted by Cody Rogers, P.E., EMC Engineering Services, Inc., on behalf of Forrest and William Floyd for PIN #'s: 70976 02003, 70976 02029, and 70976B01001B (Northwest Quadrant of the Intersection of Highway 21 and Highway 30) located in a R-A (Residential Agriculture) Zoning District for a Final Plat of a Major Subdivision (Floyd Property - 9.525 Acres) for the purpose of retail and other business development

- Public Hearing
- Action

B. Site Plan Review Application submitted by Nate Fuss, Bohler of behalf of Double Reverse, LLC., for PIN # 70037 02018 (150 Highway 30) for a General Development Site Plan to allow a RV / Boat Storage (Bespoke Port Wentworth) in a P-C-3 (Planned General Business) Zoning District

- Public Hearing
- Action

- C. Site Plan Review Application submitted by Scott Monson, Thomas & Hutton on behalf of Port Wentworth SFR, LLC., for PIN # 7-0906-04-024 (Magnolia Blvd, Parcel 4 - A portion of Tract A1-1 of the Chisholm Tract) for a Specific Development Site Plan to allow a Single Family Rental Community in a M-P-O (Master Plan Overlay) Zoning District
 - Public Hearing
 - Action

9. NEW BUSINESS

10. ADJOURNMENT



CITY OF PORT WENTWORTH

PLANNING COMMISSION

OCTOBER 10, 2022

Council Meeting Room

Regular Meeting

6:30 PM

7224 GA HIGHWAY 21
PORT WENTWORTH, GA 31407

1. CALL MEETING TO ORDER

Chairman Jason Stewart called the meeting to order.

2. PRAYER AND PLEDGE OF ALLEGIANCE

Commissioner Holland led the Prayer and Pledge of Allegiance.

3. ROLL CALL - SECRETARY

Attendee Name	Title	Status	Arrived
Lauree Morris	Planning Commissioner	Present	
Lance Moore	Planning Commissioner	Present	
Omar Senati-Martinez	Planning Commissioner	Present	
Abby Brown	Planning Commissioner	Present	
Jason Stewart	Chairman	Present	
John Holland	Planning Commissioner	Present	
Steve Davis	City Manager	Present	

4. APPROVAL OF AGENDA

1. Approval of Agenda

Commissioner Morris made a motion that the agenda not be approved due to questioning the legality of the board and committee and asked that the City Attorney to provide Georgia Code or Federal law regarding this committee. There was no second. Motion fails due to lack of a second. Commissioner Holland made a motion to approve the agenda. Commissioner Brown seconded the motion to approve. The vote to approve was unanimous with the exception of Commissioner Morris who abstained from voting.

RESULT: ADOPTED [4 TO 0]
MOVER: John Holland, Planning Commissioner
SECONDER: Abby Brown, Planning Commissioner
AYES: Moore, Senati-Martinez, Brown, Holland
ABSTAIN: Morris

5. ADOPTION OF MINUTES

A. Planning Commission - Regular Meeting - Sep 12, 2022 6:30 PM

Commissioner Morris made a motion that the minutes not be approved due to questioning the legality of the board and committee. There was no second. Motion fails due to lack of a second. Commissioner Senati-Martinez made a motion to approve the minutes. Commissioner Holland seconded the motion to approve. The vote to approve was unanimous with the exception of Commissioner Morris who abstained from voting.

Minutes Acceptance: Minutes of Oct 10, 2022 6:30 PM (ADOPTION OF MINUTES)

RESULT:	ACCEPTED [4 TO 0]
MOVER:	Omar Senati-Martinez, Planning Commissioner
SECONDER:	John Holland, Planning Commissioner
AYES:	Moore, Senati-Martinez, Brown, Holland
ABSTAIN:	Morris

6. ZONING MAP AMENDMENTS (REZONING)

- A. Zoning Map Amendment Application submitted by David Smith, Kimley-Horn, on behalf of Joseph H. Honerlein, for PIN # 70976 01012B (640 Highway 30) to Rezone from RA (Residential Agriculture) to P-C-3 (Planned General Business) Zoning District for the purpose of a Convenience Store / Fuel Service Station (Parker's kitchen)

Rusty Windsor, Kimley-Horn was present on behalf of the applicant and Parker's Kitchen. Commissioner Senati-Martinez asked that since the truck pumps were removed, do they have plans to come back and modify the site later to serve trucks. Mr. Windsor responded at this time they intend to do just automobile use. Commissioner Holland asked where the main entrance to the site would be. Mr. Windsor responded that currently they will have right in and right outs on both Highway 30 and Effingham Parkway. Chairman Stewart asked what the nature of the rezoning request. Mr. Windsor responded that it was required for the use. Commissioner Senati-Martinez asked if they have spoke with GDOT about access. Mr. Windsor stated they did have a pre application meeting with GDOT and it was GDOT that suggested having shared access with the existing driveway on Highway 30. Commissioner Holland asked if there would be a turn lane from the traffic circle towards Highway 21. Mr. Windsor responded that no they would have to go around the round-a-bout to enter the site off Effingham Parkway and that the site would be built along with the Effingham Parkway. Commissioner Morris asked what the protection plan is for the large trees. Mr. Windsor responded they would answer that question when they came back with a site plan.

Public Hearing:

- Freddy Kendrick - 614 Highway 30, has concerns with the project due to access.
- Georgia Benton - 135 Saussy Rd, traffic concerns
- Laray Benton - 135 Saussy Rd, are there any other plans to build anything other than a gas station. Daniel Ben-Yisrael, Parker's Kitchen stated that the plan for this property is just the Parker's Gas station and convenience store.
- Avril Roy Smith - Lakeshore, traffic concerns
- Ms Gray - Pineforest, traffic concerns

The public hearing was closed. After several minutes of discussion, Commissioner Holland made a motion to deny the application. Commissioner Moore seconded the motion to deny. The vote to deny was unanimous with the exception of Commissioner Morris who abstained from voting.

RESULT:	APPROVED [4 TO 0]
MOVER:	John Holland, Planning Commissioner
SECONDER:	Lance Moore, Planning Commissioner
AYES:	Moore, Senati-Martinez, Brown, Holland
ABSTAIN:	Morris

7. ZONING TEXT AMENDMENTS (ORDINANCES)

8. SITE PLAN/SUBDIVISION APPROVAL

- A. Site Plan Review Application submitted by Felipe Toledo, P.E., Thomas & Hutton of behalf of LRE Crossgate North, LLC., for PIN # 7-0035-01-007 (Northeast corner of Crossgate Rd & Jimmy Deloach Parkway) for a Specific Development Site Plan to allow a warehouse development (NFI Crossgate Industrial Park) in a P-I-1 (Planned Industrial) Zoning District

Jason Chambless, Thomas & Hutton was present on behalf of the applicant. Commissioner Senati-Martinez asked questions regarding water and sewer connections and water / sewer agreement. Mr. Davis asked questions regarding access.

Public Hearing:

- Georgia Benton - 135 Saussy Rd, traffic concerns
- Laray Benton - 135 Saussy Rd, traffic concerns
- Avril Roy Smith - Lakeshore, spoke against the application
- Ms Gray - Pineforest, traffic concerns

The public hearing was closed. After several minutes of discussion, Commissioner Holland made a motion to approve with the following condition that all comments from the Public Works Director and comments from Commissioner Holland are met. Commissioner Brown seconded the motion. The vote to approve was unanimous with the exception of Commissioner Morris who abstained from voting.

RESULT: **APPROVED [4 TO 0]**
MOVER: Lance Moore, Planning Commissioner
SECONDER: Abby Brown, Planning Commissioner
AYES: Moore, Senati-Martinez, Brown, Holland
ABSTAIN: Morris

9. NEW BUSINESS

10. ADJOURNMENT

- A. Motion

RESULT: **ADOPTED [4 TO 0]**
MOVER: John Holland, Planning Commissioner
SECONDER: Lance Moore, Planning Commissioner
AYES: Moore, Senati-Martinez, Brown, Holland
ABSTAIN: Morris

Chairman

The foregoing minutes are true and correct and approved by me on this _____ day of _____, 2022.

Minutes Acceptance: Minutes of Oct 10, 2022 6:30 PM (ADOPTION OF MINUTES)

Secretary

Minutes Acceptance: Minutes of Oct 10, 2022 6:30 PM (ADOPTION OF MINUTES)



Planning Commission
305 South Coastal Highway
Port Wentworth, GA 31407

Meeting: 11/14/22 03:30 PM
Department: Development Services
Category: Planning/Zoning Item
Prepared By: Melanie Ellis
Department Head: Brian Harvey

SUBMITTED

AGENDA ITEM (ID # 2745)

DOC ID: 2745

Zoning Map Amendment Application submitted by Daniel Ben-Yisrael, Drayton Parker Companies, on behalf of Frank Neville Floyd, for PIN #'s 70976 02003, a portion of 70976 02029 and a portion of 70976B01001B (Northwest intersection of Highway 21 and Highway 30) to Rezone from RA (Residential Agriculture) to P-C-3 (Planned General Business) Zoning District for the purpose of a Convenience Store / Fuel Service Station (Parker's Kitchen)

Issue/Item: Zoning Map Amendment Application submitted by Daniel Ben-Yisrael, Drayton Parker Companies, on behalf of Frank Neville Floyd, for PIN #'s 70976 02003, a portion of 70976 02029 and a portion of 70976B01001B (Northwest intersection of Highway 21 and Highway 30) to Rezone from RA (Residential Agriculture) to P-C-3 (Planned General Business) Zoning District for the purpose of a Convenience Store / Fuel Service Station (Parker's Kitchen)

Background: The subject property is currently woodland and open area.

Facts and Findings: The total amount of property to be rezoned is 7.83 acres. The applicant is requesting to rezone for a commercial development that will include a fuel station / Convenience Store and two outparcels. The project will also include associated parking, and drainage. The proposed access will be on Highway 30 and the Highway 21. The Developer intends to connect to City of Port Wentworth water and sanitary sewer utilities. According to the 2021 City of Port Wentworth Comprehensive Plan this property is under the Rural Neighborhood Character Area.

Funding: N/A

Recommendation: The Planning Commission will hear this application on Monday, November 14, 2022 at 3:30 PM.

ATTACHMENTS:

- ZMA Parkers Kitchen Gas Station RA to PC3 2022-Full Application (PDF)
- ZMA Parkers Kitchen Gas Station RA to PC3 2022-Timeline (DOCX)

APPLICATION TO AMEND THE ZONING MAP OF PORT WENTWORTH, GEORGIA

Applicant: Drayton Parker Companies C/O Daniel Ben-Yisrael Phone # 912-677-0593
Mailing Address: 17 W. McDonough Street, Savannah, GA 31401
Property Owner: Floyd Frank Neville Phone #
Owner Address: 120 State Road 30, Port Wentworth, GA 31407
PIN #(s): 70976-02029; 70976-02003; 70976B01001B # of Acres 7.83

Zoning Classification: Present R-A Requested C-3
Use of Property: Present Undeveloped Field Requested Gas Station

X If the requested changed is to extend an existing adjacent zoning district to include this property, explain below why the proposed change should be made.

If the requested changed is not to extend an adjacent zoning district, explain below why this property should be placed in a different zoning district than all adjoining properties. (How does it differ from adjoining properties and why should it be subject to different restrictions than those applying to adjoining properties?)

- These properties combine to create the northwest quadrant of the intersection of Highway 21 & 30
- The uses to the east, west and south are all commercial and include 1.) The City of Port Wentworth
- 2.) CVS Pharmacy 3.) Car Wash 4.) Coastal Nursery & Landscape Supply
- The proposed rezoning would not be in conflict with adjacent zonings or uses in these areas.

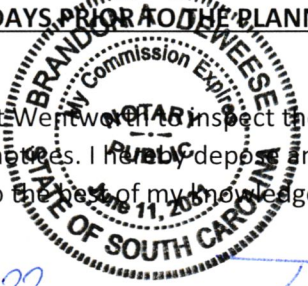
Attach the following documents:

- 1. Written legal description of the property (e.g. copy of deed) - full metes and bounds description rather than plat reference.
2. Name, PIN #, property address and mailing address of property owners within 250 feet of this property.
3. Plat showing property lines with lengths and bearings, adjoining streets, locations of existing buildings, north arrow and scale.
4. Site Plan of proposed use of property.
5. Disclosure of Campaign Contributions and Gifts form. N/A
6. Disclosure of Financial Interests form N/A
7. If property owner and applicant are not the same, Authorization by Property Owner form or Authorizations of Attorney form.
8. Filing fee of \$356.00 + \$50.00 per acre + \$50.00 Administrative Fee, payable to the City of Port Wentworth.

APPLICATION MUST BE FILED 45 BUSINESS DAYS PRIOR TO THE PLANNING COMMISSION MEETING AT WHICH THEY ARE TO BE CONSIDERED.

I hereby authorize the staff of the City of Port Wentworth to inspect the premises of the above described property and to post this property with the duly required notices. I hereby depose and say that all statements herein and attached statements submitted are true and correct to the best of my knowledge and belief.

Sworn to and subscribed before me this 26 day of Sep, 2022.



Brandon C. Rives
Notary Public

[Signature]
Signature of Applicant

Attachment: ZMA Parkers Kirchen Gas Station RA to PC3 2022-Full Application (2745 : ZMA 70976 02003, 70976 02029, & 70976B01001B Hwy 21

DISCLOSURE OF CAMPAIGN CONTRIBUTIONS

(Required by Title 36, Chapter 67A, Official Code of Georgia Annotated)

Reference: Application filed on 9/26/22, 20 22, to rezone real property described as follows:

N/A

Withing the two years preceding the above filing date, the applicant has made campaign contributions aggregating \$250.00 or more to each member of the City Council of the City of Port Wentworth who will consider the application and is listed below. List (1) the name and official position of the local government official and (2) the dollar amount, description and date of each campaign contribution.

N/A

I hereby depose and say that all statements herein are true, correct and complete to the best of my knowledge and belief.

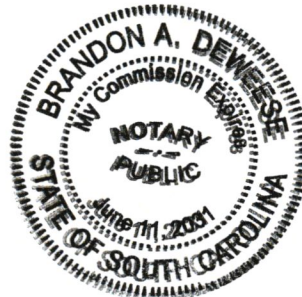
Sworn to and subscribed before me this 26 day of SEP, 20 22.



Signature of Applicant



Notary Public



Attachment: ZMA Parkers Kirchen Gas Station RA to PC3 2022-Full Application (2745 : ZMA 70976 02003, 70976 02029, & 70976B01001B Hwy 21

AUTHORIZATION OF PROPERTY OWNER

Application for Rezoning or Variance

I swear that I am the owner of the property which is the subject matter of the attached application, as is shown in the records of Port Wentworth, Georgia.

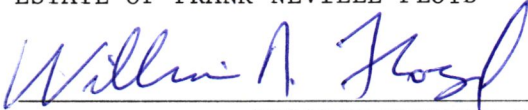
I authorize the person named below to act as applicant in the pursuit of a variance or for the rezoning of this property.

Name of Applicant: Drayton-Parker Companies, LLC C/O Daniel Ben-Yisrael

Address: 17 W. McDonough Street, Savannah, GA 31401

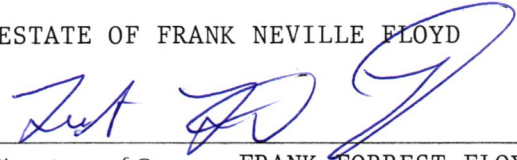
Telephone Number: 912-677-0593

ESTATE OF FRANK NEVILLE FLOYD



Signature of Owner WILLIAM NEVILLE FLOYD
AS CO-EXECUTOR OF THE ESTATE

ESTATE OF FRANK NEVILLE FLOYD

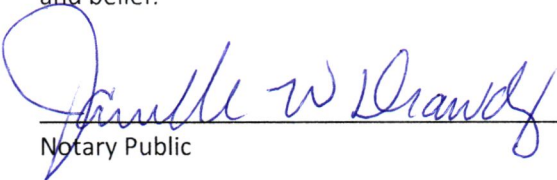


Signature of Owner FRANK FORREST FLOYD
AS CO-EXECUTOR OF THE ESTATE

Personally appeared before me

William Neville Floyd and Frank Forrest Floyd

who swears that the information contained in this authorization is true and correct to the best of his or her knowledge and belief.


Notary Public

9/22/22
Date



Attachment: ZMA Parkers Kirchen Gas Station RA to PC3 2022-Full Application (2745 : ZMA 70976 02003, 70976 02029, & 70976B01001B Hwy 21

22-2059 Parkers – Highway 21 & 30, Port Wentworth

Adjacent property owners within 250' of property boundaries:

- 1.) Frank & Reita's LLC; 70976 02030; 134 Highway 30; 1716 E Highway 80, Bloomingdale, GA 31302
- 2.) Green Eddie Lee; 70976B01018 & 70976B01019; Highway 21; 7317 Highway 21, Port Wentworth, GA 31407
- 3.) Hunter Charles & Rosella; 70976B01001A; 7229 Highway 21, Port Wentworth, GA 31407
- 4.) Jones Rosella ET AL; 70976B01002; Augusta Road; 116 Village Lake Drive, Pooler, GA 31322
- 5.) Hunter Charles E ET AL; 70976B01011; Augusta Road; 7229 Highway 21, Port Wentworth, GA 31407
- 6.) Port City Car Wash, LLC.; 70037 02007; 38 Magellan Blvd.; 118 Pipemakers Circle, Suite 100, Pooler, GA 31322
- 7.) Double Reverse, LLC.; 70037 02006; 0 Magellan Blvd.; 250 N. Orange Avenue, Suite 1500, Orlando, FL 32801
- 8.) WPB Estate Management LLC.; 70037 02016; 0 Highway 21; 4107 Columbia Road, Augusta, GA 30907

22-2059 Parkers – Highway 21 & 30, Port Wentworth

The following narrative describes in detail the proposed subdivision at the northwest corner of the intersection of Highway 21 & Highway 30.

There are currently three (3) existing parcels at this location which will be subdivided and recombined into five (5) proposed parcels following the subdivision approval.

The three existing parcels are:

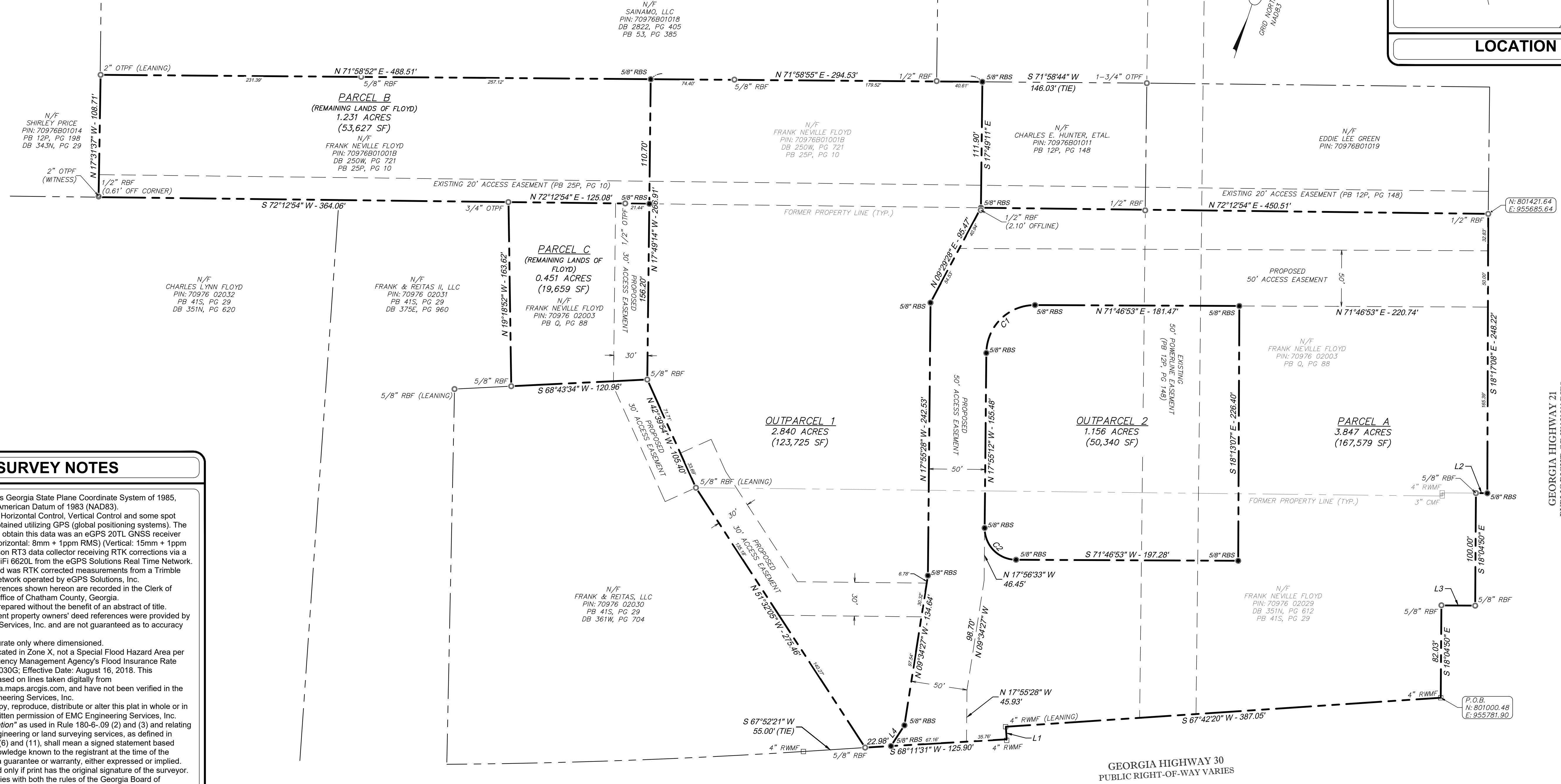
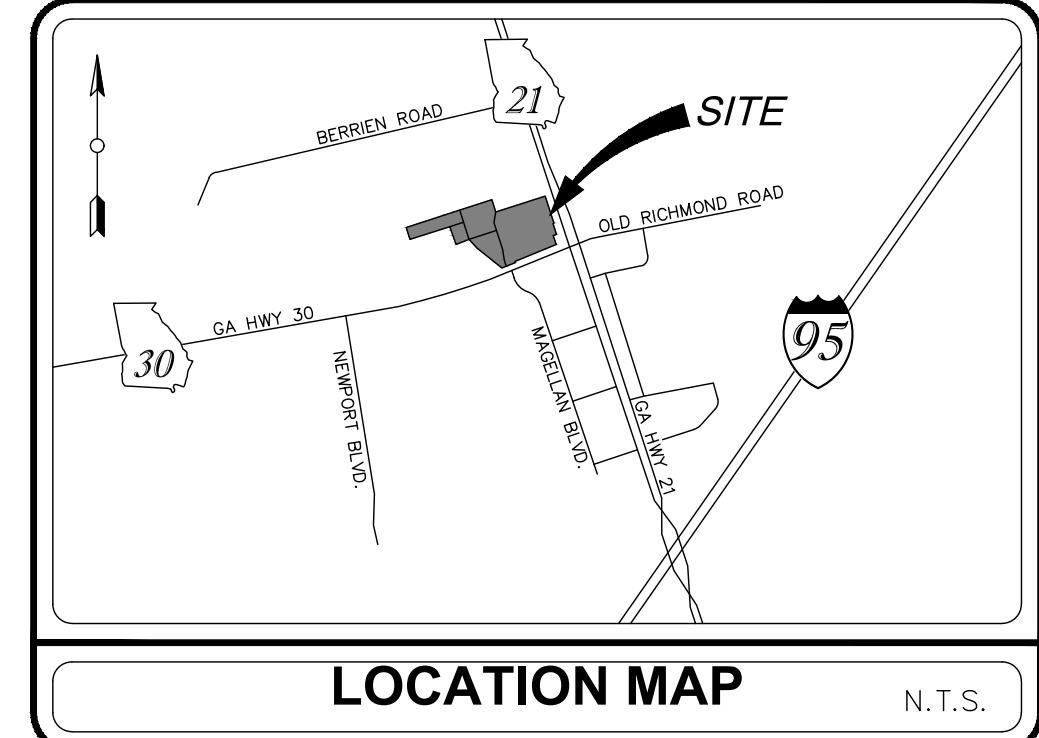
- 1.) PIN: 70976 02029 N/F Frank Neville Floyd (PB 41S, PG 29) (DB 351N, PG 612)
- 2.) PIN: 70976 02003 N/F Frank Neville Floyd (PB Q, PG 88)
- 3.) PIN: 70976B01001B N/F Frank Neville Floyd (PB 25P, PG 10) (DB 250W, PG 721)

The five proposed parcels are described as follows:

- 1.) Parcel A: 3.847 acres created through a combination of a portion of PINs 70976 02029 and 70976 02003.
- 2.) Parcel B: (remaining lands of Floyd) 1.231 acres created as the "leftover" portion of 70976B01001B.
- 3.) Parcel C: (remaining lands of Floyd) 0.451 acres created as the "leftover" portion of 70976 02003.
- 4.) Outparcel 1: 2.840 acres created through a combination of a portion of PINs 70976 02003 and 70976B01001B
- 5.) Outparcel 2: 1.156 acres created through a combination of a portion of PINs 70976 02029 and 70976 02003.

The above labeled parcels can be seen graphically on the subdivision plat prepared by EMC Engineering Services, Inc. on 11/03/2022.

THIS BOX IS RESERVED FOR THE SUPERIOR COURT CLERKS FILING INFORMATION



SURVEY NOTES

- 1. Horizontal Datum is Georgia State Plane Coordinate System of 1985, East Zone, North American Datum of 1983 (NAD83).
- 2. Basis of Bearings, Horizontal Control, Vertical Control and some spot elevations were obtained utilizing GPS (global positioning systems). The equipment used to obtain this data was an eGPS 20TL GNSS receiver [RTK Accuracy (Horizontal: 8mm + 1ppm RMS) (Vertical: 15mm + 1ppm RMS)] with a Carlson RT3 data collector receiving RTK corrections via a Verizon Jetpack MiFi 6620L from the eGPS Solutions Real Time Network. The technique used was RTK corrected measurements from a Trimble VRS Real Time Network operated by eGPS Solutions, Inc.
- 3. All deed book references shown hereon are recorded in the Clerk of Superior Court's Office of Chatham County, Georgia.
- 4. This survey was prepared without the benefit of an abstract of title. Subject and adjacent property owners' deed references were provided by EMC Engineering Services, Inc. and are not guaranteed as to accuracy or completeness.
- 5. Locations are accurate only where dimensioned.
- 6. This property is located in Zone X, not a Special Flood Hazard Area per the Federal Emergency Management Agency's Flood Insurance Rate Map No. 13051C0030G, Effective Date: August 16, 2018. This determination is based on lines taken digitally from http://hazards-fema.maps.arcgis.com, and have not been verified in the field by EMC Engineering Services, Inc.
- 7. No person may copy, reproduce, distribute or alter this plat in whole or in part without the written permission of EMC Engineering Services, Inc.
- 8. The term "Certification" as used in Rule 180-6-.09 (2) and (3) and relating to professional engineering or land surveying services, as defined in O.C.G.A. 43-15-2 (6) and (11), shall mean a signed statement based upon facts and knowledge known to the registrant at the time of the survey and is not a guarantee or warranty, either expressed or implied.
- 9. This survey is valid only if print has the original signature of the surveyor.
- 10. This Survey complies with both the rules of the Georgia Board of Registration for Professional Engineers and Land Surveyors and the Official Code of Georgia Annotated (OCGA) 15-6-67, in that where a conflict exists between those two sets of specifications, the requirements of law prevail.
- 11. All wetlands are under the jurisdiction of the U.S. Army Corps of Engineers and/or the State of Georgia Department of Natural Resources. Lot owners are subject to penalty by law for disturbance to these protected areas without proper permit application and approval.

SURVEY DATA

Parcel A:	3.847 Acres (167,579 Square Feet)
Outparcel 1:	2.840 Acres (123,725 Square Feet)
Outparcel 2:	1.156 Acres (50,340 Square Feet)
Parcel B:	1.231 Acres (53,627 Square Feet)
Parcel C:	0.451 Acres (19,659 Square Feet)
Total Area:	9.525 Acres (414,930 Square Feet)

Plat Closure: 1 in 1,273,168
Field Precision: This entire survey was completed using GPS Base and Rover, Real Time Kinematic, surveying methods using multi-frequency receivers. The field data for this boundary survey has a Relative Positional Accuracy of 0.06 feet or less, horizontally at the 95% confidence level.
Equipment used: Carlson CR2+ Robotic Total Station
Carlson BRx6 GNSS GPS/eGPS Network
Field Work Completed on: September 23, 2022

REFERENCES

PB 75, PG 34	PB 12P, PG 148B	PB 25, PG 10
PB 41S, PG 29	PB Q, PG 88	DB 1250W, PG 721

SURVEYORS CERTIFICATION



As required by subsection (d) of O.C.G.A. Section 15-6-67, this plat has been prepared by a land surveyor and approved by all applicable local jurisdictions for recording as evidenced by approval certificates, signatures, stamps, or statements hereon. Such approvals or affirmations should be confirmed with the appropriate governmental bodies by any purchaser or user of this plat as to intended use of any parcel. Furthermore, the undersigned land surveyor certifies that this plat complies with the minimum technical standards for property surveys in Georgia as set forth in the rules and regulations of the Georgia Board of Registration for Professional Engineers and Land Surveyors and as set forth in O.C.G.A. Section 15-6-67.

Wesley P. Weston
11/3/2022
GA REG. L. S. NO. 3343
DATE

LEGEND

PROPERTY BOUNDARY	---	POINT OF BEGINNING	P.O.B.
ADJACENT PROPERTY LINE	---	PROPERTY ID NUMBER	PIN
FORMER PROPERTY LINE	---	NOW OR FORMERLY	N/F
METES AND BOUNDS	N 47°45'54" E - 497.06'	RIGHT-OF-WAY	R/W
TAG LABEL	L# or CH	PLAT BOOK	PB
5/8" IRON REBAR FOUND	○ 5/8" RBF	DEED BOOK	DB
RIGHT-OF-WAY MONUMENT FOUND	□ RWMF	PAGE	PG
5/8" IRON REBAR SET W/CAP	● RBS	NOT TO SCALE	N.T.S.
MEANDER POINT	○		

LINE TABLE

LINE#	DIRECTION	LENGTH
L1	S22°13'35"E	11.19
L2	S72°08'50"W	10.09
L3	S71°51'49"W	30.00
L4	N14°27'29"E	22.00

CURVE TABLE

CURVE #	BEARING	CHORD	RADIUS	ARC
C1	N26°55'51"E	60.65	43.00	67.32
C2	N63°04'09"W	39.70	28.00	44.13

CERTIFICATE OF DEDICATION

ALL STREETS, RIGHTS-OF-WAY, EASEMENTS AND ANY SITES FOR PUBLIC USE AS NOTED ON THIS PLAT ARE HEREBY DEDICATED FOR THE USE INTENDED.
OWNER _____ DATE _____

CERTIFICATE OF APPROVAL

APPROVED BY THE MAYOR AND COUNCIL, CITY OF PORT WENTWORTH

MAYOR	DATE
COUNCIL MEMBER	DATE
COUNCIL MEMBER	DATE
COUNCIL MEMBER	DATE
COUNCIL MEMBER	DATE
COUNCIL MEMBER	DATE
COUNCIL MEMBER	DATE

EMC ENGINEERING SERVICES, INC.
Civil Marine Environmental
1211 Mercham Way, Suite 201
Salem, GA 30458
Ph: (912) 764-7022
FAX: (912) 233-4580
salesboro@emc-eng.com
www.emc-eng.com

RECOMBINATION AND SUBDIVISION PLAT
FLOYD PROPERTY - 9.525 ACRES
8th G.M. DISTRICT
CITY OF PORT WENTWORTH, CHATHAM COUNTY, GEORGIA
Prepared for:
DRAYTON PARKER COMPANIES

PROJECT NO.: 22-2059
DRAWN BY: WPP/WEC
DESIGNED BY: NCH
SURVEYED BY: 9/23/2022
CHECKED BY: WPP
SCALE: 1" = 50'
DATE: 9/23/2022



Russell R. McMurry, P.E., Commissioner
 One Georgia Center
 600 West Peachtree NW
 Atlanta, GA 30308
 (404) 631-1990 Main Office

September 28, 2022

The Parker Companies
 Daniel Ben-Yisrael
 Real Estate Development Manager 17 W.
 McDonough St.
 Savannah, GA 31401

Re: Commercial Driveway Letter of Intent; SR21 and SR30; Chatham County; Mile Post 15.50 (SR21) and Mile Post 3.41 (SR30)

The Department has reviewed the proposed conceptual drawing submitted to this office requested by The Parker Companies, regarding the request for a Commercial Driveway Permit. The Department agrees to allow one right in / right out only commercial drive located on SR 21 at approximately M.P. 15.50 and an access point located on SR 30 at approximately M.P. 3.41, as depicted on the attachment, that conforms to the current Georgia Department of Transportation Requirements. In addition, the Department will determine if any additional improvements are required once an official set of plans and all required documents are submitted for review and approval

Please be advised the agreement detailed in this letter will expire 1 year from the above date. Submittal and review of your final plans will be required before a permit can be issued for the proposed work. For further assistance, please contact Bryan Hillyard at 912-530-4465, or mail at Georgia Department of Transportation, Attention Bryan Hillyard, 204 N. Hwy. 301 Jesup, GA 31546.

Sincerely,

FOR: Troy Pittman, P.E.
 District Engineer

BY: Joseph Capello, P.E.
 District Traffic Engineer

Attachments
 JRC:DBB:BTH

cc: Randy Rhodes, Area Engineer, Chatham
 John Kent, Area Permit Inspector

Attachment: ZMA Parkers Kirchen Gas Station RA to PC3 2022-Full Application (2745 : ZMA 70976 02003, 70976 02029, & 70976B01001B Hwy 21

NO.	REVISION DESCRIPTION	DATE



EMC ENGINEERING SERVICES, INC.
 2713 WOODBRIDGE BLVD., SUITE 201
 WOODBRIDGE, GA 30086
 (770) 271-7222
 (770) 271-7223
 (770) 271-7224
 (770) 271-7225
 (770) 271-7226
 (770) 271-7227
 (770) 271-7228
 (770) 271-7229
 (770) 271-7230
 (770) 271-7231
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 (770) 271-7236
 (770) 271-7237
 (770) 271-7238
 (770) 271-7239
 (770) 271-7240

PARKER'S KITCHEN
 HWY. 21 & HWY. 30
 PORT WENTWORTH, CHATHAM COUNTY, GEORGIA
 Prepared for:
 THE PARKER COMPANIES

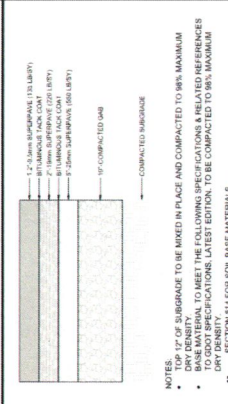
PROJECT NO. 22-0022
 DRAWN BY: JEB
 CHECKED BY: JEB
 SURVEY DATE: 11/22/2021
 SCALE: 1" = 40'
 DATE: 09/22/2022

6.A.a
 SHEET 1
 OF



GDOT CONCEPTUAL DRIVEWAY NOTES:
 THE PARKER COMPANIES, DANIEL BEN YISHAI, CONSULTANT
 ENR 12458
 (770) 271-7222 (770) 271-7223 (770) 271-7224 (770) 271-7225 (770) 271-7226 (770) 271-7227 (770) 271-7228 (770) 271-7229 (770) 271-7230 (770) 271-7231 (770) 271-7232 (770) 271-7233 (770) 271-7234 (770) 271-7235 (770) 271-7236 (770) 271-7237 (770) 271-7238 (770) 271-7239 (770) 271-7240

GDOT CONCEPTUAL DRIVEWAY NOTES:
 1. ALL PAVEMENT MARKINGS INSTALLED ON ASPHALT WITHIN THE PUBLIC RIGHT-OF-WAY SHALL BE THERMOPLASTIC MATERIAL, HIGH CONTRAST TAPE SHALL BE INSTALLED ON CONCRETE STOP LINES SHOULD BE 2" (WHITE).
 2. CENTER LINES SHOULD BE 7" DOUBLE YELLOW.
 3. NEW CONSTRUCTION SHOULD INSTALL 1/2" WHITE EDGE LINES, INCLUDING AT NEW CURBS & RAISED PAVEMENT MARKERS - TYPES 3 (RPM) SHALL BE INSTALLED FOR ALL NEW CONSTRUCTION ON ROADWAYS WITH EXISTING RPM.
 4. DURING CONSTRUCTION WORK WILL BE PERFORMED IN SUCH A MANNER AS TO PERMIT ALL TRAFFIC TO FLOW AS FREELY AS POSSIBLE.
 5. ALL STORAGE AND WAREHOUSING SHALL BE FOR GDOT STANDARDS AND THE M.I.T.C.O.
 6. ALL STORAGE AND WAREHOUSING SHALL BE FOR GDOT STANDARDS AND THE M.I.T.C.O.



NOTES:
 1. 1" OF SUBGRADE TO BE MIXED IN PLACE AND COMPACTED TO 98% MAXIMUM DRY DENSITY.
 2. 1" OF SUBGRADE TO BE MIXED IN PLACE AND COMPACTED TO 98% MAXIMUM DRY DENSITY.
 3. 1" OF SUBGRADE TO BE MIXED IN PLACE AND COMPACTED TO 98% MAXIMUM DRY DENSITY.
 4. 1" OF SUBGRADE TO BE MIXED IN PLACE AND COMPACTED TO 98% MAXIMUM DRY DENSITY.
 5. 1" OF SUBGRADE TO BE MIXED IN PLACE AND COMPACTED TO 98% MAXIMUM DRY DENSITY.
 6. 1" OF SUBGRADE TO BE MIXED IN PLACE AND COMPACTED TO 98% MAXIMUM DRY DENSITY.
 7. 1" OF SUBGRADE TO BE MIXED IN PLACE AND COMPACTED TO 98% MAXIMUM DRY DENSITY.
 8. 1" OF SUBGRADE TO BE MIXED IN PLACE AND COMPACTED TO 98% MAXIMUM DRY DENSITY.
 9. 1" OF SUBGRADE TO BE MIXED IN PLACE AND COMPACTED TO 98% MAXIMUM DRY DENSITY.
 10. 1" OF SUBGRADE TO BE MIXED IN PLACE AND COMPACTED TO 98% MAXIMUM DRY DENSITY.

RECEIVED
 OCT 03 2022



Clock#: 389528
FILED FOR RECORD

5/07/2003 02:24pm

PAID: 12.00

Susan D. Prouse, Clerk
Superior Court of Chatham County
Chatham County, Georgia

Real Estate Transfer Tax

PAID \$24.00

For Clerk of Superior Court

BOOK
PAGE
250 M 721

Return Recorded Document to:
Theodore T. Carellas, P.C.
Post Office Box 2599
Rincon, GA 31326

WARRANTY DEED

STATE OF GEORGIA

COUNTY OF EFFINGHAM

File #: 0267-03

This Indenture made this 23rd day of April, 2003 between Alex Jenkins, of the County of Dade, State of Florida, as party or parties of the first part, hereinafter called Grantor, and Frank Neville Floyd, as party or parties of the second part, hereinafter called Grantee (the words "Grantor" and "Grantee" to include their respective heirs, successors and assigns where the context requires or permits).

WITNESSETH that: Grantor, for and in consideration of the sum of TEN AND 00/100'S (\$10.00) Dollars and other good and valuable considerations in hand paid at and before the sealing and delivery of these presents, the receipt whereof is hereby acknowledged, has granted, bargained, sold, aliened, conveyed and confirmed, and by these presents does grant, bargain, sell, alien, convey and confirm unto the said Grantee, the following described property:

SEE EXHIBIT "A" ATTACHED HERETO AND MADE A PART HEREOF

TO HAVE AND TO HOLD the said tract or parcel of land, with all and singular the rights, members and appurtenances thereof, to the same being, belonging, or in anywise appertaining, to the only proper use, benefit and behoof of the said Grantee forever in FEE SIMPLE.

AND THE SAID Grantor will warrant and forever defend the right and title to the above described property unto the said Grantee against the claims of all persons whomsoever.

IN WITNESS WHEREOF, Grantor has hereunto set grantor's hand and seal this day and year first above written.

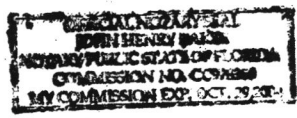
Signed, sealed and delivered in the presence of:

Witness
[Signature]

[Signature] (Seal)
Alex Jenkins

Notary Public
[Signature]

(Seal)



Attachment: ZMA Parkers Kirchen Gas Station RA to PC3 2022-Full Application (2745 : ZMA 70976 02003, 70976 02029, & 70976B01001B Hwy 21

EXHIBIT "A"

All that certain lot, tract or parcel of land situate, lying and being in the 8th G.M. District, Chatham County, Georgia, containing 1.98 acres and being a portion of TheThompkins Property, as shown and more particularly described on that certain map or plat made by Vincent Helmly, R.L.S. #1882, dated April 10, 2003, recorded in Plat Book 25P, Folio 10, in the records of the Clerk of Superior Court of Chatham County, Georgia. For a more particular description reference is hereby made to the aforesaid plat, which is specifically incorporated herein and made a part hereof.

This being the same property conveyed by Warranty Deed from Charlie Thompkins to Alex Jenkins, dated April 28, 1978, recorded in Deed Book 110-U, page 587, aforesaid records.

SUBJECT TO AND INCLUDED HEREWITH is a 20 foot access easement for ingress and egress purposes across the Southern side of the above-described property as shown on the aforescribed plat.

A.J.

250 BOOK
M PAGE
722

Attachment: ZMA Parkers Kirchen Gas Station RA to PC3 2022-Full Application (2745 : ZMA 70976 02003, 70976 02029, & 70976B01001B Hwy 21

Clock#: 1160343
FILED FOR RECORD
5/22/2009 10:04am
PAID: 12.00
Daniel W. Massey, Clerk
Superior Court of Chatham County
Chatham County, Georgia

RECORD AND RETURN TO:
CARELLAS & NEWBERRY, P.C.
POST OFFICE BOX 2599
WINCON, GA 31326

STATE OF GEORGIA)
)
COUNTY OF CHATHAM)

EXECUTOR'S DEED

THIS INDENTURE, Made this 15 day of MAY, 2009, between FRANK NEVILLE FLOYD and CHARLES LYNN FLOYD, Executors of the Estate of ALMA REITA FLOYD, late of the State of Georgia, and County of Chatham, deceased, as Parties of the First Part (hereinafter called "grantors") and FRANK NEVILLE FLOYD, as Party of the Second Part (hereinafter called "grantee"), the words "grantor(s)" and "grantee(s)" to include their respective heirs, successors and assigns where the context requires or permits:

BOOK 351A
PAGE 619

WITNESSETH: That the said grantors (acting under and by virtue of the power and authority contained in the Last Will and Testament of Alma Reita Floyd, the same having been duly probated and recorded in the Court of Probate of Chatham County, Georgia) and all debts of said estate of Alma Reita Floyd having been paid, for and in consideration of the sum of Ten and 00/100 (\$10.00) DOLLARS In hand paid, at and before the sealing and delivery of these presents (the receipt of which is hereby acknowledged), have granted, bargained, sold and conveyed, and by these presents does grant, bargain, sell and convey unto the said grantee, the following described property, to wit:

See "Exhibit A" attached hereto and made a part hereof.

TO HAVE AND TO HOLD the said tract or parcel of land, with all and singular the rights, members and appurtenances thereof, to the same being, belonging, or in anywise appertaining, to the only proper use, benefit and behoof of the said grantee forever, IN FEE SIMPLE: in as full and ample a manner as the same was held, possessed and enjoyed, or might have been held, possessed and enjoyed, by the said deceased.

And the said Parties of the First Part, their heirs, executors, successors and assigns will warrant and forever defend the right and title to the above described property unto the said Party of the Second Part, his executors, administrators, heirs and assigns against the claims of all persons whomsoever.

IN WITNESS WHEREOF, the grantors herein have hereunto set their hand and seal, the day and year first above written.

Signed, sealed and delivered in the presence of:

[Signature]
WITNESS
[Signature]
NOTARY PUBLIC



[Signature] (SEAL)
FRANK NEVILLE FLOYD, Executor of the Estate of Alma Reita Floyd

Signed, sealed and delivered in the presence of:

[Signature]
WITNESS
[Signature]
NOTARY PUBLIC



[Signature] (SEAL)
CHARLES LYNN FLOYD, Executor of the Estate of Alma Reita Floyd

Attachment: ZMA Parkers Kitchen Gas Station RA to PC3 2022-Full Application (2745 : ZMA 70976 02003, 70976 02029, & 70976B01001B Hwy 21

EXHIBIT "A"

All that certain lot, tract or parcel of land situate, lying and being in the City of Port Wentworth, 8th G.M.D., County of Chatham, State of Georgia, and known as Lot One (1), containing 2.83 acres, more or less, as shown upon a map or plat of record in the Office of the Clerk of the Superior Court of Chatham County, Georgia, in Plat Book 41S, page 29, known as A Resubdivision of Parcels 1, 2 & 3, Floyd Subdivision, 8th G. M. District, by Vincent Helmly, Surveyor, RLS #1882, said plat dated July 23, 2008, for the Estate of Alma Reita Floyd.

Subject to conditions, restrictions and easements of record and as shown n the aforescribed plat of survey.

BOOK PAGE
351 N 613

Attachment: ZMA Parkers Kirchen Gas Station RA to PC3 2022-Full Application (2745 : ZMA 70976 02003, 70976 02029, & 70976B01001B Hwy 21

RECORD AND RETURN TO:
CARELLAS & NEWBERRY, P.C.
POST OFFICE BOX 2599
RINCON, GA 31326

Clock#: 1160344
FILED FOR RECORD
5/22/2009 10:04am
PAID: 12.00
Daniel W. Massey, Clerk
Superior Court of Chatham County
Chatham County, Georgia

BOOK 351 N
PAGE 614

STATE OF GEORGIA)
COUNTY OF CHATHAM)

EXECUTOR'S DEED

THIS INDENTURE, Made this the 15 day of MAY, 2009, between FRANK NEVILLE FLOYD and CHARLES LYNN FLOYD, Executors of the Estate of ALMA REITA FLOYD, late of the State of Georgia, and County of Chatham, deceased, as Parties of the First Part (hereinafter called "grantors") and FRANK FORREST FLOYD, as Party of the Second Part (hereinafter called "grantee"), the words "grantor(s)" and "grantee(s)" to include their respective heirs, successors and assigns where the context requires or permits:

WITNESSETH: That the said grantor (acting under and by virtue of the power and authority contained in the Last Will and Testament of Alma Reita Floyd, the same having been duly probated and recorded in the Court of Probate of Chatham County, Georgia, for and in consideration of the sum of Ten and 00/100 (\$10.00) DOLLARS In hand paid, at and before the sealing and delivery of these presents (the receipt of which is hereby acknowledged), have granted, bargained, sold and conveyed, and by these presents does grant, bargain, sell and convey unto the said grantee, the following described property, to wit:

See "Exhibit A" attached hereto and made a part hereof.

TO HAVE AND TO HOLD the said tract or parcel of land, with all and singular the rights, members and appurtenances thereof, to the same being, belonging, or in anywise appertaining, to the only proper use, benefit and behoof of the said grantee forever, IN FEE SIMPLE: in as full and ample a manner as the same was held, possessed and enjoyed, or might have been held, possessed and enjoyed, by the said deceased.

IN WITNESS WHEREOF, the grantors herein have hereunto set their hand and seal, the day and year first above written.

Signed, sealed and delivered in the presence of:

[Signature]
WITNESS
[Signature]
NOTARY PUBLIC



[Signature] (SEAL)
FRANK NEVILLE FLOYD, Executor of the Estate of Alma Reita Floyd

Signed, sealed and delivered in the presence of:

[Signature]
WITNESS
[Signature]
NOTARY PUBLIC



[Signature] (SEAL)
CHARLES LYNN FLOYD, Executor of the Estate of Alma Reita Floyd

Attachment: ZMA Parkers Kirchen Gas Station RA to PC3 2022-Full Application (2745 : ZMA 70976 02003, 70976 02029, & 70976B01001B Hwy 21

EXHIBIT "A"

All that certain lot, tract or parcel of land situate, lying and being in the City of Port Wentworth, 8th G.M.D., County of Chatham, State of Georgia, and known as Lot Two (2), containing 2.04 acres, more or less, as shown upon a map or plat of record in the Office of the Clerk of the Superior Court of Chatham County, Georgia, in Plat Book 41S, page 29, known as A Resubdivision of Parcels 1, 2 & 3, Floyd Subdivision, 8th G. M. District, by Vincent Helmly, Surveyor, RLS #1882, said plat dated July 23, 2008, for the Estate of Alma Rita Floyd.

Subject to conditions, restrictions and easements of record and as shown on the aforementioned plat of survey.

351 N BOOK
615 PAGE

Attachment: ZMA Parkers Kirchen Gas Station RA to PC3 2022-Full Application (2745 : ZMA 70976 02003, 70976 02029, & 70976B01001B Hwy 21

Prepared by and, after recording, return to:

WILLIAMS
TRANSACTIONS & ESTATES, LLC
6205 Abercorn Street, Suite 201
Savannah, Georgia 31405
(912) 356-5550
File #: WT-22-6897

Type: WD
Kind: WARRANTY DEED
Recorded: 6/3/2022 1:04:00 PM
Fee Amt: \$200.00 Page 1 of 2
Transfer Tax: \$175.00
Chatham, Ga. Clerk Superior Court
Tammie Mosley Clerk Superior Court

Participant ID: 3602506218

BK 2822 PG 405 - 406

STATE OF GEORGIA

WARRANTY DEED

COUNTY OF CHATHAM

THIS INDENTURE, made and entered into this 3rd day of JUNE, 2022, by and between **EDDIE GREENE AKA EDDIE LEE GREEN**, as Party of the First Part, and **SAINAMO, LLC**, as Party of the Second Part:

*** WITNESSETH ***

PARTY OF THE FIRST PART, for and in consideration of the sum of TEN DOLLARS (\$10.00) and other valuable consideration, receipt whereof is hereby acknowledged, does hereby grant, bargain, sell and convey unto Party of the Second Part, its heirs, successors and assigns, the following-described property, to-wit:

ALL OF THAT CERTAIN LOT, TRACT OR PARCEL OF LAND SITUATE, LYING AND BEING IN THE 8TH G.M. DISTRICT OF CHATHAM COUNTY, GEORGIA, AND BEING KNOWN AND DESIGNATED AS "AREA = 2.319 ACRES" ON A SURVEY PREPARED BY GLISSON LAND SURVEYING, WILLIAM MARK GLISSON - REGISTERED LAND SURVEYOR GEORGIA PLS #3316, WITH A FIELD SURVEY DATE OF MAY 20, 2022, DATED MAY 23, 2022, RECORDED MAY 24, 2022, IN PLAT BOOK 53, AT PAGE 375; AS REVISED ON JUNE 1, 2022 AND RE-RECORDED ON JUNE 1, 2022, IN PLAT BOOK 53, AT PAGE 385, CHATHAM COUNTY, GEORGIA RECORDS, ENTITLED "SURVEY OF 2.319 ACRES OF LAND LOCATED IN THE 8TH G.M. DISTRICT OF CHATHAM COUNTY, GEORGIA". SAID PLATS ARE INCORPORATED HEREIN BY SPECIFIC REFERENCE AND MADE A PART HEREOF.

THIS BEING THE SAME PROPERTY AS CONVEYED BY ASSENT TO DEVISE FROM NATHANIEL GREEN, AS EXECUTOR OF THE LAST WILL & TESTAMENT OF MARY LOU THOMPSON TO EDDIE LEE GREEN, DATED JUNE 22, 1998, RECORDED JUNE 23, 1998, IN DEED BOOK 194I, AT PAGE 628, IN THE OFFICE OF THE CLERK OF THE SUPERIOR COURT OF CHATHAM COUNTY, GEORGIA, WHICH DEED IS INCORPORATED HEREIN BY SPECIFIC REFERENCE AND MADE A PART HEREOF.

COMMONLY KNOWN AS 0 HIGHWAY 21, PORT WENTWORTH, GEORGIA 31407; P.I.N. 7-0976B-01-018.

SUBJECT, HOWEVER, TO ALL VALID EASEMENTS, RESTRICTIVE COVENANTS, AND RIGHTS-OF-WAY OF RECORD.

TO HAVE AND TO HOLD the said bargained premises, together with all and singular the rights, members, appurtenances and hereditaments to the same being, belonging or in anywise appertaining, to the only proper use, benefit and behoof of the Party of the Second Part, its heirs and assigns forever, in **FEE SIMPLE**. The Party of the First Part expressly covenants that it is seized of said property in good fee simple title and that it has the full right, power and authority to convey the same; that the said property and the grantor thereof is free and clear of any liens, claims or encumbrances whatever whereby the title to said property may in anywise be charged, changed, impaired or defeated, and that the Party of the First Part will forever warrant and defend the said premises against the lawful claim of all persons whomsoever.

IN WITNESS WHEREOF, the said Party of the First Part has hereunto set its hand under seal, this day as aforesaid.

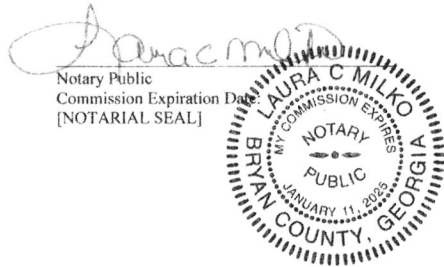
Signed, sealed and delivered in the presence of:

Witness:

Sign: Wallace Williams
Print: Wallace Williams

Seller(s):

Eddie Greene
+ Eddie Greene
EDDIE GREENE AKA EDDIE LEE GREEN



To be filed in **CHATHAM COUNTY** PT-61 025-2022-006582

SECTION A - SELLER'S INFORMATION (Do not use agent's information)				SECTION C - TAX COMPUTATION	
SELLER'S LAST NAME GREEN	FIRST NAME EDDIE	MIDDLE LEE	Exempt Code If no exempt code enter NONE		NONE
MAILING ADDRESS (STREET & NUMBER) 7317 GA HWY 21			1. Actual Value of consideration received by seller Complete Line 1A if actual value unknown	\$175,000.00	
CITY, STATE / PROVINCE / REGION, ZIP CODE, COUNTRY PORT WENTWORTH, GA 31407 USA		DATE OF SALE 6/3/2022	1A. Estimated fair market value of Real and Personal property	\$0.00	
SECTION B - BUYER'S INFORMATION (Do not use agent's information)			2. Fair market value of Personal Property only	\$0.00	
BUYER'S BUSINESS / ORGANIZATION / OTHER NAME SAINAMO, LLC			3. Amount of liens and encumbrances not removed by transfer	\$0.00	
MAILING ADDRESS (Must use buyer's address for tax billing & notice purposes) 112 PARKSIDE BOULEVARD			4. Net Taxable Value (Line 1 or 1A less Lines 2 and 3)	\$175,000.00	
CITY, STATE / PROVINCE / REGION, ZIP CODE, COUNTRY PORT WENTWORTH, GA 31407 USA		Check Buyers Intended Use () Residential () Commercial () Agricultural () Industrial	5. TAX DUE at 10 per \$100 or fraction thereof (Minimum \$1.00)	\$175.00	
SECTION D - PROPERTY INFORMATION (Location of Property (Street, Route, Hwy, etc))					
HOUSE NUMBER & EXTENSION (ex 285A) 0	PRE-DIRECTION, STREET NAME AND TYPE, POST DIRECTION HIGHWAY 21			SUITE NUMBER	
COUNTY CHATHAM	CITY (IF APPLICABLE)		MAP & PARCEL NUMBER 70976B01018	ACCOUNT NUMBER	
TAX DISTRICT	GMD	LAND DISTRICT	ACRES	LAND LOT	SUB LOT & BLOCK
SECTION E - RECORDING INFORMATION (Official Use Only)					
DATE	DEED BOOK	DEED PAGE	PLAT BOOK	PLAT PAGE	

ADDITIONAL BUYERS
None

Attachment: ZMA Parkers Kirchen Gas Station RA to PC3 2022-Full Application (2745 : ZMA 70976 02003, 70976 02029, & 70976B01001B Hwy

Clock#: 1389836
FILED FOR RECORD
2/01/2012 08:47am
PAID: 12.00
Daniel W. Massey, Clerk
Superior Court of Chatham County
Chatham County, Georgia

BOOK 375E
PAGE 960

RECORD AND RETURN TO:
CARELLAS & NEWBERRY, P.C.
P.O. BOX 2599
RINCON, GA 31326

STATE OF GEORGIA)
) **QUITCLAIM DEED**
COUNTY OF EFFINGAM)

THIS INDENTURE, made this 30th day of November, 2011, between F. FORREST FLOYD, as Party of the First Part, and FRANK AND REITA'S II, LLC, as Party of the Second Part,

WITNESSETH:

That the said Party of the First Part for and in consideration of the sum of One Dollar (\$1.00) cash in hand paid, the receipt and adequacy of which is hereby acknowledged, has bargained, sold, and does by these presents remise, release and forever QUITCLAIM to the said Party of the Second Part, its successors, and assigns, all right, title, and interest in and to the following described property, to wit:

All that certain lot, tract or parcel of land situate, lying and being in the City of Port Wentworth, 8th G.M.D., County of Chatham, State of Georgia, and known as Lot Three (3), containing 1.54 acres, more or less, as shown upon a map or plat of record in the Office of the Clerk of the Superior Court of Chatham County, Georgia, in Plat Book 41S, page 29, known as A Resubdivision of Parcels 1, 2 & 3, Floyd Subdivision, 8th G. M. District, by Vincent Helmly, Surveyor, RLS #1882, said plat dated July 23, 2008, for the Estate of Alma Reita Floyd.

Subject to conditions, restrictions and easements of record and as shown on the aforescribed plat of survey.

This being the same property conveyed by Quitclaim Deed from William Neville Floyd to F. Forrest Floyd, dated August 25 2010, recorded in Deed Book 363-P, Page 541, aforesaid records.

Attachment: ZMA Parkers Kirchen Gas Station RA to PC3 2022-Full Application (2745 : ZMA 70976 02003, 70976 02029, & 70976B01001B Hwy 21

BOOK PAGE
375E 961

TO HAVE AND TO HOLD the said property and premises to the said Party of the Second Part so that neither the said Party of the First Part nor his heirs, executors, administrators and assigns, nor any person or persons claiming under the Party of the First Part, shall at any time by any ways or means, have, claim or demand any right or title to the aforesaid property and premises or its appurtenances or any right thereof.

IN WITNESS WHEREOF, said Party of the First Part has hereunto caused his official hand and seal to be set on the day and year first above written.

F. Forrest Floyd (Seal)

Signed, sealed and delivered in the presence of:

[Signature]
Witness

[Signature]
Notary Public



TITLE NOT EXAMINED BY PREPARER OF DEED

Attachment: ZMA Parkers Kirchen Gas Station RA to PC3 2022-Full Application (2745 : ZMA 70976 02003, 70976 02029, & 70976B01001B Hwy

Clock#: 1255696
FILED FOR RECORD
6/24/2010 09:11am
PAID: 10.00
Daniel W. Massey, Clerk
Superior Court of Chatham County
Chatham County, Georgia

BOOK
PAGE
361
V
704

RECORD AND RETURN TO:
CARELLAS & NEWBERRY, P.C.
P.O. BOX 2599
RINCON, GA 31326

STATE OF GEORGIA)
COUNTY OF EFFINGAM) **QUITCLAIM DEED**

THIS INDENTURE, made this 17th day of June, 2010, between FRANK FORREST FLOYD, as Party of the First Part, and FRANK AND REITA'S, LLC, as Party of the Second Part,

WITNESSETH:

That the said Party of the First Part for and in consideration of the sum of One Dollar (\$1.00) cash in hand paid, the receipt and adequacy of which is hereby acknowledged, has bargained, sold, and does by these presents remise, release and forever QUITCLAIM to the said Party of the Second Part, its successors, and assigns, all right, title, and interest in and to the following described property, to wit:

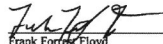
All that certain lot, tract or parcel of land situate, lying and being in the City of Port Wentworth, 8th G.M.D., County of Chatham, State of Georgia, and known as Lot Two (2), containing 2.04 acres, more or less, as shown upon a map or plat of record in the Office of the Clerk of the Superior Court of Chatham County, Georgia, in Plat Book 41S, page 29, known as A Resubdivision of Parcels 1, 2 & 3, Floyd Subdivision, 8th G. M. District, by Vincent Helmly, Surveyor, RLS #1882, said plat dated July 23, 2008, for the Estate of Alma Rita Floyd.

Subject to conditions, restrictions and easements of record and as shown on the aforementioned plat of survey.

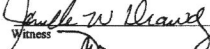
This being the same property conveyed by Executor's Deed dated May 15, 2009, from Frank Neville Floyd and Charles Lynn Floyd, Executors of the Estate of Alma Reita Floyd to Frank Forrest Floyd, recorded in Deed Record Book 351-N, Page 614, aforesaid records.

TO HAVE AND TO HOLD the said property and premises to the said Party of the Second Part so that neither the said Party of the First Part nor his heirs, executors, administrators and assigns, nor any person or persons claiming under the Party of the First Part, shall at any time by any ways or means, have, claim or demand any right or title to the aforesaid property and premises or its appurtenances or any right thereof.

IN WITNESS WHEREOF, said Party of the First Part has hereunto caused his official hand and seal to be set on the day and year first above written.


Frank Forrest Floyd (Seal)

Signed, sealed and delivered in the presence of:


Witness



TITLE NOT EXAMINED BY PREPARER OF DEED

CITY OF PORT WENTWORTH
(912) 964-4379

REC#: 00371638 10/06/2022 9:59 AM
OPER: KS TERM: 055
REF#: 94359

TRAN: 112.0000 BLDG PERMIT
220498 797.50CR
FLOYD, F. NEVILLE
7-0976-02-029
DEV-ZMA 797.50CR

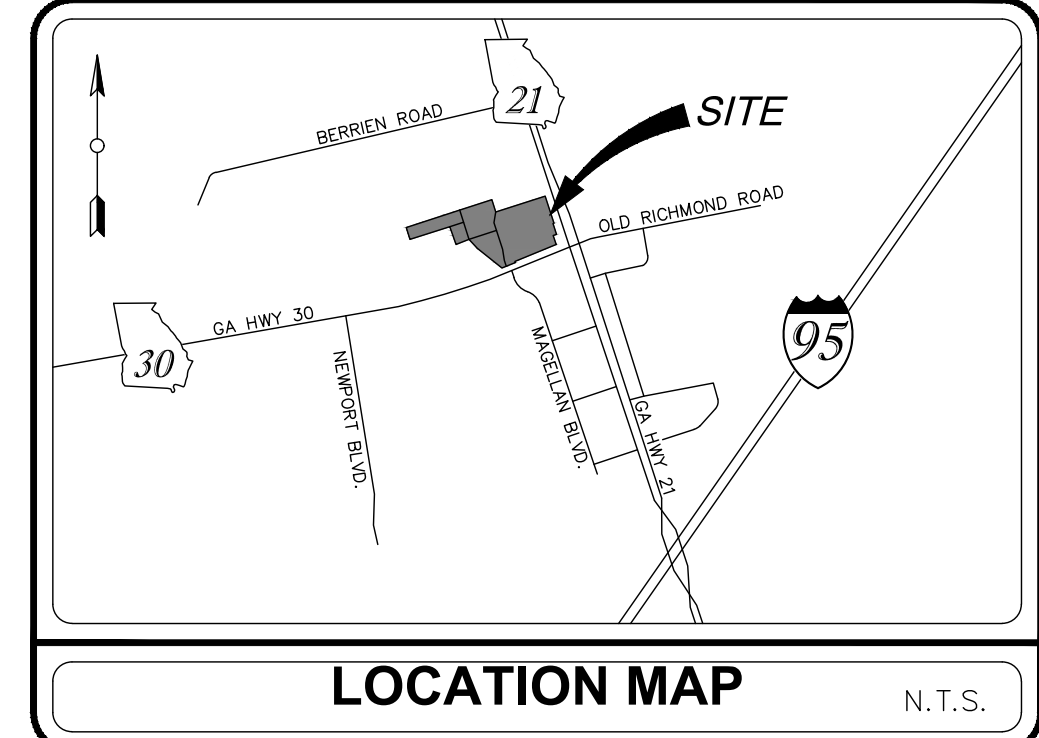
TENDERED: 797.50 CHECK
APPLIED: 797.50-

CHANGE: 0.00

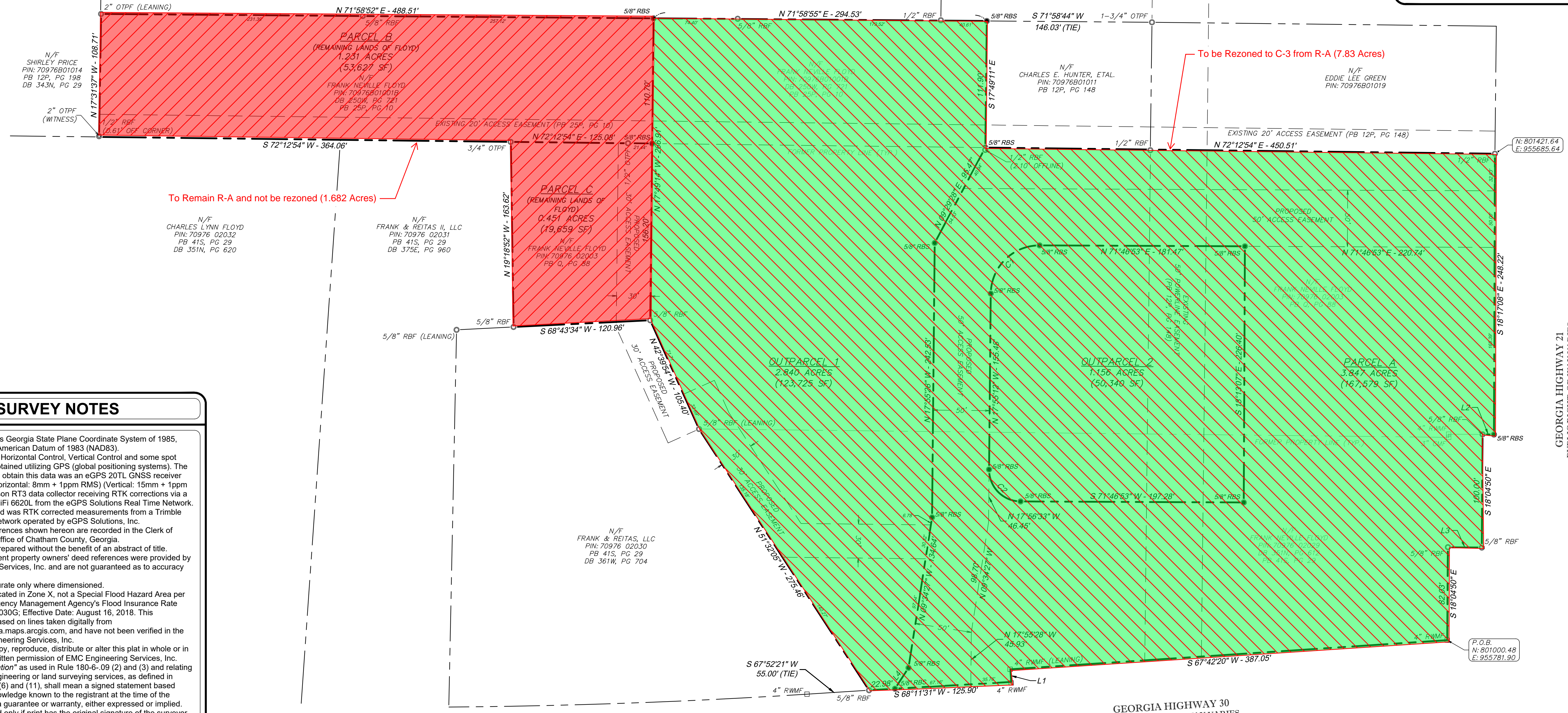
WWW.CITYOFPORTWENTWORTH.COM

Attachment: ZMA Parkers Kirchen Gas Station RA to PC3 2022-Full Application (2745 : ZMA 70976 02003, 70976 02029, & 70976B01001B Hwy

THIS BOX IS RESERVED FOR THE SUPERIOR COURT CLERKS FILING INFORMATION



NO.	REVISION DESCRIPTION	DATE
1	REVISE SUBDIVISION & EASEMENT LINE	9/28/22
2	CORRECT ACRES/SIGNATURE LINES	10/12/22
3	REVISE LOT LINES (PARCEL A, OP 1 & OP 2)	11/03/22



To Remain R-A and not be rezoned (1.682 Acres)

To be Rezoned to C-3 from R-A (7.83 Acres)

SURVEY NOTES

- Horizontal Datum is Georgia State Plane Coordinate System of 1985, East Zone, North American Datum of 1983 (NAD83).
- Basis of Control: Horizontal Control and some spot elevations were obtained utilizing GPS (global positioning systems). The equipment used to obtain this data was an eGPS 20TL GNSS receiver [RTK Accuracy (Horizontal: 8mm + 1ppm RMS) (Vertical: 15mm + 1ppm RMS)] with a Carlson RT3 data collector receiving RTK corrections via a Verizon Jetpack MIFI 6620L from the eGPS Solutions Real Time Network. The technique used was RTK corrected measurements from a Trimble VRS Real Time Network operated by eGPS Solutions, Inc.
- All deed book references shown hereon are recorded in the Clerk of Superior Court's Office of Chatham County, Georgia.
- This survey was prepared without the benefit of an abstract of title. Subject and adjacent property owners' deed references were provided by EMC Engineering Services, Inc. and are not guaranteed as to accuracy or completeness.
- Locations are accurate only where dimensioned.
- This property is located in Zone X, not a Special Flood Hazard Area per the Federal Emergency Management Agency's Flood Insurance Rate Map No. 13051C0030G; Effective Date: August 16, 2018. This determination is based on lines taken digitally from <http://hazards-fema.maps.arcgis.com>, and have not been verified in the field by EMC Engineering Services, Inc.
- No person may copy, reproduce, distribute or alter this plat in whole or in part without the written permission of EMC Engineering Services, Inc.
- The term "Certification" as used in Rule 180-6-.09 (2) and (3) and relating to professional engineering or land surveying services, as defined in O.C.G.A. 43-15-2 (6) and (11), shall mean a signed statement based upon facts and knowledge known to the registrant at the time of the survey and is not a guarantee or warranty, either expressed or implied.
- This survey is valid only if print has the original signature of the surveyor.
- This Survey complies with both the rules of the Georgia Board of Registration for Professional Engineers and Land Surveyors and the Official Code of Georgia Annotated (OCGA) 15-6-67, in that where a conflict exists between those two sets of specifications, the requirements of law prevail.
- All wetlands are under the jurisdiction of the U.S. Army Corps of Engineers and/or the State of Georgia Department of Natural Resources. Lot owners are subject to penalty by law for disturbance to these protected areas without proper permit application and approval.

SURVEY DATA	
Parcel A:	3.847 Acres (167,579 Square Feet)
Outparcel 1:	2.840 Acres (123,725 Square Feet)
Outparcel 2:	1.156 Acres (50,340 Square Feet)
Parcel B:	1.231 Acres (53,627 Square Feet)
Parcel C:	0.451 Acres (19,659 Square Feet)
Total Area:	9.525 Acres (414,930 Square Feet)

Plat Closure: 1 in 1,273,168
 Field Precision: This entire survey was completed using GPS Base and Rover, Real Time Kinematic, surveying methods using multi-frequency receivers. The field data for this boundary survey has a Relative Positional Accuracy of 0.06 feet or less, horizontally at the 95% confidence level.
 Equipment used: Carlson CR2+ Robotic Total Station
 Carlson BRx6 GNSS GPS/eGPS Network
 Field Work Completed on: September 23, 2022

REFERENCES		
PB 75, PG 34	PB 12P, PG 148B	PB 25, PG 10
PB 41S, PG 29	PB Q, PG 88	DB 1250W, PG 721

SURVEYORS CERTIFICATION



As required by subsection (d) of O.C.G.A. Section 15-6-67, this plat has been prepared by a land surveyor and approved by all applicable local jurisdictions for recording as evidenced by approval certificates, signatures, stamps, or statements hereon. Such approvals or affirmations should be confirmed with the appropriate governmental bodies by any purchaser or user of this plat as to intended use of any parcel. Furthermore, the undersigned land surveyor certifies that this plat complies with the minimum technical standards for property surveys in Georgia as set forth in the rules and regulations of the Georgia Board of Registration for Professional Engineers and Land Surveyors and as set forth in O.C.G.A. Section 15-6-67.

Wesley P. Weston
 GA REG. L. S. NO. 3343
 DATE: 11/3/2022

LINE TABLE		
LINE#	DIRECTION	LENGTH
L1	S22° 13' 35"E	11.19
L2	S72° 08' 50"W	10.09
L3	S71° 51' 49"W	30.00
L4	N14° 27' 29"E	22.00

CURVE TABLE			
CURVE #	BEARING	CHORD	RADIUS
C1	N26° 55' 51"E	60.65	43.00
C2	N63° 04' 09"W	39.70	28.00

LEGEND

PROPERTY BOUNDARY	---	POINT OF BEGINNING	P.O.B.
ADJACENT PROPERTY LINE	---	PROPERTY ID NUMBER	PIN
FORMER PROPERTY LINE	---	NOW OR FORMERLY	N/F
METES AND BOUNDS	N 47° 45' 54" E - 497.06'	RIGHT-OF-WAY	R/W
TAG LABEL	L# or C#	PLAT BOOK	PB
5/8" IRON REBAR FOUND	○ 5/8" RBF	DEED BOOK	DB
RIGHT-OF-WAY MONUMENT FOUND	□ RWMF	PAGE	PG
5/8" IRON REBAR SET W/CAP	● RBS	NOT TO SCALE	N.T.S.
MEANDER POINT	○		

CERTIFICATE OF DEDICATION

ALL STREETS, RIGHTS-OF-WAY, EASEMENTS AND ANY SITES FOR PUBLIC USE AS NOTED ON THIS PLAT ARE HEREBY DEDICATED FOR THE USE INTENDED.

OWNER: _____ DATE: _____

CERTIFICATE OF APPROVAL

APPROVED BY THE MAYOR AND COUNCIL, CITY OF PORT WENTWORTH

MAYOR: _____ DATE: _____

COUNCIL MEMBER: _____ DATE: _____

COUNCIL MEMBER: _____ DATE: _____

COUNCIL MEMBER: _____ DATE: _____

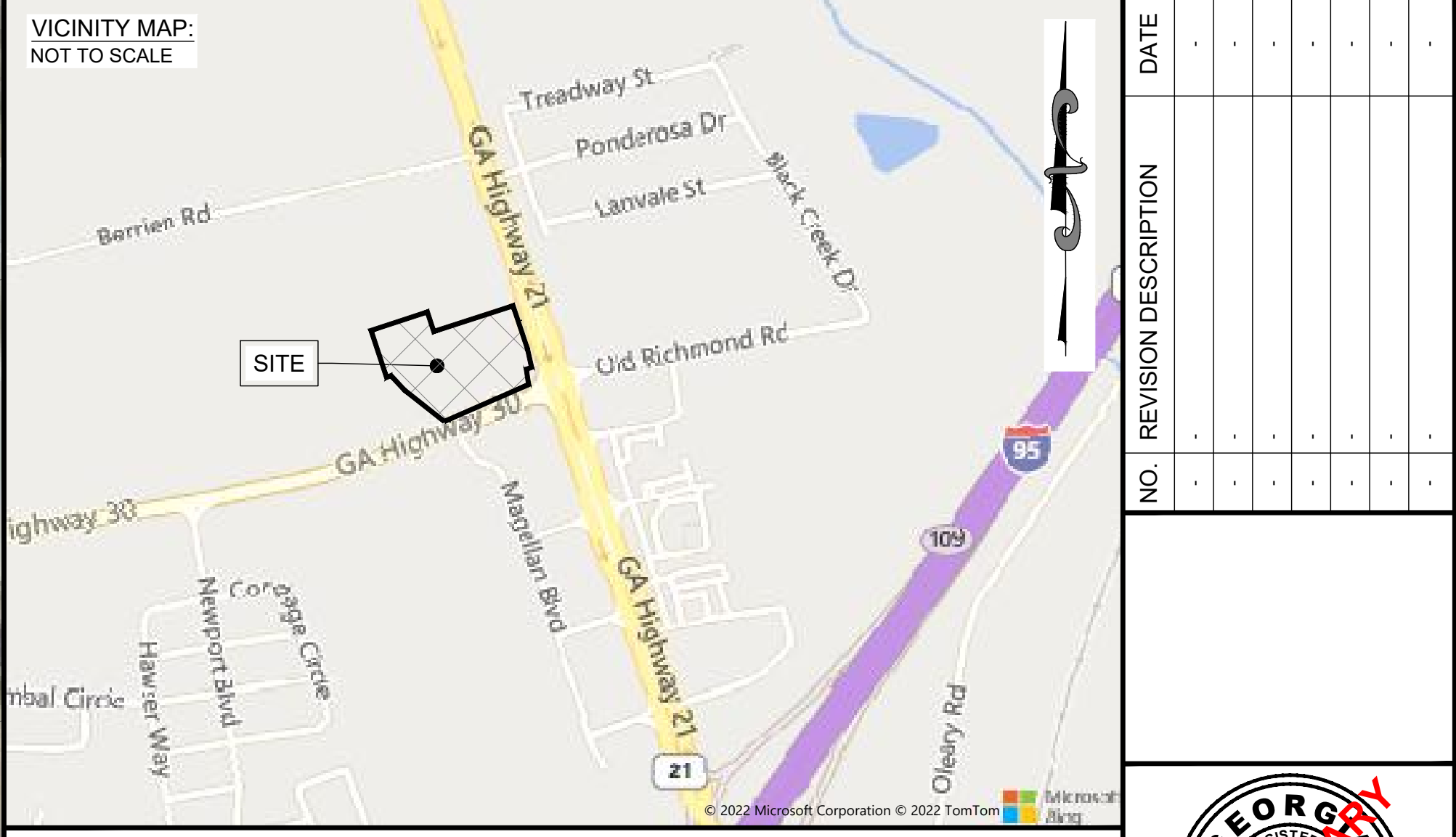
COUNCIL MEMBER: _____ DATE: _____

COUNCIL MEMBER: _____ DATE: _____

COUNCIL MEMBER: _____ DATE: _____

RECOMBINATION AND SUBDIVISION PLAT
FLOYD PROPERTY - 9.525 ACRES
 8th G.M. DISTRICT
 CITY OF PORT WENTWORTH, CHATHAM COUNTY, GEORGIA
 Prepared for:
DRAYTON PARKER COMPANIES

PROJECT NO.: 22-2059
 DRAWN BY: WPP/WEC
 SURVEYED BY: NCH
 SURVEY DATE: 9/23/2022
 CHECKED BY: WPP
 SCALE: 1" = 50'
 DATE: 9/23/2022



SITE NOTES:

PROJECT DESCRIPTION	THE SUBJECT SITE CONSISTS OF UNDEVELOPED/OPEN SPACE, LYING ON 3 PARCEL(S) OF LAND. IT IS THE INTENTION OF THE DEVELOPER TO CONSTRUCT A CONVENIENCE STORE / GAS STATION AT THE CORNER OF HWY. 21 AND HWY. 30. THE DEVELOPER ALSO PLANS TO INSTALL AN ACCESS ROAD OFF OF HWY. 30 TO SERVE THE CONVENIENCE STORE DIESEL FUELING STATION AS WELL AS OUT-PARCELS TO BE LOCATED WEST OF THE ACCESS ROAD.
PROPERTY DESCRIPTION	NORTHWEST INTERSECTION OF HWY. 21 & HWY. 30 PIN #: 70976-02029, 70976-02003 & 70976801001B
AREA	TOTAL PROPERTY AREA 7.83 ACRES SUBJECT PROPERTY AREA 3.84 ACRES OUT-PARCEL AREA OUT-PARCEL #1- 2.83 ACRES OUT-PARCEL #2- 1.16 ACRES
ZONING	EXISTING R-A PROPOSED C-3 (GENERAL-BUSINESS) (REZONING REQUIRED)
SETBACKS	FRONT SETBACK: 40-FT SIDE SETBACK: 10-FT REAR SETBACK: 10-FT
UTILITIES	WATER THE DEVELOPER INTENDS TO CONNECT TO THE CITY OF PORT WENTWORTH'S UTILITY MAINS FOR WATER AND SANITARY SEWER SERVICE. SANITARY SEWER

OFF STREET PARKING NOTES:

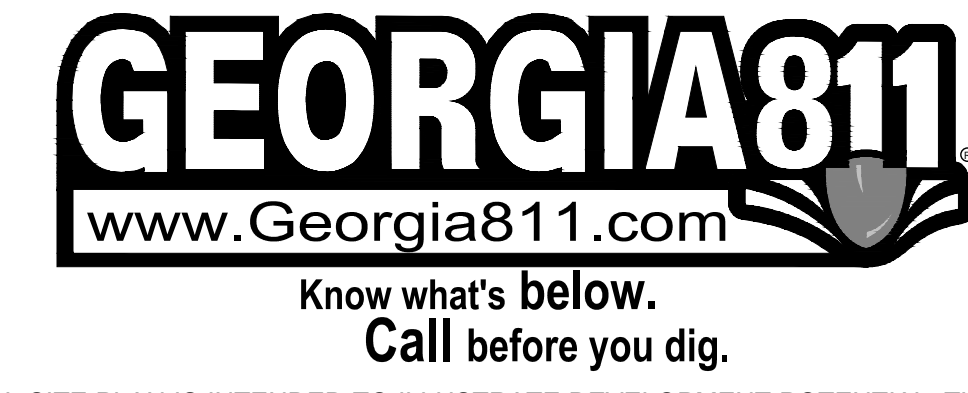
REQUIRED PARKING	1 SPACE PER 200 SQ. FT. + 1 SPACE PER FUEL PUMP
REQUIRED PARKING DESIGN CONSTRAINT	5,175 SQ. FT. 7 PUMPS
REQUIRED PARKING CALCULATION	(1 SPACE PER 200 SQ. FT. * 5,175 SQ. FT.) + (1 SPACE PER FUEL PUMP * 7 PUMPS) = 33 SPACES REQUIRED
PARKING PROVIDED	31 9-FT WIDE REGULAR AUTO SPACES 2 9-FT WIDE ADA AUTO SPACES 33 TOTAL SPACES

HATCH LEGEND:

	PROPOSED ASPHALT		PROPOSED HEAVY-DUTY ASPHALT
	PROPOSED CONCRETE SIDEWALK		DUMPSTER PAD

CONCEPTUAL PLAN SPECIAL NOTES

①	PYLON SIGN - TO BE DESIGNED AND PERMITTED BY OTHERS
②	24' X 186' AUTO CANOPY
③	DUMPSTER ENCLOSURE
④	CONCRETE PAD W/ (3) UNDERGROUND FUEL STORAGE TANKS



THIS CONCEPTUAL SITE PLAN IS INTENDED TO ILLUSTRATE DEVELOPMENT POTENTIAL. THIS PLAN DOES NOT BIND OR LIMIT THE OWNER / DEVELOPER, NOR SHALL THE ENGINEER BE BOUND OR LIMITED BY THE PLAN. ALL ILLUSTRATIONS / DRAWINGS ARE SUBJECT TO CHANGE

NO.	REVISION DESCRIPTION	DATE

EMC ENGINEERING SERVICES, INC.
 REGISTERED PROFESSIONAL ENGINEER
 No. 12866
 PIN: 70976 02022
 PREPARED FOR: PARKER'S KITCHEN
 PREPARED BY: WESTON ROGERS

GRAPHIC SCALE: 1" = 50'

CIVIL MARINE ENVIRONMENTAL
 ALBANY • ATLANTA • AUGUSTA • BRUNSWICK • COLUMBUS
 SAVANNAH • STATESBORO • THOMASTON • VALDOSTA • WARNER ROBINS

CONCEPTUAL PLAN
PARKER'S KITCHEN
 HWY. 21 & HWY. 30
 PORT WENTWORTH, CHATHAM COUNTY, GEORGIA
 Prepared for:
THE PARKER COMPANIES

PROJECT NO.:	22-2059
DRAWN BY:	KES
DESIGNED BY:	KES
SURVEYED BY:	-
CHECKED BY:	CPR
SCALE:	1" = 50'
DATE:	11/03/2022

G:\22-2059 PARKER'S - HWY 21 & HWY 30\DWG\22-20596_B01.DWG 11/3/2022 11:49 AM

Project Timeline

Project Number: 220498

Project Name: ZMA Parkers Kitchen Gas Station RA to C3 2022

Applicant / Engineer: EMC Engineering Services

Owner: Frank Neville Floyd

City Review Engineer: N/A

- 10/03/2022 – Zoning Map Amendment Application received: Incomplete
- 10/05/2022 – Received missing documentation.
- 10/11/2022 – zoning signs ordered
- 10/21/2022 – public hearing notice letters mailed.
- 10/24/2022 – public hearing notice posted in Savannah Morning News
- 10/26/2022 – public hearing notice signs posted.
- 11/4/2022 – received revised concept plan and plat.



Planning Commission
305 South Coastal Highway
Port Wentworth, GA 31407

Meeting: 11/14/22 03:30 PM
Department: Development Services
Category: Planning/Zoning Item
Prepared By: Melanie Ellis
Department Head: Brian Harvey

SUBMITTED

AGENDA ITEM (ID # 2744)

DOC ID: 2744

Subdivision Application submitted by Cody Rogers, P.E., EMC Engineering Services, Inc., on behalf of Forrest and William Floyd for PIN #'s: 70976 02003, 70976 02029, and 70976B01001B (Northwest Quadrant of the Intersection of Highway 21 and Highway 30) located in a R-A (Residential Agriculture) Zoning District for a Final Plat of a Major Subdivision (Floyd Property - 9.525 Acres) for the purpose of retail and other business development

Issue/Item: Subdivision Application submitted by Cody Rogers, P.E., EMC Engineering Services, Inc., on behalf of Forrest and William Floyd for PIN #'s: 70976 02003, 70976 02029, and 70976B01001B (Northwest Quadrant of the Intersection of Highway 21 and Highway 30) located in a R-A (Residential Agriculture) Zoning District for a Final Plat of a Major Subdivision (Floyd Property - 9.525 Acres) for the purpose of retail and other business development

Background: There are currently three (3) existing parcels at this location which will be subdivided and recombined into five (5) proposed parcels. The five proposed parcels are described as follows:

- 1.) Parcel A: 3.847 acres created through a combination of a portion of PINs 70976 02029 and 70976 02003.
- 2.) Parcel B: (remaining lands of Floyd) 1.231 acres created as the "leftover" portion of 70976B01001B.
- 3.) Parcel C: (remaining lands of Floyd) 0.451 acres created as the "leftover" portion of 70976 02003.
- 4.) Outparcel 1: 2.840 acres created through a combination of a portion of PINs 70976 02003 and 70976B01001B
- 5.) Outparcel 2: 1.156 acres created through a combination of a portion of PINs 70976 02029 and 70976 02003.

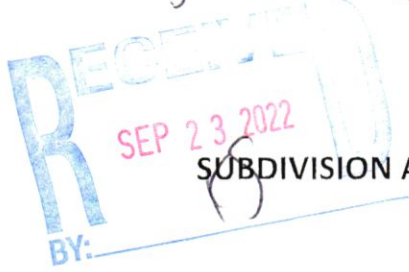
Facts and Findings: The application and submitted plat appears to meet the City requirements. When developed the developer intends on connecting to City of Port Wentworth water and sanitary sewer utilities.

Funding: N/A

Recommendation: The Planning Commission will hear this application on Monday, November 14, 2022 at 3:30PM.

ATTACHMENTS:

- Parkers Hwy 21 & 30 RA F-PLAT Nov 2022-Application (PDF)
- Parkers Hwy 21 & 30 RA F-Plat Nov 2022-Letter of Intent (PDF)
- Parkers Hwy 21 & 30 RA F-Plat Nov 2022-Subdivision Narrative 11.7.22 (PDF)
- Parkers Hwy 21 & 30 R-A F-Plat Nov 2022-Timeline (DOCX)
- Parkers Hwy 21 & 30 RA F-Plat Nov 2022-Sub Plat-REV1 (signed) 11.3.22 (PDF)



SUBDIVISION APPLICATION FORM FOR THE CITY OF PORT WENTWORTH

Application Form Required

This application form is to accompany all subdivisions submitted for Port Wentworth Planning Commission review and is to be filled out in its entirety. Plats/subdivisions not accompanied by this application will not be accepted for processing. All subdivisions with their completed applications must be received by the City of Port Wentworth at least 45 business days prior to the Planning Commission meeting at which they are to be considered. Revisions to a subdivision under review by the Port Wentworth Planning Commission must be received 10 business days prior to the Port Wentworth Planning Commission at which each subdivision is scheduled to be heard.

Subdivision Name: Parkers - Highway 21 & 30	
Location: Northwest Quadrant of Intersection of Highway 21 & 30	
Number of Lots: 15 CR DB4	Number of Acres: 7.83
PIN #'s): 70976-02029 ; 70976-02003 ; 70976B01001B	Current Zoning: R-A (proposed C-3)

Type of Subdivision: (Check applicable blanks from each column)

- A. Sketch Plan
- Master Plan
- Preliminary Plat
- DB4 CR X Final Plat
- Revision to a Recorded Plat
- B. Major Subdivision (4 or more lots or a new road)
- CR DB4 Minor Subdivision (3 or less lots & no new road)

Access Road is not to be dedicated to the City

Purpose of Subdivision:

- Single Family
- Multi-Family
- X Retail
- X Other Business
- Industrial
- Institutional
- Other
- Sign

Variances: (List all variances being requested)

Georgia DOT Review

In all applications in which property being subdivided lies along a State Highway or access is needed from a State Highway, all applicants are required to submit a plat to the Georgia Department of Transportation for review. The subdivision application will not be considered by the Port Wentworth Planning Commission until the Georgia Department of Transportation has commented on the subdivision. The comments must accompany the application.

Plat has been submitted, comments will be forwarded upon receipt

Previous Submittal

Has this tract of land being proposed for subdividing been submitted to the Port Wentworth Planning Commission under a different subdivision name?

Yes _____ No X

If yes, what name? _____

Date Submitted: _____ PWPC File No: _____

Number of Required Prints

All submittals, regardless of type, shall include **three (3) full size prints and fifteen (15) half size (11" x 17") prints**. Stamp must be in contrasting ink. Also, a **PDF** of the entire submittal is required on a flash drive or digital download link (**NO CD's**).

Statements as to Covenants / Deed Restrictions: (Check One)

- A copy of all existing deed restrictions or subdivision covenants applicable to this property are attached.
- There are no added restrictions or subdivision covenants on this property.

Contact Person (s): (Type or Print Legibly)

Engineer/Surveyor: EMC Engineering Services, Inc. C/O Cody Rogers, PE

Address: 1211 Merchant Way, Suite 201 City, State Zip: Statesboro, GA 30458

Phone #: 912-644-3219 Email: cody_rogers@emc-eng.com

Owner: Forrest Floyd & William Floyd

Address: 120 State Road 30 City, State Zip: Savannah, GA 31407

Phone # 912.657.9691 Email: w.floyd@comcast.net

Date: 09/21/2022

Please list all property owners that are within 250 feet of the parcel to be subdivided including those across the public right-of-way. Please include name, mailing address and PIN #.

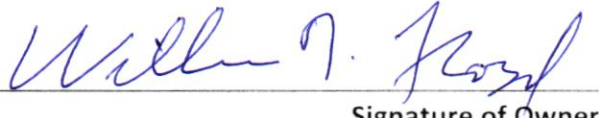
- 1.) Frank & Reita's LLC; 70976 02030; 134 Highway 30; 1716 E Highway 80, Bloomingdale, GA 31302 _____
- 2.) Green Eddie Lee; 70976B01018 & 70976B01019; Highway 21; 7317 Highway 21, Port Wentworth, GA 31407 _____
- 3.) Hunter Charles & Rosella; 70976B01001A; 7229 Highway 21, Port Wentworth, GA 31407 _____
- 4.) Jones Rosella ET AL; 70976B01002; Augusta Road; 116 Village Lake Drive, Pooler, GA 31322 _____
- 5.) Hunter Charles E ET AL; 70976B01011; Augusta Road; 7229 Highway 21, Port Wentworth, GA 31407 _____
- 6.) Port City Car Wash, LLC.; 70037 02007; 38 Magellan Blvd.; 118 Pipemakers Circle, Suite 100, Pooler, GA 31322 _____
- 7.) Double Reverse, LLC.; 70037 02006; 0 Magellan Blvd.; 250 N. Orange Avenue, Suite 1500, Orlando, FL 32801 _____
- 8.) WPB Estate Management LLC.; 70037 02016; 0 Highway 21; 4107 Columbia Road, Augusta, GA 30907 _____

Certifications:

- 1. I hereby certify that this proposed subdivision/plan does not violate any covenants or deed restrictions currently in effect for the property being subdivided.
- 2. I hereby certify that all taxes applicable to this property have been paid and that there are no delinquent taxes outstanding.
- 3. I hereby certify that I am the owner of the property being proposed for subdivision.
- 4. I hereby certify that all the information pertained in this application is true and correct.

ESTATE OF FRANK NEVILLE FLOYD

ESTATE OF FRANK NEVILLE FLOYD





AS CO-EXECUTOR OF THE ESTATE **Signature of Owner**

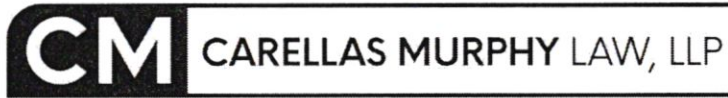
AS CO-EXECUTOR OF THE ESTATE **Signature of Owner**

Comments: Place any pertinent comments you wish to make in the following space:

Submit this form with the proposed subdivision and any accompanying information to:

**CITY OF PORT WENTWORTH
7306 HIGHWAY 21, SUITE 301
PORT WENTWORTH, GEORGIA 31407**

UPDATED 1.21.2021



440 Silverwood Centre Drive
P.O. Box 2599 Rincon, GA, 31326
T: (912) 826-7100
F: (912) 826-9740

SCANNED
D. H. Smith
9-29-22

September 27, 2022

Parker's Kitchen
Attn: Daniel Ben-Yisrael
17 W. McDonough St.
Savannah, GA 31401

Re: Subdivision application and rezoning authorization form

Dear Daniel:

Enclosed are the original documents which were signed by Forrest Floyd and William Floyd.

Sincerely,

CARELLAS MURPHY LAW, LLP
By Theodore T. Carellas, P.C.

Janelle W. Drawdy
Legal Assistant

/jwd
Enclosures

Attachment: Parkers Hwy 21 & 30 RA F-PLAT Nov 2022-Application (2744 : Subdivision Application FINAL PLAT Floyd Property Parkers NOV

AUTHORIZATION OF PROPERTY OWNER

Application for Rezoning or Variance

I swear that I am the owner of the property which is the subject matter of the attached application, as is shown in the records of Port Wentworth, Georgia.

I authorize the person named below to act as applicant in the pursuit of a variance or for the rezoning of this property.

Name of Applicant: Drayton-Parker Companies, LLC C/O Daniel Ben-Yisrael

Address: 17 W. McDonough Street, Savannah, GA 31401

Telephone Number: 912-677-0593

ESTATE OF FRANK NEVILLE FLOYD

William N. Floyd

Signature of Owner WILLIAM NEVILLE FLOYD
AS CO-EXECUTOR OF THE ESTATE

ESTATE OF FRANK NEVILLE FLOYD

Frank Forrest Floyd

Signature of Owner FRANK FORREST FLOYD
AS CO-EXECUTOR OF THE ESTATE

Personally appeared before me

William Neville Floyd and Frank Forrest Floyd

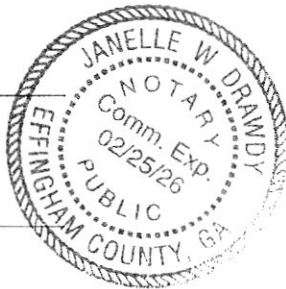
who swears that the information contained in this authorization is true and correct to the best of his or her knowledge and belief.

Janelle W Drandy

Notary Public

9/22/22

Date



Attachment: Parkers Hwy 21 & 30 RA F-PLAT Nov 2022-Application (2744 : Subdivision Application FINAL PLAT Floyd Property Parkers NOV

CITY OF PORT WENTWORTH
(912) 964-4379

REC#: 00371557 10/04/2022 10:55 AM
OPER: KS TERM: 055
REF#: 1111

TRAN: 112.0000 BLDG PERMIT
220494 621.00CR
FLOYD, WILLIAM
7097602029
I-SUBDIV 621.00CR

TENDERED: 621.00 CHECK
APPLIED: 621.00-

CHANGE: 0.00

WWW.CITYOFPORTWENTWORTH.COM

Attachment: Parkers Hwy 21 & 30 RA F-PLAT Nov 2022-Application (2744 : Subdivision Application FINAL PLAT Floyd Property Parkers NOV



Russell R. McMurry, P.E., Commissioner
 One Georgia Center
 600 West Peachtree NW
 Atlanta, GA 30308
 (404) 631-1990 Main Office

September 28, 2022

The Parker Companies
 Daniel Ben-Yisrael
 Real Estate Development Manager 17 W.
 McDonough St.
 Savannah, GA 31401

Re: Commercial Driveway Letter of Intent; SR21 and SR30; Chatham County; Mile Post 15.50 (SR21) and Mile Post 3.41 (SR30)

The Department has reviewed the proposed conceptual drawing submitted to this office requested by The Parker Companies, regarding the request for a Commercial Driveway Permit. The Department agrees to allow one right in / right out only commercial drive located on SR 21 at approximately M.P. 15.50 and an access point located on SR 30 at approximately M.P. 3.41, as depicted on the attachment, that conforms to the current Georgia Department of Transportation Requirements. In addition, the Department will determine if any additional improvements are required once an official set of plans and all required documents are submitted for review and approval

Please be advised the agreement detailed in this letter will expire 1 year from the above date. Submittal and review of your final plans will be required before a permit can be issued for the proposed work. For further assistance, please contact Bryan Hillyard at 912-530-4465, or mail at Georgia Department of Transportation, Attention Bryan Hillyard, 204 N. Hwy. 301 Jesup, GA 31546.

Sincerely,

FOR: Troy Pittman, P.E.
 District Engineer

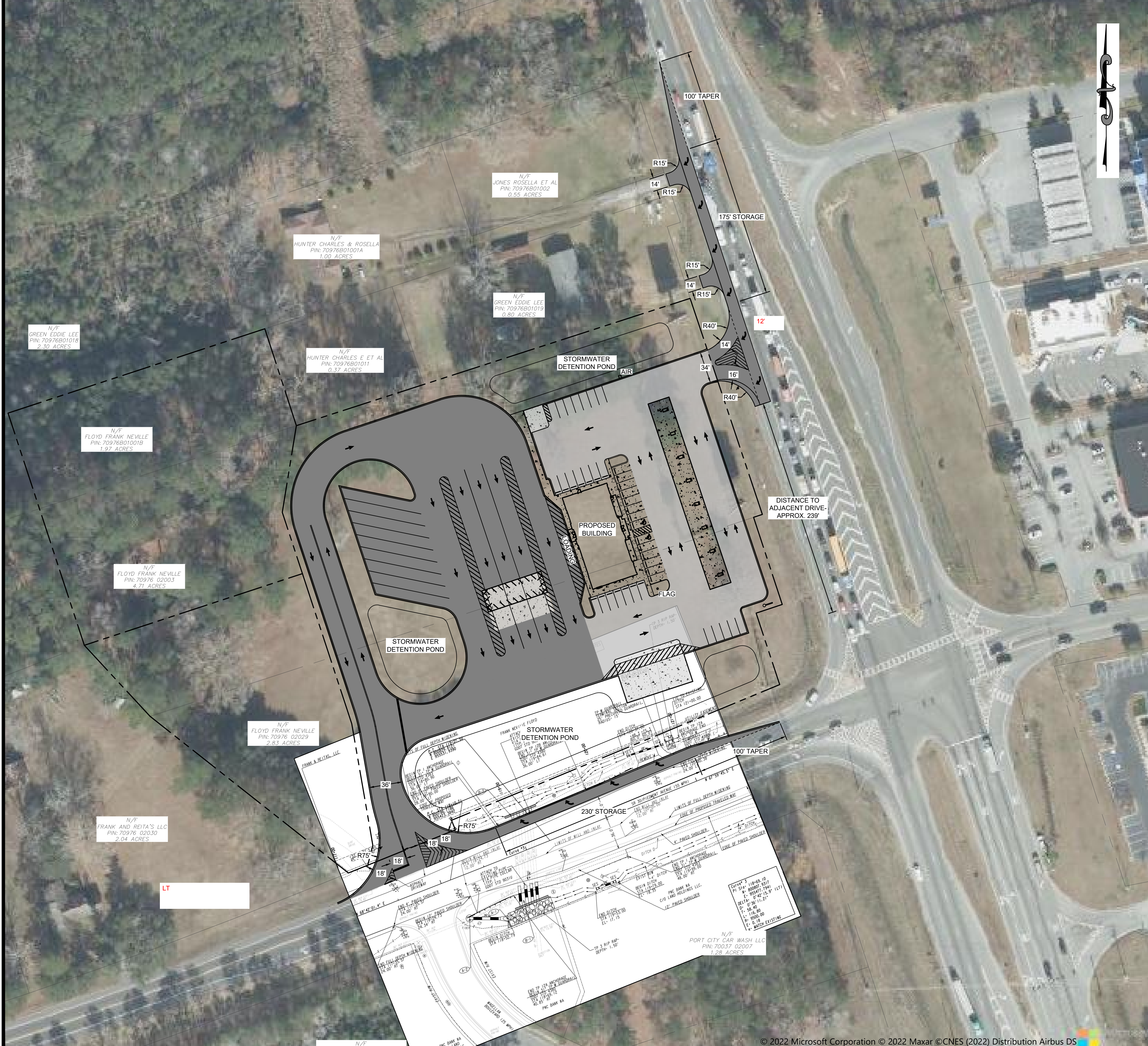
A handwritten signature in blue ink, appearing to read 'Joseph Capello', is written over the typed name and title.

BY: Joseph Capello, P.E.
 District Traffic Engineer

Attachments
 JRC:DBB:BTH

cc: Randy Rhodes, Area Engineer, Chatham
 John Kent, Area Permit Inspector

Attachment: Parkers Hwy 21 & 30 RA F-Plat Nov 2022-Letter of Intent (2744 : Subdivision Application FINAL PLAT Floyd Property Parkers NOV



GDOT COMMERCIAL DRIVEWAY NOTES:
 OWNER / APPLICANT:
 THE PARKER'S COMPANIES- DANIEL BEN-YISRAEL
 17 W. MCDONOUGH ST., SAVANNAH, GA 31401
 (912) 677-0593 (dbenyisrael@parkersav.com)

ENGINEER / PLAN PREPARER:
 EMC ENGINEERING SERVICES, INC.; CODY P. ROGERS, PE
 1211 MERCHANT WAY, SUITE 201, STATESBORO, GEORGIA 30458
 (912) 644-3219 (cody_rogers@emc-eng.com)

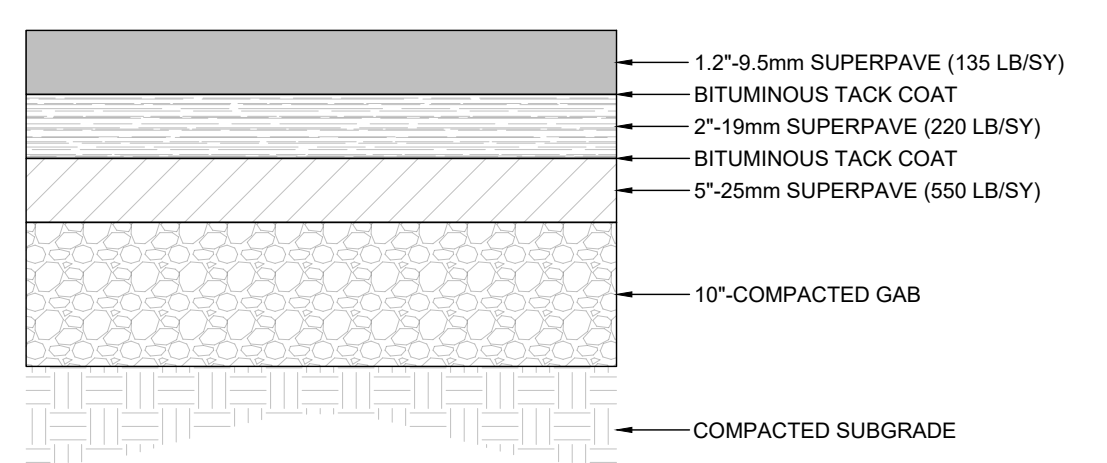
SITE INFORMATION:
 LOCATION: GA STATE ROUTE 21 & GA STATE ROUTE 30
 PROPERTY AREA: 9.00 ACRES
 ROAD NAME (STATE ROUTE): TOM TRIMPLETT PKWY (GA STATE ROUTE 21)
 PIEDMONT AVE (GA STATE ROUTE 30)
 POSTED SPEED LIMIT:
 HWY 21- 45 MPH
 HWY 30- 55 MPH
 FUNCTIONAL CLASS:
 HWY 21- PRINCIPAL ARTERIAL
 HWY 30- MINOR ARTERIAL
 ANNUAL AVERAGE DAILY TRAFFIC:
 HWY 21- 29,100 (2021 DATA FROM GDOT STATION ID 051-0112)
 HWY 30- 13,000 (2021 DATA FROM GDOT STATION ID 051-0307)
 PERCENT TRUCKS:
 HWY 21- 14% (2021 DATA FROM GDOT STATION ID 051-0112)
 HWY 30- 6% (2021 DATA FROM GDOT STATION ID 051-0307)

TRIP GENERATION:
 A TRAFFIC IMPACT ANALYSIS WILL BE PERFORMED UNDER THE SCOPE OF THIS PROJECT. ROADWAY IMPROVEMENTS WILL BE IMPLEMENTED AS RECOMMENDED IN THE TIA.

STORMWATER:
 SITE DOES NOT INCREASE RUNOFF BY MORE THAN 1-CFS INTO STATE R/W. SITE WILL NOT HAVE ANY ADVERSE EFFECT UPSTREAM, DOWNSTREAM, OR ON THE STATE R/W.

- GDOT MARKING NOTES:**
- ALL PAVEMENT MARKINGS INSTALLED ON ASPHALT WITHIN THE PUBLIC RIGHT-OF-WAY SHALL BE THERMOPLASTIC MATERIAL; HIGH CONTRAST TAPE SHALL BE INSTALLED ON CONCRETE.
 - LANE LINES ARE GENERALLY 5" (WHITE).
 - STOP LINES SHOULD BE 24" (WHITE).
 - CENTER LINES SHOULD BE 5" DOUBLE YELLOW.
 - DECELERATION LANES SHOULD HAVE TURN ARROWS (TP-2) SPACED EVERY 50 FEET.
 - NEW CONSTRUCTION SHOULD INSTALL 5" WHITE EDGE LINES, INCLUDING AT NEW CURB & GUTTER.
 - RAISED PAVEMENT MARKERS - TYPE 3 (RPMs) SHALL BE INSTALLED FOR ALL NEW CONSTRUCTION ON ROADWAYS WITH EXISTING RPMs.

- SPECIAL NOTES:**
- DURING CONSTRUCTION, WORK WILL BE PERFORMED IN SUCH A MANNER AS TO PERMIT TRAFFIC TO OPERATE WITH THE LEAST AMOUNT OF INCONVENIENCE POSSIBLE. ADDITIONAL CHANNELIZATION & SIGNAGE SHALL BE INSTALLED, AS DIRECTED BY THE ENGINEER, TO ALLOW TRAFFIC TO FLOW AS FREELY AS POSSIBLE.
 - ALL SIGNAGE AND MARKING SHALL BE PER GDOT STANDARDS AND THE M.U.T.C.D.



- NOTES:**
- TOP 12" OF SUBGRADE TO BE MIXED IN PLACE AND COMPACTED TO 98% MAXIMUM DRY DENSITY.
 - BASE MATERIAL TO MEET THE FOLLOWING SPECIFICATIONS & RELATED REFERENCES TO GDOT SPECIFICATIONS, LATEST EDITION. TO BE COMPACTED TO 98% MAXIMUM DRY DENSITY.
 - SECTION 814 FOR SOIL BASE MATERIALS
 - SECTION 815 FOR GRADED AGGREGATE BASE
 - SECTION 816 FOR SOIL AGGREGATE BASES
 - THE CONTRACTOR SHALL PROVIDE COMPACTION TEST AND SOIL ANALYSIS TEST RESULTS FROM AN APPROVED TESTING LABORATORY.

**GEORGIA DOT
 ASPHALT PAVEMENT SECTION**
 NO SCALE

NO.	REVISION DESCRIPTION	DATE

EMC ENGINEERING SERVICES, INC.
 REGISTERED PROFESSIONAL ENGINEER
 No. PE 10008
 State of Georgia
 Expires 2022
 CODY P. ROGERS
 1211 MERCHANT WAY, SUITE 201
 STATESBORO, GA 30458
 Ph: (912) 764-7022
 Fax: (912) 233-4580
 statesboro@emc-eng.com
 www.emc-eng.com

EMC ENGINEERING SERVICES, INC.
 CIVIL MARINE ENVIRONMENTAL
 1211 MERCHANT WAY, SUITE 201
 STATESBORO, GA 30458
 Ph: (912) 764-7022
 Fax: (912) 233-4580
 statesboro@emc-eng.com
 www.emc-eng.com

GDOT CONCEPTUAL PLAN
PARKER'S KITCHEN
 HWY. 21 & HWY. 30
 PORT WENTWORTH, CHATHAM COUNTY, GEORGIA
 Prepared for:
THE PARKER COMPANIES

PROJECT NO.:	22-2059
DRAWN BY:	KES
DESIGNED BY:	KES
SURVEYED BY:	-
CHECKED BY:	CPR
SCALE:	1" = 50'
DATE:	09/28/2022

22-2059 Parkers – Highway 21 & 30, Port Wentworth

The following narrative describes in detail the proposed subdivision at the northwest corner of the intersection of Highway 21 & Highway 30.

There are currently three (3) existing parcels at this location which will be subdivided and recombined into five (5) proposed parcels following the subdivision approval.

The three existing parcels are:

- 1.) PIN: 70976 02029 N/F Frank Neville Floyd (PB 41S, PG 29) (DB 351N, PG 612)
- 2.) PIN: 70976 02003 N/F Frank Neville Floyd (PB Q, PG 88)
- 3.) PIN: 70976B01001B N/F Frank Neville Floyd (PB 25P, PG 10) (DB 250W, PG 721)

The five proposed parcels are described as follows:

- 1.) Parcel A: 3.847 acres created through a combination of a portion of PINs 70976 02029 and 70976 02003.
- 2.) Parcel B: (remaining lands of Floyd) 1.231 acres created as the "leftover" portion of 70976B01001B.
- 3.) Parcel C: (remaining lands of Floyd) 0.451 acres created as the "leftover" portion of 70976 02003.
- 4.) Outparcel 1: 2.840 acres created through a combination of a portion of PINs 70976 02003 and 70976B01001B
- 5.) Outparcel 2: 1.156 acres created through a combination of a portion of PINs 70976 02029 and 70976 02003.

The above labeled parcels can be seen graphically on the subdivision plat prepared by EMC Engineering Services, Inc. on 11/03/2022.

Project Timeline

Project Number: 220494

Project Name: Parkers Hwy 21 & 30 RA F-Plat

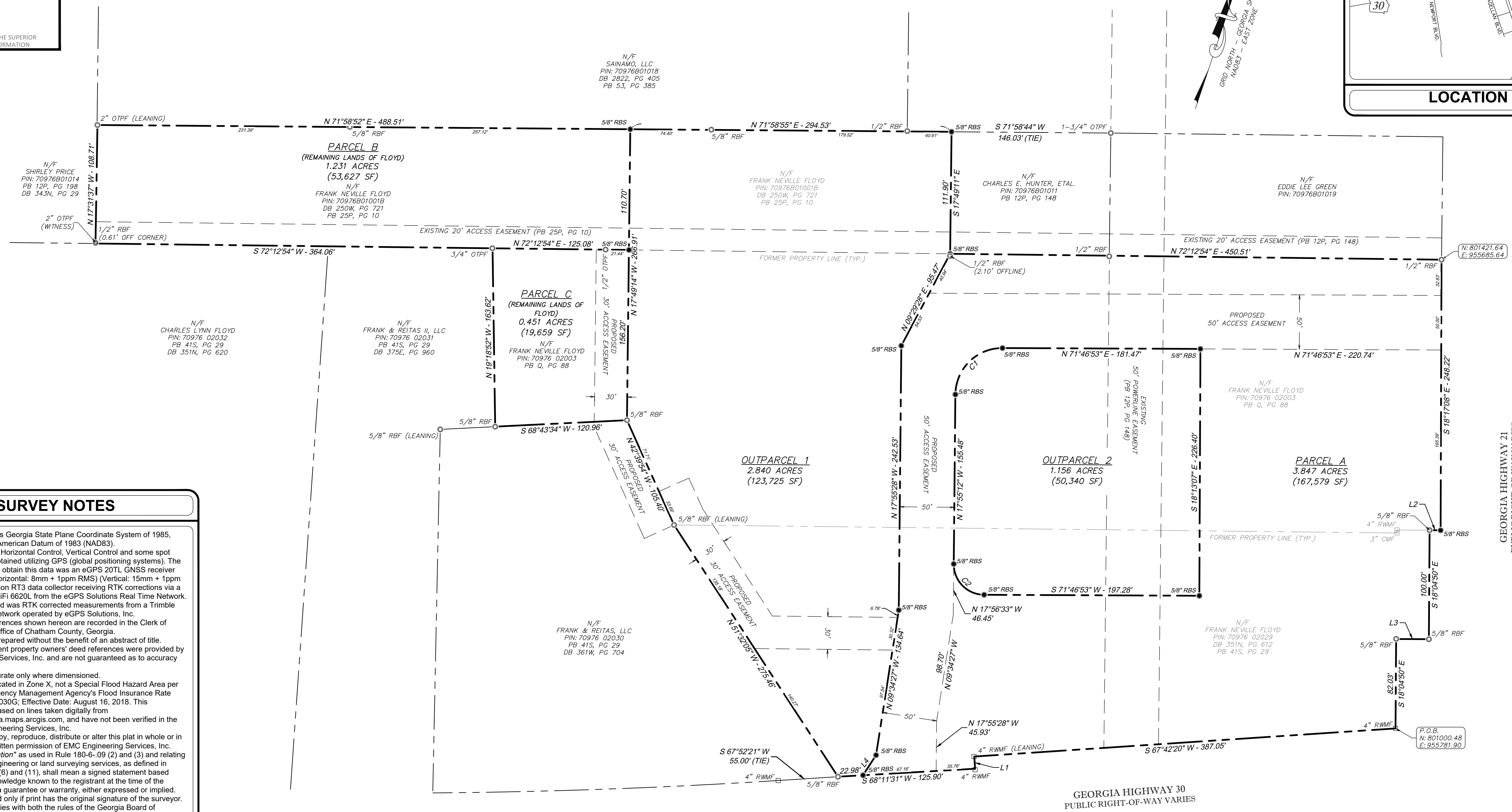
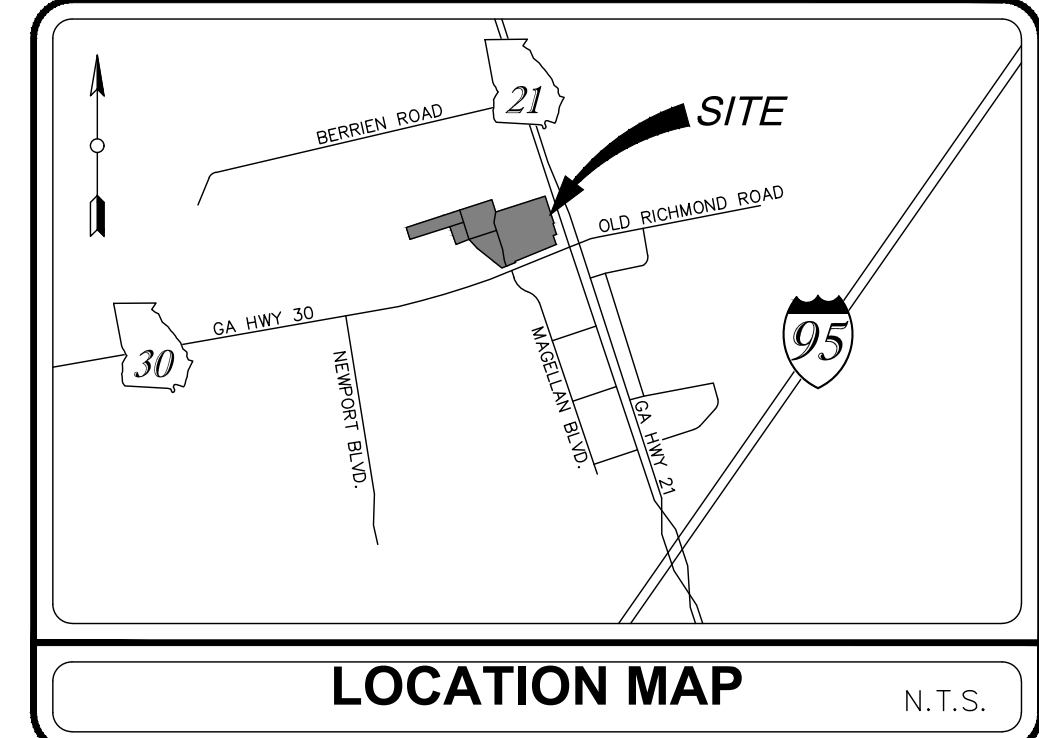
Applicant / Engineer: EMC Engineering Services

Owner: William & Forrest Floyd

City Review Engineer: N/A – Staff Review

- 09/23/2022 – Subdivision Application received
- 10/12/2022 – sent 1st review of plat to Cody Rogers (EMC)
- 10/21/2022 – public hearing notice letters mailed.
- 10/24/2022 – public hearing notice posted in Savannah Morning News
- 11/4/2022 – received revised plat.
-

THIS BOX IS RESERVED FOR THE SUPERIOR COURT CLERKS FILING INFORMATION



NO.	REVISION DESCRIPTION	DATE
1	REVISE SUBDIVISION & EASEMENT LINE	9/28/22
2	CORRECT ACRES/SIGNATURE LINES	10/12/22
3	REVISE LOT LINES (PARCEL A, OP 1 & OP 2)	11/03/22

EMC ENGINEERING SERVICES, INC.
 PO Box 2086
 1211 Merchant Way, Suite 201
 Statesboro, GA 30458
 Ph: (912) 764-7022
 Fax: (912) 233-4580
 statesboro@emc-eng.com
 www.emc-eng.com

CIVIL MARINE ENVIRONMENTAL

ALBANY • ATLANTA • AUGUSTA • BRUNSWICK • COLUMBUS
 GREENVILLE • SAVANNAH • STATESBORO • THOMASTON • VALDOSTA

SURVEY NOTES

- Horizontal Datum is Georgia State Plane Coordinate System of 1985, East Zone, North American Datum of 1983 (NAD83).
- Basis of Bearings, Horizontal Control, Vertical Control and some spot elevations were obtained utilizing GPS (global positioning systems). The equipment used to obtain this data was an eGPS 20TL GNSS receiver [RTK Accuracy (Horizontal: 8mm + 1ppm RMS) (Vertical: 15mm + 1ppm RMS)] with a Carlson RT3 data collector receiving RTK corrections via a Verizon Jetpack MiFi 6620L from the eGPS Solutions Real Time Network. The technique used was RTK corrected measurements from a Trimble VRS Real Time Network operated by eGPS Solutions, Inc.
- All deed book references shown hereon are recorded in the Clerk of Superior Court's Office of Chatham County, Georgia.
- This survey was prepared without the benefit of an abstract of title. Subject and adjacent property owners' deed references were provided by EMC Engineering Services, Inc. and are not guaranteed as to accuracy or completeness.
- Locations are accurate only where dimensioned.
- This property is located in Zone X, not a Special Flood Hazard Area per the Federal Emergency Management Agency's Flood Insurance Rate Map No. 13051C0030G, Effective Date: August 16, 2018. This determination is based on lines taken digitally from <http://hazards-fema.maps.arcgis.com>, and have not been verified in the field by EMC Engineering Services, Inc.
- No person may copy, reproduce, distribute or alter this plat in whole or in part without the written permission of EMC Engineering Services, Inc.
- The term "Certification" as used in Rule 180-6-.09 (2) and (3) and relating to professional engineering or land surveying services, as defined in O.C.G.A. 43-15-2 (6) and (11), shall mean a signed statement based upon facts and knowledge known to the registrant at the time of the survey and is not a guarantee or warranty, either expressed or implied.
- This survey is valid only if print has the original signature of the surveyor.
- This Survey complies with both the rules of the Georgia Board of Registration for Professional Engineers and Land Surveyors and the Official Code of Georgia Annotated (OCGA) 15-6-67, in that where a conflict exists between those two sets of specifications, the requirements of law prevail.
- All wetlands are under the jurisdiction of the U.S. Army Corps of Engineers and/or the State of Georgia Department of Natural Resources. Lot owners are subject to penalty by law for disturbance to these protected areas without proper permit application and approval.

SURVEY DATA

Parcel A:	3.847 Acres (167,579 Square Feet)
Outparcel 1:	2.840 Acres (123,725 Square Feet)
Outparcel 2:	1.156 Acres (50,340 Square Feet)
Parcel B:	1.231 Acres (53,627 Square Feet)
Parcel C:	0.451 Acres (19,659 Square Feet)
Total Area:	9.525 Acres (414,930 Square Feet)

Plat Closure: 1 in 1,273,168
 Field Precision: This entire survey was completed using GPS Base and Rover, Real Time Kinematic, surveying methods using multi-frequency receivers. The field data for this boundary survey has a Relative Positional Accuracy of 0.06 feet or less, horizontally at the 95% confidence level.
 Equipment used: Carlson CR2+ Robotic Total Station
 Carlson BRx6 GNSS GPS/eGPS Network
 Field Work Completed on: September 23, 2022

REFERENCES

PB 75, PG 34	PB 12P, PG 148B	PB 25, PG 10
PB 41S, PG 29	PB Q, PG 88	DB 1250W, PG 721

SURVEYORS CERTIFICATION



As required by subsection (d) of O.C.G.A. Section 15-6-67, this plat has been prepared by a land surveyor and approved by all applicable local jurisdictions for recording as evidenced by approval certificates, signatures, stamps, or statements hereon. Such approvals or affirmations should be confirmed with the appropriate governmental bodies by any purchaser or user of this plat as to intended use of any parcel. Furthermore, the undersigned land surveyor certifies that this plat complies with the minimum technical standards for property surveys in Georgia as set forth in the rules and regulations of the Georgia Board of Registration for Professional Engineers and Land Surveyors and as set forth in O.C.G.A. Section 15-6-67.

Wesley P. Weston
 GA REG. L. S. NO. 3343
 DATE 11/3/2022

LINE TABLE

LINE#	DIRECTION	LENGTH
L1	S22° 13' 35"E	11.19
L2	S72° 08' 50"W	10.09
L3	S71° 51' 49"W	30.00
L4	N14° 27' 29"E	22.00

CURVE TABLE

CURVE #	BEARING	CHORD	RADIUS	ARC
C1	N26° 55' 51"E	60.65	43.00	67.32
C2	N63° 04' 09"W	39.70	28.00	44.13

LEGEND

PROPERTY BOUNDARY	---	POINT OF BEGINNING	P.O.B.
ADJACENT PROPERTY LINE	---	PROPERTY ID NUMBER	PIN
FORMER PROPERTY LINE	---	NOW OR FORMERLY	N/F
METES AND BOUNDS	N 47° 45' 54" E - 497.06'	RIGHT-OF-WAY	R/W
TAG LABEL	L# or CH	PLAT BOOK	PB
5/8" IRON REBAR FOUND	○ 5/8" RBF	DEED BOOK	DB
RIGHT-OF-WAY MONUMENT FOUND	□ RWMF	PAGE	PG
5/8" IRON REBAR SET W/CAP	● RBS	NOT TO SCALE	N.T.S.
MEANDER POINT	○		

CERTIFICATE OF DEDICATION

ALL STREETS, RIGHTS-OF-WAY, EASEMENTS AND ANY SITES FOR PUBLIC USE AS NOTED ON THIS PLAT ARE HEREBY DEDICATED FOR THE USE INTENDED.

OWNER _____ DATE _____

CERTIFICATE OF APPROVAL

APPROVED BY THE MAYOR AND COUNCIL, CITY OF PORT WENTWORTH

MAYOR _____ DATE _____

COUNCIL MEMBER _____ DATE _____

COUNCIL MEMBER _____ DATE _____

COUNCIL MEMBER _____ DATE _____

COUNCIL MEMBER _____ DATE _____

COUNCIL MEMBER _____ DATE _____

COUNCIL MEMBER _____ DATE _____

RECOMBINATION AND SUBDIVISION PLAT

FLOYD PROPERTY - 9.525 ACRES

8th G.M. DISTRICT

CITY OF PORT WENTWORTH, CHATHAM COUNTY, GEORGIA

Prepared for:
DRAYTON PARKER COMPANIES

PROJECT NO.: 22-2059
 DRAWN BY: WPP/WEC
 DESIGNED BY: NCH
 SURVEY DATE: 9/23/2022
 CHECKED BY: WPP
 SCALE: 1" = 50'
 DATE: 9/23/2022



Planning Commission
305 South Coastal Highway
Port Wentworth, GA 31407

Meeting: 11/14/22 03:30 PM
Department: Development Services
Category: Planning/Zoning Item
Prepared By: Melanie Ellis
Department Head: Brian Harvey

SUBMITTED

AGENDA ITEM (ID # 2746)

DOC ID: 2746

Site Plan Review Application submitted by Nate Fuss, Bohler of behalf of Double Reverse, LLC., for PIN # 70037 02018 (150 Highway 30) for a General Development Site Plan to allow a RV / Boat Storage (Bespoke Port Wentworth) in a P-C-3 (Planned General Business) Zoning District

Issue/Item: Site Plan Review Application submitted by Nate Fuss, Bohler of behalf of Double Reverse, LLC., for PIN # 70037 02018 (150 Highway 30) for a General Development Site Plan to allow a RV / Boat Storage (Bespoke Port Wentworth) in a P-C-3 (Planned General Business) Zoning District

Background: Currently the site is an undeveloped wooded parcel with existing wetlands permit in place and utility easements that run a portion of the property.

Facts and Findings: The Developer has proposed developing a class A Enclosed, Covered and Open Boat/RV storage facility and office. The site will be gated, fenced and have 24 hour monitoring/surveillance. Amenities will include a wash station, dump station, propane, ice, water, and compressed air for all customers to use/purchase. Access to the site will be an existing curb cut on Highway 30. The site will connect to City of Port Wentworth Water and sanitary sewer utilities. According to the 2021 City of Port Wentworth Comprehensive Plan this property is under the Highway Commercial Interchange Area Character Area.

Funding: N/A

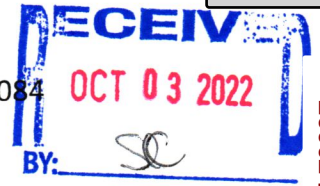
Recommendation: The Planning Commission will hear this application on Monday, November 14, 2022 at 3:30 PM.

ATTACHMENTS:

- Bespoke RV-Boat STG 7-0037-02-018 G-Site Plan 2022-Full Application (PDF)
- Bespoke RV-Boat STG 7-0037-02-018 G-Site Plan 2022-USACE Verif (PDF)
- Bespoke RV-Boat STG 7-0037-02-018 G-Site Plan 2022-Timeline (DOCX)
- Bespoke RV-Boat STG 7-0037-02-018 G-Site Plan 2022-Boundary Survey (PDF)
- Bespoke RV-Boat STG 7-0037-02-018 G-Site Plan 2022-Concept Plan (PDF)
- Bespoke RV-Boat STG 7-0037-02-018 G-Site Plan 2022-Archit Elev. (PDF)

220501

City of Port Wentworth
7224 Highway 21 Port Wentworth Georgia 31407 912-999-2084



Site Plan Review Application

Site Plan Application is required for all new construction in a "P" or "MPO" zone as defined in the Zoning Ordinance of the City of Port Wentworth.

Site Plan Type (Check One): General Concept Specific Development

Site Plan Address: 150 GA Hwy 30, Port Wentworth, GA

PIN #(s): 70037-02018

Zoning: P-C-3 General Business Estimated Cost of Construction: \$ TBD

Type of Construction: P-C-3 General Business

Project Name: Bespoke Port Wentworth

Applicant's Name: Nate Fuss - Bohler

Mailing Address: 211 Perimeter Center Pkwy NE, Suite 425, Atlanta, GA 30346

Phone #: 678-695-6800 Email: nfuss@bohlereng.com

Owner's Name (If Different form Applicant): Double Reverse, LLC

Mailing Address: 250 N. Orange Avenue, Suite 1500 Orlando, FL 32801

Phone #: 407-426-7702 Email: mike@bbdre.co

I hereby acknowledge that the above information is true and correct.

[Signature] Applicant's Signature

9/30/2022 Date

DocuSigned by: [Signature] F70B9E1B10E94EF... Owner's Signature (If Different form Applicant)

9/30/2022 Date

Please see page 2 for required submittal checklist

Attachment: Bespoke RV-Boat STG 7-0037-02-018 G-Site Plan 2022-Full Application (2746 : Site Plan Review Application (General) PIN 70037

City of Port Wentworth
7224 Highway 21 Port Wentworth Georgia 31407 912-999-2084

Site Plan Review Application Submittal Checklist

Documentation below is required for a complete submittal.

- Signed and Completed Application
- 3 Full size sets of site plan civil drawings or concept plan (depending on type of site plan)

Full size is 11x17 of the concept plan

- 15 half size (11" X 17") sets of site plan civil drawings or concept plan (depending on type of site plan)

N/A 2 copies of hydrology reports (if applicable)

- Names, mailing address, and PIN number of all property owners within 250 feet of all property lines

- 1 8 1/2" X 11" of site plan civil drawings or concept plan (depending on type of site plan)

- PDF of entire submittal on a flash drive or download link ONLY (NO CD'S)

- Other Engineering details or reports may be required once submittal has been received

- Site plan review fee check

- No Land Disturbance- \$206.00 Site Plan Fee + \$50.00 Admin Fee = Total \$256.00
- With Land Disturbance - \$836.00 Site Plan Fee + \$50.00 Admin Fee = Total \$886.00

Additional Fee Statement: If engineer review cost to the City exceeds the site plan review fee that is paid at the time of initial application submittal, you may be required to pay additional review cost.

I have read and agree to the above additional fee statement

Nathan Lee
Applicant's Signature

09/30/2022
Date

CITY OF PORT WENTWORTH
(912) 964-4379

REC#: 00371636 10/06/2022 9:55 AM
OPER: KS TERM: 055
REF#: 10127

TRAN: 112.0000 BLDG PERMIT
220501 886.00CR
DOUBLE REVERSE
7-0037-02-018
DEV-SPR 886.00CR

TENDERED: 886.00 CHECK
APPLIED: 886.00-

CHANGE: 0.00

WWW.CITYOFPORTWENTWORTH.COM

Our intent is to bring a state of the art Class A Boat and RV facility to the gateway corridor. Providing a currently unmet need for the Port Wentworth, Pooler and Savannah MSA's.

Currently the site is an undeveloped wooded parcel with existing wetlands permit in place and utility easements that run a portion of the property. In our opinion, due to site constraints we are proposing what is the highest and best use for the site.

While meeting an unmet need to multiple communities, our use has a relatively low traffic impact to the surrounding community. Based on past traffic studies, our use for this size facility will generate approximately 50.7 trips a day of which approximately 6 trips will be generated during peak hours.

Current Site

- Access on Georgia Hwy 30
- Existing curb cut onto Hwy 30
- Site has 2 utility easements (gas and electric) and wetlands
- Most of the usable acreage is wooded
- The two neighboring touching parcels are both being developed as Hotels

Proposed Project

- We are planning on developing a class A Enclosed, Covered and Open Boat/RV storage facility
- The site will be gated, fenced and have 24 hour monitoring/surveillance
- Amenities will include a wash station, dump station, propane, ice, water, and compressed air for all customers to use/purchase.
- Other common supplies such as locks will be sold in the office
- No repairs or sales will be done on site
- Office being proposed is approx. 457 sf
- Rentals will be done either in person, online or through our call center
- Once construction begins we expect to be completed within 10-12 months of breaking ground

Unit Mix below

Units	Ct	Avg Size	Total RSF
12x20 Open	68	240	16,320
12x40 Open	40	480	19,200
14x30 Covered	39	420	16,380
14x35 Covered	39	490	19,110
14x30 Enclosed	36	420	15,120
14x40 Enclosed	116	560	64,960
14x50 Enclosed	65	700	45,500
Total	403	473	196,590

Name	Mailing Address	PIN
FRANK AND REITA'S LLC	1716 E HIGHWAY 80 BLOOMINGDALE GA 31302	70976 02030
FRANK & REITAS II LLC	1716 E HIGHWAY 80 BLOOMINGDALE GA 31302	70976 02031
FLOYD CHARLES LYNN	4092 GA HIGHWAY 119 S GUYTON GA 31312	70976 02032
FLOYD JUDY SIGLER	119 N CENTER ST WINDER GA 30680	70976 02033
BRADY-HOHNERLEIN COLLEEN LYNETTE	83 FALKLAND AVE PORT WENTWORTH GA 31407	70976 02034
WPB ESTATE MANAGEMENT LLC	4107 COLUMBIA ROAD AUGUSTA GA 30907	70037 02016
SHAYANAM, LLC	ATTN: HEMLATA PATEL, MANAGER 3758 US 17 RICHMOND HILL GA 31324	70037 02017
PADEREWSKI JULES B ET AL*	PO BOX 9087 SAVANNAH GA 31412	70976 02026
NEWPORT SQUARE HOMEOWNERS ASSOCIATION, L	120 COMMERCE COURT POOLER GA 31322	70976G01015
SIERRA INVESTMENT PROPERTIES,LLC	120 COMMERCE COURT POOLER GA 31322	70976G01007
JONES EDWINA	7 CORDAGE CIRCLE PORT WENTWORTH GA 31407	70978A01004
HARDY CORLETTA	9 CORDAGE CIR PORT WENTWORTH GA 31407	70978A01005
RODRIGUEZ MIGUEL A	1318 195TH ST E SPANAWAY WA 98387-3407	70978A01006
RYC PROPERTIES LLC	7640B ABERCORN STREET SAVANNAH GA 31406	70978A01007
COE, JR. ROBERT C	15 CORDAGE CIRCLE PORT WENTWORTH GA 31407	70978A01008
VINNY'S PROPERTIES, INC.	101 BREAKLANDS COURT PORT WENTWORTH GA 31407	70978A01009
SHOREY GILBERT II	19 CORDAGE CIRCLE PORT WENTWORTH GA 31407	70978A01010
DAVIS NORMAN E & EVELYN L	139 COBBLETON DR RINCON GA 31326	70978A01011
BOYLE DENNIS M.	23 CORDAGE CIRCLE PORT WENTWORTH GA 31407	70978A01012
LANE ROLONIA	100 S EFFINGHAM PLANTATION DR GUYTON GA 31312	70978A01013
BARRETT SCOTT J	418 LIONS DEN DR POOLER GA 31322-3810	70978A01014
DAVIS NORMAN E JR & EVELYN*	139 COBBLETON DR RINCON GA 31326	70978A01015
DAVIS NORMAN E JR & EVELYN*	139 COBBLETON DR RINCON GA 31326	70978A01016
SAMS MONICA G.	33 CORDAGE CIRCLE PORT WENTWORTH GA 31407	70978A01017
MCCOY TERRY & RUBY JANIE*	35 CORDAGE CIRCLE PORT WENTWORTH GA 31407	70978A01018
BIGHAM & OWENS KENNETH & SHANTELL	37 CORDAGE CIR PT WENTWORTH GA 31407	70978A01019
KNIGHT MONICA	826 COUNTY ROAD 1610 MARLOW OK 73055	70978A01020
SILVA CARLOS N.	41 CORDAGE CIRCLE PORT WENTWORTH GA 31407	70978A01021
HARVEY AIKEN DISHON G	43 CORDAGE CIRCLE PORT WENTWORTH GA 31407	70978A01022
BROWN JAMILA Y	12 CORDAGE CIRCLE PORT WENTWORTH GA 31407	70978A06006
GORDON KAREN	10 CORDAGE CIR PORT WENTWORTH GA 31407	70978A06005
WELLS DEBRA A	3 BINNACLE LN PT WENTWORTH GA 31407	70978A06011
ANCRUM RONNIE L & BETTY A	1 BINNACLE LANE PT WENTWORTH GA 31407	70978A06012
RODAS DELFIA	2 BINNACLE LN PORT WENTWORTH GA 31407	70978A08007
CONNOR MARGARET J	40 MITCHELL AVE NEW BRUNSWICK NJ 08901	70978A08006
CAPERS SHANTEEN	3 HALYARD DR PT WENTWORTH GA 31407	70978A08013
PRIESTER DAVID	1 HALYARD DR PORT WENTWORTH GA 31407	70978A08014
SANCHEZ MARGARITA	PO BOX 4314 SAVANNAH GA 31407-4314	70978A10008
DERRINGER HOLLY C	4 HALYARD DR PORT WENTWORTH GA 31407	70978A10007
PICKETT CHRISTOPHER A & ANGEL L*	46 CORDAGE CIRCLE PT WENTWORTH GA 31407	70978A10015
BHATT KETAN H	44 CORDAGE CIRCLE PORT WENTWORTH GA 31407	70978A10016



DEPARTMENT OF THE ARMY
U.S. ARMY CORPS OF ENGINEERS
SAVANNAH DISTRICT
100 W OGLETHORPE AVENUE
SAVANNAH, GEORGIA 31401-3604

August 8, 2018

Regulatory Branch
SAS-2005-02104

Mr. John R. Gassie, V.P.
Land Holding, LLC
201 East Pine Street, Suite 100
Orlando, Florida 32801

Dear Mr. Gassie:

I refer to a letter dated May 24, 2018, submitted on your behalf by Mr. Joel Price of Sligh Environmental Consultants, Inc., requesting a delineation of aquatic resources for your 94.68 acre site located west of and adjacent to Georgia Highway 21, south of and adjacent to Georgia State Route 30, and north of and adjacent to Interstate 95, in the City of Port Wentworth, Chatham County, Georgia (Latitude 32.1934, Longitude -81.1987). This project has been assigned number SAS-2005-02104 and it is important that you refer to this number in all communication concerning this matter.

The enclosed survey entitled "Wetland Survey Lands of PNC Bank, N.A. and a Portion of Savannah Gateway West Phase 1", with revision date July 23, 2018, and signed by Registered Land Surveyor Wright C. Powers, identifies the delineation limits of all aquatic resources within the review area. The wetlands were delineated in accordance with criteria contained in the 1987 "Corps of Engineers Wetland Delineation Manual," as amended by the most recent regional supplements to the manual. This delineation will remain valid for a period of 5-years unless new information warrants revision prior to that date.

If you intend to sell property that is part of a project that requires Department of the Army Authorization, it may be subject to the Interstate Land Sales Full Disclosure Act. The Property Report required by Housing and Urban Development Regulation must state whether, or not a permit for the development has been applied for, issued or denied by the U.S. Army Corps of Engineers (Part 320.3(h) of Title 33 of the Code of Federal Regulations).

This communication does not convey any property rights, either in real estate or material, or any exclusive privileges. It does not authorize any injury to property, invasion of rights, or any infringement of federal, state or local laws, or regulations. It does not obviate your requirement to obtain state or local assent required by law for the

- 2 -

development of this property. If the information you have submitted, and on which the U.S. Army Corps of Engineers has based its determination is later found to be in error, this decision may be revoked.

A copy of this letter is being provided to the following party: Mr. Joel Price, Sligh Environmental Consultants, Inc., 31 Park of Commerce Way, Suite 200B, Savannah, Georgia 31405.

Thank you in advance for completing our on-line Customer Survey Form located at http://corpsmapu.usace.army.mil/cm_apex/f?p=regulatory_survey. We value your comments and appreciate your taking the time to complete a survey each time you have interaction with our office.

If you have any questions, please call me at (912) 652-5690.

Sincerely,















Skye H. Stockel
Regulatory Specialist, Coastal Section

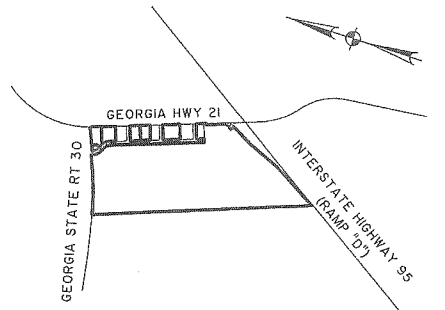
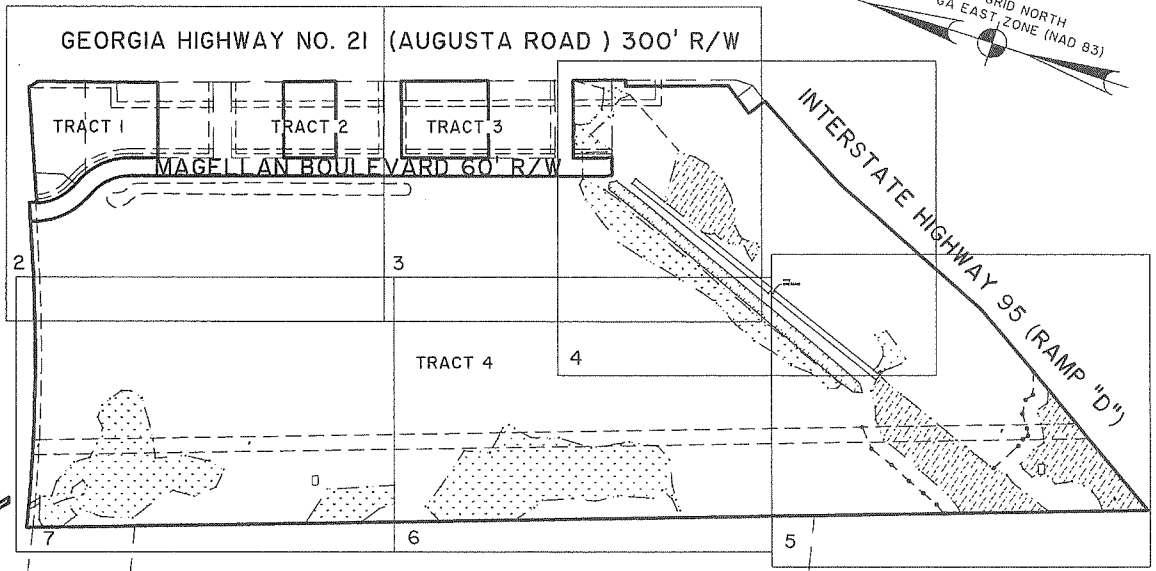
Enclosures

E:\27414\2724_0000\Survey\DWG\2724W02.dwg - May 4, 2016 - 6:46:52 AM

LEGEND

-  ELECTRIC BOX
-  UNDERGROUND UTILITY LINE MARKER
-  POWER POLE
- WLM WATER LINE MARKER**
-  MEANDER POINT (NO MONUMENT)
-  CONCRETE MONUMENT (FOUND)
-  CONCRETE MONUMENT (SET)
-  IRON PIPE (FOUND)
-  IRON PIPE (SET)
-  IRON REBAR (FOUND)
-  IRON REBAR (SET)

-  JURISDICTIONAL WETLAND
-  PRESERVED WETLAND



VICINITY MAP not to scale

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WETLAND SURVEY
LANDS OF PNC BANK, N.A.
AND A PORTION OF
SAVANNAH GATEWAY
WEST PHASE 1

8TH G.M.D., CITY OF PORT WENTWORTH,
CHATHAM COUNTY, GEORGIA

prepared for
PNC BANK, N.A.



50 Park of Commerce Way
 PO Box 2727
 Savannah, GA 31402-2727
 p 912.234.5300 f 912.234.2950

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plat	drawn	reviewed	field	crew
05-01-18	JMK	WCP	04-17-18	JH
Rev. 05-18-18 Tract 2 area		Rev. 07-23-18 Tract 4 areas		
job 27224		SHEET 1 OF 8		



WETLAND LINES SHOWN ON THIS SURVEY WERE LOCATED USING A TRIMBLE GEO7X RECEIVER AND DATA WAS DIFFERENTIALLY CORRECTED USING NGS STATION GASA. THE PURPOSE OF THIS SURVEY IS FOR THE LOCATION OF WETLAND AREAS ONLY AND IT DOES NOT REPRESENT A BOUNDARY SURVEY OF THE PROPERTY AND IS NOT SUITABLE FOR CONVEYANCE OF PROPERTY.

WRIGHT C. POWERS, JR.
 GEORGIA REGISTERED LAND SURVEYOR
 LICENSE NO. 2612

REFERENCES

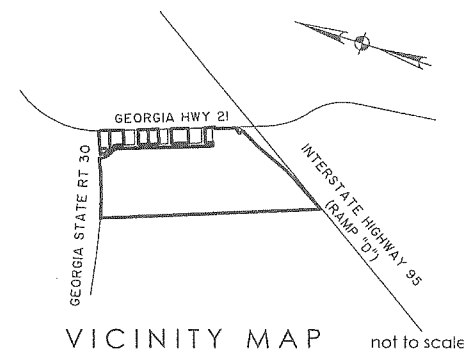
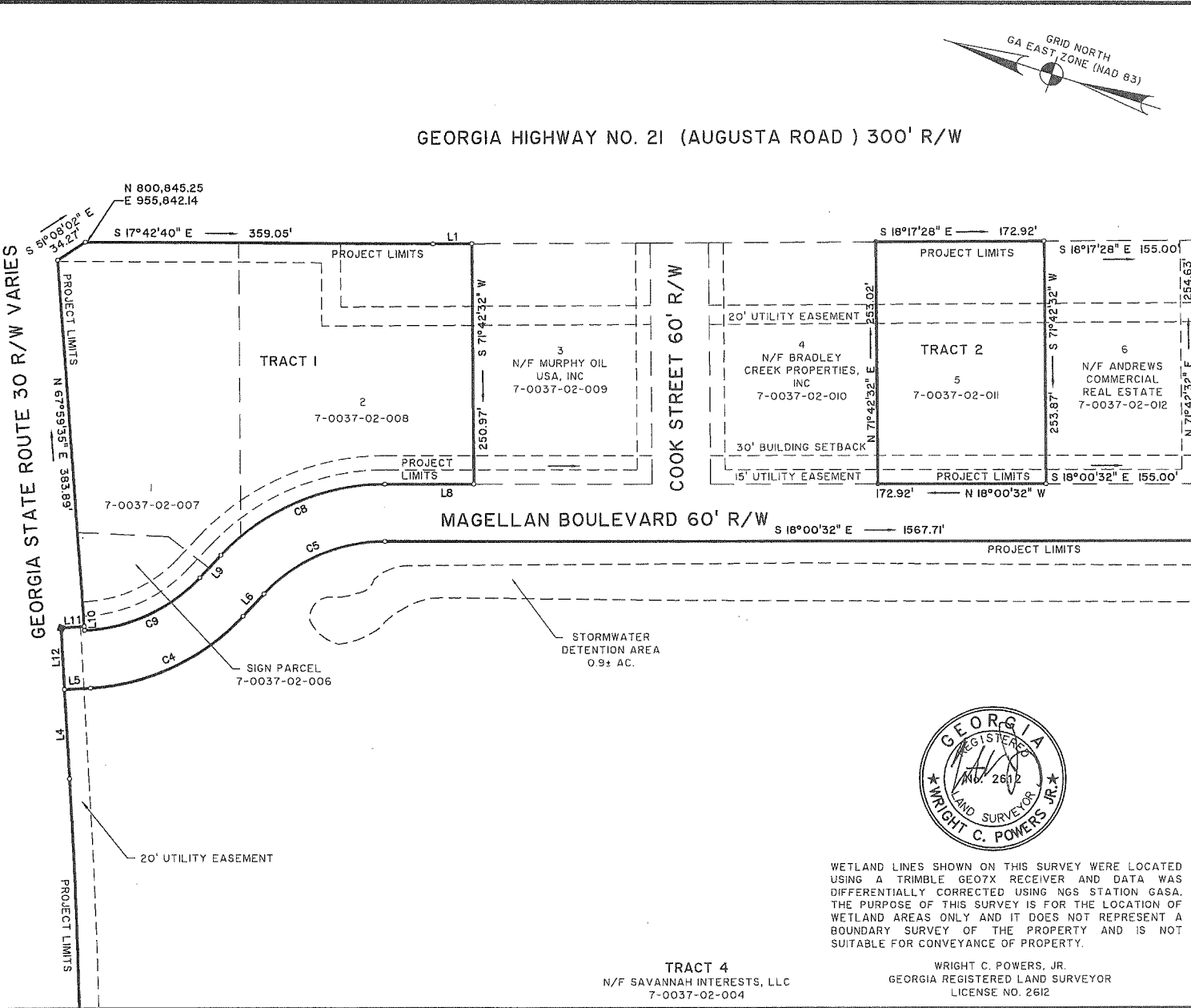
1. PLAT OF PHASE I SAVANNAH GATEWAY WEST, PREPARED BY HUSSEY, GAY, BELL & DeYOUNG, INC., DATED 7-31-08, RECORDED IN SMB 41S PAGE II, CHATHAM COUNTY RECORDS.
2. PLAT OF A 20' UTILITY EASEMENT THROUGH LANDS OF McKAMEY INVESTMENTS, LLC., PREPARED BY HUSSEY, GAY, BELL & DeYOUNG, INC. LAST REVISED 1-17-05, RECORDED IN PRB 30P PAGE 25, CHATHAM COUNTY RECORDS.
3. DEED UNDER POWER OF SALE SAVANNAH GATEWAY WEST, LLC TO SAVANNAH INTERESTS, LLC, DATED SEPTEMBER 6, 2011, RECORDED IN DEED BOOK 372E PAGE 709, CHATHAM COUNTY, RECORDS.
4. A WETLAND PLAT OF 353.30 ACRE TRACT BEING A PORTION OF THE HERBERT KELLER TRACT, PREPARED BY KERN & COLEMAN & CO., DATED 2-28-02, RECORDED IN PRB 22P PAGE 59A.

NOTES

1. THIS MAP OR PLAT HAS BEEN CALCULATED FOR CLOSURE AND IS FOUND TO BE ACCURATE WITHIN ONE FOOT IN 142,113 FEET OR BETTER.
2. COORDINATES AND DIRECTIONS SHOWN ON THIS SURVEY ARE BASED ON GEORGIA STATE PLANE COORDINATE SYSTEM (NAD83), EAST ZONE.
3. ACCORDING TO F.I.R.M. MAP NO. I3051C0030F, REVISED SEPTEMBER 26, 2008, THE PROPERTY SHOWN ON THIS PLAT LIES IN FLOOD HAZARD ZONE AE (EL12.0) & ZONE X.
4. THE TAX PARCEL IDENTIFICATION NUMBERS (PIN) FOR THE PROPERTY PLATTED HEREON ARE: 7-0037-02-004, 7-0037-02-006, 7-0037-02-007, 7-0037-02-008, 7-0037-02-010, 7-0037-02-011, 7-0037-02-013 & 7-0037-02-015.
5. WETLANDS ARE UNDER THE JURISDICTION OF THE CORPS OF ENGINEERS AND/OR THE DEPARTMENT OF NATURAL RESOURCES. LOT OWNERS AND THE DEVELOPER ARE SUBJECT TO PENALTY BY LAW FOR DISTURBANCE TO THESE PROTECTED AREAS WITHOUT PROPER PERMIT AND APPROVAL.
6. THE POSITION OF UNDERGROUND UTILITIES SHOWN ON THIS DRAWING IS BASED UPON THE LOCATION OF SURFACE APPURTENANCES AND/OR SURFACE MARKINGS AND SHOULD BE CONSIDERED APPROXIMATE.
7. WETLANDS DESIGNATED AS II, I2 & I4 ARE PRESERVED WETLAND PER RESTRICTIVE COVENANTS RECORDED IN DEED BOOK I836, FOLIO 627 AND DEED BOOK 241T, FOLIO 647.
8. WETLAND AREAS A, B, C, D, E, & F WERE DELINEATED BY SLIGH ENVIRONMENTAL CONSULTANTS, INC IN APRIL 2018 AND LOCATED BY THOMAS & HUTTON IN APRIL 2018. WETLAND DITCHES LOCATED BY THOMAS & HUTTON IN DECEMBER 2012. THE LOCATION OF PRESERVED WETLAND II, I2 & I4 ARE BASED ON A PREVIOUS WETLAND EXHIBIT PREPARED BY HUSSEY, GAY BELL & DeYOUNG, INC DATED 12-2-2005 AND VERIFIED BY SLIGH ENVIRONMENTAL CONSULTANTS, INC. AND NOT FIELD LOCATED BY THOMAS & HUTTON.
9. SEE SHEET B OF 8 FOR LINE, CURVE, AND AREA TABLES.

Attachment: Bespoke RV-Boat STG 7-0037-02-018 G-Site Plan 2022-USACE Verif (2746 : Site Plan Review

13/07/2024 12:24:00 PM (GMT-04:00) User: jhulson\jdhulson\DWG\07224\002.dwg, May 4, 2018 - 4:46:42 AM



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8TH G.M.D., CITY OF PORT WENTWORTH,
CHATHAM COUNTY, GEORGIA
prepared for
PNC BANK, N.A.



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PO Box 2727
Savannah, GA 31402-2727
p 912.234.5300 f 912.234.2950

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plat	drawn	reviewed	field	crew
05-01-18	JMK	WCP	04-17-18	JH
Rev. 05-18-18 Tract 2 area		Rev. 07-23-18 Tract 4 areas		
job 27224		SHEET 2 OF 8		

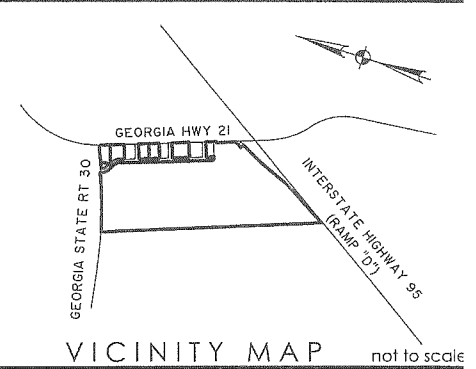
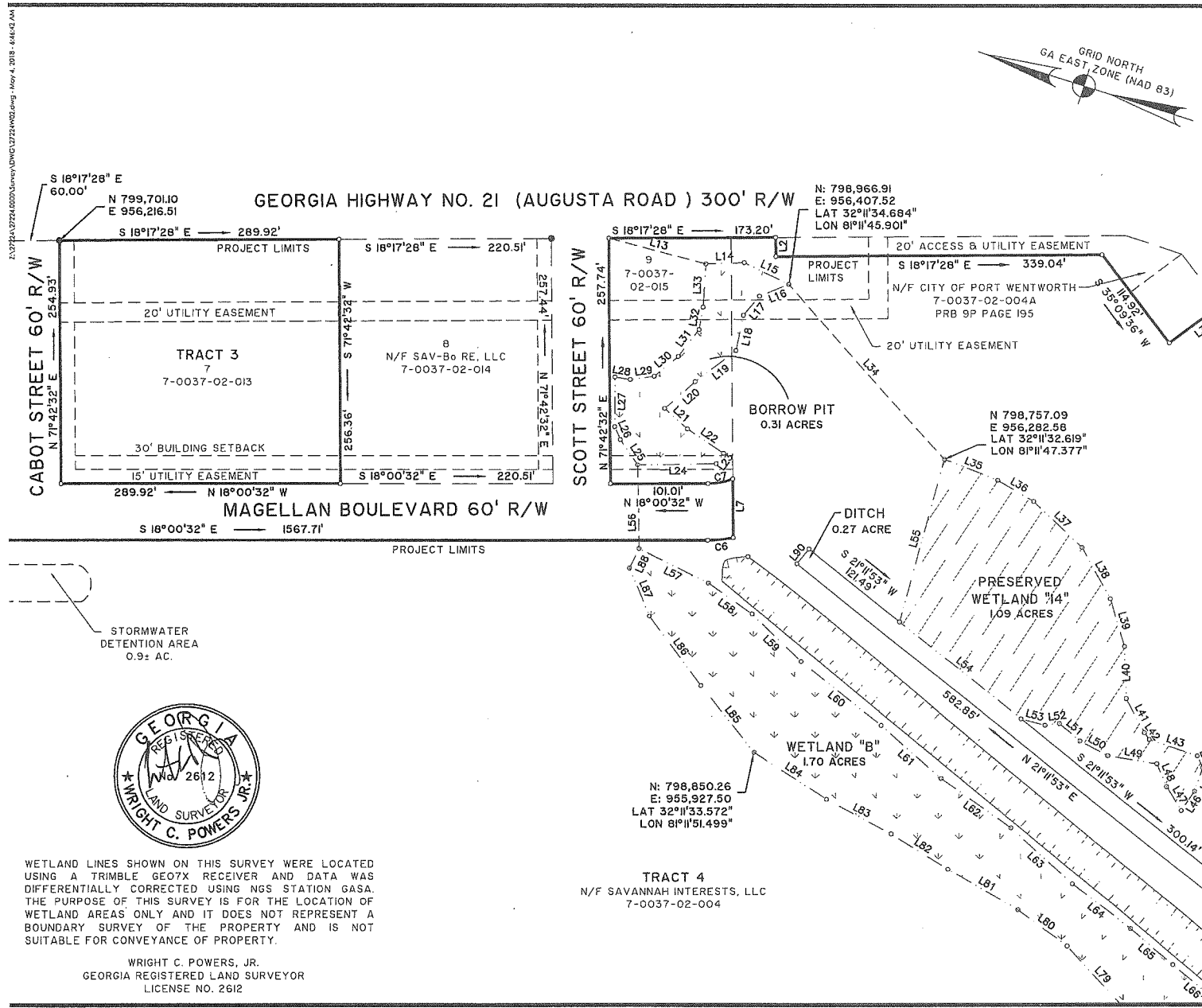


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WRIGHT C. POWERS, JR.
GEORGIA REGISTERED LAND SURVEYOR
LICENSE NO. 2612

TRACT 4
N/F SAVANNAH INTERESTS, LLC
7-0037-02-004

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SAVANNAH GATEWAY
WEST PHASE 1

8TH G.M.D., CITY OF PORT WENTWORTH,
 CHATHAM COUNTY, GEORGIA

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THOMAS & HUTTON
 Engineering | Surveying | Planning | GIS | Consulting

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 p 912.234.5300 f 912.234.2950

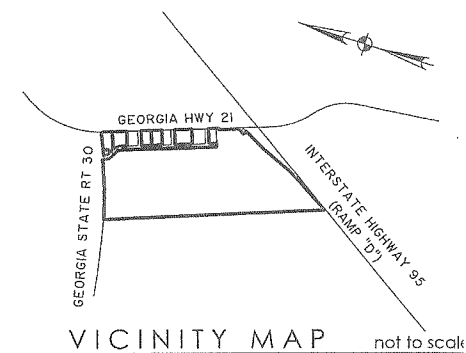
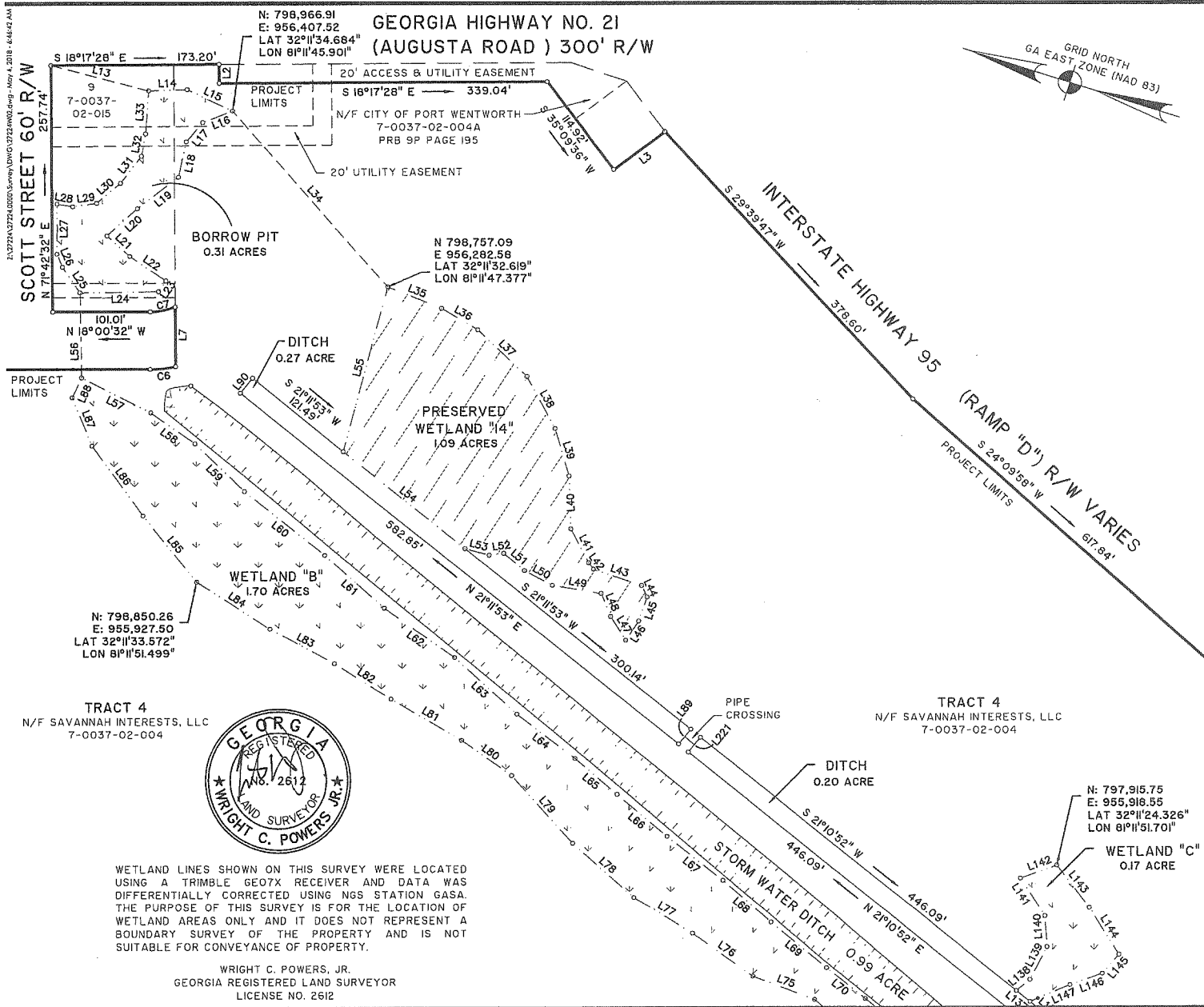
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100 0 100 200				
1 INCH = 100 FEET				
plot	drawn	reviewed	field	crew
05-01-18	JMK	WCP	04-17-18	JH
Rev. 05-18-18 Tract 2 area			Rev. 07-23-18 Tract 4 areas	
job 27224			SHEET 3 OF 8	



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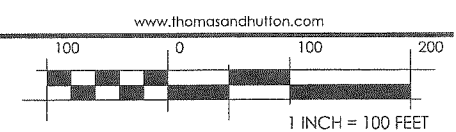
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LANDS OF PNC BANK, N.A.
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8TH G.M.D., CITY OF PORT WENTWORTH,
 CHATHAM COUNTY, GEORGIA

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PNC BANK, N.A.

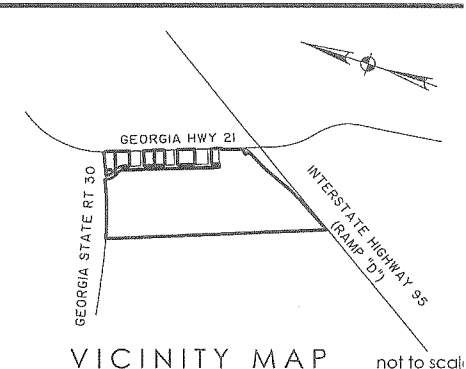
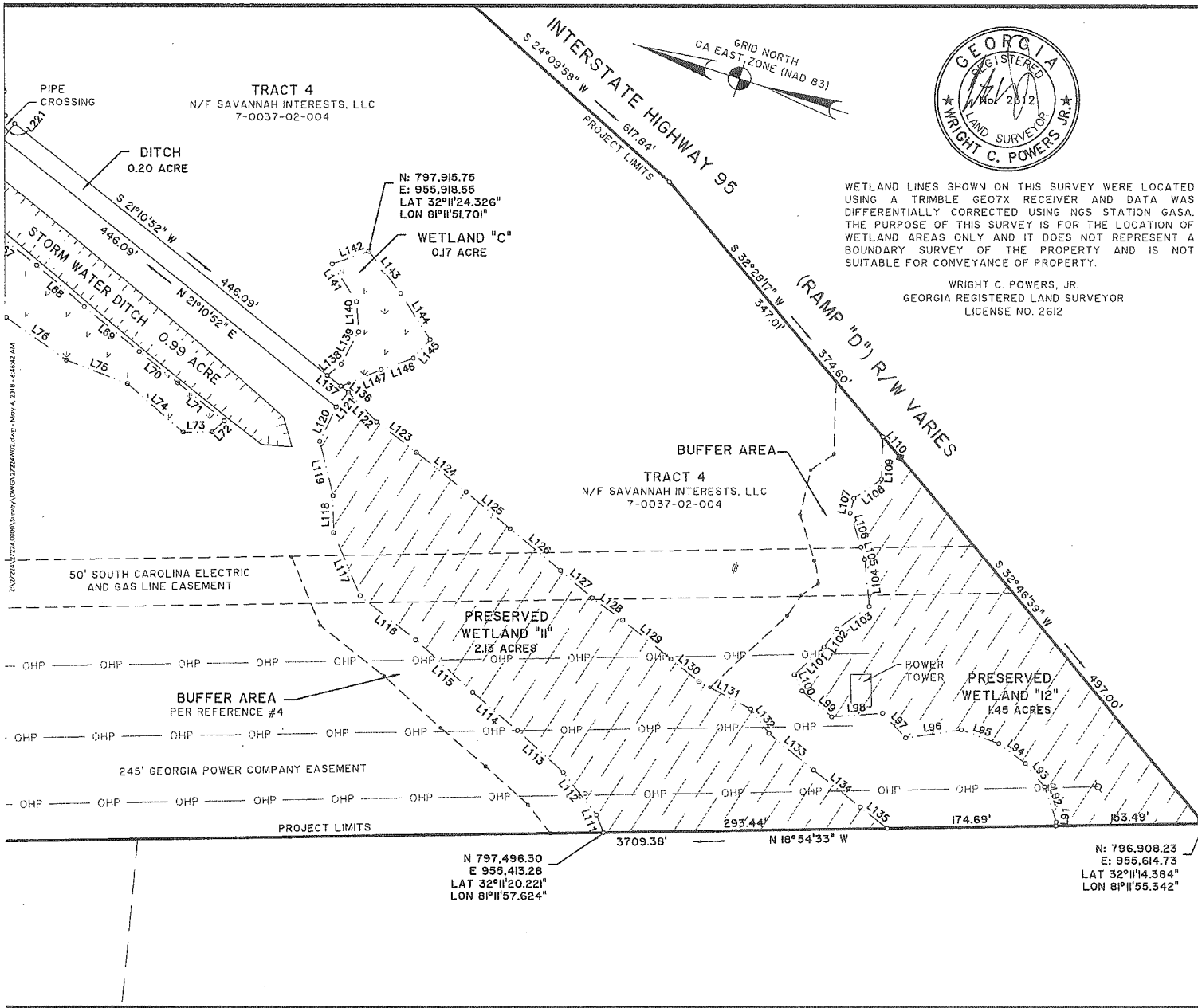


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plat	drawn	reviewed	field	crew
05-01-18	JMK	WCP	04-17-18	JH
Rev. 05-18-18 Tract 2 area				Rev. 07-23-18 Tract 4 areas
job 27224				SHEET 4 OF 8

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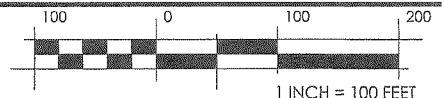
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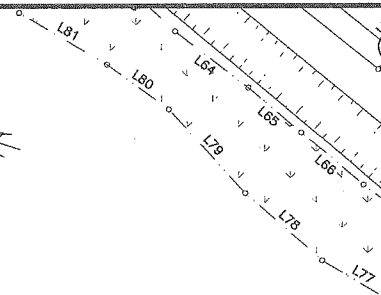
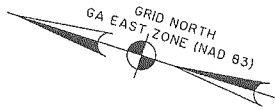


plat	drawn	reviewed	field	crew
05-01-18	JMK	WCP	04-17-18	JH
Rev. 05-18-18 Tract 2 area		Rev. 07-23-18 Tract 4 areas		
job 27224		SHEET 5 OF 8		

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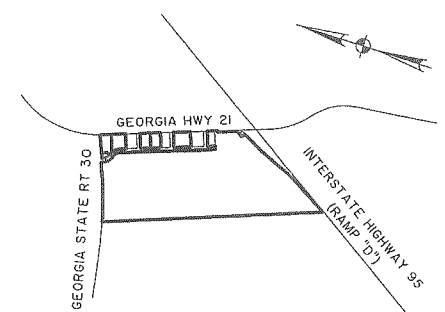


TRACT 4
N/F SAVANNAH INTERESTS, LLC
7-0037-02-004



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LICENSE NO. 2612



VICINITY MAP not to scale

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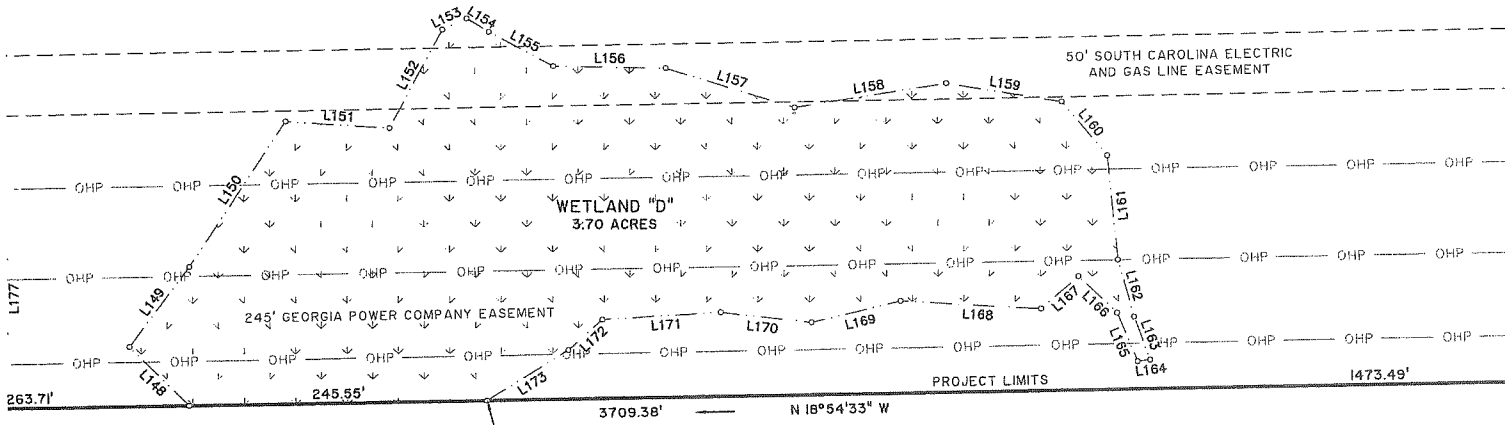


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plat	drawn	reviewed	field	crew
05-01-18	JMK	WCP	04-17-18	JH
Rev. 05-18-18 Tract 2 area			Rev. 07-23-18 Tract 4 areas	
job 27224			SHEET 6 OF 8	



N: 796,890.28
E: 954,935.77
LAT 32°11'34.056"
LON 81°12'03.035"

1:072413724:0000:survey:01072413724:002.dwg - May 4, 2018 - 4:48:42 AM

Attachment: Bespoke RV-Boat STG 7-0037-02-018 G-Site Plan 2022-USACE Verif (2746 : Site Plan Review

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GEORGIA STATE ROUTE 30 R/W VARIES

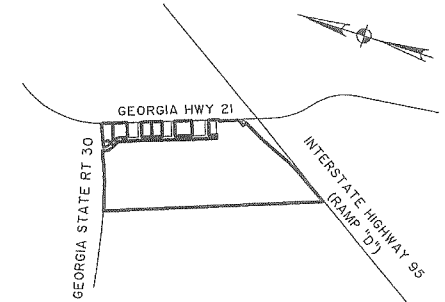


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plot	drawn	reviewed	field	crew
05-01-18	JMK	WCP	04-17-18	JH
Rev. 05-18-18 Tract 2 area		Rev. 07-23-18 Tract 4 areas		
job 27224		SHEET 7 OF 8		

20' UTILITY EASEMENT

50' SOUTH CAROLINA ELECTRIC
AND GAS LINE EASEMENT

WETLAND "F"
2.82 ACRES

245' GEORGIA POWER COMPANY EASEMENT

POWER TOWER

WETLAND "E"
0.61 ACRE

PROJECT LIMITS

N 800,417.43
E 954,412.64
N: 800,312.26
E: 954,448.66
LAT 32°11'48.170"
LON 81°12'08.554"

N: 799,543.93
E: 954,711.86
LAT 32°11'40.544"
LON 81°12'05.572"

3709.38' N 18°54'33" W

Attachment: Bespoke RV-Boat STG 7-0037-02-018 G-Site Plan 2022-USACE Verif (2746 : Site Plan Review

2025/07/27 08:00:00 User: D:\GIS\2022-08-09 - 08-18-2025 - 8.B.b.dwg

LINE	BEARING	LENGTH
L1	S 18°17'28" E	39.93'
L2	S 71°42'32" W	20.00'
L3	S 54°50'24" E	66.15'
L4	N 68°53'36" E	93.05'
L5	S 2°06'24" E	27.02'
L6	S 65°30'18" E	31.97'
L7	N 71°42'32" E	62.23'
L8	N 18°00'32" W	91.59'
L9	N 66°30'18" W	31.97'
L10	N 67°59'56" E	4.16'
L11	N 22°10'24" W	24.00'
L12	S 68°53'36" W	63.76'
L13	S 03°06'00" E	104.26'
L14	S 19°49'01" E	39.80'
L15	S 07°58'24" W	51.52'
L16	N 39°57'17" W	32.63'
L17	N 67°36'31" W	25.88'
L18	S 84°10'21" W	37.86'
L19	N 55°37'04" W	53.49'
L20	N 59°52'51" W	42.33'
L21	S 24°33'07" W	31.87'
L22	S 16°41'58" W	45.36'
L23	N 73°30'47" W	13.58'
L24	N 18°53'27" W	81.37'
L25	N 38°26'14" E	32.36'
L26	N 49°22'17" E	14.89'
L27	N 72°18'12" E	52.36'
L28	S 08°02'31" E	16.25'
L29	S 25°50'52" E	25.13'
L30	S 57°58'59" E	32.41'
L31	S 70°26'09" E	35.49'
L32	N 82°18'47" E	23.82'
L33	N 74°47'17" E	45.03'
L34	S 30°46'18" W	244.20'
L35	S 04°20'24" W	59.52'
L36	S 12°58'08" W	43.44'
L37	S 26°05'16" W	70.29'
L38	S 43°50'39" W	61.27'
L39	S 55°56'31" W	52.28'
L40	S 70°13'21" W	55.18'
L41	S 44°35'21" W	39.92'
L42	S 36°14'17" W	8.69'
L43	S 01°04'38" W	52.44'
L44	S 47°12'43" W	13.30'
L45	N 88°54'24" W	26.39'
L46	N 73°56'28" W	24.41'
L47	N 40°40'52" E	29.30'
L48	N 49°47'19" E	25.97'
L49	N 08°33'52" W	51.36'
L50	N 10°22'48" E	32.61'
L51	N 22°24'51" E	28.11'
L52	N 24°57'19" W	15.05'
L53	N 20°46'06" W	25.88'
L54	N 21°11'53" E	161.22'
L55	N 87°07'15" E	178.24'
L56	S 71°08'34" W	88.72'
L57	S 08°48'59" W	80.39'
L58	S 17°45'08" W	55.83'
L59	S 26°46'01" W	71.36'
L60	S 20°45'33" W	106.83'
L61	S 24°01'45" W	82.88'
L62	S 17°50'25" W	88.54'
L63	S 24°53'22" W	87.23'
L64	S 19°50'15" W	76.14'
L65	S 22°57'17" W	57.30'
L66	S 22°21'35" W	67.29'
L67	S 20°42'48" W	73.73'
L68	S 23°17'54" W	65.67'
L69	S 21°14'30" W	74.09'
L70	S 21°19'59" W	51.23'
L71	S 21°45'04" W	62.23'
L72	N 62°03'33" W	17.04'

LINE TABLE	LINE TABLE	
L73	N 18°39'54" W	30.19'
L74	N 23°37'38" E	76.92'
L75	N 03°01'06" E	68.29'
L76	N 17°45'48" E	76.50'
L77	N 13°15'54" E	70.65'
L78	N 24°03'43" E	84.71'
L79	N 30°07'11" E	94.43'
L80	N 17°57'19" E	63.27'
L81	N 12°55'55" E	84.06'
L82	N 14°37'09" E	69.16'
L83	N 10°28'26" E	76.36'
L84	N 15°09'17" E	89.84'
L85	N 33°45'00" E	88.83'
L86	N 36°10'54" E	90.41'
L87	N 49°50'26" E	54.54'
L88	S 82°25'59" E	22.79'
L89	N 68°48'07" W	20.00'
L90	S 68°48'07" E	20.00'
L91	N 78°48'23" E	3.99'
L92	N 54°06'15" E	36.95'
L93	N 32°44'19" E	31.63'
L94	N 19°20'01" E	34.47'
L95	N 02°20'22" E	41.43'
L96	N 26°10'43" W	58.12'
L97	N 29°34'40" E	35.22'
L98	N 21°59'03" W	52.56'
L99	N 23°28'41" E	40.57'
L100	N 47°10'03" E	18.86'
L101	S 61°00'02" E	41.96'
L102	S 73°27'59" E	23.08'
L103	S 53°21'58" E	40.99'
L104	N 66°26'44" E	49.74'
L105	N 56°03'48" E	13.26'
L106	N 55°08'25" E	37.55'
L107	N 85°13'14" E	16.00'
L108	S 53°04'11" E	34.67'
L109	N 73°57'26" E	45.00'
L110	S 32°28'17" W	27.59'
L111	N 52°21'44" E	20.06'
L112	N 34°14'01" E	56.46'
L113	N 24°34'56" E	64.49'
L114	N 22°53'46" E	61.33'
L115	N 24°55'27" E	80.24'
L116	N 20°50'07" E	73.66'
L117	N 49°34'05" E	71.82'
L118	N 71°06'59" E	39.00'
L119	N 58°33'07" E	58.88'
L120	S 82°57'43" E	39.95'
L121	S 68°49'08" E	20.00'
L122	S 28°47'10" W	42.51'
L123	S 20°00'42" W	52.08'
L124	S 21°04'30" W	66.29'
L125	S 22°16'22" W	59.48'
L126	S 21°57'42" W	68.55'
L127	S 23°00'13" W	43.64'
L128	S 18°37'34" W	39.27'
L129	S 21°11'24" W	64.33'
L130	S 21°06'14" W	37.59'
L131	S 09°57'48" W	60.53'
L132	S 35°51'07" W	31.90'
L133	S 21°34'04" W	60.21'
L134	S 21°05'08" W	61.72'
L135	S 21°18'17" W	35.64'
L136	N 21°10'52" E	10.05'
L137	N 21°10'52" E	18.05'
L138	S 57°33'49" E	18.41'
L139	S 79°53'17" E	38.39'
L140	N 68°09'33" E	31.57'
L141	N 39°21'44" E	46.79'
L142	S 37°41'21" E	40.20'
L143	S 35°22'06" W	55.14'
L144	S 39°43'32" W	56.94'
L145	N 66°36'09" W	26.05'

LINE TABLE	LINE TABLE	
L146	N 37°50'02" W	35.38'
L147	N 40°48'18" W	45.11'
L148	N 27°13'50" E	69.64'
L149	S 71°35'51" E	83.19'
L150	S 74°39'46" E	144.94'
L151	S 14°07'20" E	66.02'
L152	S 79°53'09" E	93.19'
L153	S 43°30'37" E	22.06'
L154	S 14°30'28" W	21.61'
L155	S 10°35'18" W	60.42'
L156	S 16°51'29" E	93.07'
L157	S 00°51'41" E	111.21'
L158	S 26°57'33" E	126.88'
L159	S 08°46'02" E	96.23'
L160	S 32°21'53" W	58.56'
L161	S 66°31'46" W	87.14'
L162	S 56°43'10" W	49.53'
L163	S 51°54'15" W	38.50'
L164	N 24°42'35" W	10.47'
L165	N 49°37'21" E	44.02'
L166	N 26°14'20" E	44.01'
L167	N 59°18'57" W	40.99'
L168	N 14°42'11" W	116.13'
L169	N 31°28'24" W	75.68'
L170	N 11°25'37" W	75.23'

LINE TABLE	LINE TABLE	
L171	N 21°29'17" W	98.28'
L172	N 60°21'08" W	37.88'
L173	N 50°07'30" W	79.29'
L174	S 75°53'29" E	137.49'
L175	S 21°07'21" E	131.21'
L176	S 22°06'57" E	89.02'
L177	S 71°38'04" W	62.24'
L178	N 37°47'03" W	52.03'
L179	N 55°01'24" W	78.50'
L180	S 18°54'33" E	53.90'
L181	N 45°02'15" E	28.56'
L182	N 73°54'44" E	80.26'
L183	S 14°12'48" E	17.45'
L184	S 22°27'18" W	39.33'
L185	S 40°06'06" E	46.57'
L186	S 33°52'00" E	54.08'
L187	S 84°01'57" E	32.42'
L188	N 35°49'36" E	22.81'
L189	N 54°24'24" W	41.45'
L190	S 89°25'24" W	181.31'
L191	N 27°38'44" W	65.78'
L192	S 88°55'49" E	52.71'
L193	S 66°23'38" E	66.06'
L194	S 33°53'42" E	54.15'
L195	S 81°08'43" E	52.62'

LINE TABLE	LINE TABLE	
L196	S 87°43'21" E	55.27'
L197	N 46°45'14" E	39.50'
L198	S 86°28'41" E	42.58'
L199	S 57°47'07" E	33.48'
L200	S 54°13'48" E	48.24'
L201	S 13°33'26" E	31.23'
L202	S 12°56'38" W	43.63'
L203	S 57°13'14" W	92.94'
L204	S 58°37'54" W	51.49'
L205	S 65°07'29" W	61.92'
L206	S 22°35'59" W	100.34'
L207	S 05°42'04" E	82.90'
L208	S 14°35'57" W	54.69'
L209	N 84°04'24" W	62.57'
L210	N 41°03'20" W	78.27'
L211	N 01°55'51" W	72.98'
L212	N 51°04'43" W	91.10'
L213	N 56°20'57" W	72.09'
L214	N 15°13'13" W	106.84'
L215	N 02°11'10" E	72.73'
L216	N 22°01'44" W	28.92'
L217	S 32°23'29" W	25.21'
L218	N 55°28'05" W	62.80'
L219	N 37°58'46" W	3.81'
L220	N 18°54'33" W	57.26'
L221	S 66°49'08" E	20.00'

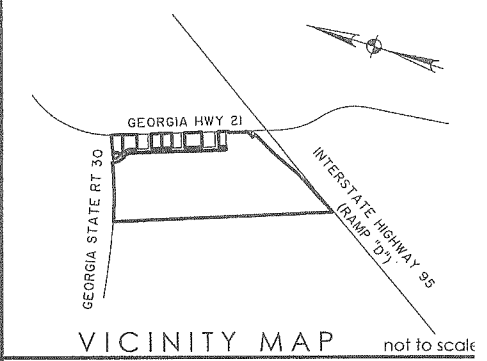
CURVE	RADIUS	LENGTH	CH BEARING	CH LENGTH	DELTA
C1	5794.27'	59.74'	N 77°23'46" E	59.74'	0°35'26"
C2	5794.27'	19.30'	N 77°00'19" E	19.30'	0°11'27"
C3	5794.27'	853.87'	N 72°41'18" E	853.10'	8°26'36"
C4	230.00'	178.23'	S 43°18'21" E	173.80'	44°23'54"
C5	170.00'	140.92'	S 41°45'25" E	136.92'	47°29'46"
C6	130.00'	26.67'	S 23°50'08" E	26.62'	11°45'16"
C7	70.00'	26.36'	N 28°47'42" W	26.20'	21°34'21"
C8	230.03'	190.68'	N 41°45'25" W	185.27'	47°29'46"
C9	169.98'	134.67'	N 42°48'26" W	131.18'	45°23'44"

UPLANDS	TRACT 1	2.95 AC.
WETLANDS		0.00 AC.
TOTAL		2.95 AC.
UPLANDS	TRACT 2	1.01 AC.
WETLANDS		0.00 AC.
TOTAL		1.01 AC.
UPLANDS	TRACT 3	1.70 AC.
WETLANDS		0.00 AC.
TOTAL		1.70 AC.
UPLANDS	TRACT 4	72.66 AC.
WETLANDS		9.00 AC.
BORROW PIT		0.31 AC.
PRESERVED WETLANDS		4.67 AC.
DITCHES		0.49 AC.
STORM DETENTION AREA		±0.9 AC.
STORM WATER DITCH		0.99 AC.
TOTAL		89.02 AC.
TOTAL ACREAGE		94.68 AC.



WETLAND LINES SHOWN ON THIS SURVEY WERE LOCATED USING A TRIMBLE GEO7X RECEIVER AND DATA WAS DIFFERENTIALLY CORRECTED USING NGS STATION GASA. THE PURPOSE OF THIS SURVEY IS FOR THE LOCATION OF WETLAND AREAS ONLY AND IT DOES NOT REPRESENT A BOUNDARY SURVEY OF THE PROPERTY AND IS NOT SUITABLE FOR CONVEYANCE OF PROPERTY.

WRIGHT C. POWERS, JR.
 GEORGIA REGISTERED LAND SURVEYOR
 LICENSE NO. 2612



VICINITY MAP not to scale
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WETLAND SURVEY LANDS OF PNC BANK, N.A. AND A PORTION OF SAVANNAH GATEWAY WEST PHASE 1

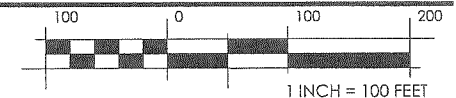
8TH G.M.D., CITY OF PORT WENTWORTH,
 CHATHAM COUNTY, GEORGIA

prepared for
 PNC BANK, N.A.



50 Park of Commerce Way
 PO Box 2727
 Savannah, GA 31402-2727
 p 912.234.5300 f 912.234.2950

www.thomasandhutton.com



plat	drawn	reviewed	field	crew
05-01-18	JMK	WCP	04-17-18	JH
Rev. 05-18-18	Tract 2 area	Rev. 07-23-18	Tract 4 areas	
job 27224				SHEET 8 OF 8

Attachment: Bespoke RV-Boat STG 7-0037-02-018 G-Site Plan 2022-USACE Verif (2746 : Site Plan Review

Project Timeline

Project Number: 220501

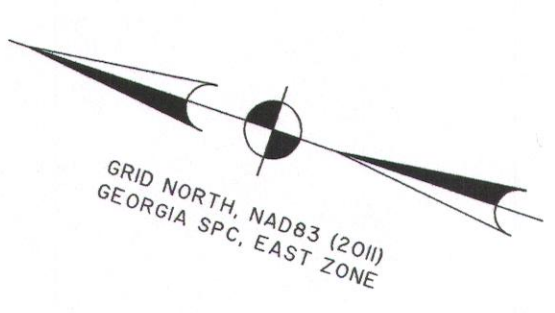
Project Name: Bespoke RV-Boat STG 7-0037-02-018 G-Site Plan 2022

Applicant / Engineer: Nate Fuss - Bohler

Owner: Double Reverse, LLC

City Review Engineer:

- 10/03/2022 – Application received: Incomplete.
- 10/6/2022 – Application complete
- 10/12/2022 – scheduled for the November 2022 meetings.
- 10/21/2022 – public hearing notice letters mailed.
- 10/24/2022 – public hearing notice posted in Savannah Morning News
-



THIS SPACE RESERVED FOR THE CLERK OF SUPERIOR COURT

- NOTES**
- FIELD EQUIPMENT USED FOR THIS SURVEY: GEOMAX ZOOM90 R2.
 - THE FIELD DATA UPON WHICH THIS MAP OR PLAT IS BASED HAS A CLOSURE RATIO OF 1 FOOT IN 41,263 FEET, AN ANGULAR ERROR OF 0.44" PER ANGLE POINT, AND WAS ADJUSTED USING THE COMPASS RULE METHOD.
 - ALL CORNERS MARKED WITH 3/4" IRON PIPE, 24" LONG WITH CAP STAMPED "TH" UNLESS OTHERWISE NOTED.
 - THIS PLAT HAS A PRECISION OF ONE FOOT IN 93,688.
 - COORDINATES AND DIRECTIONS ARE BASED ON GEORGIA STATE PLANE COORDINATE SYSTEM (NAD83), EAST ZONE.
 - ACCORDING TO FIRM MAP NO. 13051C, PANEL 0030G, REVISED AUGUST 16, 2018, THE PROPERTY SHOWN ON THIS PLAT LIES IN ZONE X, X SHADED & AE (2 FEET).
 - WETLANDS THAT MAY EXIST ON THE PROPERTY ARE UNDER THE JURISDICTION OF THE CORPS OF ENGINEERS AND/OR THE DEPARTMENT OF NATURAL RESOURCES. LOT OWNERS AND THE DEVELOPER ARE SUBJECT TO PENALTY BY LAW FOR DISTURBANCE TO THESE PROTECTED AREAS WITHOUT PROPER PERMIT AND APPROVAL.
 - THE POSITION OF UNDERGROUND UTILITIES SHOWN ON THIS DRAWING IS BASED UPON THE LOCATION OF SURFACE APURTENANCES AND/OR SURFACE MARKINGS AND SHOULD BE CONSIDERED APPROXIMATE. THE EXACT LOCATION, SIZE, TYPE AND DEPTH OF UNDERGROUND UTILITIES SHOWN HEREON OR ANY OTHER UTILITIES THAT MAY EXIST, CAN ONLY BE DETERMINED VIA AN EXAVATION OF THE UTILITY.
 - REFERENCES LISTED WERE PROVIDED BY THE ORT LAW FIRM.

- REFERENCES**
- EASEMENT FOR RIGHT OF WAY TO SAVANNAH ELECTRIC AND POWER COMPANY FILED ON JANUARY 16, 1973, RECORDED IN RECORD BOOK 101-Q, FOLIO 721-722, AFORESAID RECORDS.
 - EASEMENT DESCRIBED IN WARRANTY DEED FROM CLAYTON P. BOARDMAN, JR., BARNEY D. BOARDMAN, AND WARD S. CLAUSSEN TO CITY OF PORT WENTWORTH FILED AUGUST 1, 1988, RECORDED IN RECORD BOOK 139-D, FOLIO 731-732, AFORESAID RECORDS.
 - EASEMENT FROM LAND HOLDING, LLC TO SOUTHERN TELECOM, INC. FILED JUNE 25, 2019, RECORDED IN RECORD BOOK 1653, FOLIO 606-610, AFORESAID RECORDS.
 - NATURAL GAS TRANSMISSION EASEMENT TO SCG PIPELINE, INC. FILED MARCH 5, 2003, RECORDED IN RECORD BOOK 247-V, FOLIO 266-272, AFORESAID RECORDS.
 - RESTRICTIVE COVENANTS FILED JANUARY 21, 1997, RECORDED IN RECORD BOOK 183-G, FOLIO 627-643, AFORESAID RECORDS.
 - FIRST AMENDMENT AND EXTENSION OF RESTRICTIVE COVENANTS FILED OCTOBER 21, 2002, RECORDED IN RECORD BOOK 241-T, PAGE 647, AFORESAID RECORDS. AS AFFECTED BY THAT AUGUST 8, 2018 LETTER FROM SKYE H. STOCKEL, REGULATORY SPECIALIST, COASTAL SECTION, U.S. ARMY CORPS OF ENGINEERS TO JOHN R. GASSIE, V.P., LAND HOLDING, LLC, ASSOCIATED WITH PROJECT NUMBER SAS-2005-02104, A COPY OF WHICH IS ON FILE IN THE OFFICE OF ROBINSON & BLAZER, LLP, 150 PONCE DE LEON AVE., STE. 475, DECATUR, GEORGIA 30030.
 - PROPOSED 60' ACCESS AND UTILITIES EASEMENT ANTICIPATED TO BE RESERVED IN FAVOR OF TRACT 2 PURSUANT TO DEED OR EASEMENT INSTRUMENT TO BE RECORDED IN THE AFORESAID RECORDS.

HATCH LEGEND

- RIP-RAP
- SIDEWALK
- JURISDICTIONAL WETLAND
- PRESERVED WETLAND

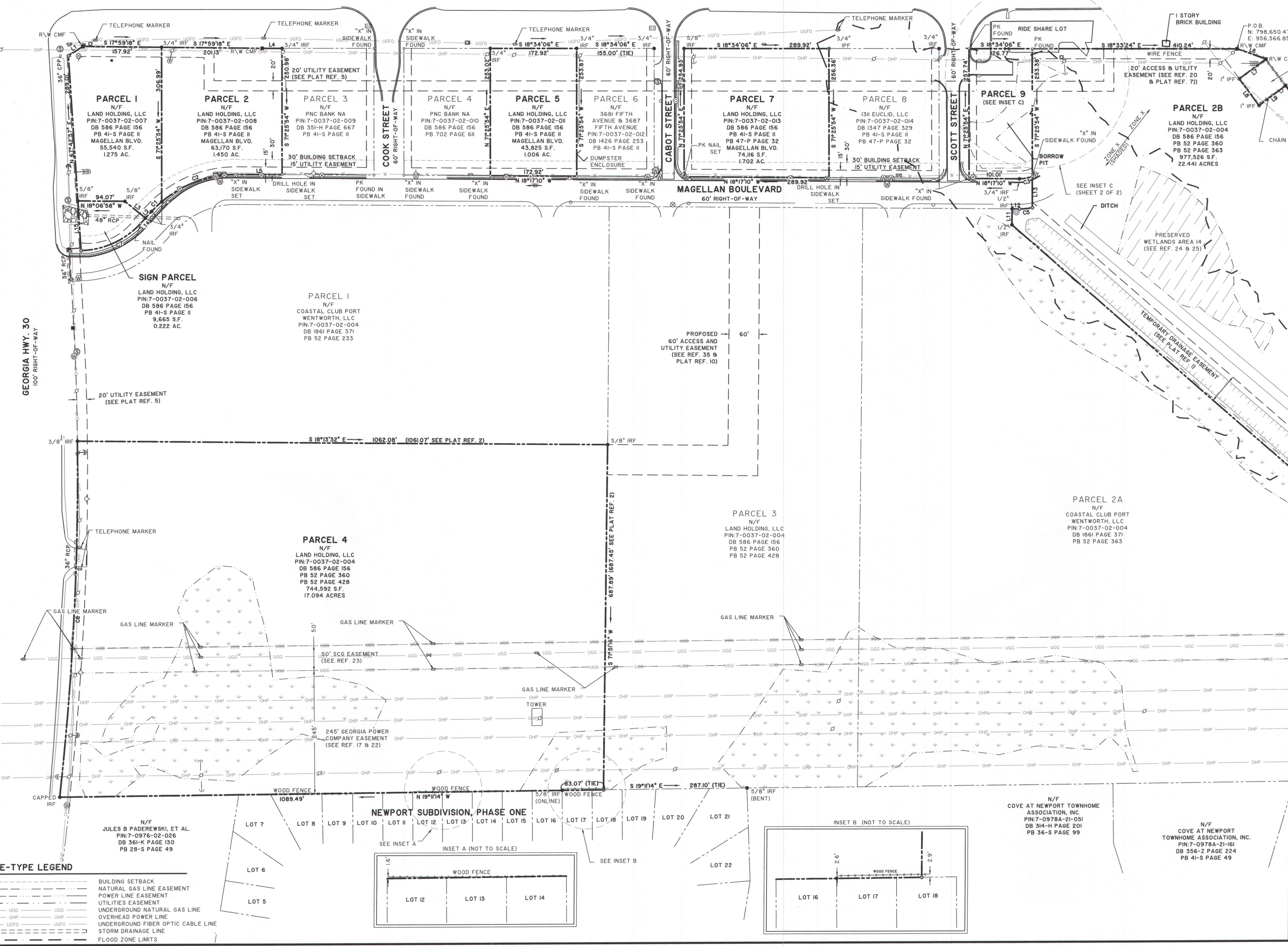
LINE-TYPE LEGEND

- BUILDING SETBACK
- NATURAL GAS LINE EASEMENT
- POWER LINE EASEMENT
- UTILITIES EASEMENT
- UNDERGROUND NATURAL GAS LINE
- OVERHEAD POWER LINE
- UNDERGROUND FIBER OPTIC CABLE LINE
- STORM DRAINAGE LINE
- FLOOD ZONE LIMITS

- PLAT REFERENCES**
- PHASE I SAVANNAH GATEWAY WEST, BEING A SUBDIVISION OF A PORTION OF LANDS OF THE SAVANNAH WEST, LLC, BY HUSSEY, GAY, BELL, & DEYOUNG, DATED JULY 31, 2008, RECORDED IN PLAT BOOK 41-S, PAGE II, CHATHAM COUNTY RECORDS.
 - REVISED MINOR SUBDIVISION SURVEY FORMER BOARDMAN TRACT, BEING A DIVISION OF PARCEL 2, A 77.32 ACRE PORTION OF THE FORMER BOARDMAN TRACT, BY SUNDIAL LAND SURVEYING, P.C., DATED JANUARY 28, 2020, REVISED FEBRUARY 26, 2020, RECORDED IN PLAT BOOK 52, PAGE 360, AND FURTHER REVISED MAY 12, 2020, RECORDED IN PLAT BOOK 52, PAGE 428 IN CHATHAM COUNTY RECORDS.
 - A MINOR SUBDIVISION PLAT OF PARCEL 2A, SAVANNAH GATEWAY WEST, A PORTION OF OF TAX PARCEL NO. 7-0037-02-004, BY ATLAS SURVEYING, INC., DATED FEBRUARY 27, 2020, RECORDED IN PLAT BOOK 52, PAGE 363, CHATHAM COUNTY RECORDS.
 - RECOMBINATION SURVEY LOT 7 & LOT 8, PHASE I SAVANNAH GATEWAY WEST, BY THOMAS & HUTTON, DATED JULY 23, 2012, RECORDED IN PLAT BOOK 47-P, PAGE 32, CHATHAM COUNTY RECORDS.
 - PLAT OF A 20' UTILITY EASEMENT THROUGH LANDS OF MCKAY INVESTMENTS, LLC, BY HUSSEY, GAY, BELL & DEYOUNG, DATED NOVEMBER 23, 2004, REVISED JANUARY 17, 2005, RECORDED IN PLAT BOOK 30-P, PAGE 25, CHATHAM COUNTY RECORDS.

- PLAT REFERENCES**
- EASEMENT SURVEY SCG PIPELINE PROJECT, CROSSING PROPERTY OF CLAYTON P. BOARDMAN, III - CH-30A, BY GLENN ASSOCIATES SURVEYING, INC., DATED MAY 17, 2002.
 - PLAT OF PROPOSED WELL SITE BEING LANDS OF BOARDMAN AND CLAUSSEN, BY HUSSEY, GAY, BELL & DEYOUNG, DATED JUNE 14, 1988, RECORDED IN PLAT BOOK 9-P, PAGE 195, CHATHAM COUNTY RECORDS.
 - MINOR SUBDIVISION SURVEY FORMER BOARDMAN TRACT BEING A DIVISION OF PARCEL 2, A 77.27 ACRE PORTION OF THE FORMER BOARDMAN TRACT, BY SUNDIAL LAND SURVEYING, P.C., DATED JANUARY 28, 2020, RECORDED IN PLAT BOOK 52, PAGE 353, CHATHAM COUNTY RECORDS.
 - WETLANDS SURVEY LAND OF PNC BANK, N.A. AND A PORTION OF SAVANNAH GATEWAY WEST PHASE I, BY THOMAS & HUTTON, DATED MAY 1, 2018.
 - PRELIMINARY MINOR SUBDIVISION OF THE BOARDMAN TRACT BEING A SUBDIVISION OF PARCEL 2, PREPARED BY SUNDIAL LAND SURVEYING, P.C., DATED JANUARY 28, 2020

GEORGIA HWY. 21 (AUGUSTA ROAD) 300' RIGHT-OF-WAY



- LEGEND**
- CONC. MONUMENT FOUND
 - CURB INLET MANHOLE
 - ELECTRIC BOX
 - FIRE HYDRANT
 - GAS VALVE
 - IRON PIPE FOUND
 - IRON PIPE SET
 - IRON REBAR FOUND
 - UNDERGROUND UTILITY LINE MARKER
 - LIGHT POLE
 - COMPUTED POINT (NO MONUMENT)
 - POWER POLE
 - STORM DRAINAGE MANHOLE
 - SANITARY MANHOLE
 - TELEPHONE BOX
 - WATER METER
 - WATER MANHOLE
 - WATER VALVE

LINE TABLE

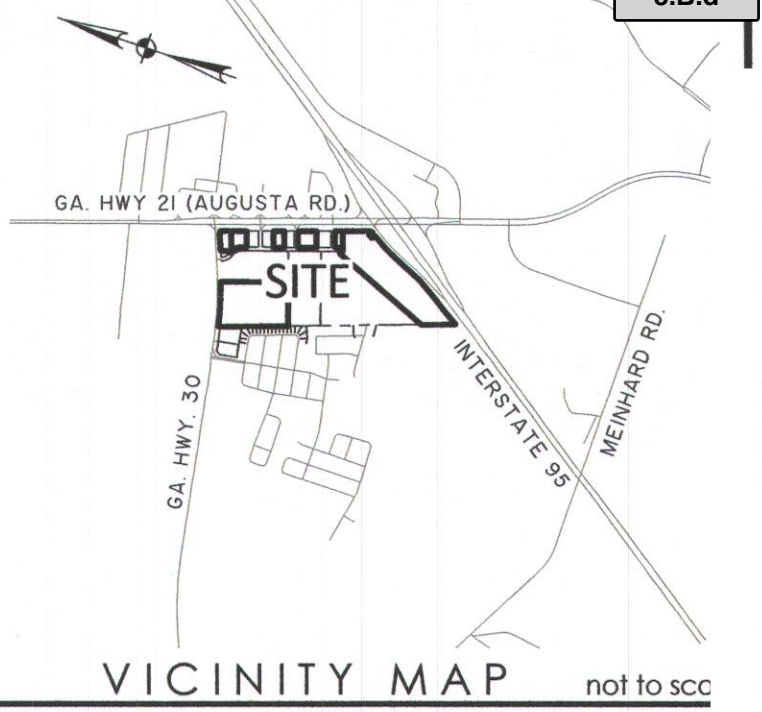
LINE	BEARING	LENGTH
L1	S 5°24'40" E	34.27'
L2	N 65°46'56" W	18.09'
L3	N 20°20'59" E	53.25'
L4	S 18°34'06" E	39.93'
L5	N 18°17'10" W	91.32'
L6	S 00°51'46" W	60.85'
L7	N 55°06'12" W	66.06'
L8	S 34°44'12" W	66.07'

LINE TABLE

LINE	BEARING	LENGTH
L9	S 55°16'32" E	66.18'
L10	S 32°57'09" W	183.02'
L11	N 72°00'29" E	31.61'
L12	S 18°17'10" W	14.65'
L13	N 7°25'54" E	62.31'
L14	N 65°46'56" W	13.88'
L15	N 67°42'57" E	99.05'

CURVE TABLE

CURVE	RADIUS	LENGTH	CH BEARING	CH LENGTH	DELTA
C1	230.00'	27.98'	N 62°17'53" W	27.96'	6°58'10"
C2	230.00'	162.69'	N 38°33'00" W	159.32'	40°31'41"
C3	70.00'	26.38'	N 29°13'56" W	26.22'	2°35'20"
C4	1976.16'	379.33'	S 23°23'17" W	376.55'	10°59'33"
C5	130.00'	26.16'	S 24°09'48" E	26.12'	1°31'53"
C6	5794.27'	707.18'	N 74°03'46" E	706.75'	6°59'34"
C7	170.00'	134.97'	N 43°02'19" W	131.45'	45°29'18"



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SURVEYOR'S CERTIFICATION

THIS PLAT IS A RETRACEMENT OF AN EXISTING PARCEL PARCELS OF LAND AND DOES NOT SUBDIVIDE OR CREATE A NEW PARCEL OR MAKE ANY CHANGES TO ANY REAL PROPERTY BOUNDARIES. THE RECORDING INFORMATION OF THE DOCUMENT MAPS, PLATS, OR OTHER INSTRUMENTS WHICH CREATED THIS PARCEL OR PARCELS ARE STATED HEREON. RECORDED THIS PLAT DOES NOT IMPLY APPROVAL OF ANY LOCAL JURISDICTION, AVAILABILITY OF PERMITS, COMPLIANCE WITH LOCAL REGULATIONS OR REQUIREMENTS, OR SUITABILITY FOR ANY USE OR PURPOSE OF THE LAND. FURTHERMORE, I, UNDERSIGNED LAND SURVEYOR CERTIFIES THAT THIS PLAT COMPLIES WITH THE MINIMUM TECHNICAL STANDARDS FOR PROPERTY SURVEYS IN GEORGIA AS SET FORTH IN THE RULES AND REGULATIONS OF THE GEORGIA BOARD OF REGISTRARS FOR PROFESSIONAL ENGINEERS AND LAND SURVEYORS AND SET FORTH IN O.C.G.A. SECTION 15-6-67.

GEORGIA REGISTERED LAND SURVEYOR

No. 2612

WRIGHT C. POWERS, JR.

WRIGHT C. POWERS, JR.
GEORGIA REGISTERED LAND SURVEYOR
R.L.S. #2612 / L.S.F. #145
powers.w@thomasandhutton.com

BOUNDARY SURVEY

LOTS 1, 2, 5, 7, 9 & SIGN PARCEL PHASE 1, SAVANNAH GATEWAY WEST, & PARCELS 2B & FORMER BOARDMAN TRACT BEING A DIVISION OF PARCEL 2, A 77.32 ACRE PORTION OF THE FORMER BOARDMAN TRACT

8TH G.M. DISTRICT, CITY OF PORT WENTWORTH CHATHAM COUNTY, GEORGIA

prepared for
**BISHOP BEALE DUNCAN;
DOUBLE REVERSE, LLC;
FIRST AMERICAN TITLE INSURANCE CO
ROBINSON LAW, P.C.; &
THE ORT LAW FIRM**

No.	Revision	By	Date

THOMAS & HUTTON

50 Park of Commerce Way
Savannah, GA 31405 • 912.234.5300

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100 0 100 200
1 INCH = 100 FEET

plat 04/24/2020 drawn BA reviewed WCP field 04/21/2020 crew MB

job 28427.0000 SHEET 1 OF 2

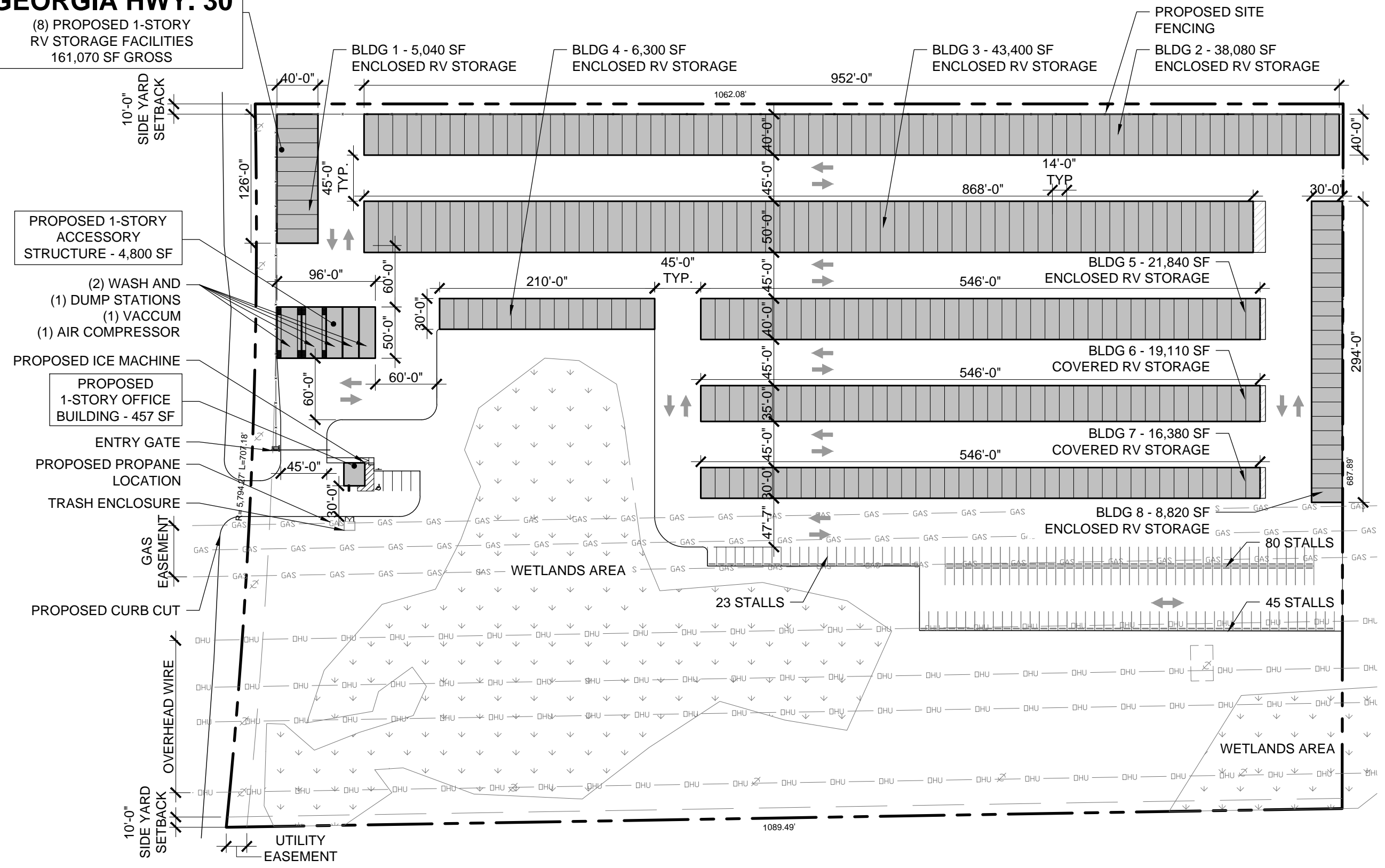
Attachment: Bespoke RV-Boat STG 7-0037-02-18 G-Site Plan, 2022-Boundary Survey (2746: Site Plan Review Application) (General) PIN 70037-02018 Bespoke RV Storage NOV 2022



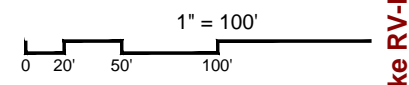
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RV STORAGE GEORGIA HWY. 30

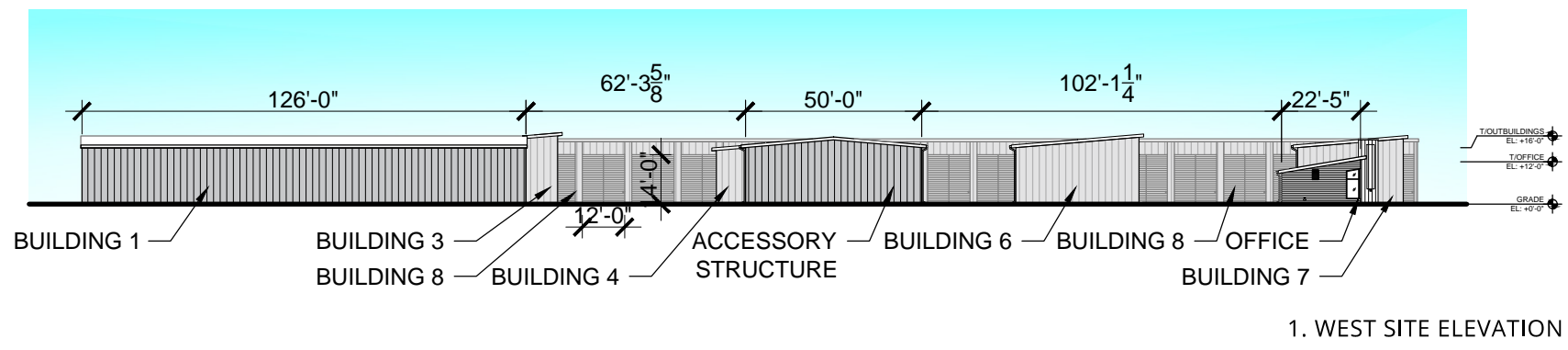
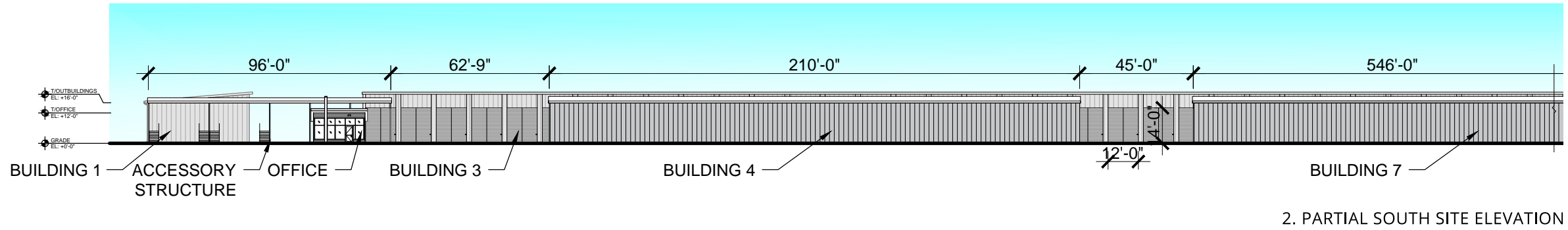
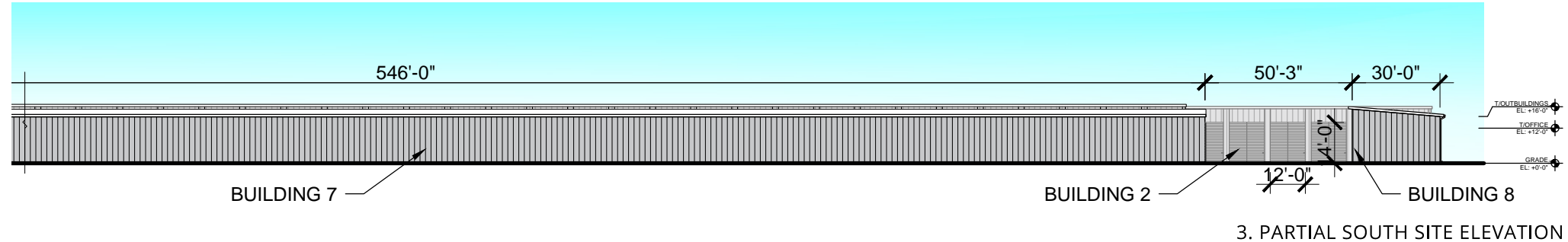
(8) PROPOSED 1-STORY
RV STORAGE FACILITIES
161,070 SF GROSS



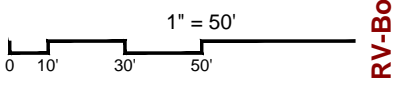
GEORGIA HWY. 30
SAVANNAH, GA



SITE PLAN



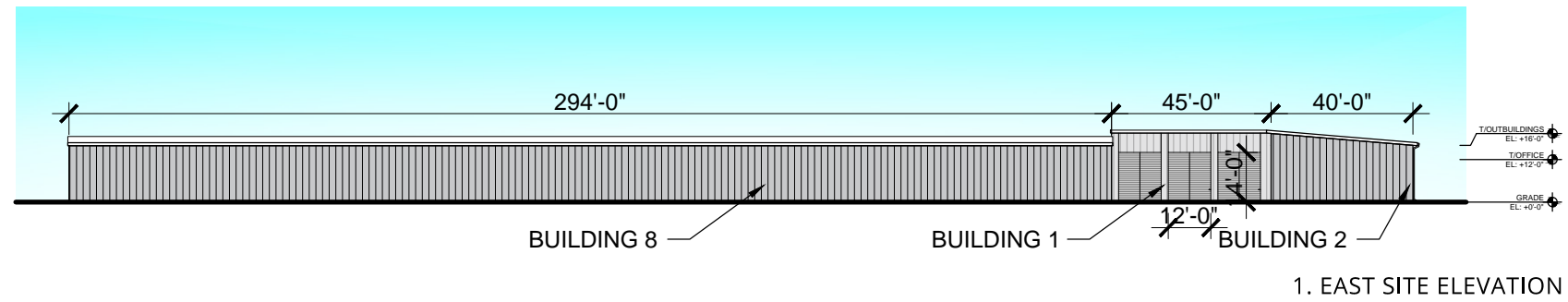
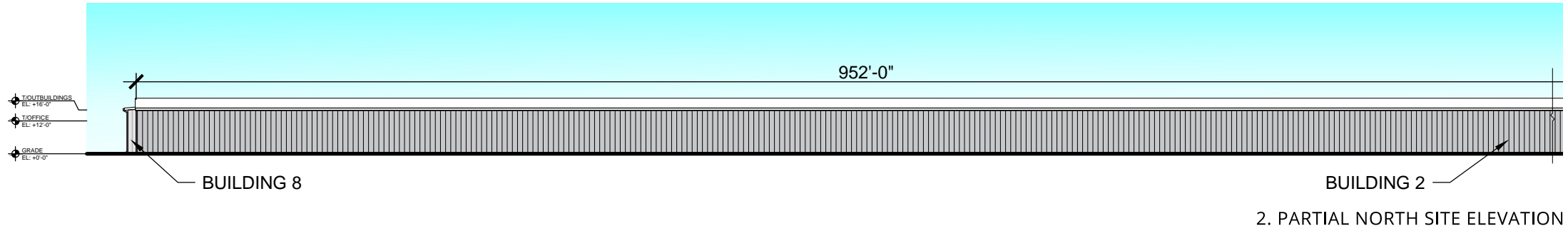
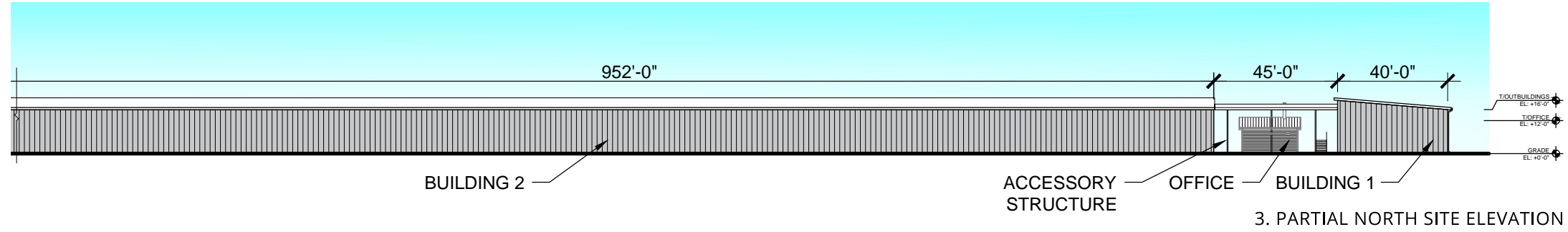
GEORGIA HWY. 30
SAVANNAH, GA



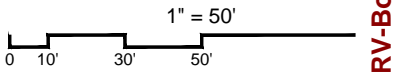
ELEVATIONS



Attachment: Bespoke RV-Boat STG 7-0037-02-018 G-Site Plan 2022-Archit Elev. (2746 : Site Plan Review Application (General) PIN 70037 02018



GEORGIA HWY. 30
SAVANNAH, GA

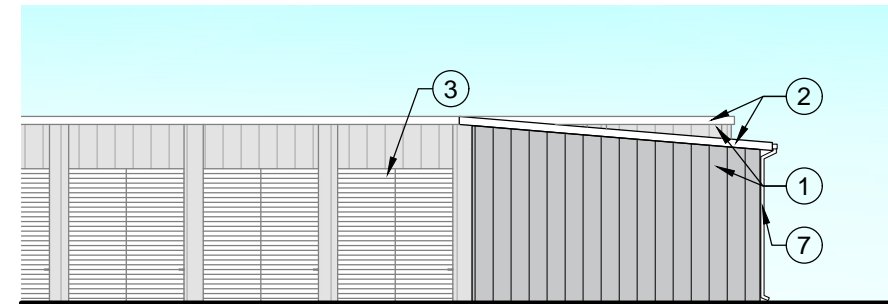


ELEVATIONS

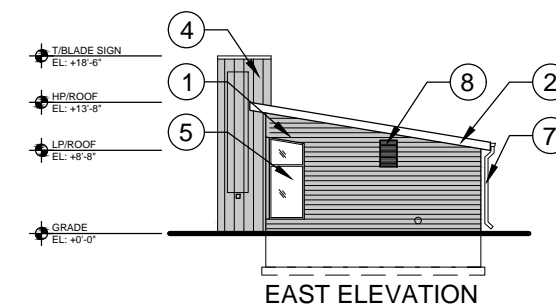
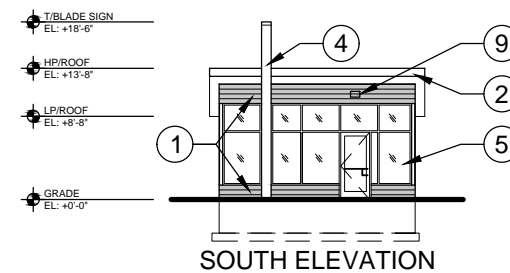
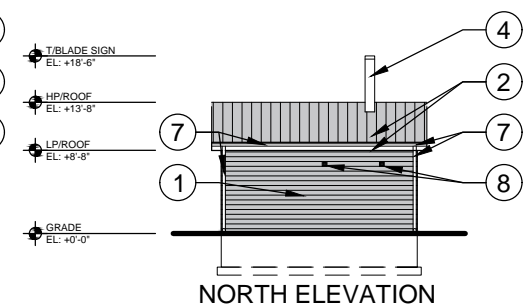
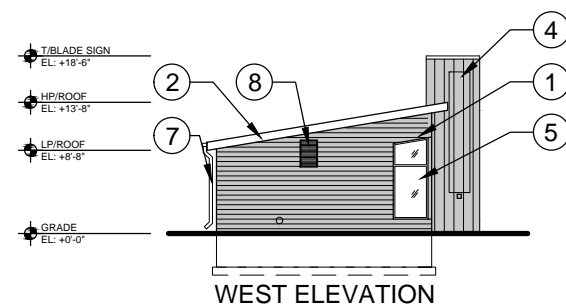
MATERIAL LEGEND:

NOTE: KEYED NOTES BELOW APPLY TO MULTIPLE SHEETS AND MAY NOT BE APPLICABLE TO THIS SHEET

- ① METAL WALL PANEL - MBCI 7.2
COLOR - MEDIUM BRONZE
- ② METAL ROOF PANEL/ FASCIA - MBCI 7.2
COLOR - BROWNSTONE
- ③ ROLL UP DOORS -
PAINT TO MATCH MBCI BROWNSTONE
- ④ METAL BLADE SIGN (BY OTHERS)
- ⑤ BLACK ANODIZED STOREFRONT SYSTEM
BLACK ANODIZED
- ⑥ STEEL STRUCTURE
PAINT TO MATCH MBCI MEDIUM BRONZE
- ⑦ GUTTER & DOWNSPOUT -
PAINT TO MATCH MBCI BROWNSTONE
- ⑧ LOUVER OR WEATHERHEAD-SEE MECHANICAL

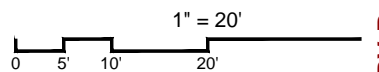


2. PARTIAL OUTBUILDING ELEVATION



1. OFFICE BUILDING ELEVATIONS

GEORGIA HWY. 30
SAVANNAH, GA



ELEVATIONS



Planning Commission
305 South Coastal Highway
Port Wentworth, GA 31407

Meeting: 11/14/22 03:30 PM
Department: Development Services
Category: Planning/Zoning Item
Prepared By: Melanie Ellis
Department Head: Brian Harvey

SUBMITTED

AGENDA ITEM (ID # 2713)

DOC ID: 2713

Site Plan Review Application submitted by Scott Monson, Thomas & Hutton on behalf of Port Wentworth SFR, LLC., for PIN # 7-0906-04-024 (Magnolia Blvd, Parcel 4 - A portion of Tract A1-1 of the Chisholm Tract) for a Specific Development Site Plan to allow a Single Family Rental Community in a M-P-O (Master Plan Overlay) Zoning District

Issue/Item: Site Plan Review Application submitted by Scott Monson, Thomas & Hutton on behalf of Port Wentworth SFR, LLC., for PIN # 7-0906-04-024 (Magnolia Blvd, Parcel 4 - A portion of Tract A1-1 of the Chisholm Tract) for a Specific Development Site Plan to allow a Single Family Rental Community in a M-P-O (Master Plan Overlay) Zoning District

Background: The subject property is currently vacant woodland. There are no buildings or structures on the subject property. The general development plan for this project was approved during a regular City Council meeting on April 28, 2022.

Facts and Findings: The subject parcel is located on the east side of Highway 21 and at the south end of Magnolia Blvd. The site plan consist of 106 total rental units to be developed with the appearance of a detached single family subdivision, pool/clubhouse amenia area, and associated storm water detention and parking. The access will be off of Highway 21 using the same access as the Novare apartment development. This project complies with the current City of Port Wentworth 2021-2041 Comprehensive Plan. The site plan has received concurrence from City engineers, T.R. Long Engineering. According to the 2021 City of Port Wentworth Comprehensive Plan this property is under the Open Space Character Area.

Funding: N/A

Recommendation: The Planning Commission will hear this application on Monday, November 14, 2022 at 3:30 P.M.

ATTACHMENTS:

- Novare Single Family Rental 7-0906-04-024 S-Site Plan 2022 - Application 7.8.22 (PDF)
- Novare Single Family Rental 7-0906-04-024 S-Site Plan 2022 - Timeline (DOCX)
- Novare Single Family Rental 7-0906-04-024 S-Site Plan 2022 - Concurrence Long 10.9.22 (PDF)
- Novare Single Family Rental 7-0906-04-024 S-Site Plan 2022 - Site Plan 10.5.22 (PDF)

City of Port Wentworth
7224 Highway 21 Port Wentworth Georgia 31407 912-999-2084

Site Plan Review Application

Site Plan Application is required for all new construction in a "P" or "MPO" zone as defined in the Zoning Ordinance of the City of Port Wentworth.

Site Plan Type (Check One): General / Concept Specific Development
Site Plan Address: Magnolia Blvd., Port Wentworth, GA 31407 (adjacent to Novare Multifamily & Village at Rice Hope)
PIN #(s): 7-0906-04-024 (Parcel 4 - A portion of Tract A1-1 of the Chisholm Tract)
Zoning: P-RIP Estimated Cost of Construction: \$ 18 Million
Type of Construction: Single Family Rental Community

Applicant's Name: Scott K. Monson - Thomas & Hutton
Mailing Address: 50 Park of Commerce Way Savannah, GA 31405

Phone #: 912-721-4132 Email: monson.s@tandh.com


Owner's Name (If Different form Applicant): Port Wentworth SFR, LLC
Mailing Address: 1545 Peachtree Street Suite 260, Atlanta, GA 30309

Phone #: 404-815-1234 Email: tandersen@novaregroup.com

I hereby acknowledge that the above information is true and correct.


Applicant's Signature

7/8/2022
Date


Owner's Signature (If Different form Applicant)

7/6/22
Date

Please see page 2 for required submittal checklist

Attachment: Novare Single Family Rental 7-0906-04-024 S-Site Plan 2022 - Application 7.8.22 (2713 : Site Plan Review Application Novare Single

City of Port Wentworth
7224 Highway 21 ▪ Port Wentworth ▪ Georgia ▪ 31407 ▪ 912-999-2084


Site Plan Review Application Submittal Checklist

Documentation below is required for a complete submittal.

- Signed and Completed Application
- 3 Full size sets of site plan civil drawings or concept plan (depending on type of site plan)
- 15 half size (11" X 17") sets of site plan civil drawings or concept plan (depending on type of site plan)
- 2 copies of hydrology reports (if applicable)
- Names, mailing address, and PIN number of all property owners within 250 feet of all property lines
- 1 8 1/2" X 11" of site plan civil drawings or concept plan (depending on type of site plan)
- PDF of entire submittal (either flash drive or CD)
- Other Engineering details or reports may be required once submittal has been received
- Site plan review fee check
 - o No Land Disturbance- \$206.00 Site Plan Fee + \$50.00 Admin Fee = Total \$256.00
 - o With Land Disturbance - \$836.00 Site Plan Fee + \$50.00 Admin Fee = Total \$886.00

Additional Fee Statement: If engineer review cost to the City exceeds the site plan review fee that is paid at the time of initial application submittal, you may be required to pay additional review cost.

I have read and agree to the above additional fee statement


Applicant's Signature

7/8/2022
Date

CITY OF PORT WENTWORTH
(912) 964-4379

REC#: 00361359 7/11/2022 1:33 PM
OPER: KS TERM: 055
REF#: 115371

TRAN: 112.0000 BLDG PERMIT
220376 886.00CR
PORT WENTWORTH SFR, LLC
PIN# 7-0906-04-024
DEV-SPR 886.00CR

TENDERED: 886.00 CHECK
APPLIED: 886.00-

CHANGE:
0.00

WWW.CITYOFPORTWENTWORTH.COM

TMS	Owner Name	Property Address	Owner Address (If different from Property Address)
7-0906-04-037	Rice Hope CJ LLC	100 Magnolia Blvd, Port Wentworth GA 31407	PO Box 450233, Atlanta, GA 31145-0233
7-0975-02-006	Birch Circle LLC	7514 Hwy 21, Port Wentworth GA 31407	514 S Main St, Hinesville, GA 31313-4355
7-0975-02-007	James Wood Industries LLC	7512 Hwy 21, Port Wentworth GA 31407	136 Post House Trl, Port Wentworth, GA 31322-9624
7-0975-02-008	Christian, Brenda Sue	Hwy 21, Port Wentworth GA 31407	6 Hasleiters Retreat, Savannah, GA 31411-3107
7-0975-02-009	Smith, Eric C.	7508 Hwy 21, Port Wentworth GA 31407	PO Box 2264, Rincon, GA 31326-2264
7-0975-02-010	Cheatham, Lula Ghyll Roberts	Hwy 21, Port Wentworth GA 31407	1595 Berkely Ave, North Baldwin, NY 11510-1635
7-0975-02-011	Wilson, David Johnson Edward	7500 Hwy 21, Port Wentworth GA 31407	2119 Biscayne Dr, Savannah, GA 31406-2801
7-0975-02-012	Johnson, Edward	Hwy 21, Port Wentworth GA 31407	2127 Mason Dr, Savannah, GA 31404-5652
7-0975-02-013	Fieldstone Group LLC	Hwy 21, Port Wentworth GA 31407	204 Wiley Bottom Rd, Savannah, GA 31411-1537
7-0975-02-014	Fieldstone Group LLC	Hwy 21, Port Wentworth GA 31407	204 Wiley Bottom Rd, Savannah, GA 31411-1537
7-0975-02-015	Fieldstone Group LLC	Hwy 21, Port Wentworth GA 31407	204 Wiley Bottom Rd, Savannah, GA 31411-1537
7-0906-04-075	BEP Rice Hope LLC	Hwy 21, Port Wentworth GA 31407	100 Lakeside Blvd, Port Wentworth, GA 31407-3391
7-0907-01-003	Exley, Thomas L	Hwy 21, Port Wentworth GA 31407	PO Box 1338, Rincon, GA 31326-1338
7-0907A-02-011	Jones, Carol D	22 Treadway St, Port Wentworth GA 31407	22 Treadway St, Port Wentworth GA 31407
7-0907A-02-010	Otto, James Paul	20 Treadway St, Port Wentworth GA 31407	20 Treadway St, Port Wentworth GA 31407
7-0907A-03-001	Mack, Evon	216 Black Creek Dr, Port Wentworth GA 31407	216 Black Creek Dr, Port Wentworth GA 31407
7-0907A-03-002	Edge, Melissa G	214 Black Creek Dr, Port Wentworth GA 31407	214 Black Creek Dr, Port Wentworth GA 31407
7-0907A-03-003	Robinson, Charles Jerome	112 Black Creek Dr, Port Wentworth GA 31407	112 Black Creek Dr, Port Wentworth GA 31407
7-0907A-03-004	Pelton, Joshua	110 Black Creek Dr, Port Wentworth GA 31407	110 Black Creek Dr, Port Wentworth GA 31407
7-0907A-07-012	Vogel, Brian R.	21 Treadway St, Port Wentworth GA 31407	21 Treadway St, Port Wentworth GA 31407
7-0907A-07-013	Chisholm, Pamela R.	19 Treadway St, Port Wentworth GA 31407	19 Treadway St, Port Wentworth GA 31407

Project Timeline

Project Number: 220376

Project Name: Novare Single Family Rental

Applicant / Engineer: Thomas & Hutton – Scott K. Monson

Owner: Port Wentworth SFR, LLC

City Review Engineer: TR Long

- 07/08/2022 – Application received: Complete
- 7/13/2022 – sent files to TR Long for review.
- 7/27/2022 – sent email to Scott Monson letting him know that this application would not be on the August 2022 meetings due to not having review comments for the project yet.
- 8/1/2022 – sent email to TR Long for review update.
- 8/11/2022 – received 1st review from TR Long. Forwarded to T&H.
- 9/6/22 – 1st resubmittal received from T&H. TR Long copied on email
- 10/3/22 – sent email for review update from TR Long.
- 10/4/22 – received 2nd comment letter from TR Long. Forwarded to T&H.
- 10/5/22 – received 2nd resubmittal from T&H. TR Long copied.
- 10/9/22 - received concurrence letter from TR Long.
- 10/11/22 – forwarded concurrence letter to T&H and informed them they would be scheduled for the November 2022 meetings.
- 10/21/2022 – public hearing notice letters mailed.
- 10/24/2022 – public hearing notice posted in Savannah Morning News
-

114 North Commerce Street
Hinesville, Georgia 31313
(912) 368-5664 Office
(912) 368-7206 Fax



1000 Towne Center Blvd.
Suite 304
Pooler, Georgia 31322
(912) 355-1046

October 9, 2022

Mr. Brian Harvey
City of Port Wentworth
7224 Georgia Highway 21
Port Wentworth, Georgia 31407

Re: Site Development Plans
Novare Single Family
Port Wentworth, Georgia

Dear Mr. Harvey:

T. R. Long Engineering, P.C. has reviewed the revisions to the construction plans for the above referenced project. These plans were prepared by Thomas & Hutton revised October 5, 2022. The proposed plans generally meet the intent of the ordinances and guidelines governing construction in Port Wentworth.

Concurrence with the site plan by T. R. Long Engineering, P.C. and Port Wentworth does not relieve the owner/developer, designer, engineer, and contractor nor their representatives from their individual or collective responsibilities to comply with provisions of Local, State, and Federal regulations and/or ordinances. T. R. Long Engineering, P.C. and Port Wentworth's review of the submitted documents for completeness and general compliance with codes, ordinances and/or standards. No design liability can be assumed or assigned to T. R. Long Engineering, P.C. or Port Wentworth. All design liability remains with the professional engineer who signed and sealed those documents. Additionally, concurrence with the submitted documents and their intent is not to be construed as a check of every item submitted and does not prevent Port Wentworth from requiring corrections and/or addressing of omissions in the submitted documents and/or construction.

Should you have any questions, comments or need additional information please contact us.

Sincerely,

A handwritten signature in blue ink that reads 'Trent R. Long'. The signature is fluid and cursive, written over a light blue horizontal line.

Trent R. Long, P.E.

J:\28595\NOVARE GROUP ENGINEERING\NOVARE GROUP CONSTRUCTION PLANS\28595.0004 - COVER - DWG 6, 2022 - 9:54 AM

SITE DEVELOPMENT PLANS

FOR

SINGLE FAMILY RENTAL - PARCEL 4

106 UNITS

PORT WENTWORTH, GEORGIA

PREPARED FOR:
NOVARE GROUP - PORT WENTWORTH SFR, LLC
 1545 PEACHTREE STREET
 ATLANTA, GA 30309

TM# 7-0906-04-024

JULY 5, 2022

PERMIT SET - FOR REVIEW PURPOSES ONLY

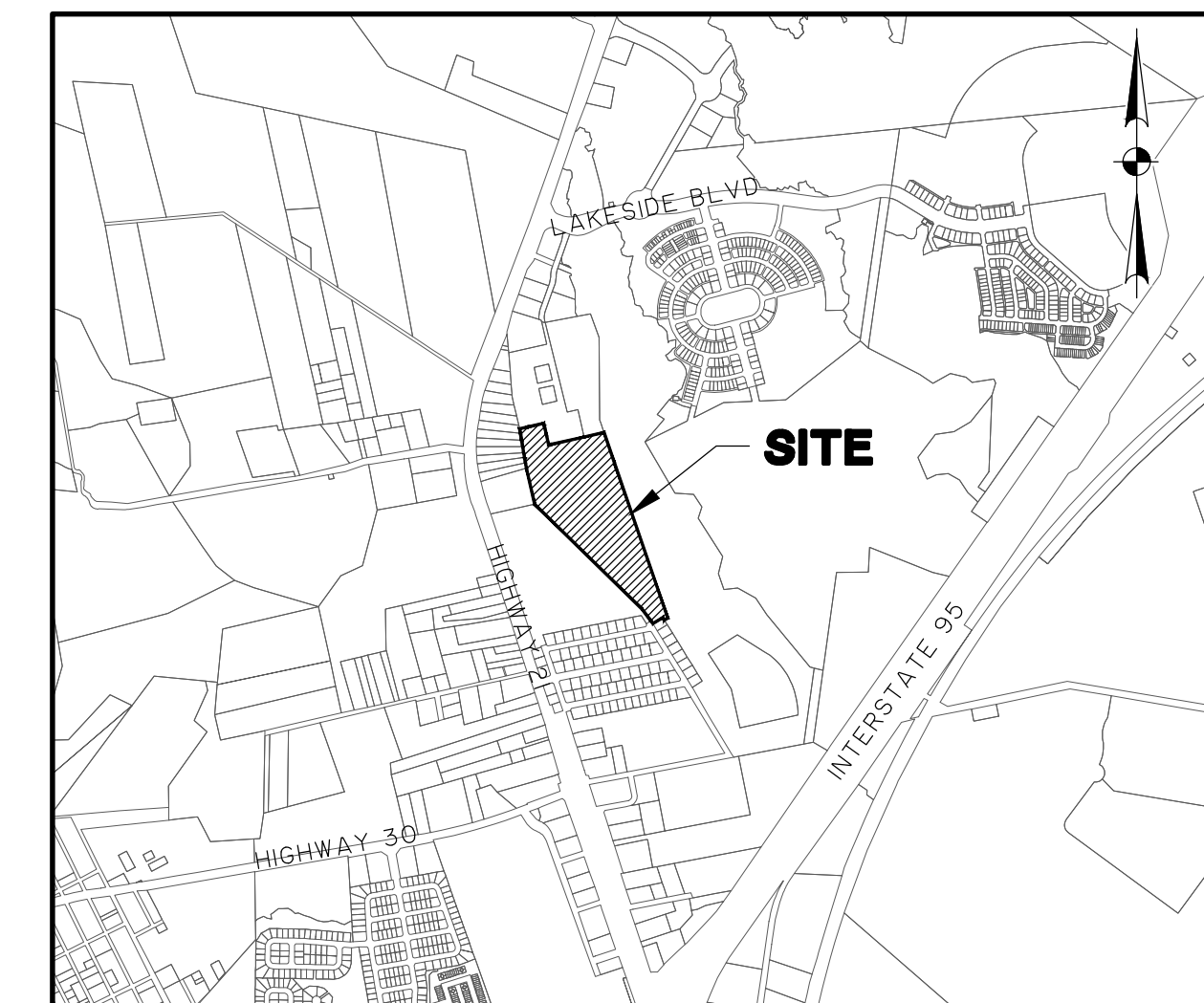
J-28595.0004

PREPARED BY:



REVISION HISTORY			
REV. NO.	REVISION	BY	DATE
3	PER T.R. LONG REVIEW COMMENTS DATED 10/04/22	SGJ	10/05/22
2	PER T.R. LONG REVIEW COMMENTS DATED 8/11/22	SGJ	9/02/22
1	REVISED PER EPD COMMENTS	SGJ	8/22/22

SUBMITTAL HISTORY	
SUBMITTED TO	DATE



VICINITY MAP
SCALE: 1" = 2000'

Attachment: Novare Single Family Rental 7-0906-04-024 S-Site Plan 2022 - Site Plan 10.5.22 (Z713 - Site Plan Review Application Novare Single Family Project (Specific) NOV 2022) J-28595.0004 7/5/2022

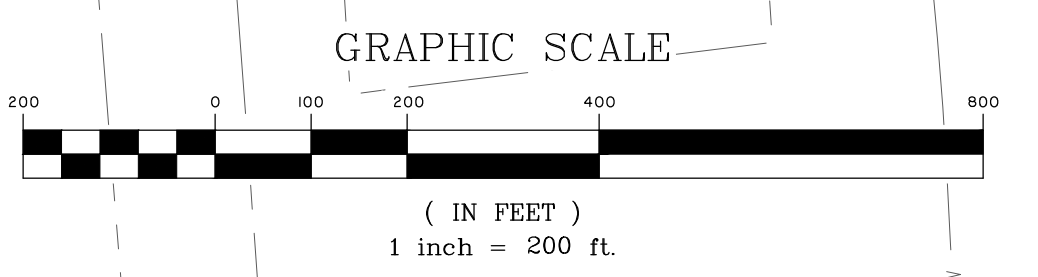
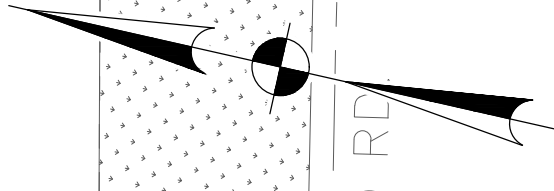
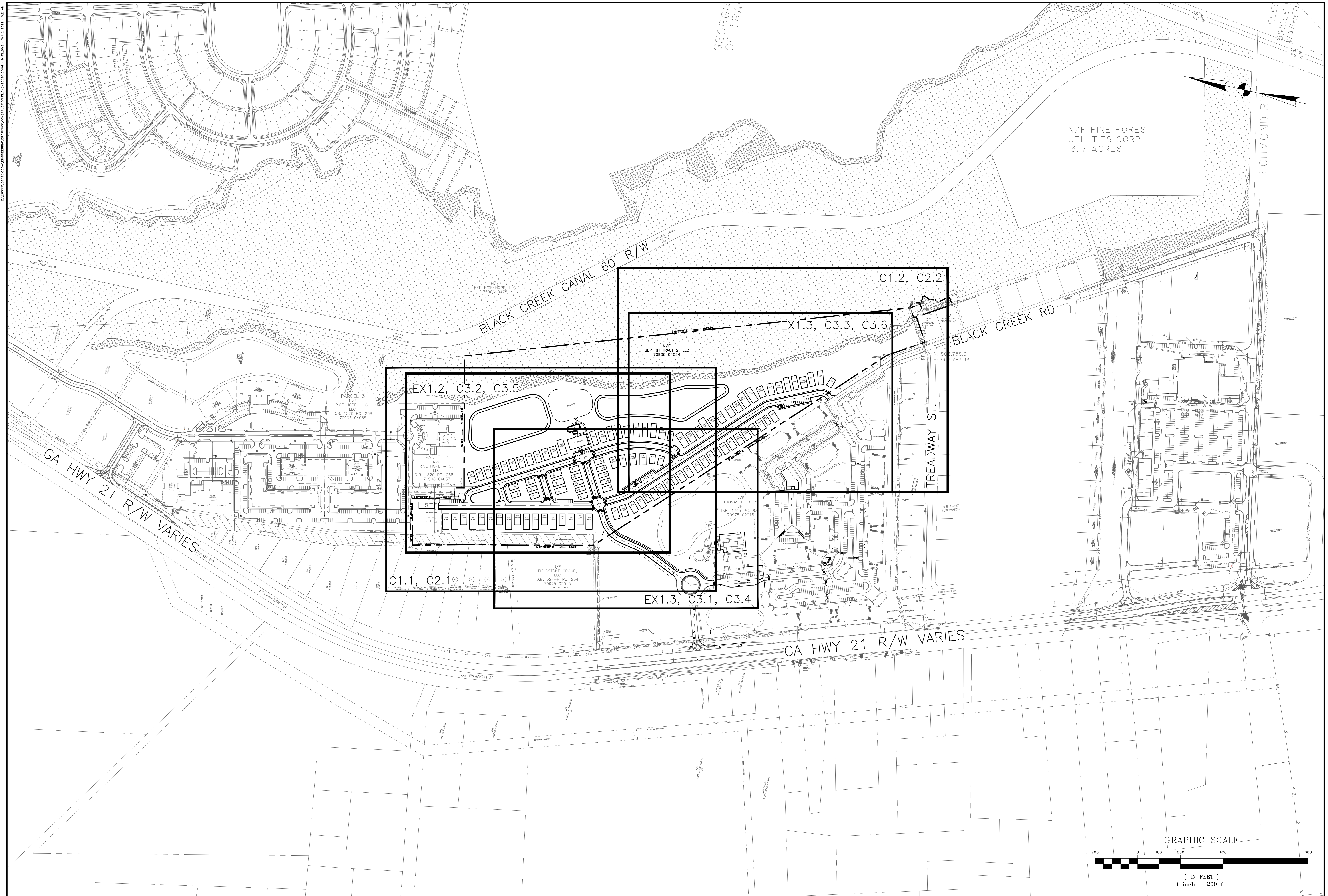
SHEET LIST TABLE	
Sheet Number	Sheet Title
CO	COVER SHEET
GO.1	SHEET INDEX
GO.2	GENERAL NOTES AND LEGEND
EXI.1	EXISTING CONDITIONS & DEMO PLAN
EXI.2	EXISTING CONDITIONS & DEMO PLAN
EXI.3	EXISTING CONDITIONS & DEMO PLAN
CI.1	SITE LAYOUT & SIGNAGE PLAN
CI.2	SITE LAYOUT & SIGNAGE PLAN
CI.3	ADA ACCESSIBILITY PLAN
C2.1	WATER & SEWER PLAN
C2.2	WATER & SEWER PLAN
C2.3	SEWER PROFILES
C2.4	SEWER PROFILES
C2.5	WATER & SEWER DETAILS
C2.6	WATER & SEWER DETAILS
C2.7	WATER & SEWER DETAILS
C2.8	WATER & SEWER DETAILS
C3.1	PAVING & GRADING PLAN
C3.2	PAVING & GRADING PLAN
C3.3	PAVING & GRADING PLAN
C3.4	DRAINAGE PLAN
C3.5	DRAINAGE PLAN
C3.6	DRAINAGE PLAN
C3.7	DRAINAGE PROFILES
C3.8	DRAINAGE PROFILES
C3.9	PAVING, GRADING & DRAINAGE DETAILS
C3.10	PAVING, GRADING & DRAINAGE DETAILS
C3.11	PAVING, GRADING & DRAINAGE DETAILS
C3.12	PAVING, GRADING & DRAINAGE DETAILS
ECO.1	ESPC NOTES
ECO.2	ESPC NOTES
ECO.3	ESPC NOTES
ECI.1	ESPC PLAN - INITIAL
EC2.1	ESPC PLAN - INTERMEDIATE
EC3.1	ESPC PLAN - FINAL
EC4.1	ESPC DETAILS
EC4.2	ESPC DETAILS



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NOVARE GROUP - PORT WENTWORTH SFR, LLC
 PORT WENTWORTH, GEORGIA
 SINGLE FAMILY RENTAL - PARCEL 4
SHEET INDEX

JOB NO:	J-28595.0004
DATE:	7/5/2022
DRAWN:	JBW
DESIGNED:	SKM
REVIEWED:	SKM
APPROVED:	SKM
SCALE:	1" = 200'

G0.1

WATER LEGEND

Table with 3 columns: DESCRIPTION, EXISTING, PROPOSED. Lists various water utility symbols like Water Main, Single Service Lateral, Double Service Lateral, Valves, Hydrants, Reducers, Backflow Preventors, Crosses, Tees, Bends, and Caps.

OTHER UTILITIES LEGEND

Table with 3 columns: DESCRIPTION, EXISTING, PROPOSED. Lists symbols for Natural Gas, Telephone, Underground Telephone, Electricity, and Underground Electricity.

DRAINAGE LEGEND

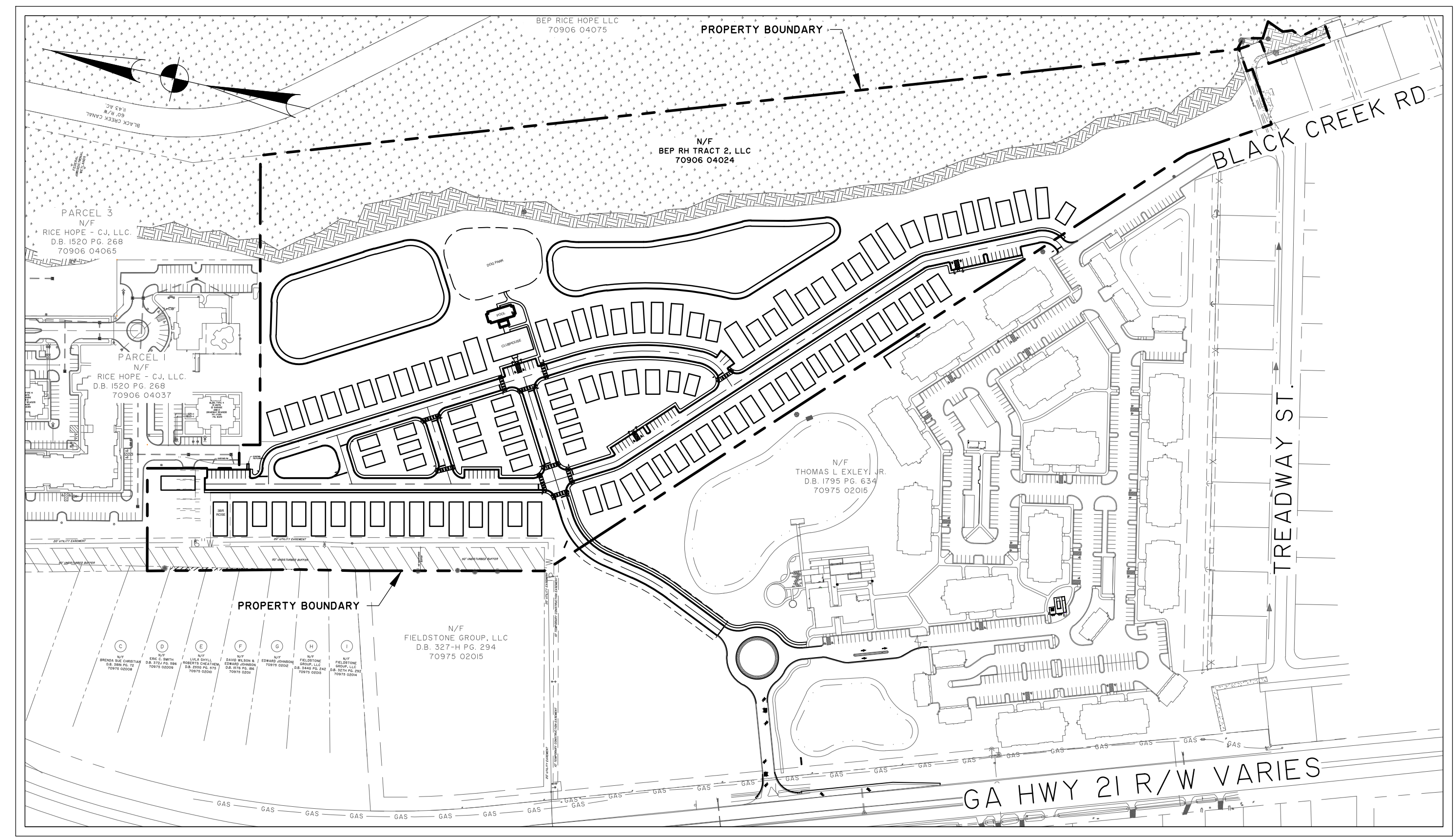
Table with 3 columns: DESCRIPTION, EXISTING, PROPOSED. Lists symbols for Pipe, Ditch, Curb Inlet, Grate Inlet, Junction Box, and Outlet Structure.

SEWER LEGEND

Table with 3 columns: DESCRIPTION, EXISTING, PROPOSED. Lists symbols for Gravity Pipe, Single Service Lateral, Double Service Lateral, Manhole, Cleanout, Force Main, Valves, Hydrants, Reducers, Backflow Preventors, Crosses, Tees, Bends, and Caps.

ABBREVIATIONS

Table with 2 columns: Abbreviation, Full Name. Lists abbreviations for materials like HDPE, BOT, CI, CPP, DIP, EL, FG, FH, FM, FP, FR, GI, GV, INV and components like JB, LF, MAX, MIN, MH, OC, PC, PH, PT, PVC, RCP, RJP, R/W, SD.



INDEX

SCALE: 1" = 200'

- 1. ALL TOPOGRAPHIC INFORMATION IS BASED ON SURVEY FIELD DATA PROVIDED BY THOMAS AND HUTTON. ELEVATIONS ARE BASED UPON NAVD 88 VERTICAL DATUM. ELEVATIONS WERE ESTABLISHED USING 5" TOTAL STATION. THE HORIZONTAL DATUM USED IS GEORGIA STATE PLANE COORDINATE SYSTEM, EAST ZONE, NAD 83. SEE EXISTING CONDITIONS PLAN FOR ADDITIONAL INFORMATION. CONTACT ENGINEER IMMEDIATELY IF FIELD ELEVATIONS VARY FROM EXISTING GROUND ELEVATIONS DISPLAYED. VERIFY CHANGES IN ELEVATIONS RESULTING FROM CONTRACTOR CLEARING AND STRIPPING.
2. HORIZONTAL AND VERTICAL CONTROL SHOWN IN THESE PLANS ARE TO BE USED FOR ALL LAYOUT AND RECORD DATA FOR THIS PROJECT. IF DISCREPANCIES ARE FOUND CONTACT THOMAS AND HUTTON BEFORE PROCEEDING. IT IS THE CONTRACTOR'S RESPONSIBILITY TO ESTABLISH SUPPLEMENTAL CONTROL WITHIN THE PROJECT AS NEEDED.
3. CONTRACTOR SHALL VERIFY THE SIZE AND LOCATION OF ALL EXISTING UTILITIES PRIOR TO BEGINNING CONSTRUCTION. CONTACT ENGINEER IMMEDIATELY WITH ANY DISCREPANCIES.
4. THE EXISTING UNDERGROUND UTILITIES SHOWN HEREON ARE BASED UPON AVAILABLE INFORMATION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING THE EXACT LOCATION OF ALL UTILITIES. IF UTILITIES OTHER THAN THOSE SHOWN ARE ENCOUNTERED DURING CONSTRUCTION, THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY AND TAKE STEPS TO PROTECT THE LINE(S) AND ENSURE CONTINUED SERVICE. DAMAGE CAUSED TO EXISTING UTILITIES BY THE CONTRACTOR SHALL BE REPAIRED BY THE CONTRACTOR. ADDITIONALLY, THE CONTRACTOR SHALL CONFIRM THE CONNECTION POINTS OF NEW UTILITIES TO EXISTING UTILITIES PRIOR TO BEGINNING NEW CONSTRUCTION.
5. PIPE, FITTINGS, VALVES AND OTHER ACCESSORIES SHALL, UNLESS OTHERWISE DIRECTED, BE UNLOADED AT THE POINT OF DELIVERY, AND STORED WHERE THEY WILL BE PROTECTED AND WILL NOT BE HAZARDOUS TO TRAFFIC. THEY SHALL AT ALL TIMES BE HANDLED WITH CARE TO AVOID DAMAGE. THE INTERIOR OF ALL PIPE, FITTINGS AND OTHER ACCESSORIES SHALL BE KEPT FREE FROM DIRT AND FOREIGN MATTER AT ALL TIMES.
6. ANY DEFECTIVE, DAMAGED OR UNSOUND PIPE SHALL BE REJECTED. ALL FOREIGN MATTER OR DIRT SHALL BE REMOVED FROM THE INSIDE OF THE PIPE BEFORE IT IS LOWERED INTO ITS POSITION IN THE TRENCH AND SHALL BE KEPT CLEAN BY ACCEPTABLE MEANS DURING AND AFTER LAYING. CARE SHALL BE TAKEN TO PREVENT DIRT FROM ENTERING THE JOINT SPACE. AT TIMES WHEN PIPE LAYING IS NOT IN PROGRESS, THE OPEN ENDS OF THE PIPE SHALL BE CLOSED BY ACCEPTABLE MEANS AND NO TRENCH WATER SHALL BE PERMITTED TO ENTER THE PIPE.
7. CONTRACTOR SHALL MAINTAIN MIN. COVER OVER THE WATER PIPE BARREL OF 3'-0" UNLESS OTHERWISE INDICATED.
8. CLEAN THE INTERIORS OF ALL PIPE BY BRUSHING, SWABBING OR WASHING OUT OF ALL DIRT BEFORE LAYING.
9. ALL UTILITY POLES ADJACENT TO PROPOSED CONSTRUCTION MUST BE SECURED PRIOR TO ANY ADJACENT DISTURBANCE AND THE CONSTRUCTION PROCEDURE MUST BE ACCEPTABLE TO THE UTILITY COMPANY.
10. CONTRACTOR SHALL CONTACT ALL UTILITY COMPANIES BEFORE WORK COMMENCES, EVEN IF UTILITY IS NOT SHOWN ON THE PLANS. CONTRACTOR SHALL VERIFY UTILITY WITHIN THE PROJECT LIMITS AND NOTIFY THE ENGINEER OF CONFLICTS OR VARIANCES TO THE PLANS PRIOR TO BEGINNING WORK OR PURCHASE OF MATERIALS.
11. ALL WATER AND SEWER MATERIAL, PROCEDURE AND INSTALLATION SHALL BE IN CONFORMANCE WITH THE CITY OF PORT WENTWORTH DEVELOPMENT POLICY AND PROCEDURE MANUAL, TECHNICAL SPECIFICATION AND DETAILS, LATEST VERSIONS. CITY OF PORT WENTWORTH DOCUMENTS SHALL TAKE PRECEDENCE OVER THOMAS AND HUTTON DOCUMENTS FOR ANY DISCREPANCIES FOUND.
12. CONTRACTOR TO COORDINATE WITH UTILITY COMPANIES FOR THE RELOCATION OF EXISTING UTILITIES. UTILITIES NEEDING TO BE REMOVED OR RELOCATED SHALL BE COORDINATED WITH THE AFFECTED UTILITY COMPANY. ADEQUATE TIME SHALL BE PROVIDED FOR RELOCATION, AND CLOSE COORDINATION WITH THE UTILITY COMPANY IS NECESSARY TO PROVIDE A SMOOTH TRANSITION IN UTILITY SERVICE. THE CONTRACTOR SHALL COORDINATE WITH THE UTILITY COMPANY CONCERNING PORTIONS OF THE WORK WHICH MAY BE PERFORMED BY THE UTILITY COMPANY'S FORCES AND ANY FEES WHICH ARE TO BE PAID TO THE UTILITY COMPANY FOR THEIR SERVICES. THE CONTRACTOR IS RESPONSIBLE FOR PAYING ALL FEES AND CHARGES.
13. ALL STORM DRAIN PIPE JOINTS SHALL BE WRAPPED WITH FILTER FABRIC.
14. SHOULD PIPE, FITTINGS, AND OTHER MATERIALS BE NEEDED IN ADDITION TO THAT SHOWN ON THE DRAWINGS BECAUSE PIPELINE WAS NOT INSTALLED TO THE ALIGNMENT AND PROFILE SHOWN, THEN THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING THOSE NECESSARY MATERIALS AND PROVIDING THE EQUIPMENT AND LABOR TO INSTALL THEM TO MEET THE DESIGN INTENT AT NO ADDITIONAL COST TO THE OWNER.
15. THE DATA, TOGETHER WITH ALL OTHER INFORMATION SHOWN ON THESE PLANS OR IN ANY WAY INDICATED THEREBY, WHETHER BY DRAWINGS OR NOTES, OR IN ANY OTHER MANNER, ARE BASED UPON FIELD INVESTIGATIONS AND ARE BELIEVED TO BE INDICATIVE OF ACTUAL CONDITIONS. HOWEVER, THE SAME ARE SHOWN AS INFORMATION ONLY, ARE NOT GUARANTEED, AND DO NOT BIND THOMAS & HUTTON.
16. THE CONTRACTOR SHALL NOTIFY THE OWNER AND THE ENGINEER 48 HOURS IN ADVANCE OF ALL REQUIRED TESTS AND INSPECTIONS.
17. CONTRACTOR IS TO VERIFY ACCURACY OF ANY TEMPORARY BENCHMARKS SHOWN PRIOR TO UTILIZING THEM FOR CONSTRUCTION.
18. IF WORK IS SUSPENDED OR DELAYED FOR 14 DAYS, THE CONTRACTOR SHALL TEMPORARILY STABILIZE THE DISTURBED AREA AT NO ADDITIONAL COST TO THE OWNER.
19. CONTRACTOR SHALL COMMUNICATE WITH OWNER PRIOR TO DISPOSAL OF DEMOLITION MATERIALS AND STORE ITEMS IN LOCATION SPECIFIED BY THE OWNER OR REMOVE ITEMS FROM SITE REQUESTED BY OWNER.
20. CONTRACTOR SHALL COORDINATE WITH THE CITY OF PORT WENTWORTH PRIOR WATER AND SEWER MAIN CONNECTIONS.
21. ALL CONSTRUCTION MATERIALS AND WORKMANSHIP SHALL BE IN ACCORDANCE WITH THE CONSTRUCTION PLANS AND TECHNICAL SPECIFICATIONS.
22. THE CONTRACTOR SHALL INSTALL ANY BARRICADES PRIOR TO BEGINNING CONSTRUCTION.
23. ANY DAMAGE TO EXISTING PAVEMENT MUST BE REPAIRED AT CONTRACTORS EXPENSE AND TO THE SATISFACTION OF CITY OF PORT WENTWORTH AND THE PROJECT ENGINEER.
24. A COMPLETE SET OF PERMITTED DRAWINGS AND SPECIFICATIONS MUST BE MAINTAINED ON SITE AT ALL TIMES THAT THE CONTRACTOR IS PERFORMING WORK. THESE DRAWINGS SHALL BE MADE AVAILABLE UPON REQUEST.
25. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL CONSTRUCTION PERMITS NECESSARY FROM OTHER RESPONSIBLE AGENCIES PRIOR TO COMMENCEMENT OF CONSTRUCTION.
26. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IF UNSUITABLE MATERIAL IS DISCOVERED PRIOR TO BEGINNING ANY REMOVAL OPERATION. CONTRACTOR SHALL REFER TO THE REPORT OF GEOTECHNICAL EXPLORATION AND EVALUATION, DATED XXXXXXXX, PREPARED BY TERRACON CONSULTANTS, INC. FOR GUIDANCE THROUGHOUT CONSTRUCTION. CONTACT ENGINEER TO OBTAIN A COPY OF THIS EVALUATION PRIOR TO PROVIDING A BID OR BEGINNING WORK.
27. IT IS THE OBLIGATION OF THE CONTRACTOR TO MAKE THEIR OWN INTERPRETATION OF ALL SURFACE AND SUBSURFACE DATA AVAILABLE AS TO THE NATURE AND EXTENT OF THE MATERIALS TO BE EXCAVATED, WASTED, GRADED AND COMPACTED. THE INFORMATION SHOWN ON THESE PLANS IN NO WAY GUARANTEES THE AMOUNT OR NATURE OF THE MATERIAL TO BE ENCOUNTERED.
28. CONTRACTOR WILL BE REQUIRED TO ADJUST ALL MANHOLE FRAMES AND UTILITY APPURTENANCES TO MATCH FINAL GRADE AT NO ADDITIONAL COST.
29. ALL EROSION AND SEDIMENT CONTROL DEVICES SHALL BE CONSTRUCTED SIMULTANEOUSLY WITH THE DISTURBANCE OF THE LAND AND SHALL REMAIN FUNCTIONAL UNTIL THE CONTRIBUTING DISTURBED AREAS ARE STABILIZED. SILT BARRIERS WILL BE INSTALLED AS NECESSARY TO PREVENT EXCESSIVE SEDIMENTATION OF DOWNSTREAM AREAS.
30. CONTRACTOR SHALL GRADE AREAS TO DRAIN FOR POSITIVE FLOW PRIOR TO FINAL ACCEPTANCE.
31. CONTROL OF THE WATER FLOWING THROUGH THE EXISTING DRAINAGE PATTERNS DURING THE CONSTRUCTION PERIOD SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. THE EXISTING DRAINAGE CONVEYANCE SHALL BE MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD. ALL PENALTIES, CLAIMS AND FEES IMPOSED ON OWNER AS A RESULT OF DAMAGES CAUSED BY ACTIONS OF THE CONTRACTOR, IT'S EMPLOYEES OR SUBCONTRACTORS SHALL BE BORNE IN FULL BY THE CONTRACTOR.
32. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PHASING OF CONSTRUCTION AND THE COORDINATION, SEQUENCING AND SUPERVISION OF CONSTRUCTION ACTIVITIES. ANY AND ALL COST ASSOCIATED WITH PROJECT PHASING WILL BE BORNE IN FULL BY THE CONTRACTOR.
33. ALL TRAFFIC CONTROL SIGNS AND PAVEMENT MARKINGS SHALL BE IN ACCORDANCE WITH THE MANUAL ON "UNIFORM TRAFFIC CONTROL DEVICES FOR STREETS AND HIGHWAYS" CURRENT EDITION.
34. ACCESS TO THE PROJECT IS LIMITED TO THOSE LOCATIONS WHERE STABILIZED CONSTRUCTION ENTRANCES HAVE BEEN INDICATED IN THE PLANS.
35. ALL DRAINAGE WILL BE MADE FUNCTIONAL DAILY AS WORK PROGRESSES.
36. EXISTING ROADWAYS WILL BE CLEANED UP AND RESTORED DAILY. COMPLETE ROAD CLOSURE IS NOT PERMITTED AT ANY TIME DURING THE CONSTRUCTION PERIOD. TRAFFIC SHALL BE ROUTED TO MAINTAIN FLOW DURING CONSTRUCTION OPERATIONS. COORDINATE WITH THE OWNER, ENGINEER AND GDOT IF ROADWAY ACCESS CANNOT BE MAINTAINED PRIOR TO PROCEEDING WITH BLOCKAGE.
37. NEW PAVEMENT TO BE FLUSH WITH EDGE OF EXISTING PAVEMENT.
38. ALL STORM DRAIN PIPE INVERTS IN AND OUT ARE THE SAME AS THE BOX INVERT UNLESS OTHERWISE NOTED ON THE PLAN SHEETS AND/OR PROFILES.
39. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL UNDERGROUND UTILITIES AND SHALL COORDINATE ALL WORK WITH THE OWNER AND UTILITY COMPANIES.
40. CONTRACTOR SHALL CLEAN CLEAN STORM SEWER SYSTEM OF ALL DEBRIS AND REMOVE ALL EROSION CONTROL DEVICES UPON COMPLETION OF CONSTRUCTION AND PRIOR TO FINAL PAYMENT.
41. ANY BARRICADES, LIGHTS, SIGNS AND OTHER TRAFFIC CONTROL DEVICES REQUIRED BY THE CITY OF PORT WENTWORTH FOR THE PROTECTION AND SAFETY OF THE PUBLIC SHALL BE PROVIDED AND MAINTAINED THROUGHOUT CONSTRUCTION.
42. CONTRACTOR WILL BE REQUIRED TO DEWATER POND AS NECESSARY TO INSTALL DRAINAGE UTILITIES.

GENERAL INFORMATION

CLIENT: NGI ACQUISITIONS, LLC 1545 PEACHTREE STREET SUITE 260 ATLANTA, GA 30309 (912) 658-1625
ENGINEER: THOMAS & HUTTON 50 PARK OF COMMERCE WAY SAVANNAH, GA 31405 (912) 234-5300
COUNTY: CHATHAM
TOWN: PORT WENTWORTH
ZONING: P-RIP
GEOTECHNICAL CONSULTANT: TERRACON CONSULTANTS, INC. 2201 ROWLAND AVE. SAVANNAH, GA 31404 (912) 629-4001
SURVEYOR: THOMAS & HUTTON 50 PARK OF COMMERCE WAY SAVANNAH, GA 31405 (912) 234-5300
ELECTRIC: GEORGIA POWER 3100 KILOWATT DRIVE SAVANNAH, GA 31402 (912) 944-3572
WATER/SEWER: CITY OF PORT WENTWORTH CONTACT: BRIAN HARVEY 305 SOUTH COASTAL HIGHWAY PORT WENTWORTH, GA. 31407 (912) 210-2643
TELEPHONE & CABLE: COMCAST OF GEORGIA/SOUTH CAROLINA, INC. 145 PARK OF COMMERCE DR. SAVANNAH, GA. 31405 (912) 253-7117
GAS COMPANY: ATLANTA GAS LIGHT COMPANY CONTACT: JOSEPH WHITE 1668 CHATHAM PARKWAY SAVANNAH, GA. 31405 (912) 239-6508



Table with 2 columns: NO., REVISIONS. Shows a grid for tracking revisions.

THOMAS & HUTTON
611 Burroughs & Chapin Blvd. Suite 202
Myrtle Beach, SC 29577 • 843.839.3545
www.thomasandhutton.com

NOVARE GROUP - PORT WENTWORTH SFR, LLC
SINGLE FAMILY RENTAL - PARCEL 4
GENERAL NOTES AND LEGEND

Table with 2 columns: Field Name, Value. Includes Job No, Date, Drawn, Design, Review, Approved, Scale.

GO.2

- LEGEND**
- BENCHMARK
 - CONC. MONUMENT FOUND
 - CURB INLET MANHOLE (CIMH)
 - FIRE HYDRANT
 - GRATE INLET (GI)
 - IRON PIPE FOUND
 - IRON REBAR FOUND
 - POWER POLE
 - SANITARY MANHOLE (SMH)
 - WATER MANHOLE
 - WATER VALVE
 - CHECK VALVE
 - WATER METER
 - TELEPHONE BOX
 - SEWER LATERAL
 - WATER LATERAL

NOTES

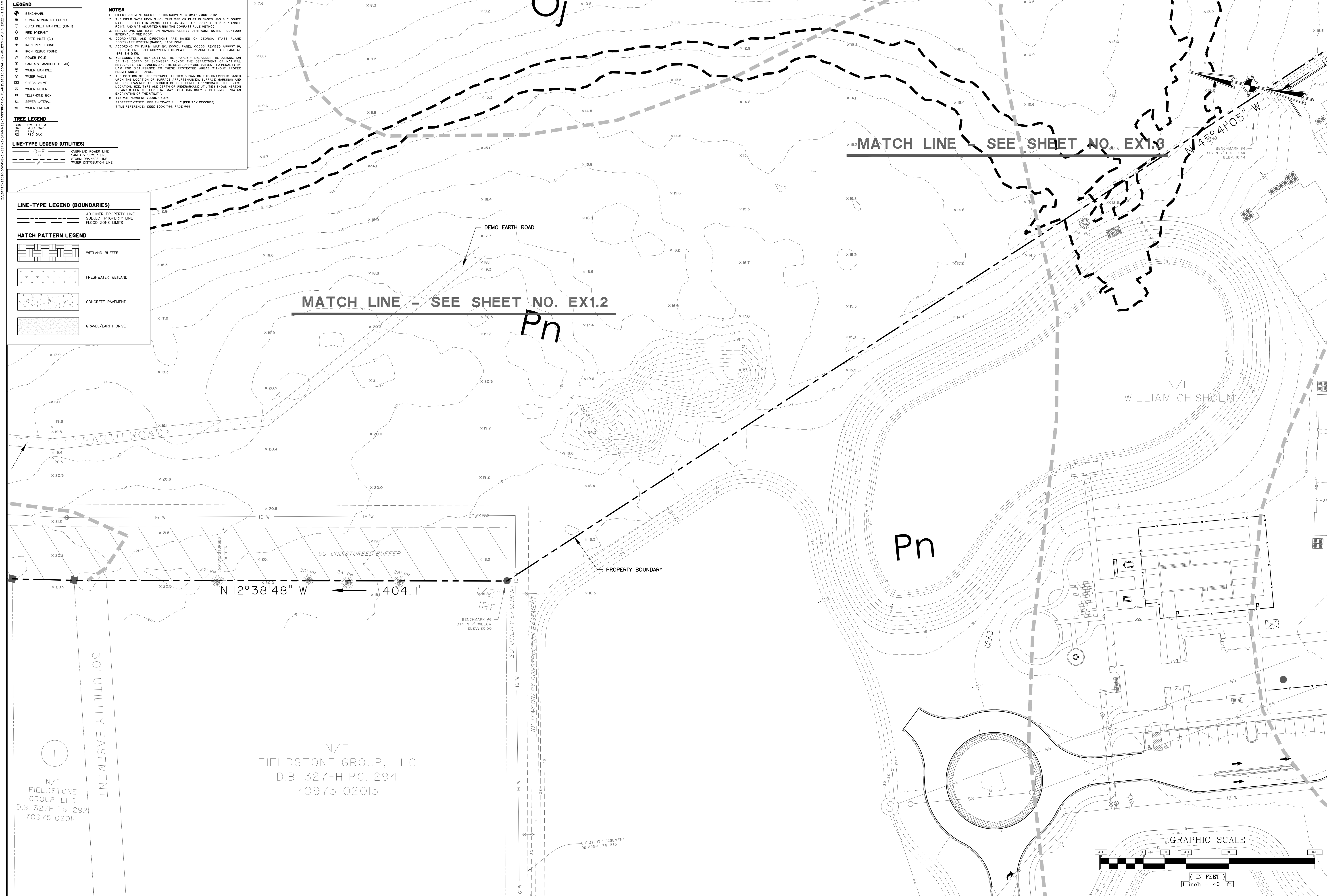
1. FIELD EQUIPMENT USED FOR THIS SURVEY: GEOMAX ZOOM90 R2
2. THE FIELD DATA UPON WHICH THIS MAP OR PLAN IS BASED HAS A CLOSURE RATIO OF 1 FOOT IN 29,500 FEET, AN ANGLE ERROR OF 48" PER ANGLE POINT, AND WAS ADJUSTED USING THE COMPASS RULE METHOD.
3. ELEVATIONS ARE BASED ON NAVD83, UNLESS OTHERWISE NOTED. CONTOUR INTERVAL IS ONE FOOT.
4. COORDINATES AND DIRECTIONS ARE BASED ON GEORGIA STATE PLANE COORDINATE SYSTEM (NAD83), EAST ZONE.
5. ACCORDING TO FIRM MAP NO. 10306, PANEL 00306, REVISED AUGUST 01, 2006, THE PROPERTY SHOWN ON THIS PLAN LIES IN ZONE X, X SHADED AND AS SET BY S-10.
6. WETLANDS THAT MAY EXIST ON THE PROPERTY ARE UNDER THE JURISDICTION OF THE CORPS OF ENGINEERS AND/OR THE DEPARTMENT OF NATURAL RESOURCES. LOT OWNERS AND THE DEVELOPER ARE SUBJECT TO PENALTY BY LAW FOR DISTURBANCE TO THESE PROTECTED AREAS WITHOUT PROPER PERMIT AND APPROVAL.
7. THE POSITION OF UNDERGROUND UTILITIES SHOWN ON THIS DRAWING IS BASED UPON THE LOCATION OF SURFACE APPURTENANCES, SURFACE MARKINGS AND RECORD DRAWINGS AND SHOULD BE CONSIDERED APPROXIMATE. THE EXACT LOCATION, SIZE, TYPE AND DEPTH OF UNDERGROUND UTILITIES SHOWN HEREON OR ANY OTHER UTILITIES THAT MAY EXIST, CAN ONLY BE DETERMINED VIA AN EXCAVATION OF THE UTILITY.
8. TAX MAP NUMBER: 70906 04024
9. PROPERTY OWNER: REF. PL. TRACT 2, LLC PER TAX RECORDS
10. TITLE REFERENCE: DEED BOOK 794, PAGE 549

- TREE LEGEND**
- SWEET GUM
 - LIVE OAK
 - RED OAK

- LINE-TYPE LEGEND (UTILITIES)**
- OHP
 - SANITARY SEWER LINE
 - STORM DRAINAGE LINE
 - WATER DISTRIBUTION LINE

- LINE-TYPE LEGEND (BOUNDARIES)**
- ADJOINER PROPERTY LINE
 - SUBJECT PROPERTY LINE
 - FLOOD ZONE LIMITS

- HATCH PATTERN LEGEND**
- WETLAND BUFFER
 - FRESHWATER WETLAND
 - CONCRETE PAVEMENT
 - GRAVEL/EARTH DRIVE



NO.	REVISIONS	BY	DATE

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 Savannah, GA 31405 • 912.234.5300
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NOVARE GROUP - PORT WENTWORTH SFR, LLC
 PORT WENTWORTH, GEORGIA

SINGLE FAMILY RENTAL - PARCEL 4

EXISTING CONDITIONS & DEMO PLAN

JOB NO:	J-28595.0004
DATE:	7/5/2022
DESIGNED:	SKM
REVIEWED:	SKM
APPROVED:	SKM
SCALE:	1" = 40'

EX1.1

LEGEND

- BENCHMARK
- CONC. MONUMENT FOUND
- CURB INLET MANHOLE (CIM)
- FIRE HYDRANT
- GRADE INLET (GI)
- IRON PIPE FOUND
- IRON REBAR FOUND
- POWER POLE
- SANITARY MANHOLE (SSM)
- WATER MANHOLE
- WATER VALVE
- CHECK VALVE
- WATER METER
- TELEPHONE BOX
- SEWER LATERAL
- WATER LATERAL

TREE LEGEND

- QUM SWEET GUM
- QW PINE OAK
- RO RED OAK

LINE-TYPE LEGEND (UTILITIES)

- OVERHEAD POWER LINE
- SANITARY SEWER LINE
- STORM DRAINAGE LINE
- WATER DISTRIBUTION LINE

LINE-TYPE LEGEND (BOUNDARIES)

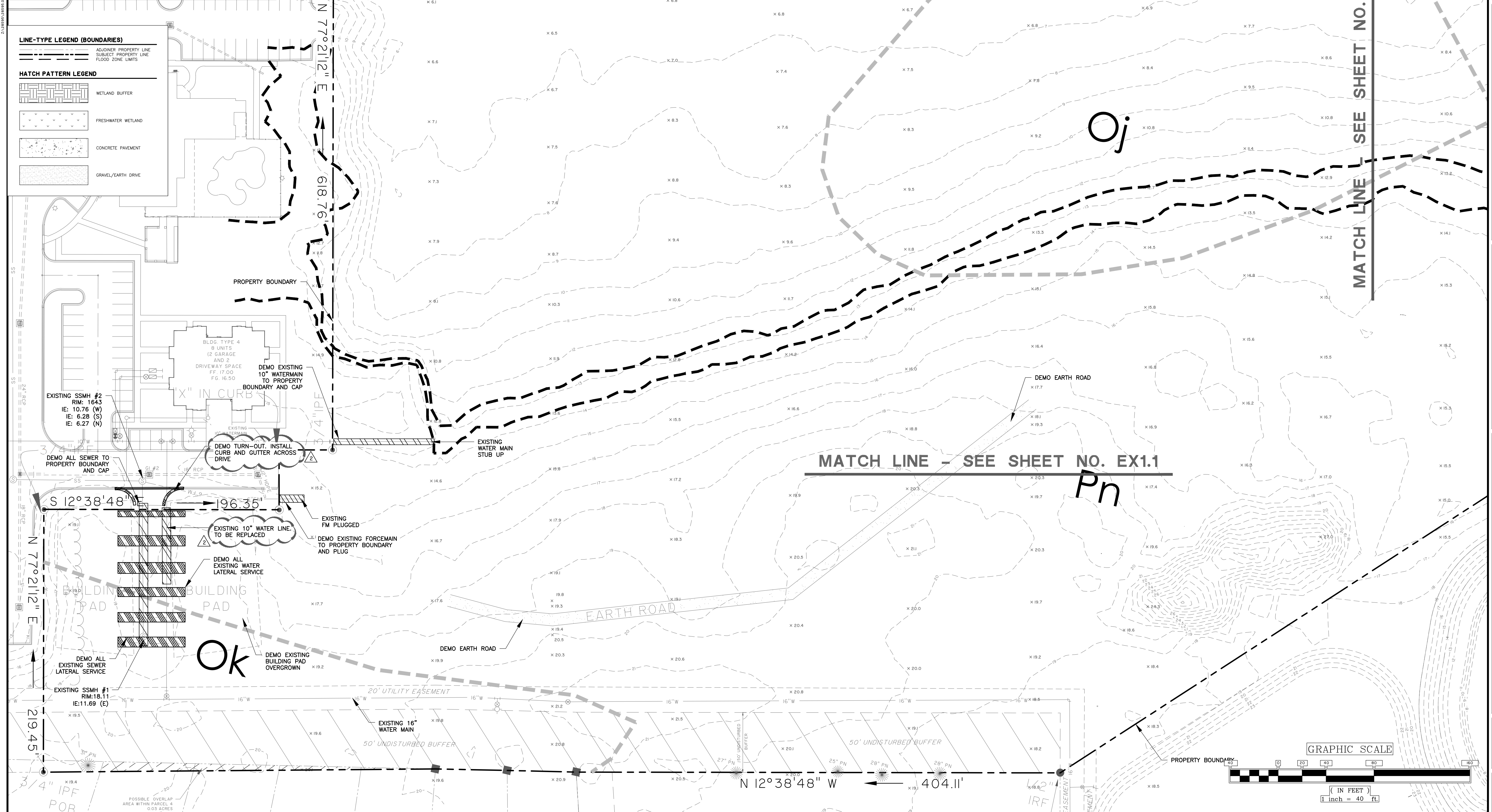
- ADJOINER PROPERTY LINE
- SUBJECT PROPERTY LINE
- FLOOD ZONE LIMITS

HATCH PATTERN LEGEND

- WETLAND BUFFER
- FRESHWATER WETLAND
- CONCRETE PAVEMENT
- GRAVEL/EARTH DRIVE

NOTES

- FIELD EQUIPMENT USED FOR THIS SURVEY: GEOMAX ZOOMHO RS
- THE FIELD DATA UPON WHICH THIS MAP OR PLAN IS BASED HAS A CLOSURE RATIO OF 1 FOOT IN 25,000 FEET, AN ANGLE ERROR OF 44" PER ANGLE POINT, AND WAS ADJUSTED USING THE COMPASS RULE METHOD.
- ELEVATIONS ARE BASED ON NAVD83 UNLESS OTHERWISE NOTED. CONTOUR INTERVAL IS ONE FOOT.
- COORDINATES AND DIRECTIONS ARE BASED ON GEORGIA STATE PLANE COORDINATE SYSTEM (NAD83) EAST ZONE.
- ACCORDING TO FIRM MAP NO. 10306, PANEL 00306, REVISED AUGUST 16, 2006, THE PROPERTY SHOWN ON THIS PLAN LIES IN ZONE X, X SHADDED AND A2 BFE 10'.
- WETLANDS THAT MAY EXIST ON THE PROPERTY ARE UNDER THE JURISDICTION OF THE CORPS OF ENGINEERS AND/OR THE DEPARTMENT OF NATURAL RESOURCES. LOT OWNERS AND THE DEVELOPER ARE SUBJECT TO PENALTY BY LAW FOR OBSTRUCTION TO THESE PROTECTED AREAS WITHOUT PROPER PERMIT AND APPROVAL.
- THE POSITION OF UNDERGROUND UTILITIES SHOWN ON THIS DRAWING IS BASED UPON THE LOCATION OF SURFACE APPEARANCES, SURFACE MARKINGS AND RECORD DRAWINGS AND SHOULD BE CONSIDERED APPROXIMATE. THE EXACT LOCATION, SIZE, TYPE AND DEPTH OF UNDERGROUND UTILITIES SHOWN HEREON OR ANY OTHER UTILITIES THAT MAY EXIST, CAN ONLY BE DETERMINED VIA AN EXCAVATION OF THE UTILITY.
- TAX MAP NUMBER: 70906 04024
PROPERTY OWNER: BEP RH TRACT 2, LLC PER TAX RECORDS
TITLE REFERENCE: DEED BOOK 79A, PAGE 949



NO.	REVISIONS	DATE
2	PER T.R. LONG REVIEW COMMENTS DATED 8/11/22	9/02/22

THOMAS & HUTTON
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NOVARE GROUP - PORT WENTWORTH SFR, LLC
 PORT WENTWORTH, GEORGIA

SINGLE FAMILY RENTAL - PARCEL 4

EXISTING CONDITIONS & DEMO PLAN

JOB NO: J-28595.0004
 DATE: 7/5/2022
 DRAWN: JBJ
 DESIGNED: SKM
 REVIEWED: SKM
 SCALE: 1" = 40'

EX1.2

LEGEND

- BENCHMARK
- CONC. MONUMENT FOUND
- CURB INLET MANHOLE (CIMH)
- FIRE HYDRANT
- GRATE INLET (GI)
- IRON PIPE FOUND
- IRON REBAR FOUND
- POWER POLE
- SANITARY MANHOLE (SMH)
- WATER MANHOLE
- WATER VALVE
- CHECK VALVE
- WATER METER
- TELEPHONE BOX
- SEWER LATERAL
- WATER LATERAL

TREE LEGEND

- SWEET GUM
- NOG GUM
- RED OAK

LINE-TYPE LEGEND (UTILITIES)

- OVERHEAD POWER LINE
- SANITARY SEWER LINE
- STORM DRAINAGE LINE
- WATER DISTRIBUTION LINE

LINE-TYPE LEGEND (BOUNDARIES)

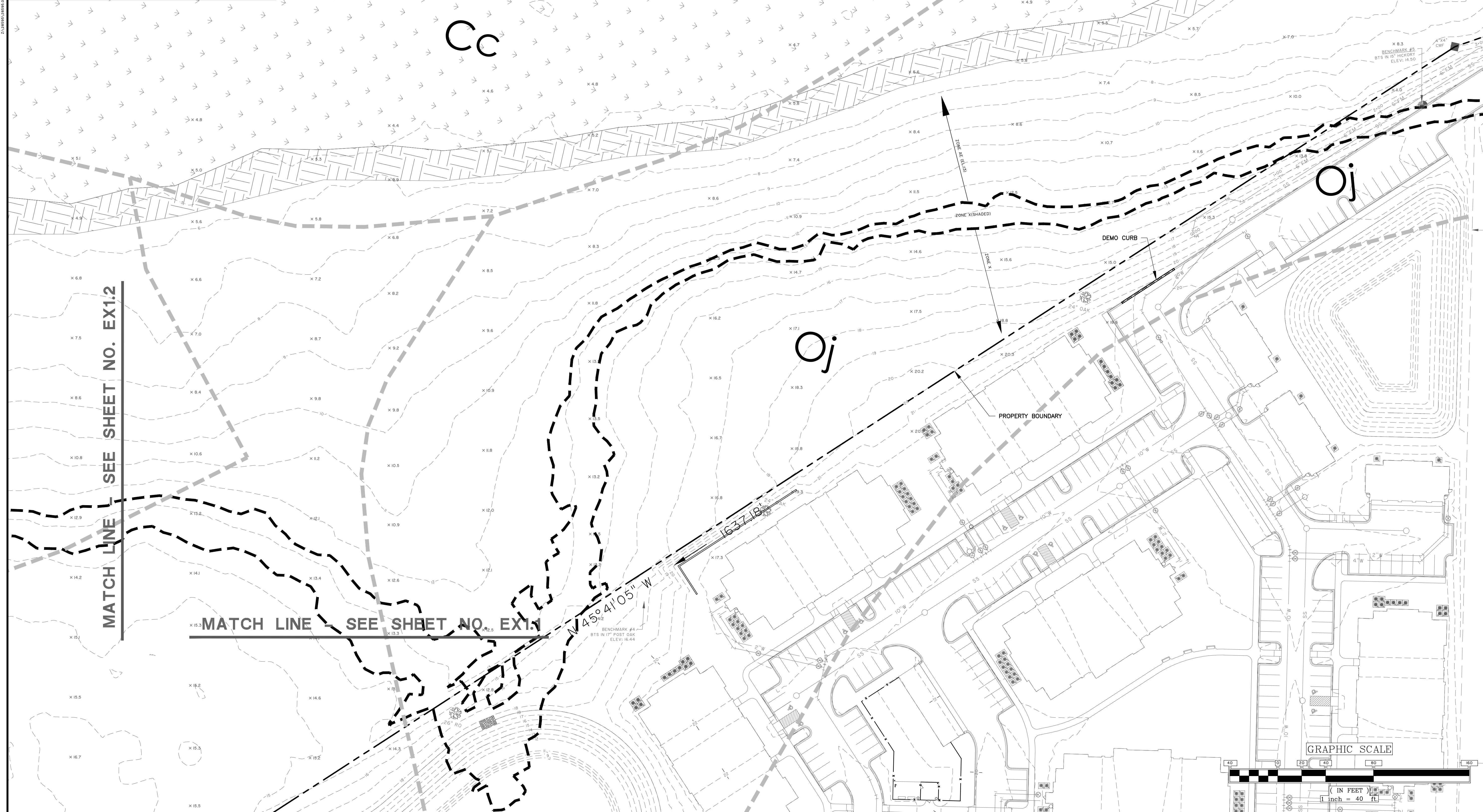
- ADJACENT PROPERTY LINE
- SUBJECT PROPERTY LINE
- FLOOD ZONE LIMITS

HATCH PATTERN LEGEND

- WETLAND BUFFER
- FRESHWATER WETLAND
- CONCRETE PAVEMENT
- GRAVEL/EARTH DRIVE

NOTES

- FIELD DATA USED FOR THIS SURVEY: GEOMAX ZOOMPRO R2
- THE FIELD DATA UPON WHICH THIS MAP OR PLAN IS BASED HAS A CLOSURE RATIO OF 1 FOOT IN 29,500 FEET, AN ANGLE ERROR OF 0.8" PER ANGLE POINT, AND WAS ADJUSTED USING THE COMPASS RULE METHOD.
- ELEVATIONS ARE BASED ON NAVD83, UNLESS OTHERWISE NOTED. CONTOUR INTERVAL IS ONE FOOT.
- COORDINATES AND DIRECTIONS ARE BASED ON GEORGIA STATE PLANE COORDINATE SYSTEM (NAD83) EAST ZONE.
- ACCORDING TO FIRM MAP NO. 10306, PANEL 00306, REVISED AUGUST 06, 2006, THE PROPERTY SHOWN ON THIS PLAN LIES IN ZONE X, X SHADED AND AE (RE) & 10.
- WETLANDS THAT MAY EXIST ON THE PROPERTY ARE UNDER THE JURISDICTION OF THE CORPS OF ENGINEERS AND/OR THE DEPARTMENT OF NATURAL RESOURCES. LOT OWNERS AND THE DEVELOPER ARE SUBJECT TO PENALTY BY LAW FOR DISTURBANCE TO THESE PROTECTED AREAS WITHOUT PROPER PERMIT AND APPROVAL.
- THE POSITION OF UNDERGROUND UTILITIES SHOWN ON THIS DRAWING IS BASED UPON THE LOCATION OF SURFACE APERTURES, SURFACE MARKINGS AND RECORD DRAWINGS AND SHOULD BE CONSIDERED APPROXIMATE. THE EXACT LOCATION, SIZE, TYPE AND DEPTH OF UNDERGROUND UTILITIES SHOWN HEREON OR ANY OTHER UTILITIES THAT MAY EXIST, CAN ONLY BE DETERMINED VIA AN EXCAVATION OF THE UTILITY.
- TAX MAP NUMBER: 70906 04024
- PROPERTY OWNER: BEP RH TRACT 2, LLC (PER TAX RECORDS)
- TITLE REFERENCE: DEED BOOK 79A, PAGE 649



PROFESSIONAL SEAL

GEORGIA REGISTERED PROFESSIONAL SURVEYOR

NO. 10000

SCOTT

NO.	REVISIONS	BY	DATE

THOMAS & HUTTON

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NOVARE GROUP - PORT WENTWORTH SFR, LLC
PORT WENTWORTH, GEORGIA

SINGLE FAMILY RENTAL - PARCEL 4

EXISTING CONDITIONS & DEMO PLAN

JOB NO: J-28595.0004
DATE: 7/5/2022
DRAWN: JBJ
DESIGNED: SKM
REVIEWED: SKM
APPROVED: SKM
SCALE: 1" = 40'

EX1.3



LINE TABLE		
LINE	BEARING	DISTANCE
L1	N 77°21'12" E	219.45'
L2	S 12°38'48" E	196.35'
L3	N 77°21'12" E	50.00'
L4	S 12°38'48" E	44.63'
L5	N 77°21'12" E	618.76'
L6	S 18°53'41" E	2099.75'
L7	S 74°14'44" E	27.26'
L8	S 11°56'09" E	41.45'
L9	S 85°17'09" E	37.44'
L10	S 21°43'30" W	37.83'
L11	S 19°23'13" E	21.22'
L12	S 24°03'51" W	22.17'
L13	S 39°32'35" E	57.31'
L14	S 58°12'23" W	39.82'
L15	N 31°46'38" W	140.38'

LINE TABLE		
LINE	BEARING	DISTANCE
L16	N 58°12'29" E	50.71'
L17	N 32°24'37" W	49.99'
L18	S 57°35'21" W	49.97'
L19	S 32°24'37" E	12.85'
L20	S 58°16'38" W	124.95'
L21	N 32°02'42" W	36.05'
L22	N 31°52'12" W	154.96'
L23	N 45°41'05" W	1637.18'
L24	N 12°38'48" W	404.11'
L25	N 11°22'15" W	57.65'
L26	N 11°32'55" W	59.88'
L27	N 13°12'32" W	327.22'
L28	S 60°03'14" W	230.64'
L29	S 60°03'14" W	81.29'
L31	S 10°56'58" W	65.47'

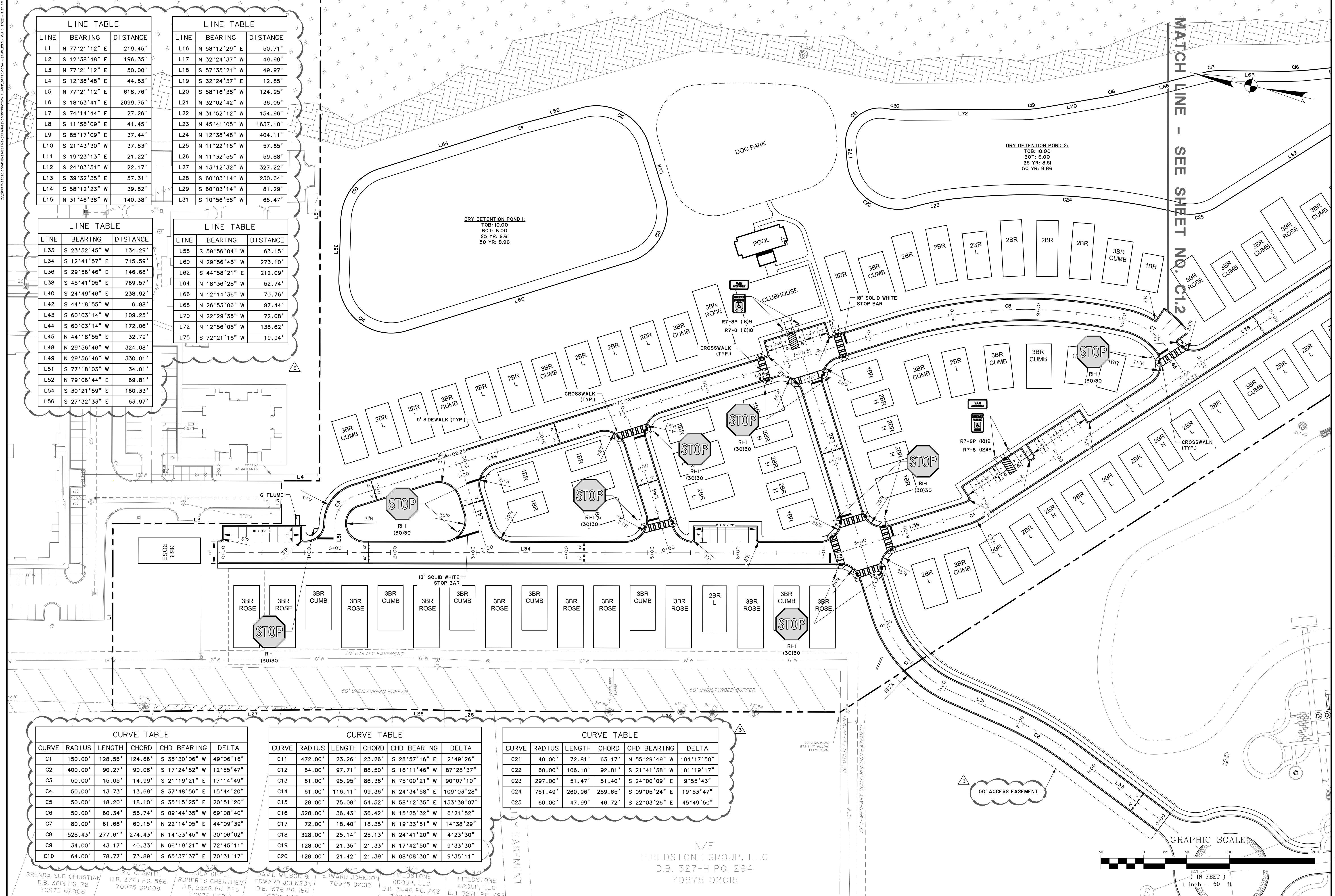
LINE TABLE		
LINE	BEARING	DISTANCE
L33	S 23°52'45" W	134.29'
L34	S 12°41'57" E	715.59'
L36	S 29°56'46" E	146.68'
L38	S 45°41'05" E	769.57'
L40	S 24°49'46" E	238.92'
L42	S 44°18'55" W	6.98'
L43	S 60°03'14" W	109.25'
L44	S 60°03'14" W	172.06'
L45	N 44°18'55" E	32.79'
L48	N 29°56'46" W	324.08'
L49	N 29°56'46" W	330.01'
L51	S 77°18'03" W	34.01'
L52	N 79°06'44" E	69.81'
L54	S 30°21'59" E	160.33'
L56	S 27°32'33" E	63.97'

LINE TABLE		
LINE	BEARING	DISTANCE
L58	S 59°56'04" W	63.15'
L60	N 29°56'46" W	273.10'
L62	S 44°58'21" E	212.09'
L64	N 18°36'28" W	52.74'
L66	N 12°14'36" W	70.76'
L68	N 26°53'06" W	97.44'
L70	N 22°29'35" W	72.08'
L72	N 12°56'05" W	138.62'
L75	S 72°21'16" W	19.94'

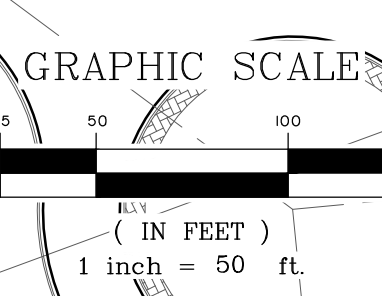
CURVE TABLE				
CURVE	RADIUS	LENGTH	CHORD	CHD BEARING
C1	150.00'	128.56'	124.66'	S 35°30'06" W
C2	400.00'	90.27'	90.08'	S 17°24'52" W
C3	50.00'	15.05'	14.99'	S 21°19'21" E
C4	50.00'	13.73'	13.69'	S 37°48'56" E
C5	50.00'	18.20'	18.10'	S 35°15'25" E
C6	50.00'	60.34'	56.74'	S 09°44'35" W
C7	80.00'	61.66'	60.15'	N 22°14'05" E
C8	528.43'	277.61'	274.43'	N 14°53'45" W
C9	34.00'	43.17'	40.33'	N 66°19'21" W
C10	64.00'	78.77'	73.89'	S 65°37'37" E

CURVE TABLE				
CURVE	RADIUS	LENGTH	CHORD	CHD BEARING
C11	472.00'	23.26'	23.26'	S 28°57'16" E
C12	64.00'	97.71'	88.50'	S 16°11'46" W
C13	61.00'	95.95'	86.36'	N 75°00'21" W
C14	61.00'	116.11'	99.36'	N 24°34'58" E
C15	28.00'	75.08'	54.52'	N 58°12'35" E
C16	328.00'	36.43'	36.42'	N 15°25'32" W
C17	72.00'	18.40'	18.35'	N 19°33'51" W
C18	328.00'	25.14'	25.13'	N 24°41'20" W
C19	128.00'	21.35'	21.33'	N 17°42'50" W
C20	128.00'	21.42'	21.39'	N 08°08'30" W

CURVE TABLE				
CURVE	RADIUS	LENGTH	CHORD	CHD BEARING
C21	40.00'	72.81'	63.17'	N 55°29'49" W
C22	60.00'	106.10'	92.81'	S 21°41'38" W
C23	297.00'	51.47'	51.40'	S 24°00'09" E
C24	751.49'	260.96'	259.65'	S 09°05'24" E
C25	60.00'	47.99'	46.72'	S 22°03'26" E



MATCH LINE - SEE SHEET NO. C1.2



NO.	DATE	BY	REVISIONS
3	10/05/22	SGJ	PER T.R. LONG REVIEW COMMENTS DATED 10/04/22
2	9/02/22	SGJ	PER T.R. LONG REVIEW COMMENTS DATED 8/11/22

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 50 Park of Commerce Way
 Savannah, GA 31405 • 912.234.5300
 www.thomasandhutton.com

NOVARE GROUP - PORT WENTWORTH SFR, LLC
 PORT WENTWORTH, GEORGIA
 SINGLE FAMILY RENTAL - PARCEL 4
SITE LAYOUT & SIGNAGE PLAN

JOB NO:	J-28595.0004
DATE:	7/5/2022
DRAWN:	JB
DESIGNED:	SKM
REVIEWED:	SKM
APPROVED:	SKM
SCALE:	1" = 50'

C1.1

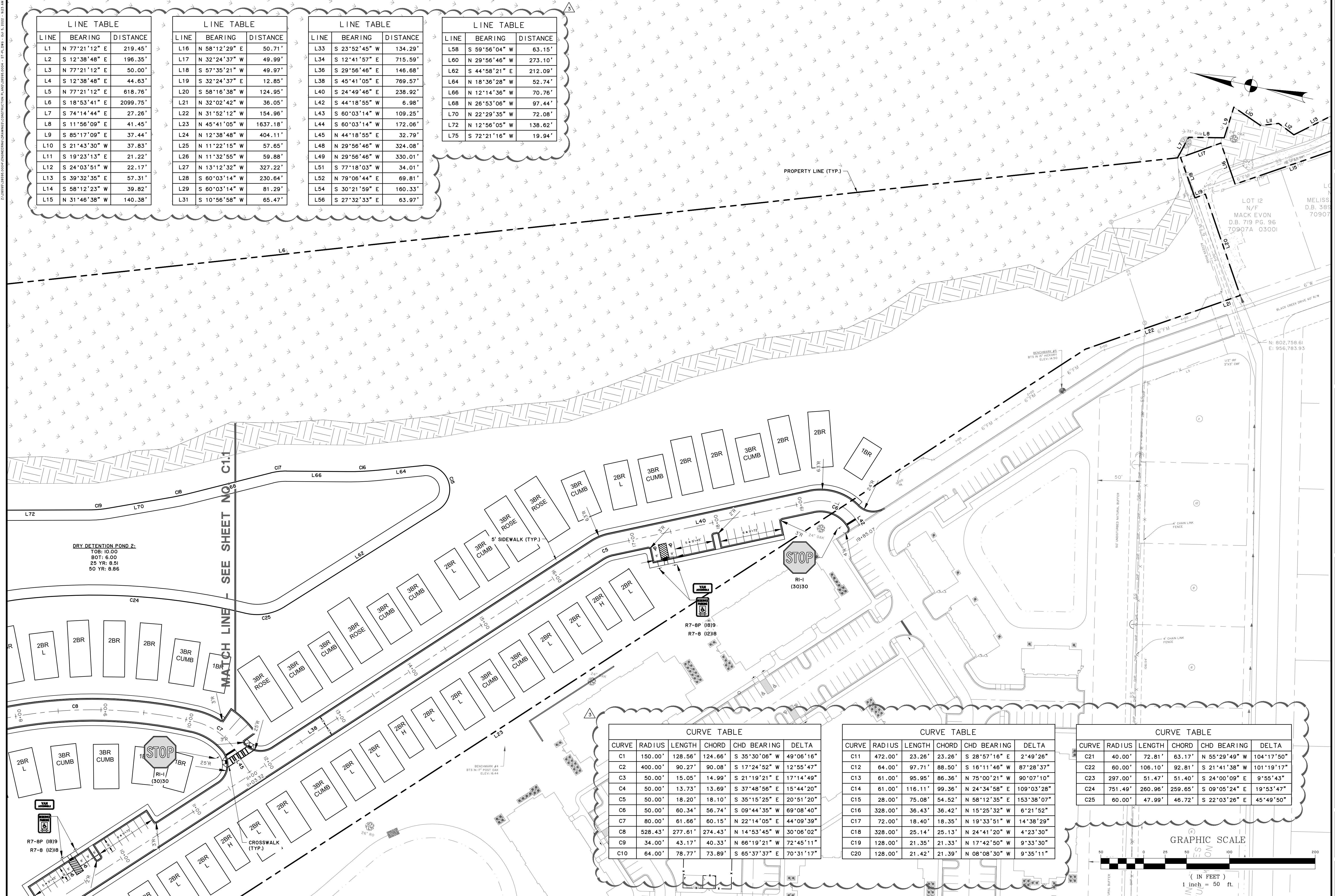


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L7	S 74°14'44" E	27.26'
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L20	S 58°16'38" W	124.95'
L21	N 32°02'42" W	36.05'
L22	N 31°52'12" W	154.96'
L23	N 45°41'05" W	1637.18'
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L25	N 11°22'15" W	57.65'
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L28	S 60°03'14" W	230.64'
L29	S 60°03'14" W	81.29'
L31	S 10°56'58" W	65.47'

LINE TABLE		
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L33	S 23°52'45" W	134.29'
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L36	S 29°56'46" E	146.68'
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L40	S 24°49'46" E	238.92'
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L49	N 29°56'46" W	330.01'
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LINE	BEARING	DISTANCE
L58	S 59°56'04" W	63.15'
L60	N 29°56'46" W	273.10'
L62	S 44°58'21" E	212.09'
L64	N 18°36'28" W	52.74'
L66	N 12°14'36" W	70.76'
L68	N 26°53'06" W	97.44'
L70	N 22°29'35" W	72.08'
L72	N 12°56'05" W	138.62'
L75	S 72°21'16" W	19.94'



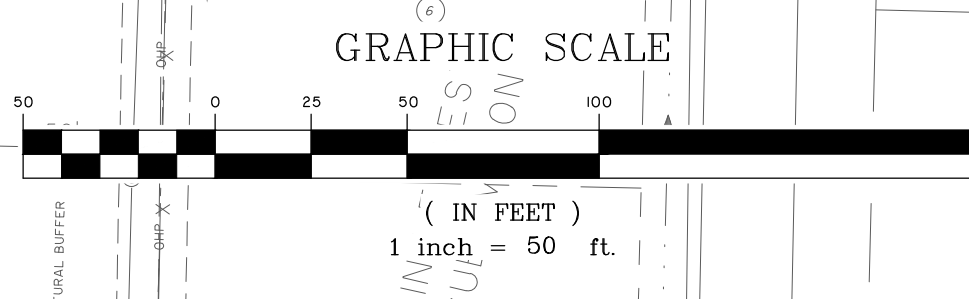
DRY DETENTION POND 2:
 TOB: 10.00
 80Y: 6.00
 25 YR: 8.51
 50 YR: 8.86

MATCH LINE - SEE SHEET NO. C1.1

CURVE TABLE					
CURVE	RADIUS	LENGTH	CHORD	CHD BEARING	DELTA
C1	150.00'	128.56'	124.66'	S 35°30'06" W	49°06'16"
C2	400.00'	90.27'	90.08'	S 17°24'52" W	12°55'47"
C3	50.00'	15.05'	14.99'	S 21°19'21" E	17°14'49"
C4	50.00'	13.73'	13.69'	S 37°48'56" E	15°44'20"
C5	50.00'	18.20'	18.10'	S 35°15'25" E	20°51'20"
C6	50.00'	60.34'	56.74'	S 09°44'35" W	69°08'40"
C7	80.00'	61.66'	60.15'	N 22°14'05" E	44°09'39"
C8	528.43'	277.61'	274.43'	N 14°53'45" W	30°06'02"
C9	34.00'	43.17'	40.33'	N 86°19'21" W	72°45'11"
C10	64.00'	78.77'	73.89'	S 65°37'37" E	70°31'17"

CURVE TABLE					
CURVE	RADIUS	LENGTH	CHORD	CHD BEARING	DELTA
C11	472.00'	23.26'	23.26'	S 28°57'16" E	2°49'26"
C12	64.00'	97.71'	88.50'	S 16°11'46" W	87°28'37"
C13	61.00'	95.95'	86.36'	N 75°00'21" W	90°07'10"
C14	61.00'	116.11'	99.36'	N 24°34'58" E	109°03'28"
C15	28.00'	75.08'	54.52'	N 58°12'35" E	153°38'07"
C16	328.00'	36.43'	36.42'	N 15°25'32" W	6°21'52"
C17	72.00'	18.40'	18.35'	N 19°33'51" W	14°38'29"
C18	328.00'	25.14'	25.13'	N 24°41'20" W	4°23'30"
C19	128.00'	21.35'	21.33'	N 17°42'50" W	9°33'30"
C20	128.00'	21.42'	21.39'	N 08°08'30" W	9°35'11"

CURVE TABLE					
CURVE	RADIUS	LENGTH	CHORD	CHD BEARING	DELTA
C21	40.00'	72.81'	63.17'	N 55°29'49" W	104°17'50"
C22	60.00'	106.10'	92.81'	S 21°41'38" W	101°19'17"
C23	297.00'	51.47'	51.40'	S 24°00'09" E	9°55'43"
C24	751.49'	260.96'	259.65'	S 09°05'24" E	19°53'47"
C25	60.00'	47.99'	46.72'	S 22°03'26" E	45°49'50"



REVISIONS			
NO.	DATE	BY	REVISIONS
3	10/05/22	SGJ	PER T.R. LONG REVIEW COMMENTS DATED 10/04/22
2	9/02/22	SGJ	PER T.R. LONG REVIEW COMMENTS DATED 8/11/22

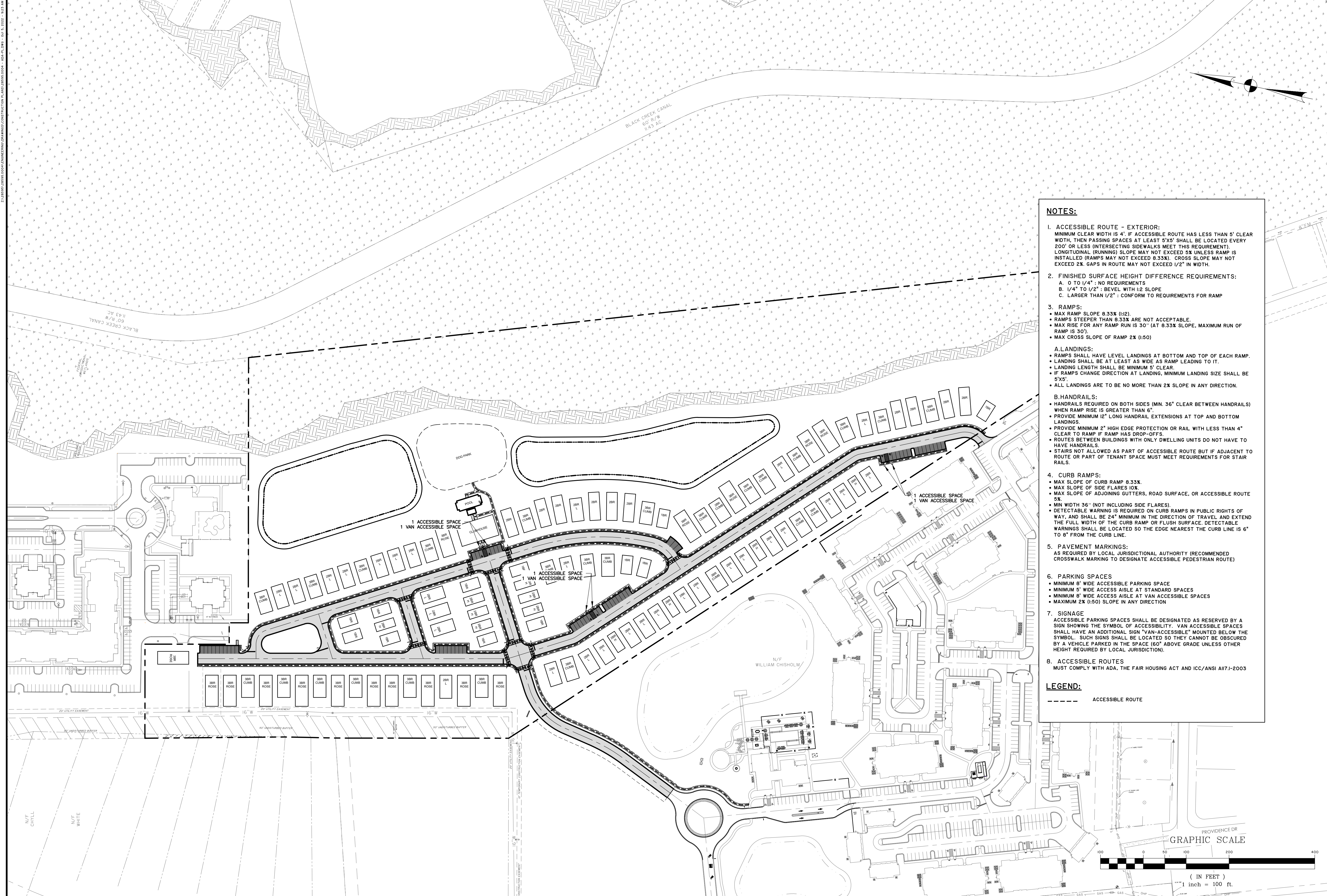
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NOVARE GROUP - PORT WENTWORTH SFR, LLC
 PORT WENTWORTH, GEORGIA
 SINGLE FAMILY RENTAL - PARCEL 4
SITE LAYOUT & SIGNAGE PLAN

JOB NO: J-28595.0004
 DATE: 7/5/2022
 DRAWN: JBJ
 DESIGNED: SKM
 REVIEWED: SKM
 APPROVED: SKM
 SCALE: 1" = 50'

Z:\ISSUES\2022\NOVARE\NOVARE_SFR\NOVARE_SFR.dwg - 10/11/2022 - 9:53 AM

Attachment: Novare Single Family Rental 7-0906-04-024 S-Site Plan 10.5.22 - Site Plan 10.5.22 (2713) - Site Plan Review Application Novare Single Family Project (Specific NOV 2022)



NOTES:

- ACCESSIBLE ROUTE - EXTERIOR:**
MINIMUM CLEAR WIDTH IS 4'. IF ACCESSIBLE ROUTE HAS LESS THAN 5' CLEAR WIDTH, THEN PASSING SPACES AT LEAST 5'X5' SHALL BE LOCATED EVERY 200' OR LESS (INTERSECTING SIDEWALKS MEET THIS REQUIREMENT). LONGITUDINAL (RUNNING) SLOPE MAY NOT EXCEED 5% UNLESS RAMP IS INSTALLED (RAMPS MAY NOT EXCEED 8.33%). CROSS SLOPE MAY NOT EXCEED 2%. GAPS IN ROUTE MAY NOT EXCEED 1/2" IN WIDTH.
 - 0 TO 1/4" : NO REQUIREMENTS
 - 1/4" TO 1/2" : BEVEL WITH 1:2 SLOPE
 - LARGER THAN 1/2" : CONFORM TO REQUIREMENTS FOR RAMP
- FINISHED SURFACE HEIGHT DIFFERENCE REQUIREMENTS:**
 - 0 TO 1/4" : NO REQUIREMENTS
 - 1/4" TO 1/2" : BEVEL WITH 1:2 SLOPE
 - LARGER THAN 1/2" : CONFORM TO REQUIREMENTS FOR RAMP
- RAMPS:**
 - MAX RAMP SLOPE 8.33% (1:12).
 - RAMPS STEEPER THAN 8.33% ARE NOT ACCEPTABLE.
 - MAX RISE FOR ANY RAMP RUN IS 30" (AT 8.33% SLOPE, MAXIMUM RUN OF RAMP IS 30').
 - MAX CROSS SLOPE OF RAMP 2% (1:50)
- LANDINGS:**
 - RAMPS SHALL HAVE LEVEL LANDINGS AT BOTTOM AND TOP OF EACH RAMP.
 - LANDING SHALL BE AT LEAST AS WIDE AS RAMP LEADING TO IT.
 - LANDING LENGTH SHALL BE MINIMUM 5' CLEAR.
 - IF RAMPS CHANGE DIRECTION AT LANDING, MINIMUM LANDING SIZE SHALL BE 5'X5'.
 - ALL LANDINGS ARE TO BE NO MORE THAN 2% SLOPE IN ANY DIRECTION.
- HANDRAILS:**
 - HANDRAILS REQUIRED ON BOTH SIDES (MIN. 36" CLEAR BETWEEN HANDRAILS) WHEN RAMP RISE IS GREATER THAN 6".
 - PROVIDE MINIMUM 12" LONG HANDRAIL EXTENSIONS AT TOP AND BOTTOM LANDINGS.
 - PROVIDE MINIMUM 2" HIGH EDGE PROTECTION OR RAIL WITH LESS THAN 4" CLEAR TO RAMP IF RAMP HAS DROP-OFFS.
 - ROUTES BETWEEN BUILDINGS WITH ONLY DWELLING UNITS DO NOT HAVE TO HAVE HANDRAILS.
 - STAIRS NOT ALLOWED AS PART OF ACCESSIBLE ROUTE BUT IF ADJACENT TO ROUTE OR PART OF TENANT SPACE MUST MEET REQUIREMENTS FOR STAIR RAILS.
- CURB RAMPS:**
 - MAX SLOPE OF CURB RAMP 8.33%.
 - MAX SLOPE OF SIDE FLARES 10%.
 - MAX SLOPE OF ADJOINING GUTTERS, ROAD SURFACE, OR ACCESSIBLE ROUTE 5%.
 - MIN WIDTH 36" (NOT INCLUDING SIDE FLARES).
 - DETECTABLE WARNING IS REQUIRED ON CURB RAMPS IN PUBLIC RIGHTS OF WAY, AND SHALL BE 24" MINIMUM IN THE DIRECTION OF TRAVEL AND EXTEND THE FULL WIDTH OF THE CURB RAMP OR FLUSH SURFACE. DETECTABLE WARNINGS SHALL BE LOCATED SO THE EDGE NEAREST THE CURB LINE IS 6" TO 8" FROM THE CURB LINE.
- PAVEMENT MARKINGS:**
AS REQUIRED BY LOCAL JURISDICTIONAL AUTHORITY (RECOMMENDED CROSSWALK MARKING TO DESIGNATE ACCESSIBLE PEDESTRIAN ROUTE)
- PARKING SPACES**
 - MINIMUM 8' WIDE ACCESSIBLE PARKING SPACE
 - MINIMUM 5' WIDE ACCESS AISLE AT STANDARD SPACES
 - MINIMUM 8' WIDE ACCESS AISLE AT VAN ACCESSIBLE SPACES
 - MAXIMUM 2% (1:50) SLOPE IN ANY DIRECTION
- SIGNAGE**
ACCESSIBLE PARKING SPACES SHALL BE DESIGNATED AS RESERVED BY A SIGN SHOWING THE SYMBOL OF ACCESSIBILITY. VAN ACCESSIBLE SPACES SHALL HAVE AN ADDITIONAL SIGN "VAN-ACCESSIBLE" MOUNTED BELOW THE SYMBOL. SUCH SIGNS SHALL BE LOCATED SO THEY CANNOT BE OBTURED BY A VEHICLE PARKED IN THE SPACE (60" ABOVE GRADE UNLESS OTHER HEIGHT REQUIRED BY LOCAL JURISDICTION).
- ACCESSIBLE ROUTES**
MUST COMPLY WITH ADA, THE FAIR HOUSING ACT AND ICC/ANSI A117.1-2003

LEGEND:
--- ACCESSIBLE ROUTE



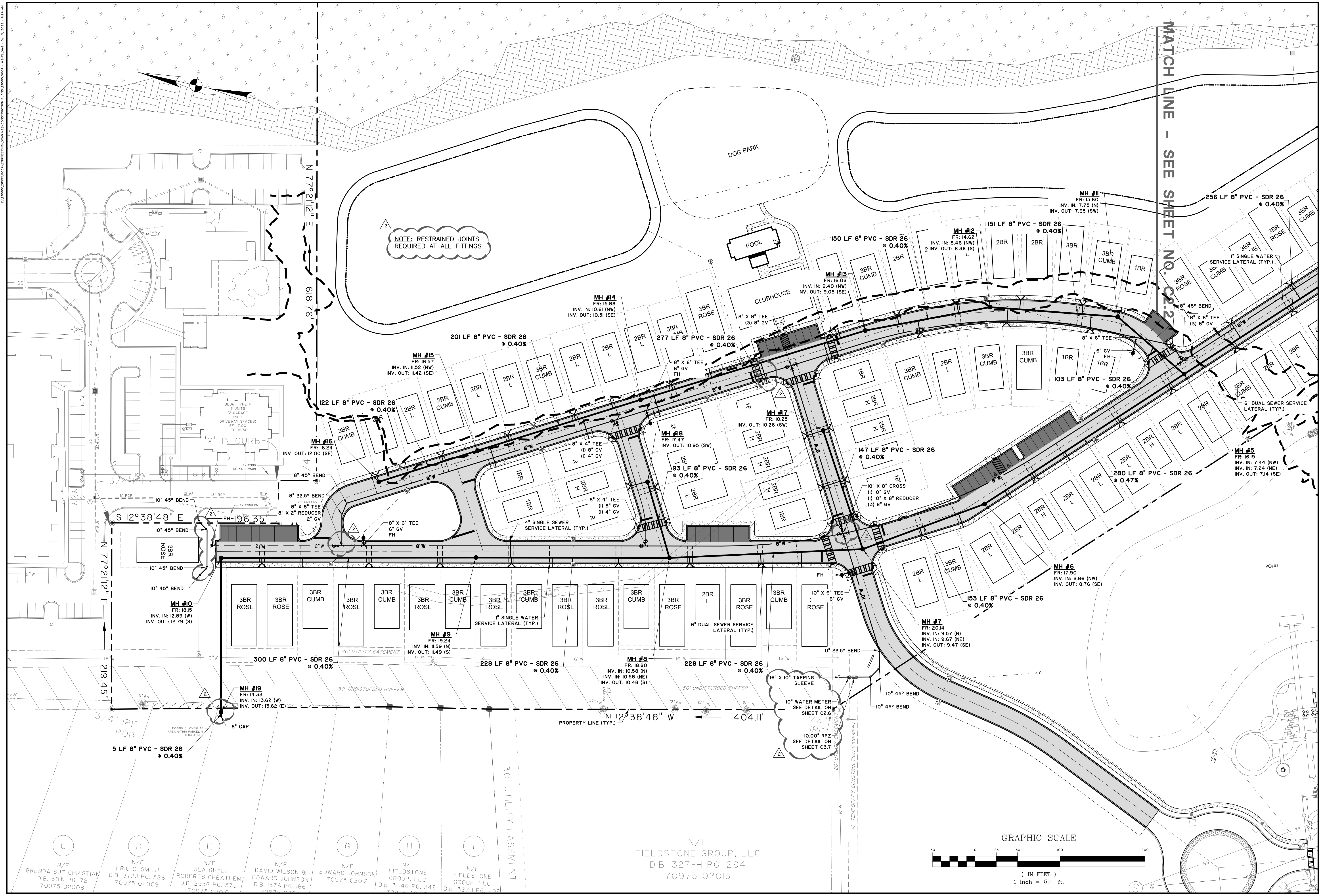
NO.	REVISIONS	BY	DATE

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NOVARE GROUP - PORT WENTWORTH SFR, LLC
 PORT WENTWORTH, GEORGIA
 SINGLE FAMILY RENTAL - PARCEL 4
ADA ACCESSIBILITY PLAN

JOB NO: J-28595.0004
 DATE: 7/5/2022
 DRAWN: JBJ
 DESIGNED: SKM
 REVIEWED: SKM
 APPROVED: SKM
 SCALE: 1" = 100'

C1.3



NOTE: RESTRAINED JOINTS REQUIRED AT ALL FITTINGS

MATCH LINE - SEE SHEET NO. C2.2

NO.	REVISIONS	DATE	BY
2	PER T.R. LONG REVIEW COMMENTS DATED 8/11/22	9/02/22	SGJ

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NOVARE GROUP - PORT WENTWORTH SFR, LLC
 PORT WENTWORTH, GEORGIA
 SINGLE FAMILY RENTAL - PARCEL 4
WATER & SEWER PLAN

JOB NO:	J-28595.0004
DATE:	7/5/2022
DRAWN:	JBW
DESIGNED:	SKM
REVIEWED:	SKM
APPROVED:	SKM
SCALE:	1" = 50'

C2.1

2/2/2022 10:55 AM

N/F BRENDIA SUE CHRISTIAN D.B. 381N PG. 72 70975 02008

N/F ERIC C. SMITH D.B. 372J PG. 586 70975 02009

N/F LULA GHYLL ROBERTS CHEATHAM D.B. 255G PG. 575 70975 02009

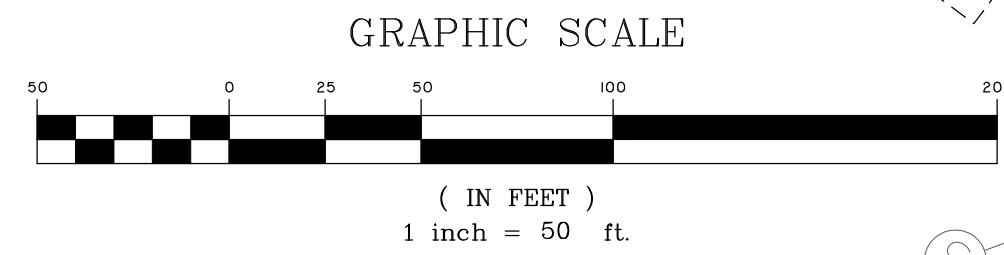
N/F DAVID WILSON & EDWARD JOHNSON D.B. 1576 PG. 186 70975 02009

N/F EDWARD JOHNSON 70975 02012

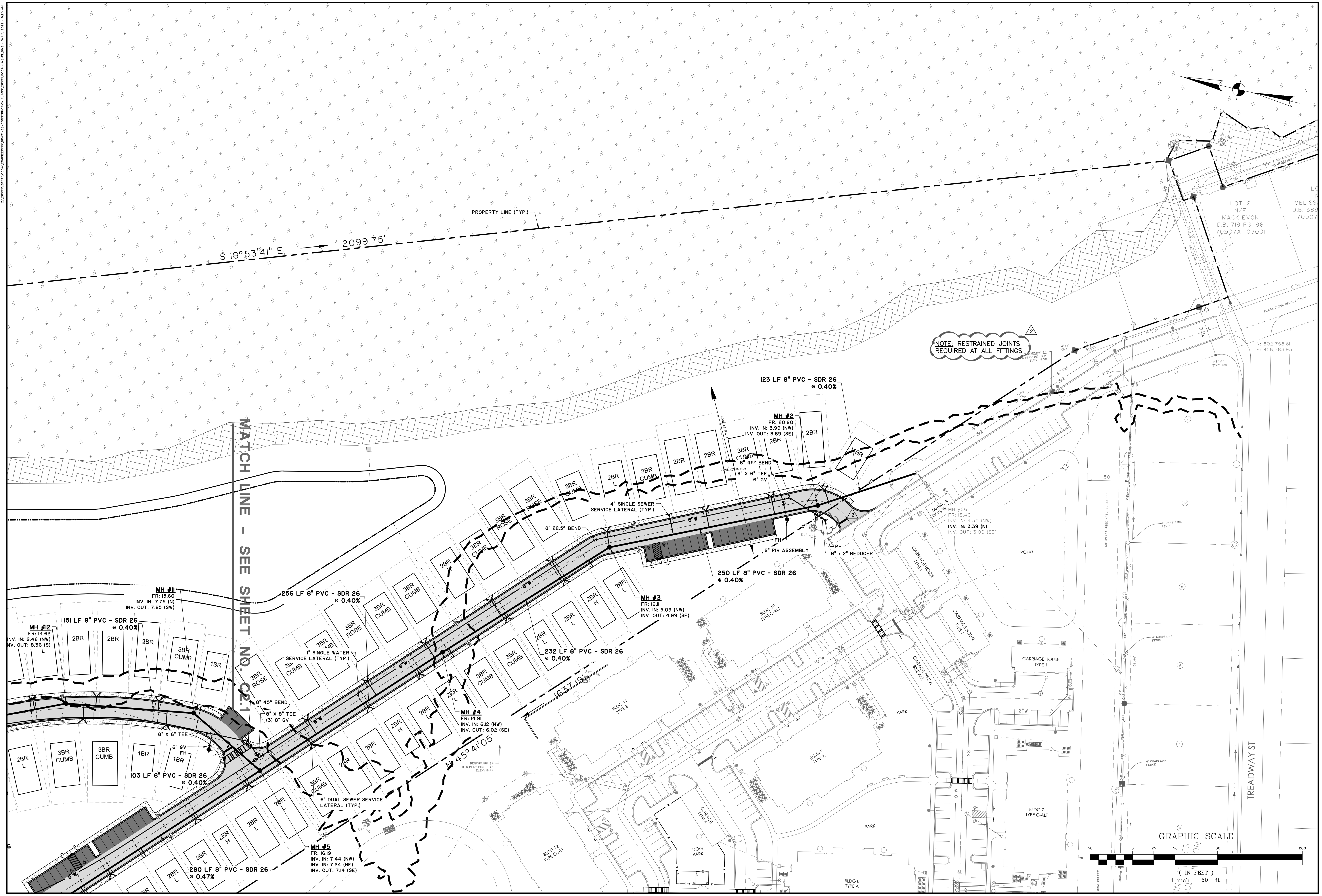
N/F FIELDSTONE GROUP, LLC D.B. 344G PG. 242 70975 02015

N/F FIELDSTONE GROUP, LLC D.B. 327H PG. 294 70975 02015

N/F FIELDSTONE GROUP, LLC
 D.B. 327-H PG. 294
 70975 02015



Attachment: Novare Single Family Rental 7-0906-04-024 S-Site Plan 10.5.22 (2713) - Site Plan Review Application Novare Single Family Project (Specific) NOV 2022



NO.	REVISIONS	DATE	BY
2	PER T.R. LONG REVIEW COMMENTS DATED 8/11/22	9/20/22	SGJ

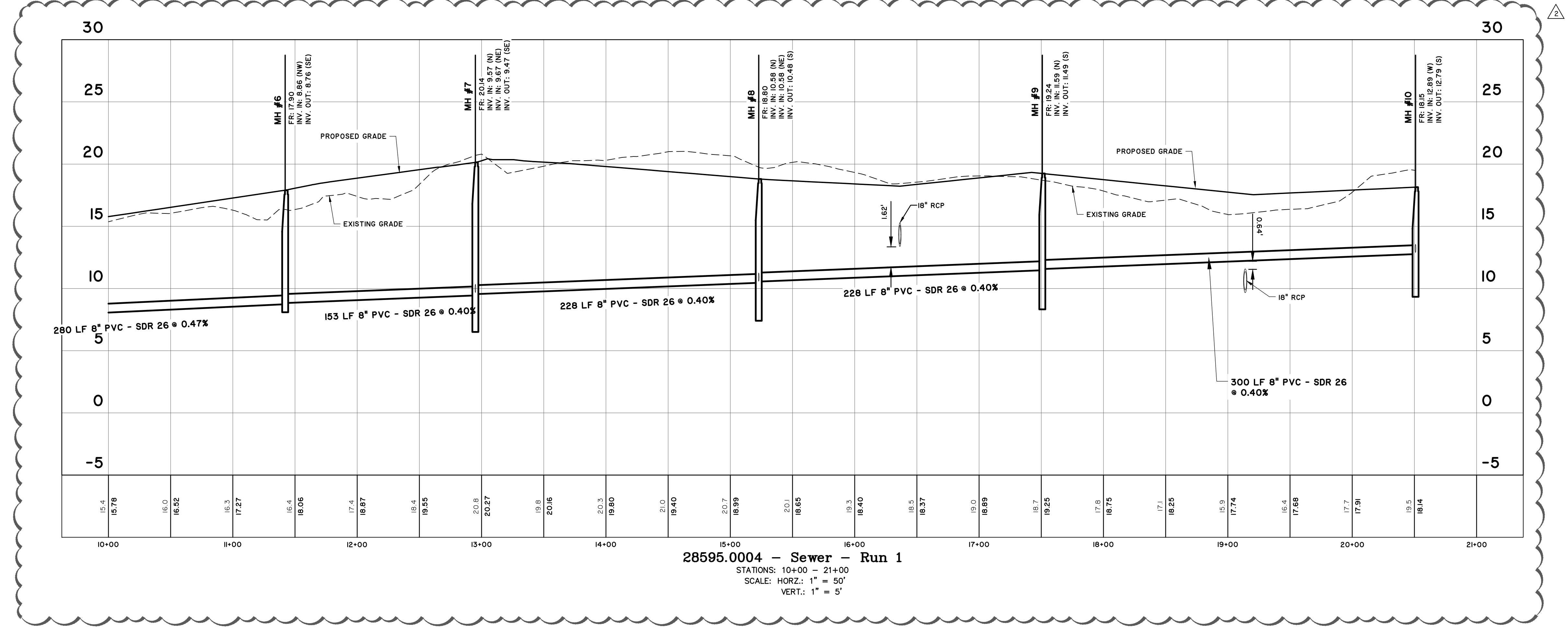
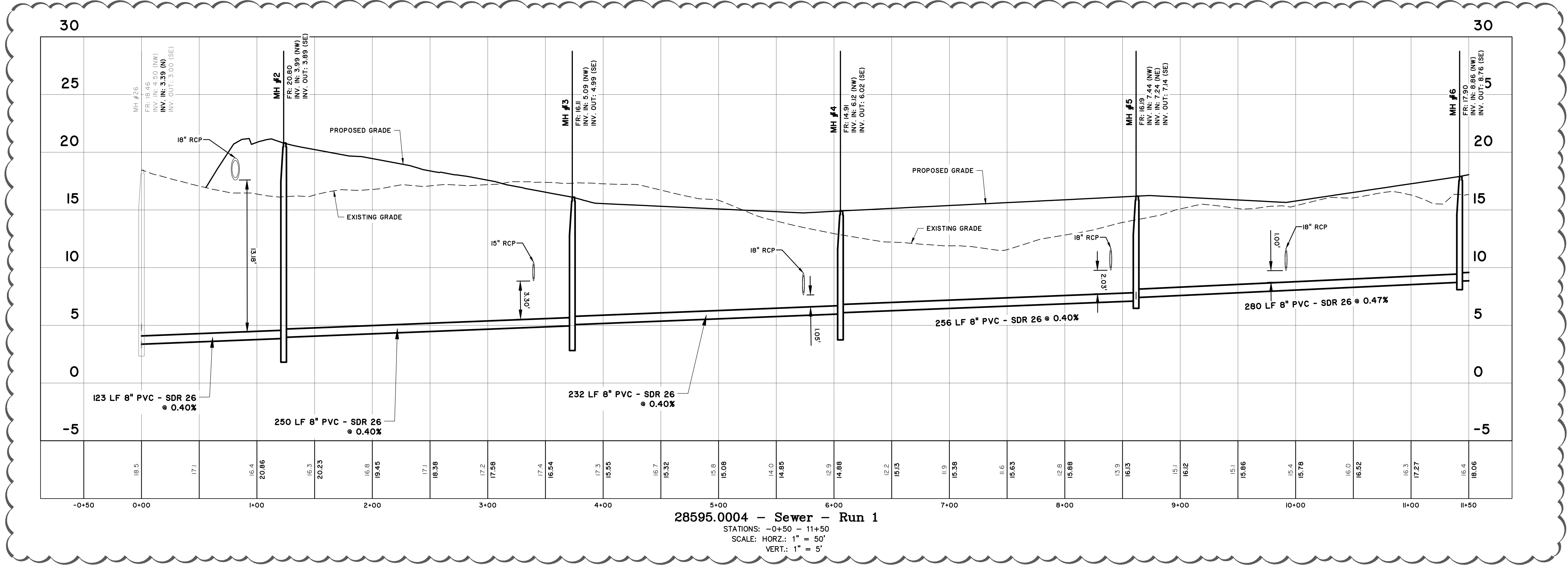
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NOVARE GROUP - PORT WENTWORTH SFR, LLC
 PORT WENTWORTH, GEORGIA
SINGLE FAMILY RENTAL - PARCEL 4
WATER & SEWER PLAN

JOB NO:	J-28595.0004
DATE:	7/5/2022
DESIGNED:	SKM
REVIEWED:	SKM
APPROVED:	SKM
SCALE:	1" = 50'

C2.2

Z:\18895\18895-0004\CONSTRUCTION\PLAN\18895-0004 - SPP.PDF - 01/12/2022 10:52 AM



NO.	REVISIONS	BY	DATE
2	PER T.R. LONG REVIEW COMMENTS DATED 8/11/22	SGJ	9/02/22

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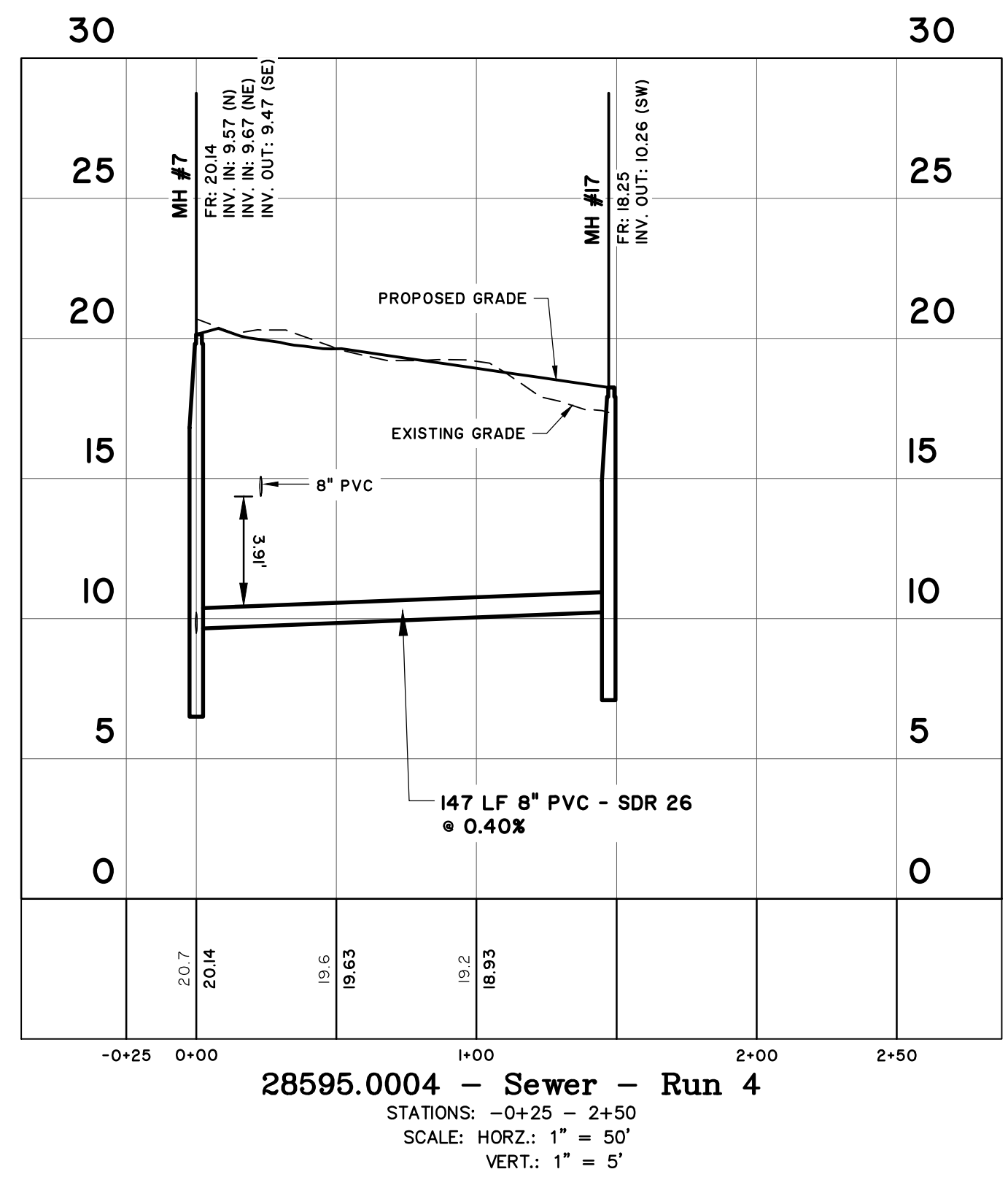
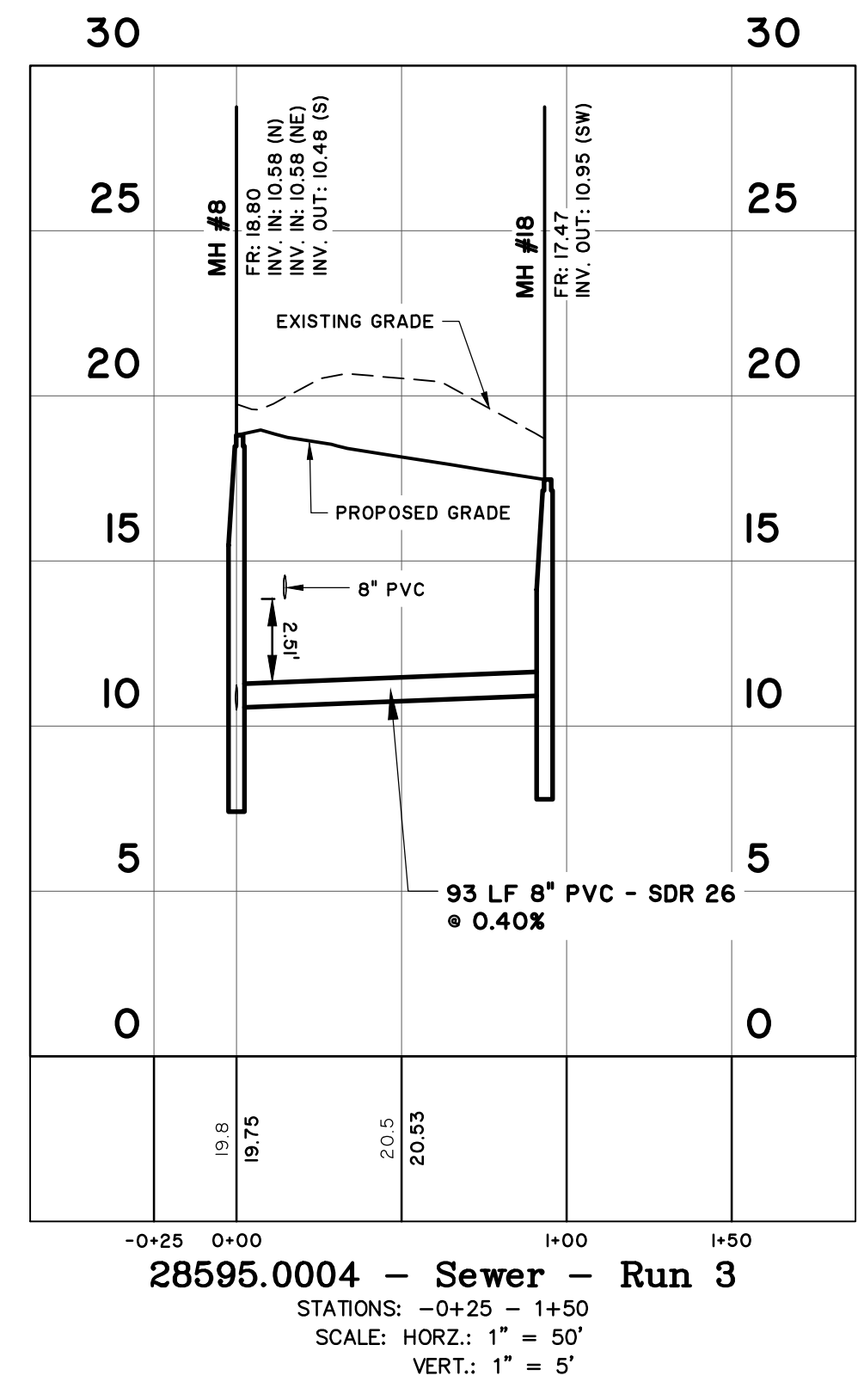
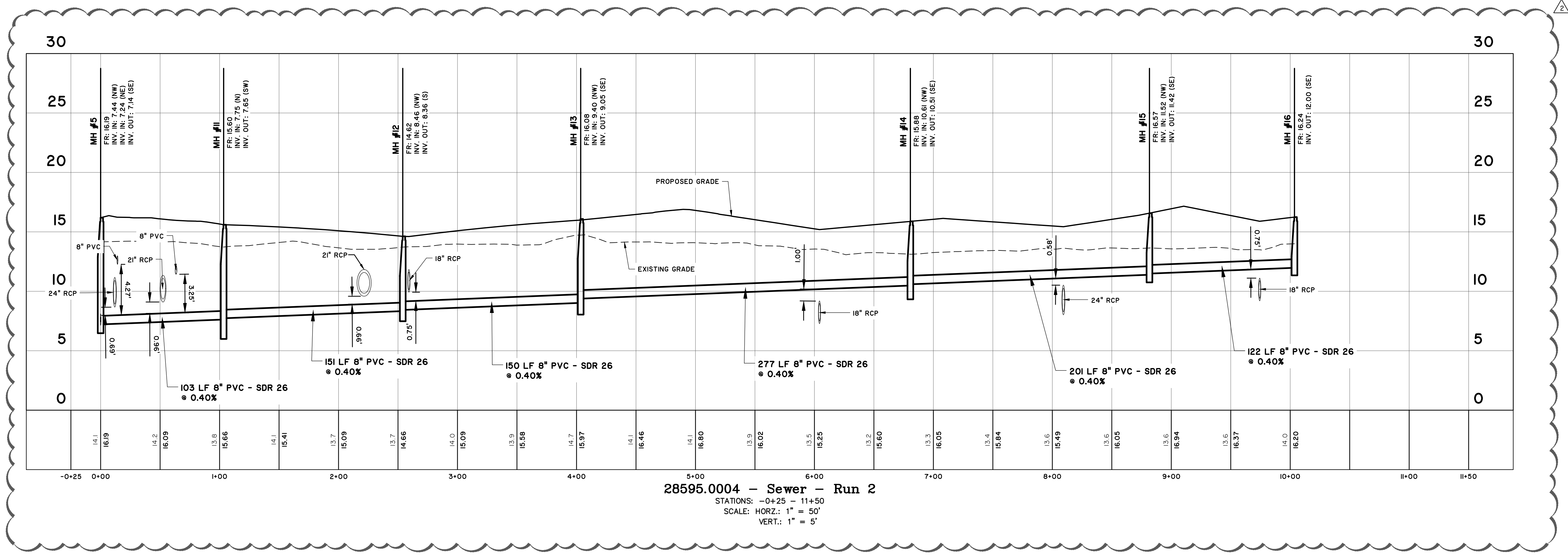
NOVARE GROUP - PORT WENTWORTH SFR, LLC
 PORT WENTWORTH, GEORGIA
 SINGLE FAMILY RENTAL - PARCEL 4
SEWER PROFILES

JOB NO:	J-28595.0004
DATE:	7/5/2022
DRAWN:	JBJ
DESIGNED:	SKM
REVIEWED:	SKM
APPROVED:	SKM
SCALE:	AS NOTED

C2.3

Attachment: Novare Single Family Rental 7-0906-04-024 S-Site Plan 2022 - Site Plan 10.5.22 (2713 - Site Plan Review Application Novare Single Family Project (Specific) NOV 2022)

7:10:55 PM 10/25/2022 10:55 AM



NO.	REVISIONS	BY	DATE
2	PER T.R. LONG REVIEW COMMENTS DATED 8/11/22	SGJ	9/02/22

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 SINGLE FAMILY RENTAL - PARCEL 4
SEWER PROFILES

JOB NO:	J-28595.0004
DATE:	7/5/2022
DRAWN:	JBW
DESIGNED:	SKM
REVIEWED:	SKM
APPROVED:	SKM
SCALE:	1" = 50'

C2.4



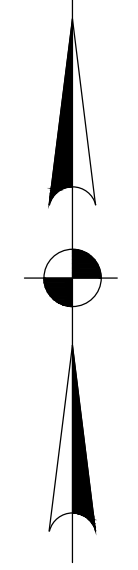
NO.	REVISIONS	BY	DATE

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NOVARE GROUP - PORT WENTWORTH SFR, LLC
 PORT WENTWORTH, GEORGIA
 SINGLE FAMILY RENTAL - PARCEL 4
WATER & SEWER DETAILS

JOB NO:	J-28595.0004
DATE:	7/5/2022
DRAWN:	JB
DESIGNED:	SKM
REVIEWED:	SKM
APPROVED:	SKM
SCALE:	1" = 1'

C2.5



NOTE:

1. THE TEE-WYE SHALL BE SET AT PROPER DEPTH TO ACCOMMODATE THE PROPOSED OR EXISTING HOUSE LATERAL.
2. IN ROADWAYS, SEWER LATERALS TO BE EXTENDED TO PROPERTY LINE. LOCATION OF LATERAL TO BE NOTED WITH "S" STAMPED ON FACE OF CURB (WHERE APPLICABLE). PROVIDE LATERALS FOR ALL VACANT LOTS. ON NEW SEWERS, PROVIDE CONNECTION FOR EACH CUSTOMER, EXISTING AND FUTURE. SHOW LOCATIONS ON RECORD DRAWINGS.
3. ALL 4" FITTINGS TO BE PUSH ON TYPE. NO CLUE FITTINGS ALLOWED.

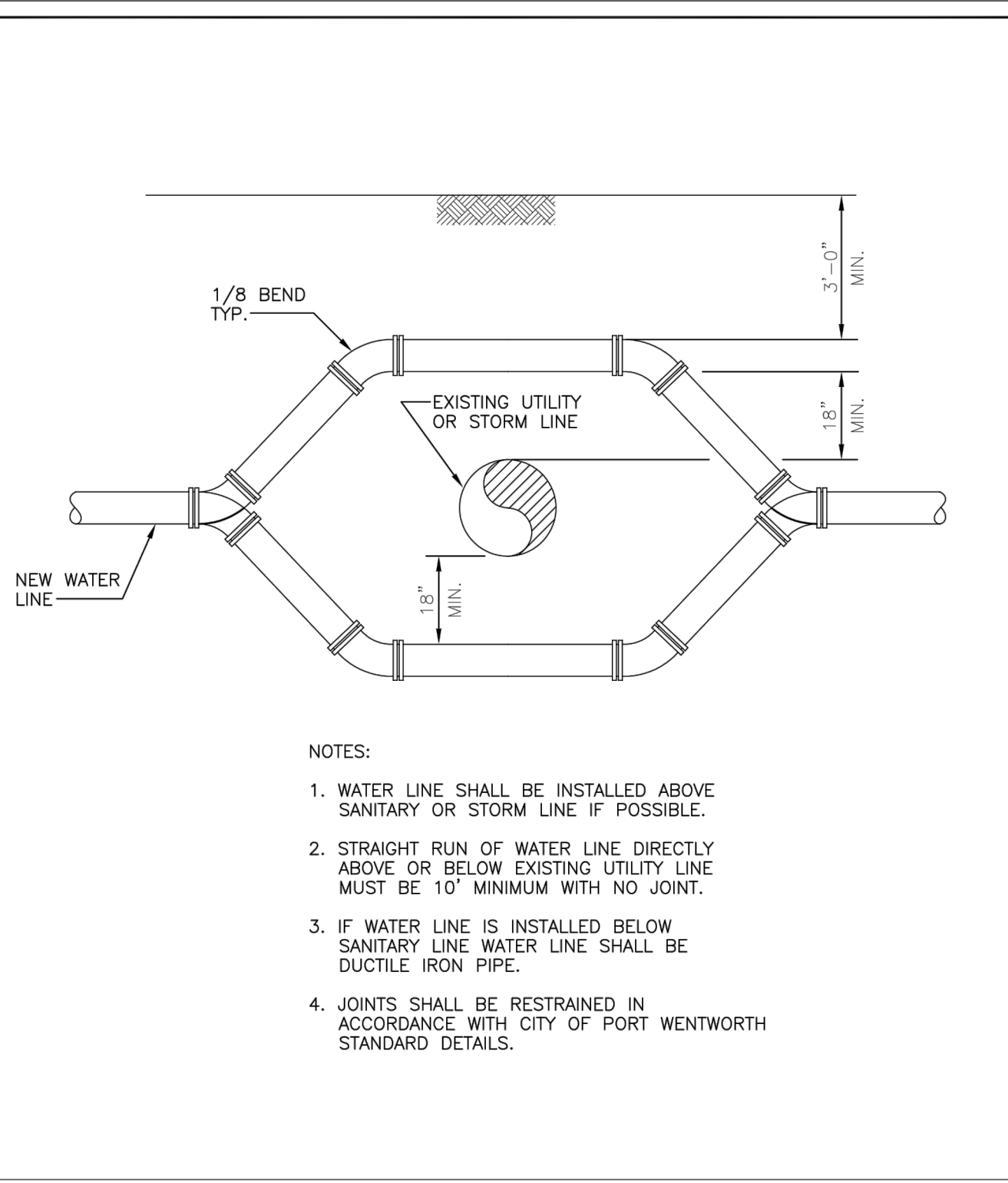
MANHOLE RING & COVER
 City of Port Wentworth
 TECHNICAL DETAILS
 S-2
 PREPARED BY SAUSSY ENGINEERING, LLC. SCALE: N.T.S. DATED: FEBRUARY 2007

MANHOLE RING & COVER
 City of Port Wentworth
 TECHNICAL DETAILS
 S-1
 PREPARED BY SAUSSY ENGINEERING, LLC. SCALE: N.T.S. DATED: FEBRUARY 2007

1" AND 2" TAPPING SADDLE
 City of Port Wentworth
 TECHNICAL DETAILS
 W-2
 PREPARED BY SAUSSY ENGINEERING, LLC. SCALE: N.T.S. DATED: FEBRUARY 2007

WATER SERVICE LATERAL
 City of Port Wentworth
 TECHNICAL DETAILS
 W-1
 PREPARED BY SAUSSY ENGINEERING, LLC. SCALE: N.T.S. DATED: FEBRUARY 2007

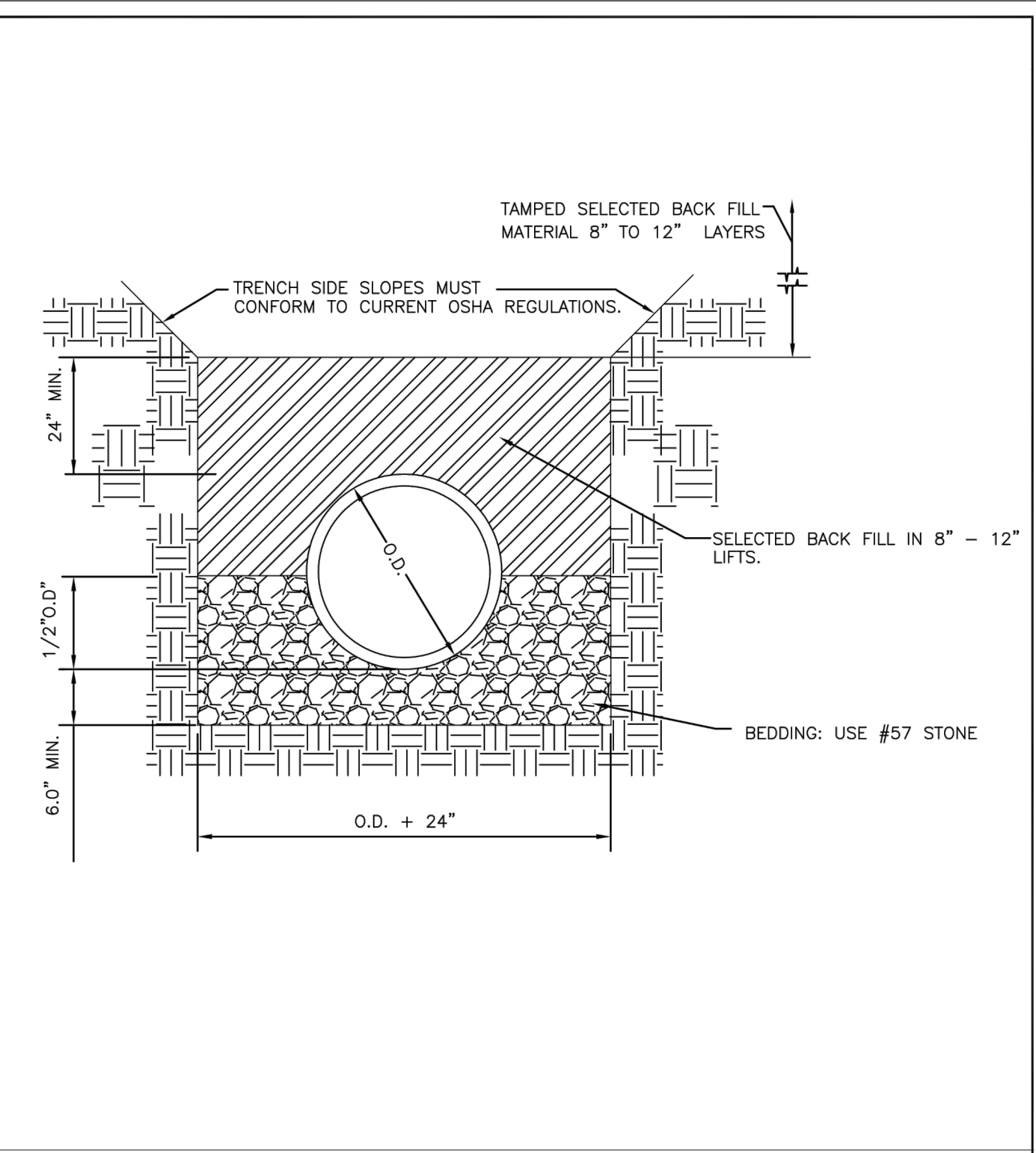
PIPE BEDDING
 City of Port Wentworth
 TECHNICAL DETAILS
 S-8
 PREPARED BY SAUSSY ENGINEERING, LLC. SCALE: N.T.S. DATED: FEBRUARY 2007



- NOTES:
1. WATER LINE SHALL BE INSTALLED ABOVE SANITARY OR STORM LINE IF POSSIBLE.
 2. STRAIGHT RUN OF WATER LINE DIRECTLY ABOVE OR BELOW EXISTING UTILITY LINE MUST BE 10" MINIMUM WITH NO JOINT.
 3. IF WATER LINE IS INSTALLED BELOW SANITARY LINE WATER LINE SHALL BE DUCTILE IRON PIPE.
 4. JOINTS SHALL BE RESTRAINED IN ACCORDANCE WITH CITY OF PORT WENTWORTH STANDARD DETAILS.

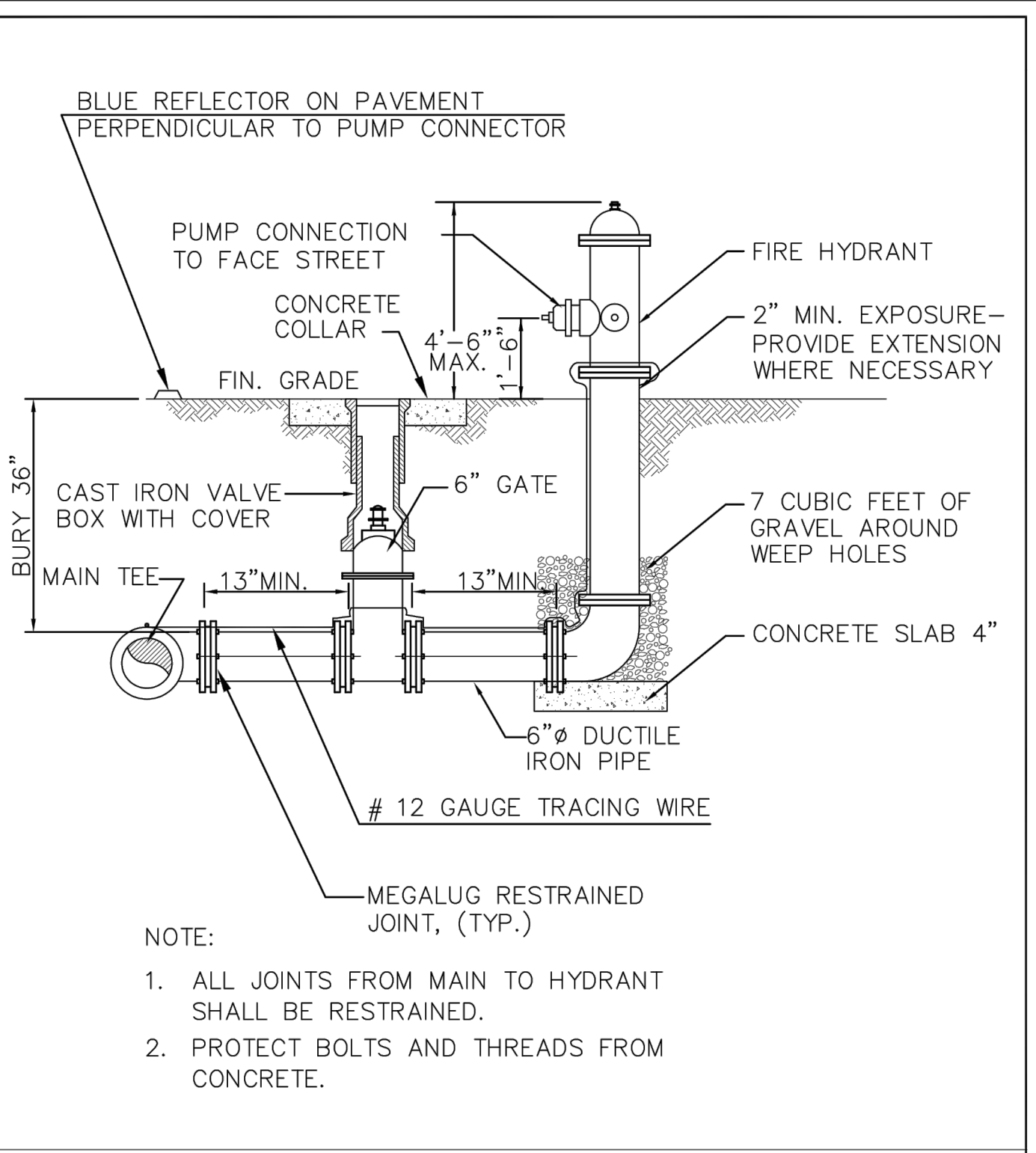
STANDARD UTILITY CROSSING

	City of Port Wentworth TECHNICAL DETAILS	W-6
PREPARED BY SAUSSY ENGINEERING, LLC.		SCALE: N.T.S. DATED: FEBRUARY 2007



PIPE BEDDING

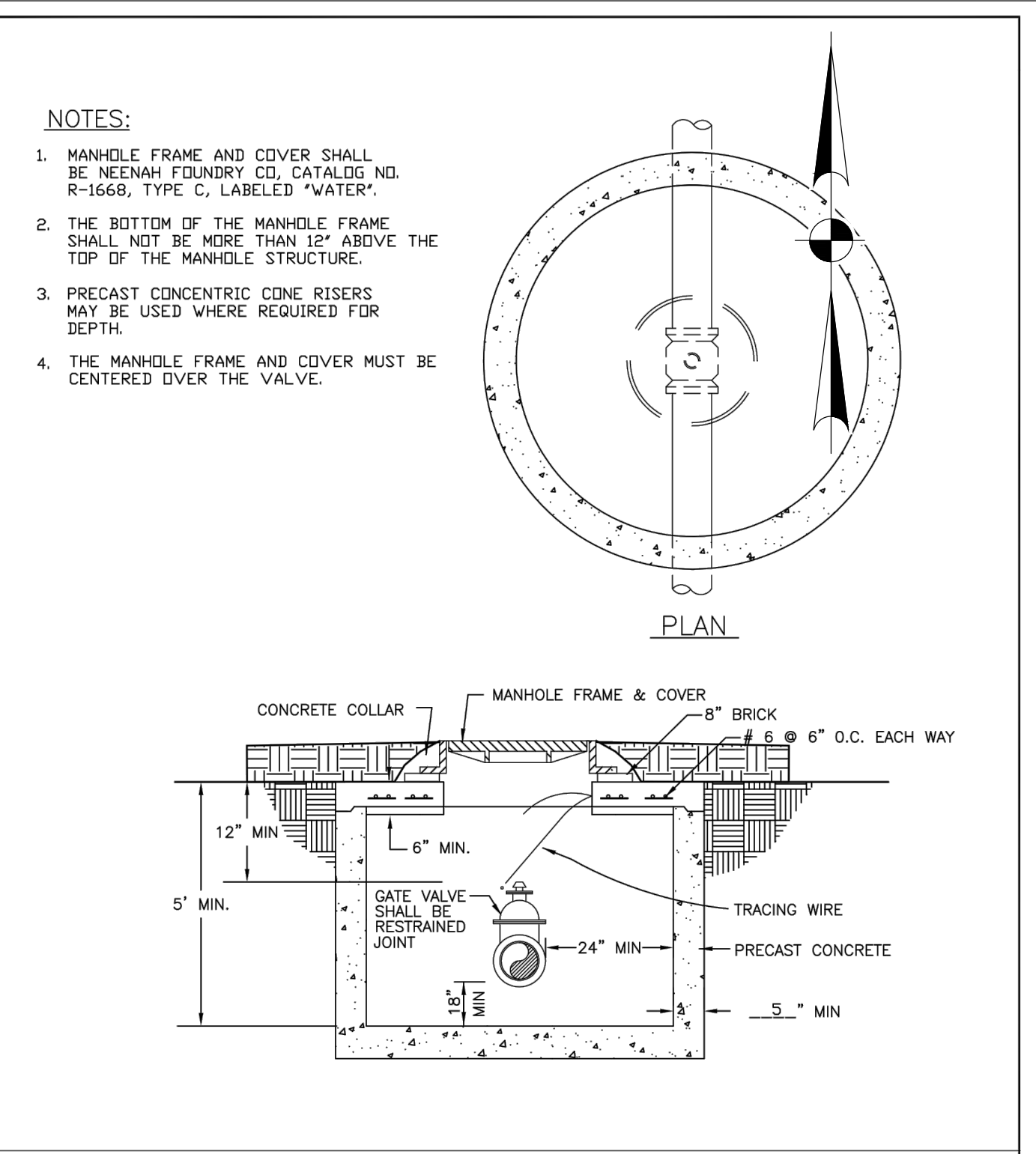
	City of Port Wentworth TECHNICAL DETAILS	W-8
PREPARED BY SAUSSY ENGINEERING, LLC.		SCALE: N.T.S. DATED: FEBRUARY 2007



- NOTE:
1. ALL JOINTS FROM MAIN TO HYDRANT SHALL BE RESTRAINED.
 2. PROTECT BOLTS AND THREADS FROM CONCRETE.

STANDARD FIRE HYDRANT

	City of Port Wentworth TECHNICAL DETAILS	W-9
PREPARED BY SAUSSY ENGINEERING, LLC.		SCALE: N.T.S. DATED: FEBRUARY 2007



- NOTES:
1. MANHOLE FRAME AND COVER SHALL BE NEENAH FOUNDRY CO., CATALOG NO. R-166B, TYPE C, LABELED "WATER".
 2. THE BOTTOM OF THE MANHOLE FRAME SHALL NOT BE MORE THAN 12" ABOVE THE TOP OF THE MANHOLE STRUCTURE.
 3. PRECAST CONCENTRIC ODNE RISERS MAY BE USED WHERE REQUIRED FOR DEPTH.
 4. THE MANHOLE FRAME AND COVER MUST BE CENTERED OVER THE VALVE.

VALVE MANHOLE FOR 8" & GREATER GATE VALVE

	City of Port Wentworth TECHNICAL DETAILS	W-14
PREPARED BY SAUSSY ENGINEERING, LLC.		SCALE: N.T.S. DATED: FEBRUARY 2007



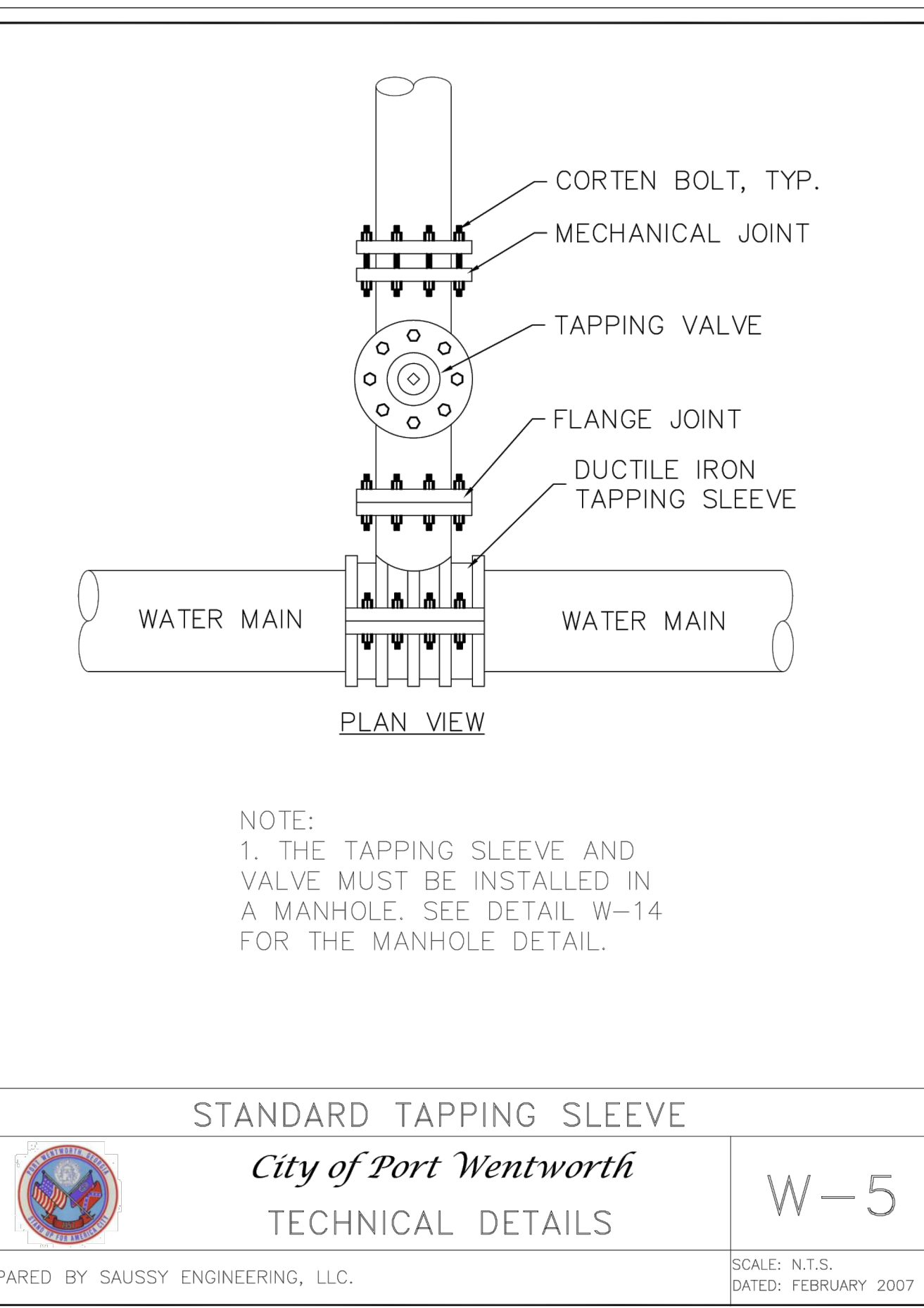
NO.	REVISIONS	BY	DATE

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NOVARE GROUP - PORT WENTWORTH SFR, LLC
 PORT WENTWORTH, GEORGIA
 SINGLE FAMILY RENTAL - PARCEL 4
WATER & SEWER DETAILS

JOB NO:	J-28595.0004
DATE:	7/5/2022
DRAWN:	JB
DESIGNED:	SKM
REVIEWED:	SKM
APPROVED:	SKM
SCALE:	1" = 1'

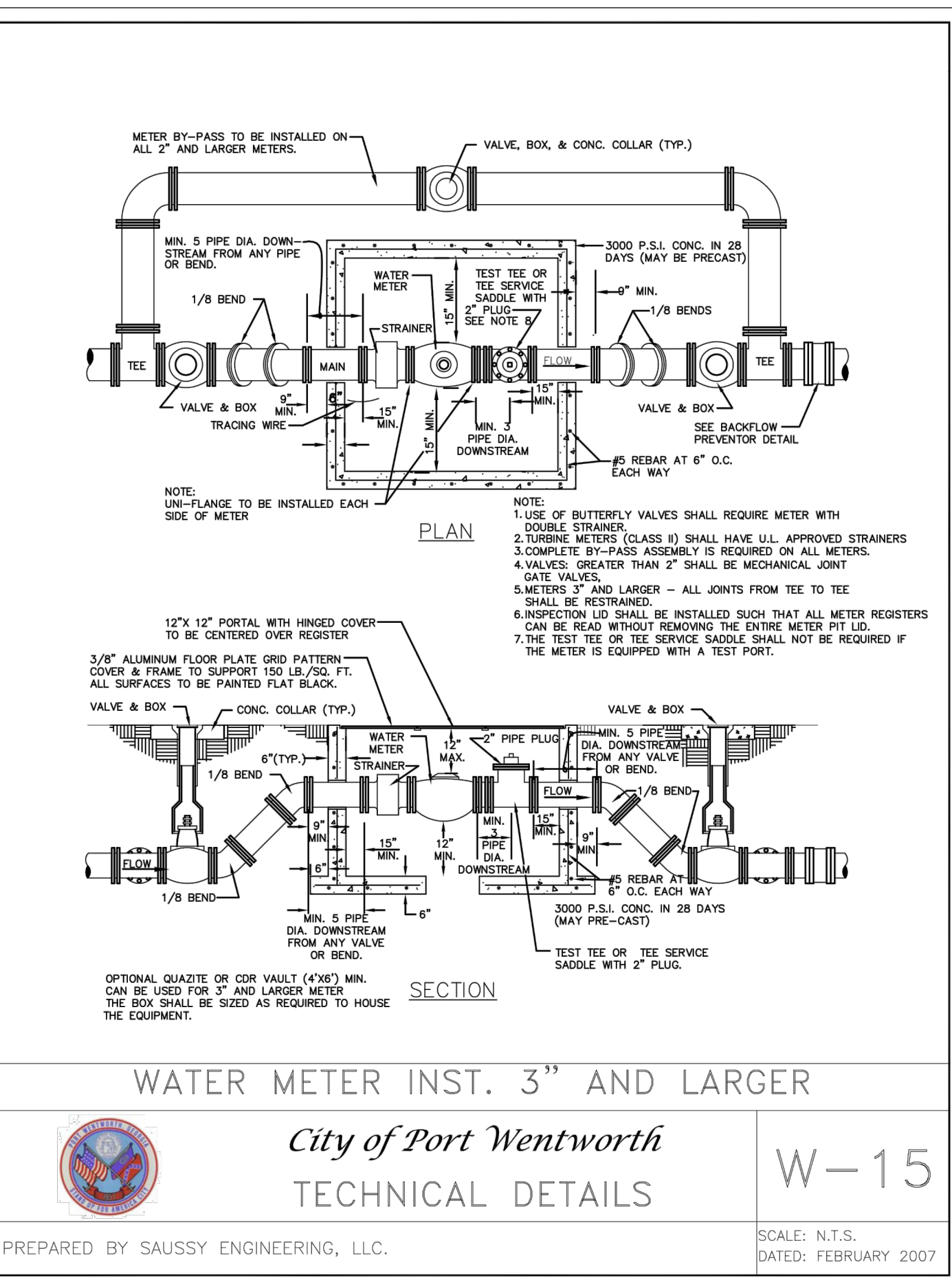
C2.6



- NOTE:
1. THE TAPPING SLEEVE AND VALVE MUST BE INSTALLED IN A MANHOLE. SEE DETAIL W-14 FOR THE MANHOLE DETAIL.

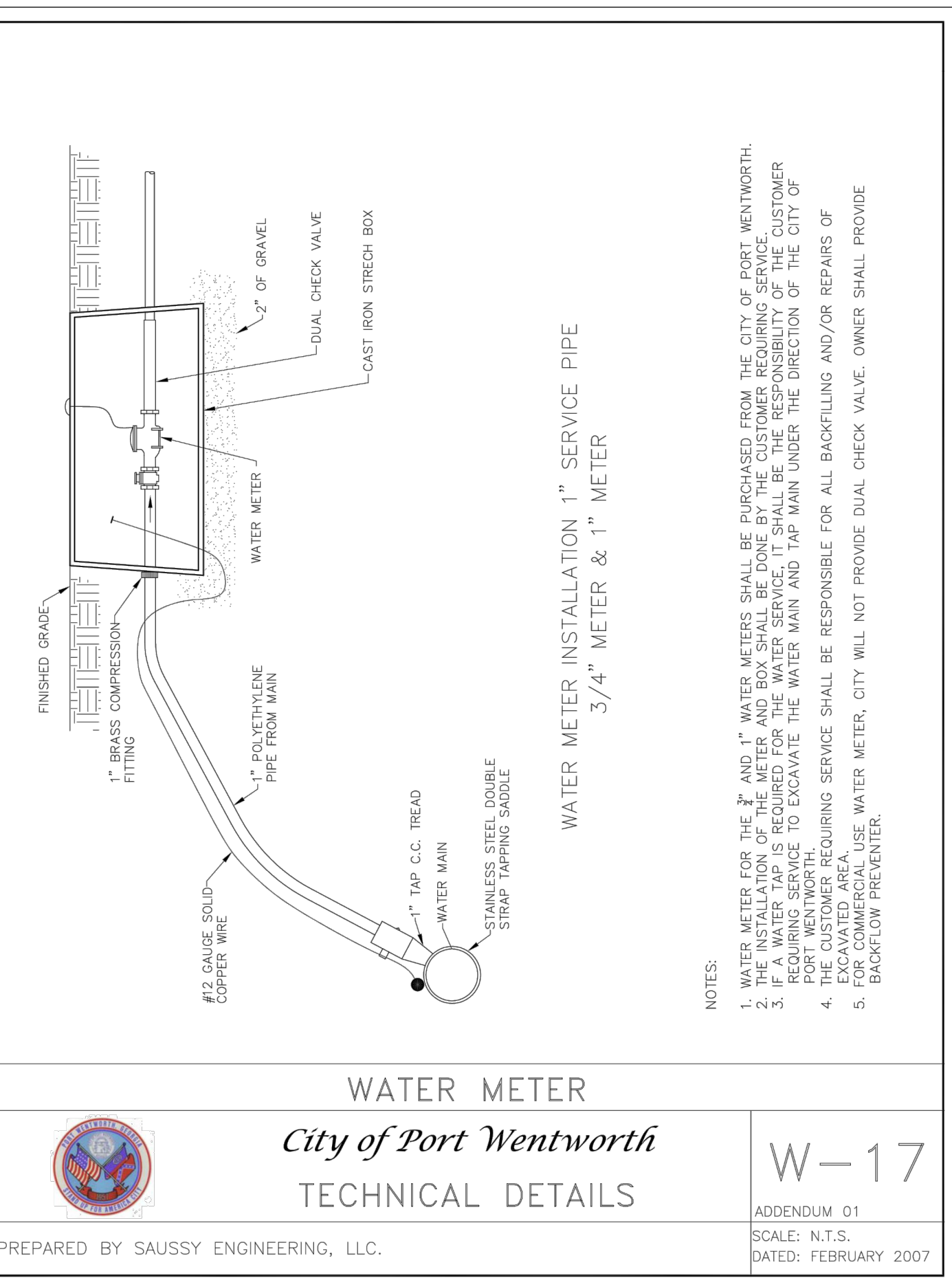
STANDARD TAPPING SLEEVE

	City of Port Wentworth TECHNICAL DETAILS	W-5
PREPARED BY SAUSSY ENGINEERING, LLC.		SCALE: N.T.S. DATED: FEBRUARY 2007



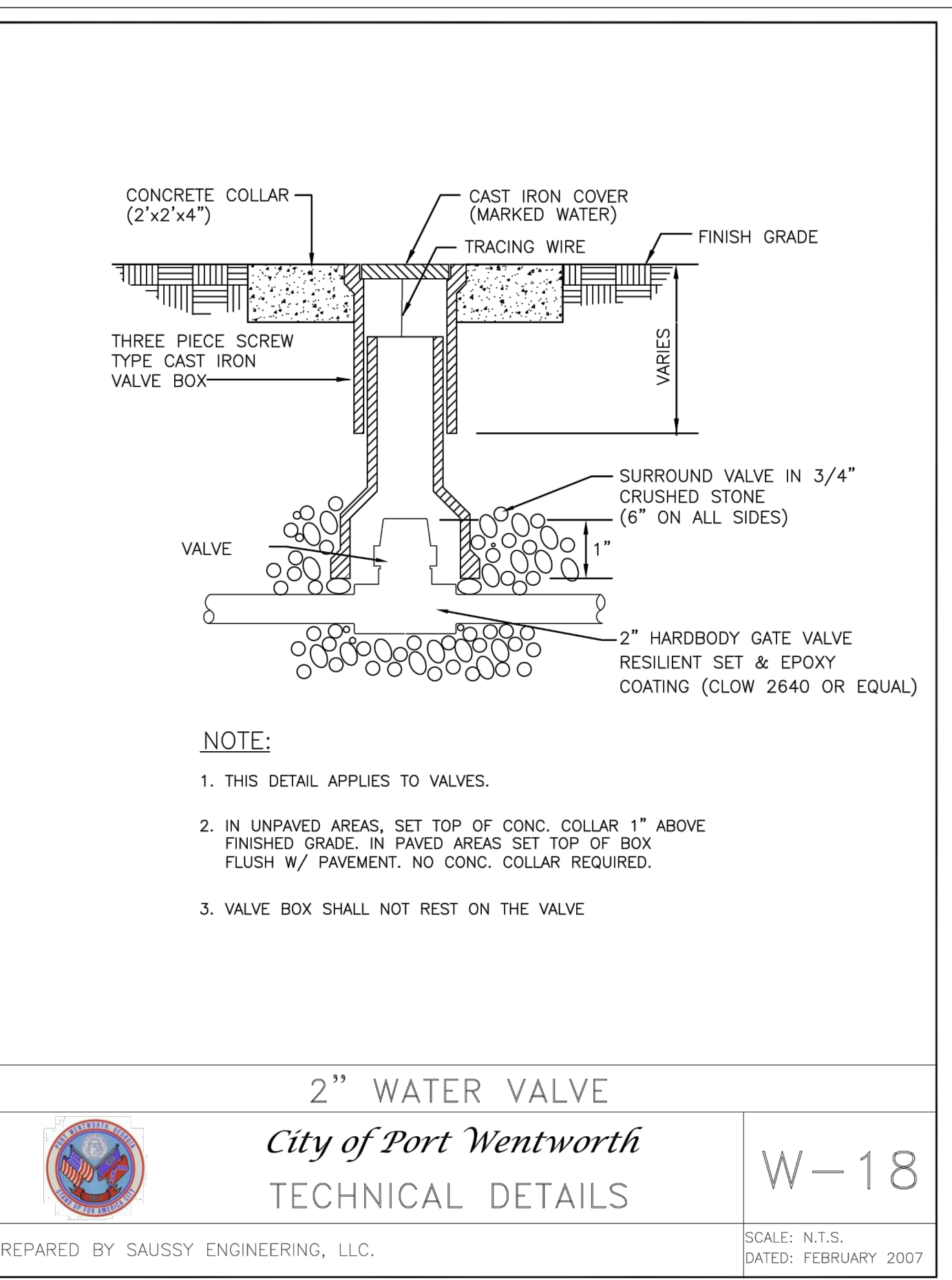
WATER METER INST. 3" AND LARGER

	City of Port Wentworth TECHNICAL DETAILS	W-15
PREPARED BY SAUSSY ENGINEERING, LLC.		SCALE: N.T.S. DATED: FEBRUARY 2007



WATER METER

	City of Port Wentworth TECHNICAL DETAILS	W-17
PREPARED BY SAUSSY ENGINEERING, LLC.		SCALE: N.T.S. DATED: FEBRUARY 2007

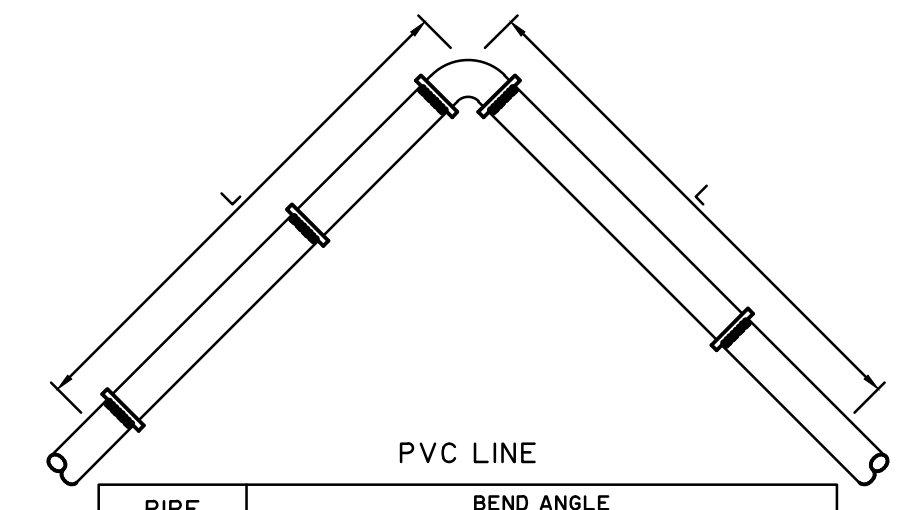


- NOTE:
1. THIS DETAIL APPLIES TO VALVES.
 2. IN UNPAVED AREAS, SET TOP OF CONC. COLLAR 1" ABOVE FINISHED GRADE. IN PAVED AREAS SET TOP OF BOX FLUSH W/ PAVEMENT. NO CONC. COLLAR REQUIRED.
 3. VALVE BOX SHALL NOT REST ON THE VALVE

2" WATER VALVE

	City of Port Wentworth TECHNICAL DETAILS	W-18
PREPARED BY SAUSSY ENGINEERING, LLC.		SCALE: N.T.S. DATED: FEBRUARY 2007

23.00000.0000 ENGINEERING/NOVARE SINGLE FAMILY PROJECT PLANS/REVISED 10/11/2022 9:58 AM



PVC LINE

PIPE DIA.	BEND ANGLE			
	11 1/4°	22 1/2°	45°	90°
4	3	6	12	29
6	4	8	17	41
8	5	11	22	53
10	6	13	26	64
12	7	15	31	75

DUCTILE IRON LINE

PIPE DIA.	BEND ANGLE			
	11 1/4°	22 1/2°	45°	90°
4	2	4	8	20
6	3	6	12	28
8	4	7	15	36
10	4	9	18	43
12	5	10	21	51
16	6	13	27	65
20	8	16	33	79
24	9	18	38	92

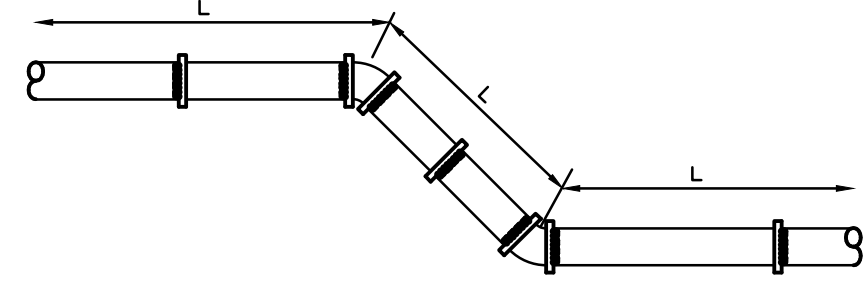
MINIMUM RESTRAINED LENGTH (L)

NOTES:
 1. LENGTH OF RESTRAINT SHOWN IS IN FEET.
 2. WHERE LINES CONSIST OF BOTH DUCTILE IRON AND PVC WITHIN THE LIMITS OF REQUIRED RESTRAINT, LIMITS FOR PVC SHALL APPLY.

STANDARD HORIZONTAL BEND RESTRAINT

City of Port Wentworth
 TECHNICAL DETAILS
W-27

PREPARED BY STEVENSON & PALMER ENGINEERING, INC. SCALE: N.T.S. DATED: FEBRUARY 2007



PVC LINE

PIPE DIA.	BEND ANGLE			
	11 1/4°	22 1/2°	45°	90°
4	5	10	22	52
6	7	15	30	74
8	9	19	40	96
10	11	23	48	115
12	13	27	56	136

DUCTILE IRON LINE

PIPE DIA.	BEND ANGLE			
	11 1/4°	22 1/2°	45°	90°
4	3	6	12	28
6	4	8	17	40
8	4	10	22	52
10	5	12	26	62
12	6	15	30	73
16	7	19	39	94
20	11	23	47	114
24	13	26	55	132

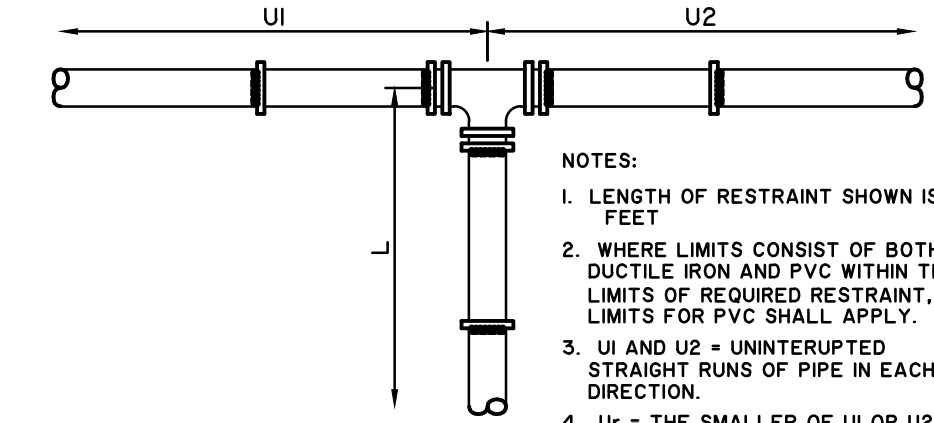
MINIMUM RESTRAINED LENGTH (L)

NOTES:
 1. LENGTH OF RESTRAINT SHOWN IS IN FEET.
 2. WHERE LINES CONSIST OF BOTH DUCTILE IRON AND PVC WITHIN THE LIMITS OF REQUIRED RESTRAINT, LIMITS FOR PVC SHALL APPLY.

STANDARD VERTICAL BEND RESTRAINT

City of Port Wentworth
 TECHNICAL DETAILS
W-28

PREPARED BY STEVENSON & PALMER ENGINEERING, INC. SCALE: N.T.S. DATED: FEBRUARY 2007



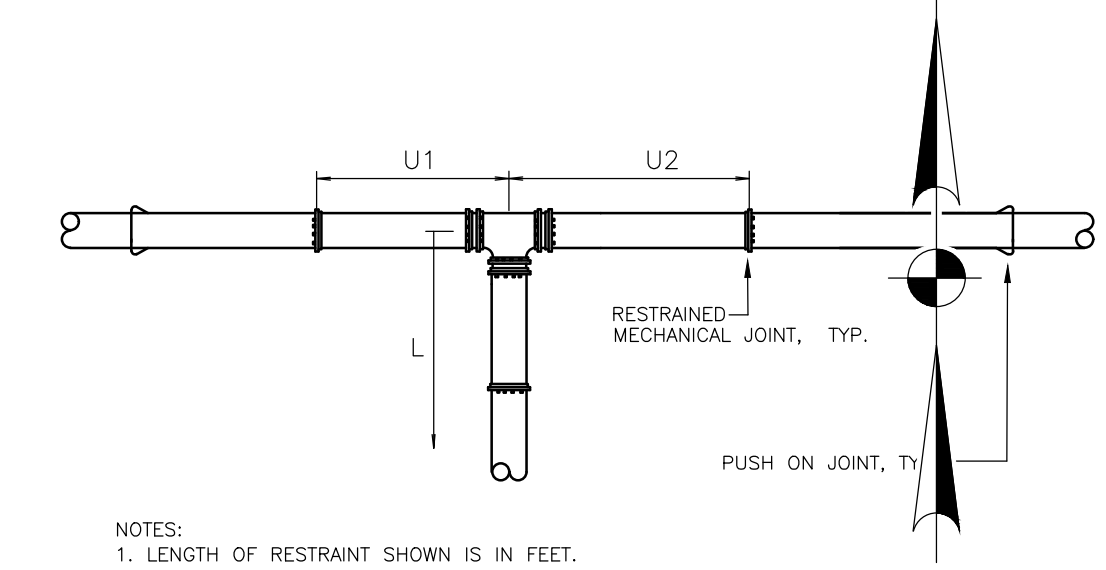
U ₁ - U ₂	5°-10°	11°-20°	21°-35°	> 35°
4x4	43	28	4	*
6x4	38	17	*	*
6x6	64	49	25	*
8x4	34	6	*	*
8x6	61	42	10	*
9x8	67	72	48	12
10x4	29	*	*	*
10x6	58	34	*	*
10x8	84	66	35	*
10x10	106	91	67	31
12x4	24	*	*	*
12x6	54	26	*	*
12x8	82	60	23	*
12x10	104	86	57	13
12x12	126	112	87	51

MINIMUM RESTRAINED LENGTH (L)
 * RESTRAIN AT TEE ONLY

STANDARD TEE RESTRAINT (PVC LINE)

City of Port Wentworth
 TECHNICAL DETAILS
W-29

PREPARED BY STEVENSON & PALMER ENGINEERING, INC. SCALE: N.T.S. DATED: FEBRUARY 2007



DUCTILE IRON LINE

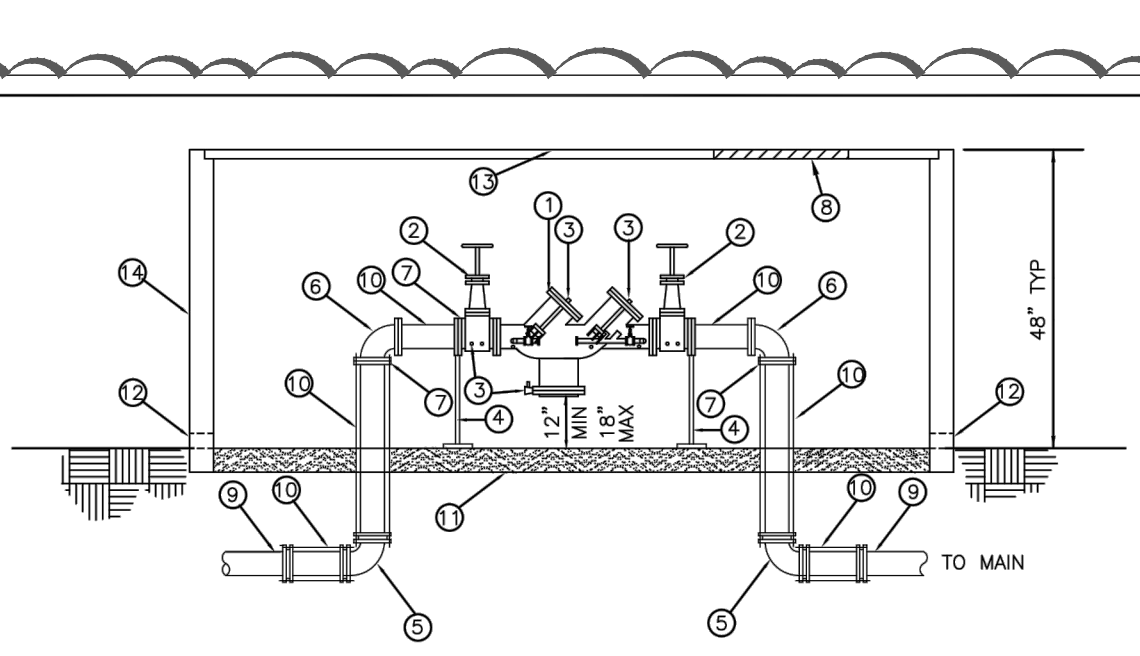
U ₁ - U ₂	5°-10°	11°-20°	21°-35°	36°-50°	50°-75°	75°-100°
4x4	23	15	2	*	*	*
6x4	21	9	*	*	*	*
6x6	35	27	14	*	*	*
8x4	18	3	*	*	*	*
8x6	33	23	5	*	*	*
8x8	47	39	26	6	*	*
10x4	16	*	*	*	*	*
10x6	37	18	*	*	*	*
10x8	46	36	19	*	*	*
10x10	57	49	36	17	*	*
12x4	13	*	*	*	*	*
12x6	30	14	*	*	*	*
12x8	44	32	13	*	*	*
12x10	56	47	31	7	*	*
12x12	68	60	47	28	*	*
16x6	26	*	*	*	*	*
16x8	41	25	*	*	*	*

MINIMUM RESTRAINED LENGTH (L)
 *RESTRAIN AT TEE ONLY.

STANDARD TEE RESTRAINT (DUCTILE IRON PIPE)

City of Port Wentworth
 TECHNICAL DETAILS
W-30

PREPARED BY STEVENSON & PALMER ENGINEERING, INC. SCALE: N.T.S. DATED: FEBRUARY 2007



MATERIALS

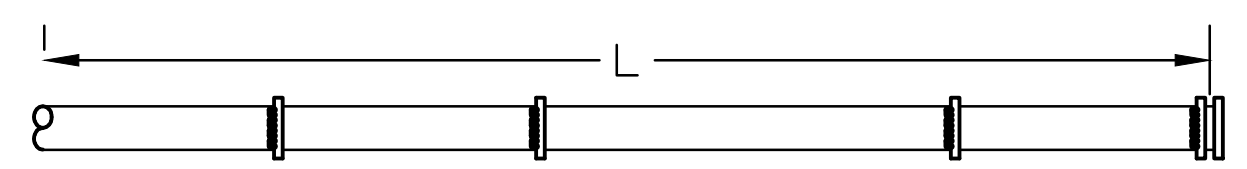
ITEM	QUAN.	DESCRIPTION
1	1	REDUCED PRESSURE ZONE DEVICE
2	2	O.S. & Y RESILIENT GATE VALVES
3	4	TEST COCKS
4	2	2\"/>

NOTES:
 1. FOR FINAL APPROVAL, ASSEMBLY MUST BE CENTERED IN ENCLOSURE. UNDER NO CONDITION WILL ANY CONNECTION BE ALLOWED BETWEEN THE SERVICE METER AND A BACKFLOW PREVENTER. BACKFLOW PREVENTER SHALL ALWAYS BE INSTALLED IMMEDIATELY DOWNSTREAM OF METER.
 2. IF A PRESSURE MONITOR IS TO BE INSTALLED, ADD A TEE, VALVE, FITTINGS, AND MOUNT ON SUPPLY.
 3. ALL MECHANICAL JOINTS MUST BE RESTRAINED.
 4. PROVIDE A MINIMUM CLEARANCE OF 12 INCHES BETWEEN THE INSIDE FACE OF THE ENCLOSURE AND THE PIPING AND VALVES.

TYPICAL OUTSIDE INSTALLATION
 (3\", 4\", 6\", 8\", & 10\"/>

RPZ DEVICE FOR DOMESTIC SYSTEM
 City of Port Wentworth
 TECHNICAL DETAILS
W-23

PREPARED BY SAUSSY ENGINEERING, LLC. SCALE: N.T.S. DATED: FEBRUARY 2007



DUCTILE IRON LINE

PIPE DIA.	L
4	28
6	40
8	52
10	62
12	73
16	94
20	114
24	132

PVC LINE

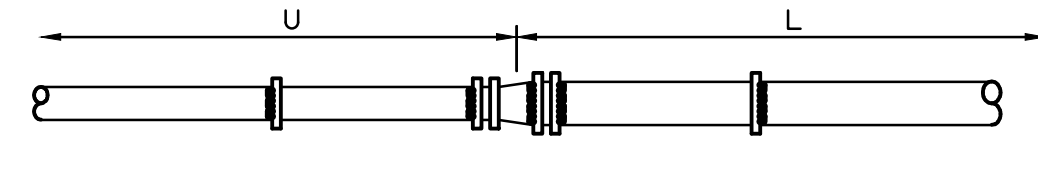
PIPE DIA.	L
4	52
6	74
8	96
10	115
12	136

NOTES:
 1. LENGTH OF RESTRAINT SHOWN IS IN FEET.
 2. WHERE LIMITS CONSIST OF BOTH DUCTILE IRON AND PVC WITHIN THE LIMITS OF REQUIRED RESTRAINT, LIMITS FOR PVC SHALL APPLY.
 3. FOR LINE STUBS (SEE DETAIL W39), THE LENGTH OF RESTRAINT (L) SHALL BE FROM THE VALVE AND NOT THE CAP.

STANDARD DEAD END RESTRAINT

City of Port Wentworth
 TECHNICAL DETAILS
W-31

PREPARED BY STEVENSON & PALMER ENGINEERING, INC. SCALE: N.T.S. DATED: FEBRUARY 2007



DUCTILE IRON LINE

REDUCER	U	L
6x4	30	21
8x4	72	38
8x6	29	22
10x4	123	51
10x6	63	38
10x8	26	21
12x4	186	64
12x6	106	53
12x8	59	39
12x10	26	21
16x6	214	79
16x8	141	68
16x10	91	56
16x12	54	40
20x10	174	84
20x12	123	71
20x16	51	40
24x12	207	97
24x16	113	72
24x20	48	39

PVC LINE

REDUCER	U	L
6x4	56	38
8x4	134	69
8x6	53	40
10x4	227	94
10x6	117	71
10x8	49	39
12x4	343	118
12x6	196	99
12x8	109	72
12x10	48	40

U = MINIMUM UNINTERRUPTED STRAIGHT RUN OF PIPE ON SMALL SIDE OF REDUCER.
 L = MINIMUM RESTRAINED LENGTH.
 * WHERE MINIMUM \"U\" IS NOT MET, PIPE ON LARGE SIDE OF REDUCER SHALL BE RESTRAINED FOR A MINIMUM OF \"L\" FEET.

NOTES:
 1. LENGTH OF RESTRAINT SHOWN IS IN FEET.
 2. WHERE LIMITS CONSIST OF BOTH DUCTILE IRON AND PVC WITHIN THE LIMITS OF REQUIRED RESTRAINT, LIMITS FOR PVC SHALL APPLY.

STANDARD REDUCER RESTRAINT

City of Port Wentworth
 TECHNICAL DETAILS
W-32

PREPARED BY STEVENSON & PALMER ENGINEERING, INC. SCALE: N.T.S. DATED: FEBRUARY 2007



NO.	REVISIONS	DATE
2	PER T.R. LONG REVIEW COMMENTS DATED 8/11/22	9/02/22

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NOVARE GROUP - PORT WENTWORTH SFR, LLC
 PORT WENTWORTH, GEORGIA
 SINGLE FAMILY RENTAL - PARCEL 4
WATER & SEWER DETAILS

JOB NO:	J-28595.0004
DATE:	7/5/2022
DRAWN:	JB
DESIGNED:	SKM
REVIEWED:	SKM
APPROVED:	SKM
SCALE:	1\"/>



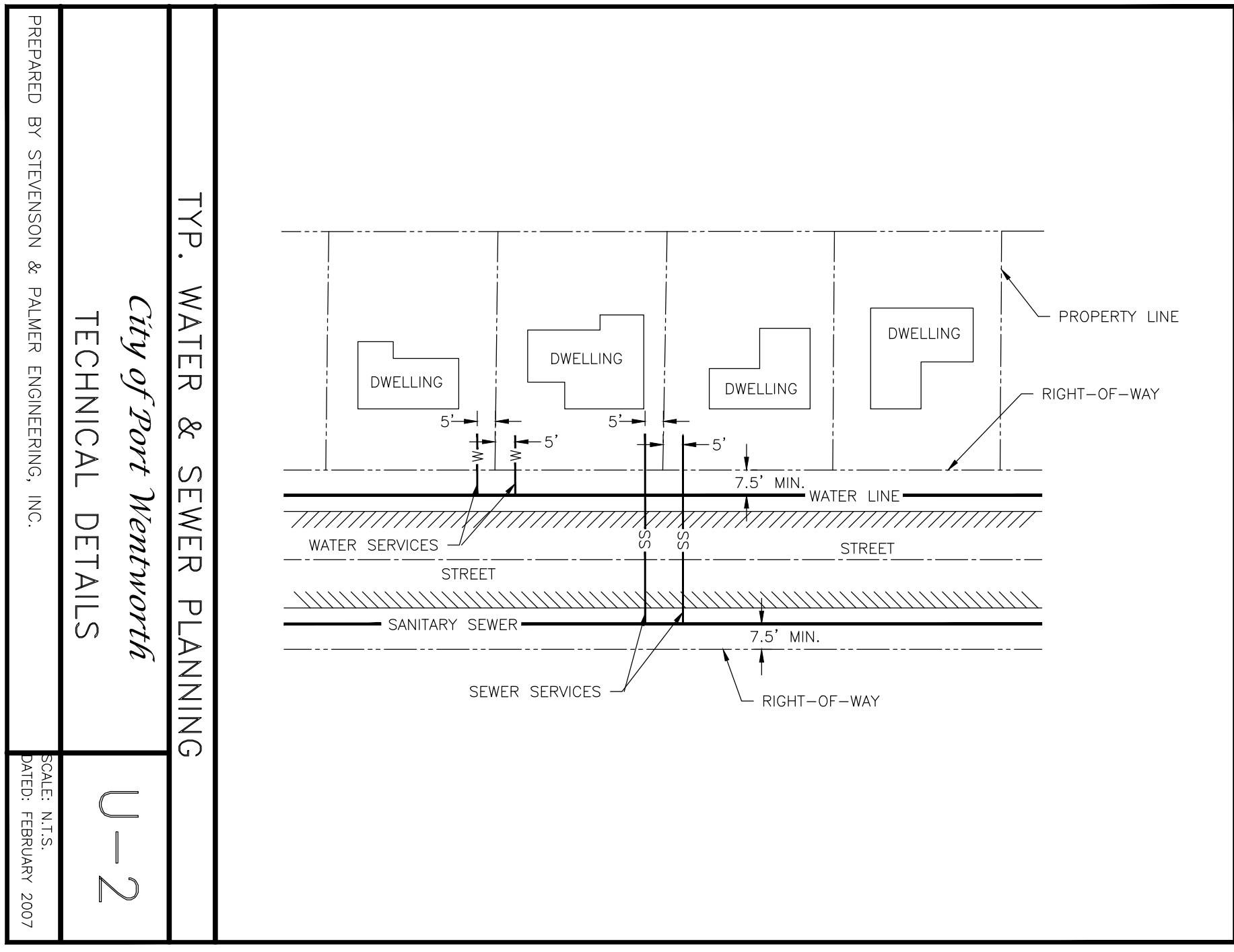
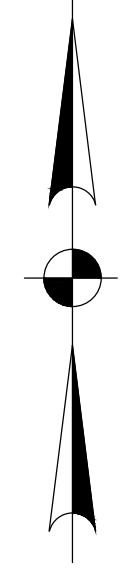
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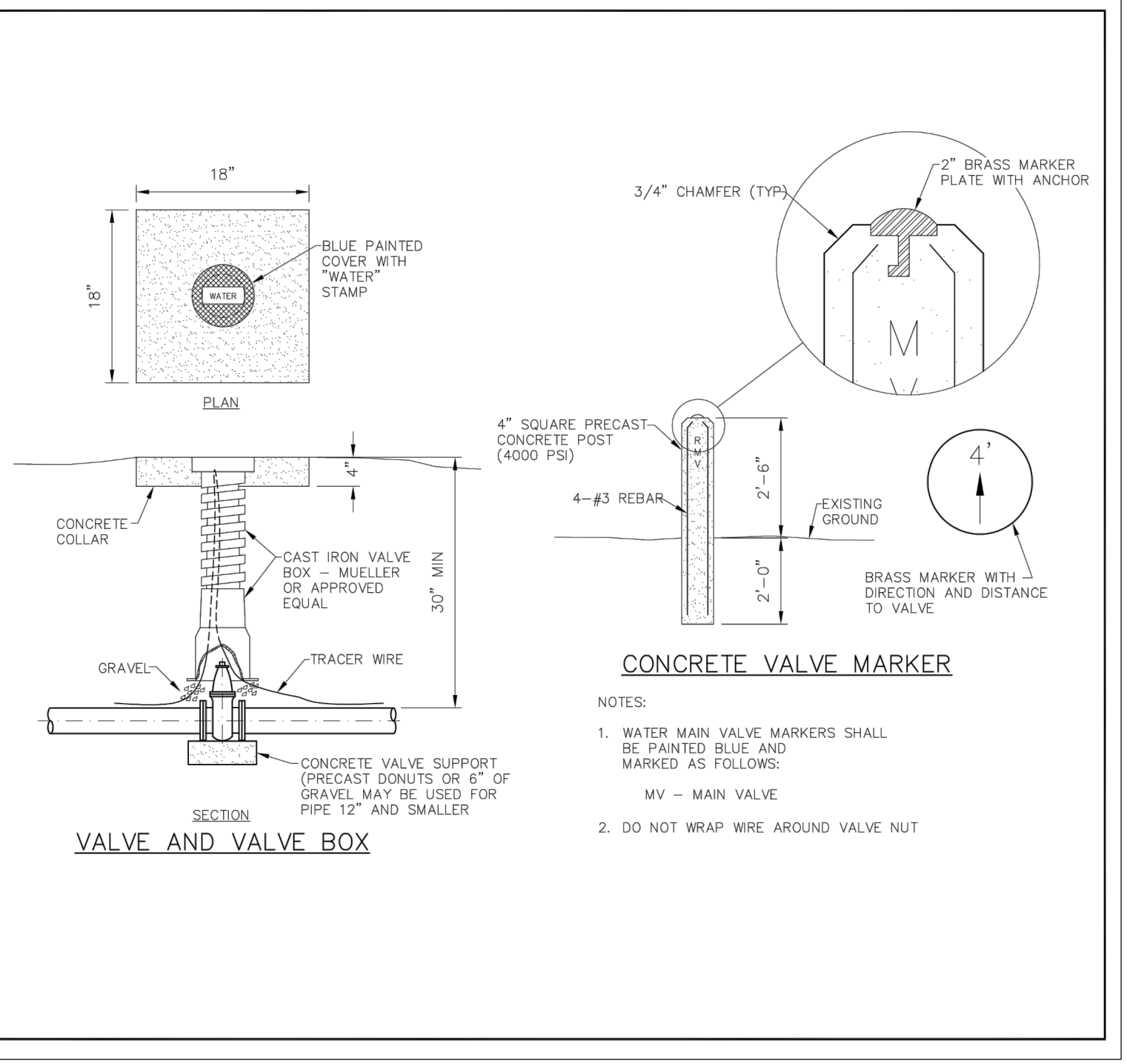
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 PORT WENTWORTH, GEORGIA
 SINGLE FAMILY RENTAL - PARCEL 4
WATER & SEWER DETAILS

JOB NO:	J-28595.0004
DATE:	7/5/2022
DESIGNED:	SKM
REVIEWED:	SKM
APPROVED:	SKM
SCALE:	1" = 1'

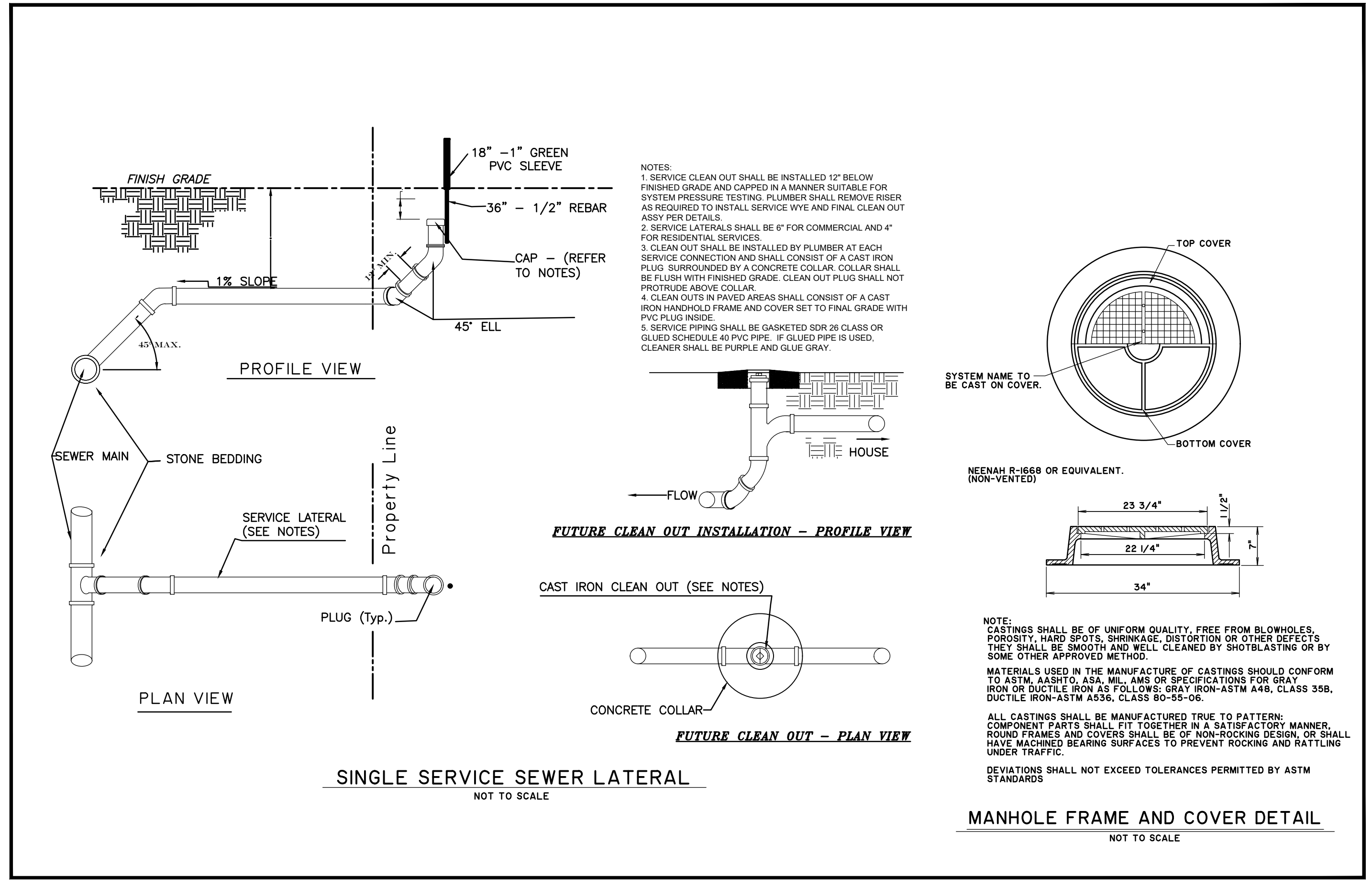
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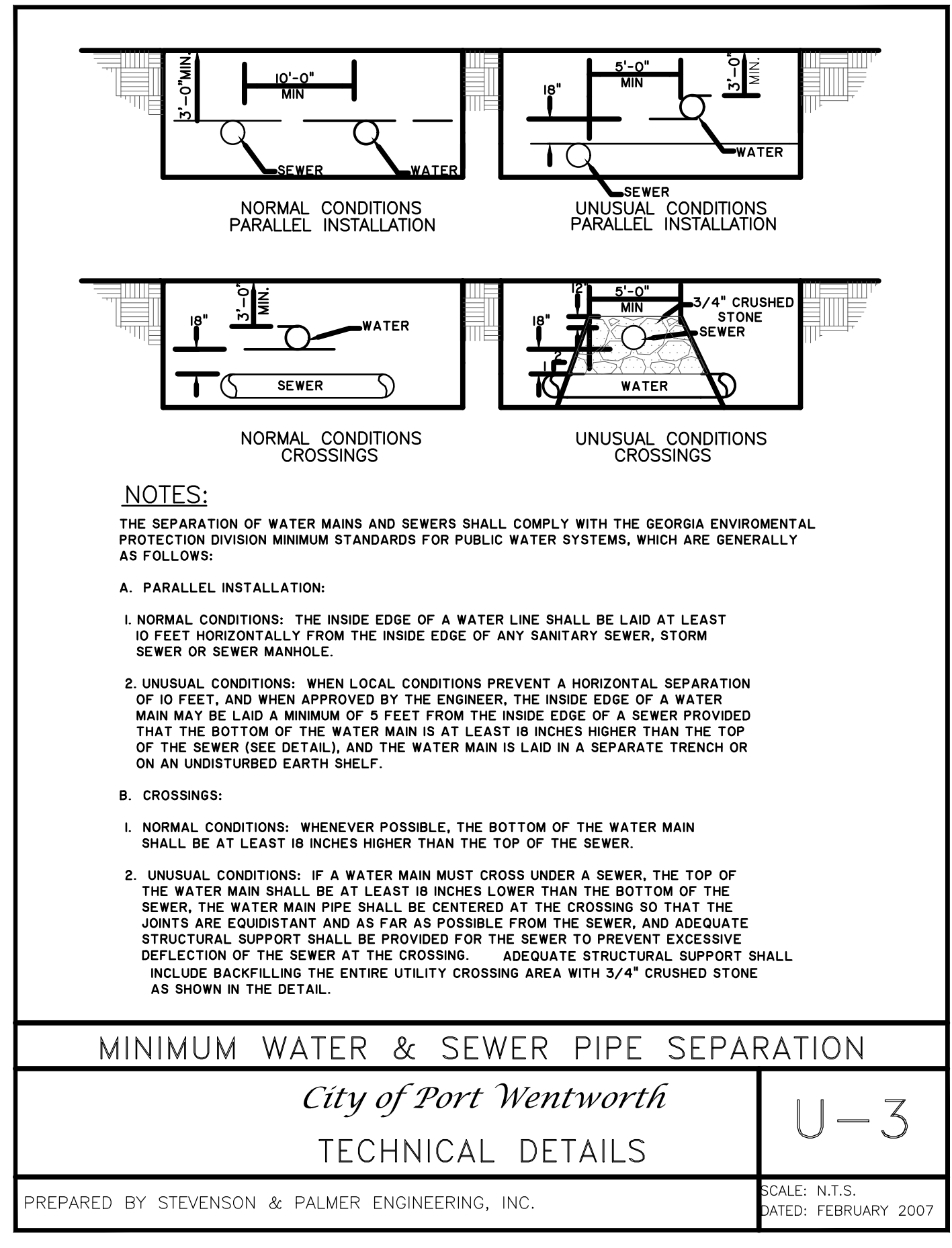
TYP. WATER & SEWER PLANNING
 City of Port Wentworth
 TECHNICAL DETAILS
 U-2
 PREPARED BY STEVENSON & PALMER ENGINEERING, INC.
 SCALE: N.T.S.
 DATED: FEBRUARY 2007



WATER VALVE 4" OR 6"
 City of Port Wentworth
 TECHNICAL DETAILS
 W-36
 PREPARED BY SAUSSEY ENGINEERING, LLC.
 SCALE: N.T.S.
 DATED: FEBRUARY 2007

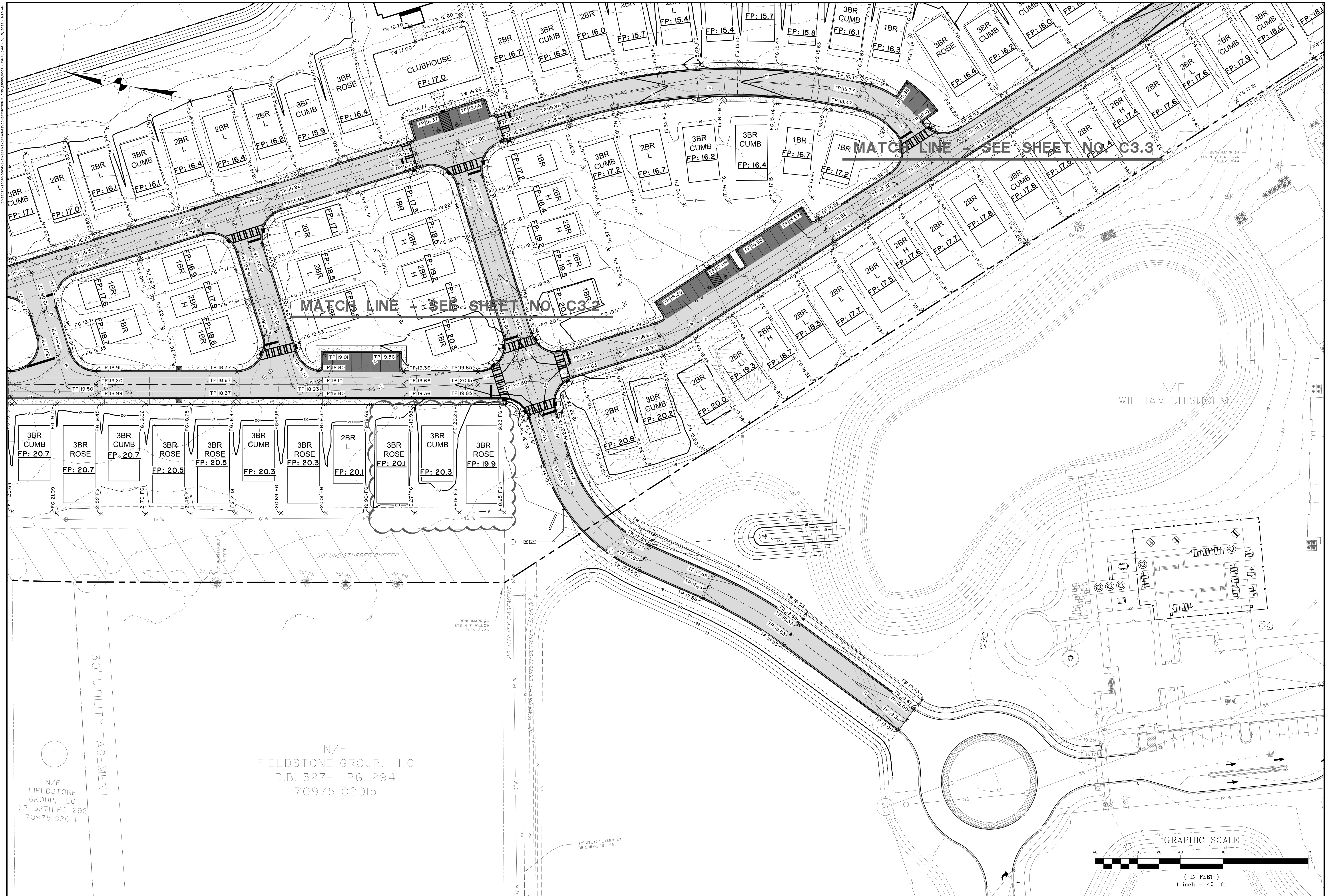


SINGLE SERVICE SEWER LATERAL
 NOT TO SCALE
 NOTES:
 1. SERVICE CLEAN OUT SHALL BE INSTALLED 12" BELOW FINISHED GRADE AND CAPPED IN A MANNER SUITABLE FOR SYSTEM PRESSURE TESTING. PLUMBER SHALL REMOVE RISER AS REQUIRED TO INSTALL SERVICE WYE AND FINAL CLEAN OUT ASSY PER DETAILS.
 2. SERVICE LATERALS SHALL BE 6" FOR COMMERCIAL AND 4" FOR RESIDENTIAL SERVICES.
 3. CLEAN OUT SHALL BE INSTALLED BY PLUMBER AT EACH SERVICE CONNECTION AND SHALL CONSIST OF A CAST IRON PLUG SURROUNDED BY A CONCRETE COLLAR. COLLAR SHALL BE FLUSH WITH FINISHED GRADE. CLEAN OUT PLUG SHALL NOT PROTRUDE ABOVE COLLAR.
 4. CLEAN OUTS IN PAVED AREAS SHALL CONSIST OF A CAST IRON HANDHOLD FRAME AND COVER SET TO FINAL GRADE WITH PVC PLUG INSIDE.
 5. SERVICE PIPING SHALL BE GASKETED SDR 26 CLASS OR GLEED SCHEDULE 40 PVC PIPE. IF GLEED PIPE IS USED, CLEANER SHALL BE PURPLE AND GLUE GRAY.
 MATERIALS USED IN THE MANUFACTURE OF CASTINGS SHOULD CONFORM TO ASTM, AASHTO, A5A, MIL, AMS OR SPECIFICATIONS FOR GRAY IRON OR DUCTILE IRON AS FOLLOWS: GRAY IRON-ASTM A48, CLASS 35B, DUCTILE IRON-ASTM A536, CLASS 80-55-06.
 ALL CASTINGS SHALL BE MANUFACTURED TRUE TO PATTERN. COMPONENT PARTS SHALL FIT TOGETHER IN A SATISFACTORY MANNER. ROUND FRAMES AND COVERS SHALL BE OF NON-ROCKING DESIGN, OR SHALL HAVE MACHINED BEARING SURFACES TO PREVENT ROCKING AND RATTLING UNDER TRAFFIC.
 DEVIATIONS SHALL NOT EXCEED TOLERANCES PERMITTED BY ASTM STANDARDS



MINIMUM WATER & SEWER PIPE SEPARATION
 City of Port Wentworth
 TECHNICAL DETAILS
 U-3
 PREPARED BY STEVENSON & PALMER ENGINEERING, INC.
 SCALE: N.T.S.
 DATED: FEBRUARY 2007

- NOTES:**
 THE SEPARATION OF WATER MAINS AND SEWERS SHALL COMPLY WITH THE GEORGIA ENVIRONMENTAL PROTECTION DIVISION MINIMUM STANDARDS FOR PUBLIC WATER SYSTEMS, WHICH ARE GENERALLY AS FOLLOWS:
- A. PARALLEL INSTALLATION:**
- NORMAL CONDITIONS:** THE INSIDE EDGE OF A WATER LINE SHALL BE LAID AT LEAST 10 FEET HORIZONTALLY FROM THE INSIDE EDGE OF ANY SANITARY SEWER, STORM SEWER OR SEWER MANHOLE.
 - UNUSUAL CONDITIONS:** WHEN LOCAL CONDITIONS PREVENT A HORIZONTAL SEPARATION OF 10 FEET, AND WHEN APPROVED BY THE ENGINEER, THE INSIDE EDGE OF A WATER MAIN MAY BE LAID A MINIMUM OF 5 FEET FROM THE INSIDE EDGE OF A SEWER PROVIDED THAT THE BOTTOM OF THE WATER MAIN IS AT LEAST 18 INCHES HIGHER THAN THE TOP OF THE SEWER (SEE DETAIL), AND THE WATER MAIN IS LAID IN A SEPARATE TRENCH OR ON AN UNDISTURBED EARTH SHELF.
- B. CROSSINGS:**
- NORMAL CONDITIONS:** WHENEVER POSSIBLE, THE BOTTOM OF THE WATER MAIN SHALL BE AT LEAST 18 INCHES HIGHER THAN THE TOP OF THE SEWER.
 - UNUSUAL CONDITIONS:** IF A WATER MAIN MUST CROSS UNDER A SEWER, THE TOP OF THE WATER MAIN SHALL BE AT LEAST 18 INCHES LOWER THAN THE BOTTOM OF THE SEWER, THE WATER MAIN PIPE SHALL BE CENTERED AT THE CROSSING SO THAT THE JOINTS ARE EQUIDISTANT AND AS FAR AS POSSIBLE FROM THE SEWER, AND ADEQUATE STRUCTURAL SUPPORT SHALL BE PROVIDED FOR THE SEWER TO PREVENT EXCESSIVE DEFLECTION OF THE SEWER AT THE CROSSING. ADEQUATE STRUCTURAL SUPPORT SHALL INCLUDE BACKFILLING THE ENTIRE UTILITY CROSSING AREA WITH 3/4" CRUSHED STONE AS SHOWN IN THE DETAIL.



NO.	REVISIONS	BY	DATE

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NOVARE GROUP - PORT WENTWORTH SFR, LLC
 PORT WENTWORTH, GEORGIA
 SINGLE FAMILY RENTAL - PARCEL 4
PAVING & GRADING PLAN

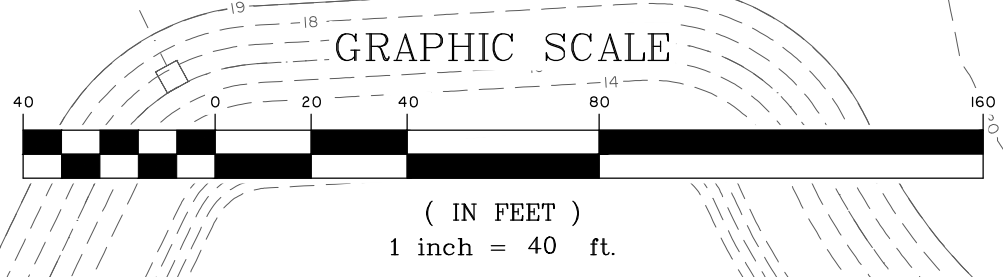
JOB NO:	J-28595.0004
DATE:	7/5/2022
DESIGNED:	SKM
REVIEWED:	SKM
APPROVED:	SKM
SCALE:	1" = 40'

C3.1

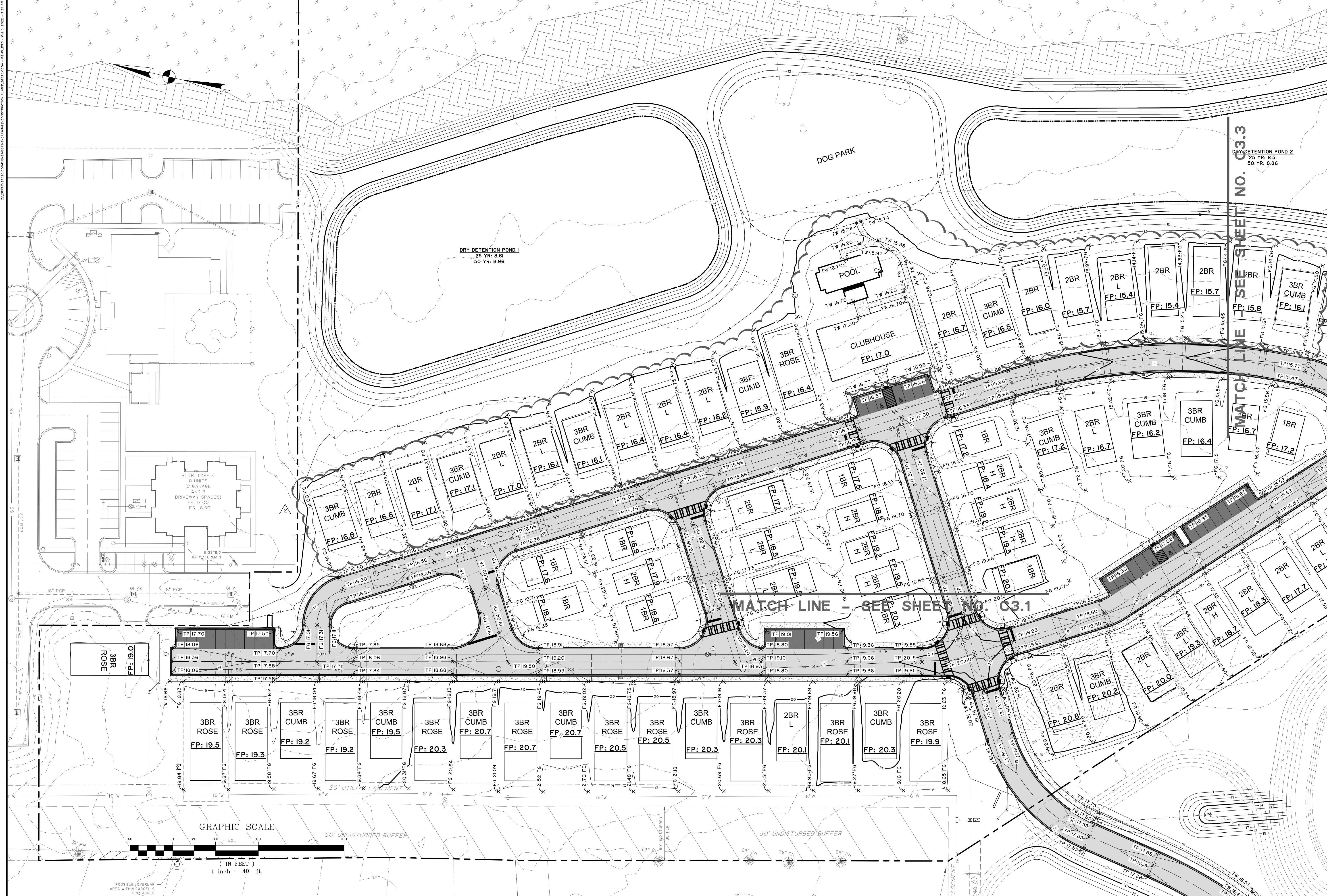
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N/F
 FIELDSTONE GROUP, LLC
 D.B. 327H PG. 292
 70975 02014

N/F
 FIELDSTONE GROUP, LLC
 D.B. 327-H PG. 294
 70975 02015



Attachment: Novare Single Rental 7-0906-04-024 S-Site Plan 10.5.22 - Site Plan 10.5.22 (2713) - Site Plan Review Application Novare Single Family Project (Specific NOV 2022)



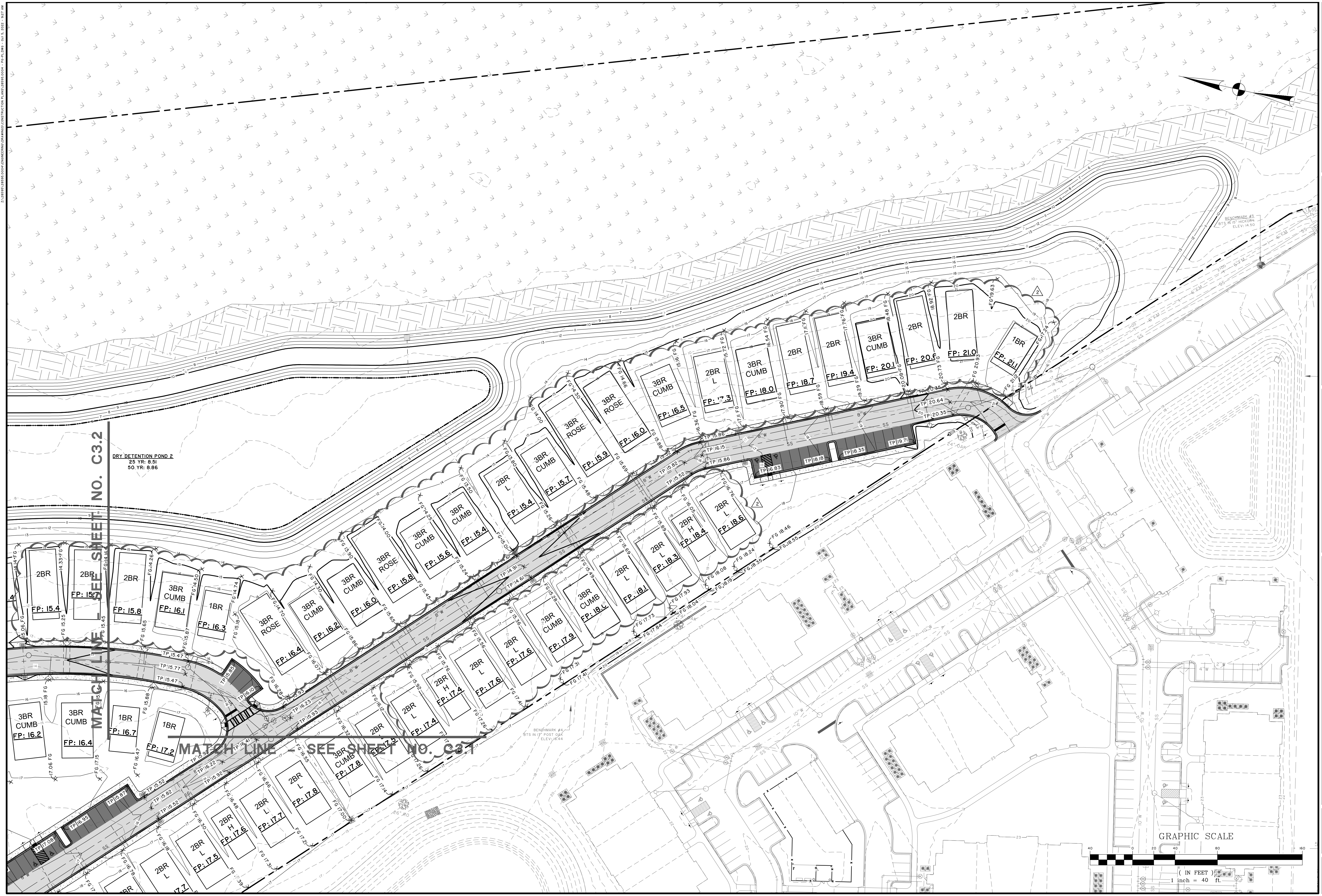
NO.	REVISIONS	DATE
2	PER T.R. LONG REVIEW COMMENTS DATED 8/11/22	9/02/22

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PAVING & GRADING PLAN

JOB NO: J-28595.0004
 DATE: 7/5/2022
 DRAWN: JBJ
 DESIGNED: SKM
 REVIEWED: SKM
 APPROVED: SKM
 SCALE: 1" = 40'

C3.2



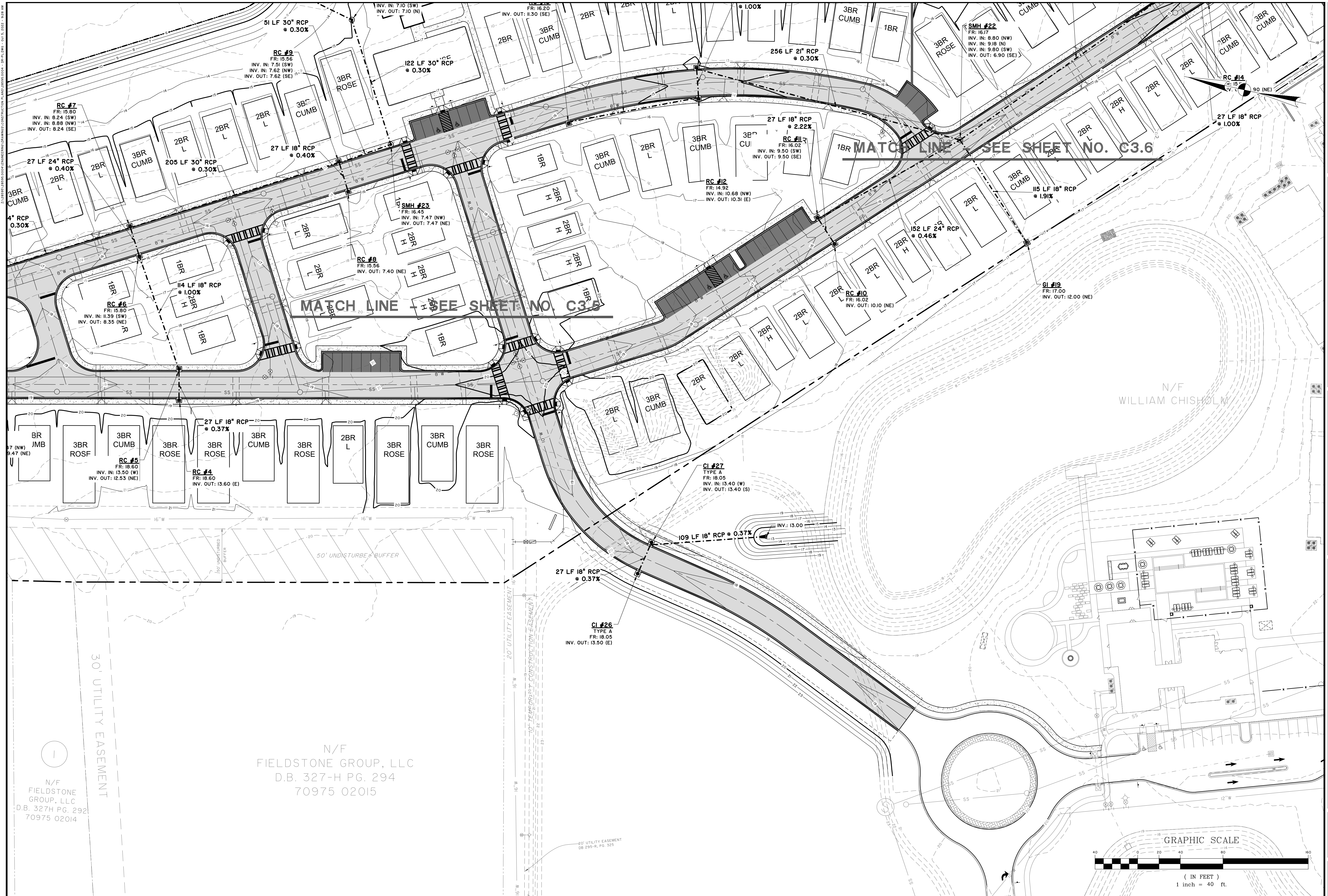
NO.	REVISIONS	DATE	BY
2	PER T.R. LONG REVIEW COMMENTS DATED 8/11/22	9/02/22	SGJ

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 SINGLE FAMILY RENTAL - PARCEL 4
PAVING & GRADING PLAN

JOB NO: J-28595.0004
 DATE: 7/5/2022
 DRAWN: JBJ
 DESIGNED: SKM
 REVIEWED: SKM
 APPROVED: SKM
 SCALE: 1" = 40'

C3.3



NO.	REVISIONS	BY	DATE

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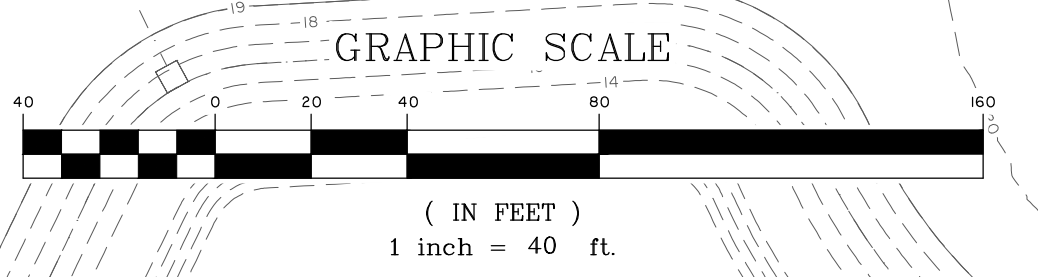
NOVARE GROUP - PORT WENTWORTH SFR, LLC
 PORT WENTWORTH, GEORGIA
 SINGLE FAMILY RENTAL - PARCEL 4
DRAINAGE PLAN

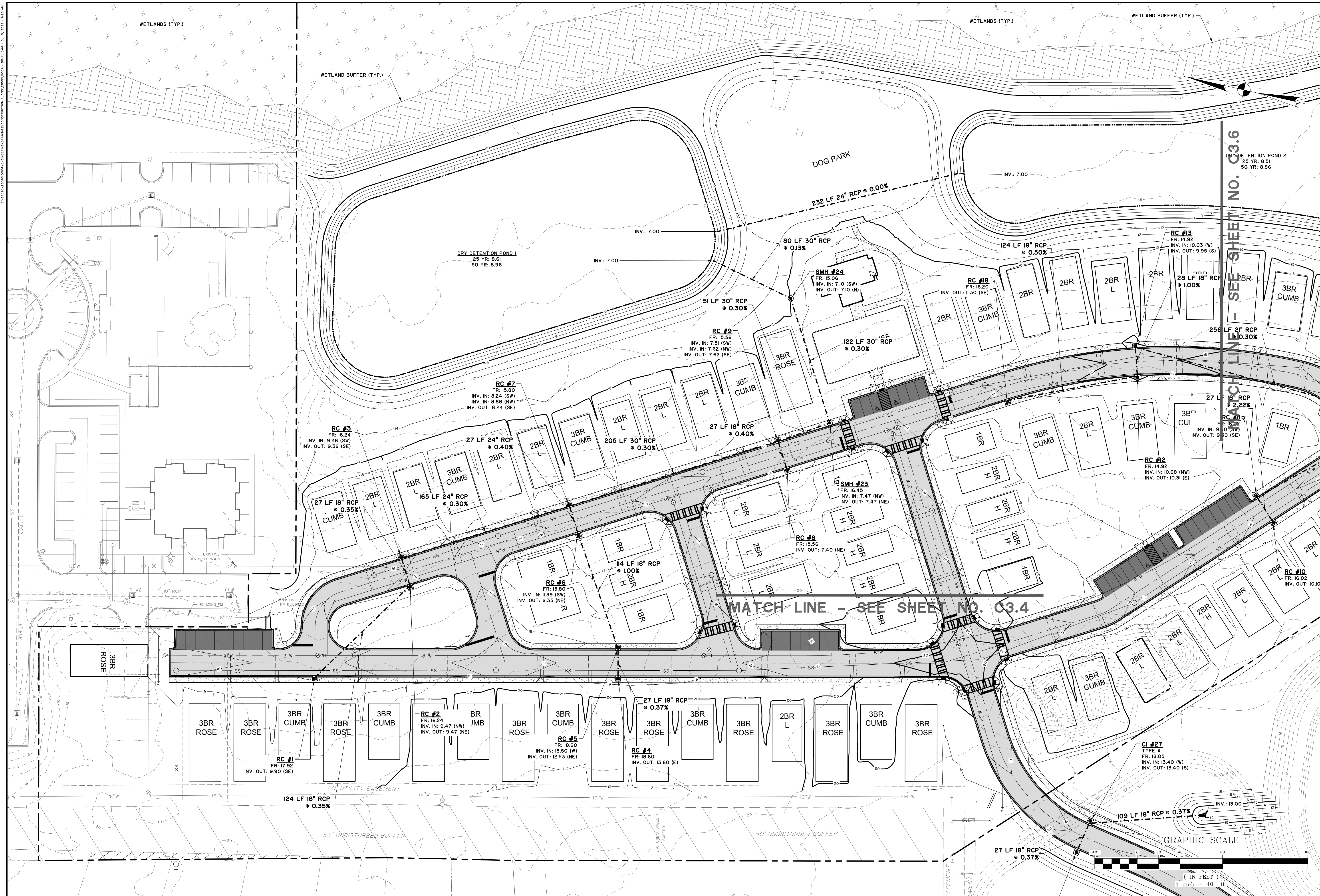
JOB NO: J-28595.0004
 DATE: 7/5/2022
 DRAWN: JBJ
 DESIGNED: SKM
 REVIEWED: SKM
 APPROVED: SKM
 SCALE: 1" = 40'

C3.4

N/F
 FIELDSTONE GROUP, LLC
 D.B. 327H PG. 292
 70975 02014

N/F
 FIELDSTONE GROUP, LLC
 D.B. 327-H PG. 294
 70975 02015





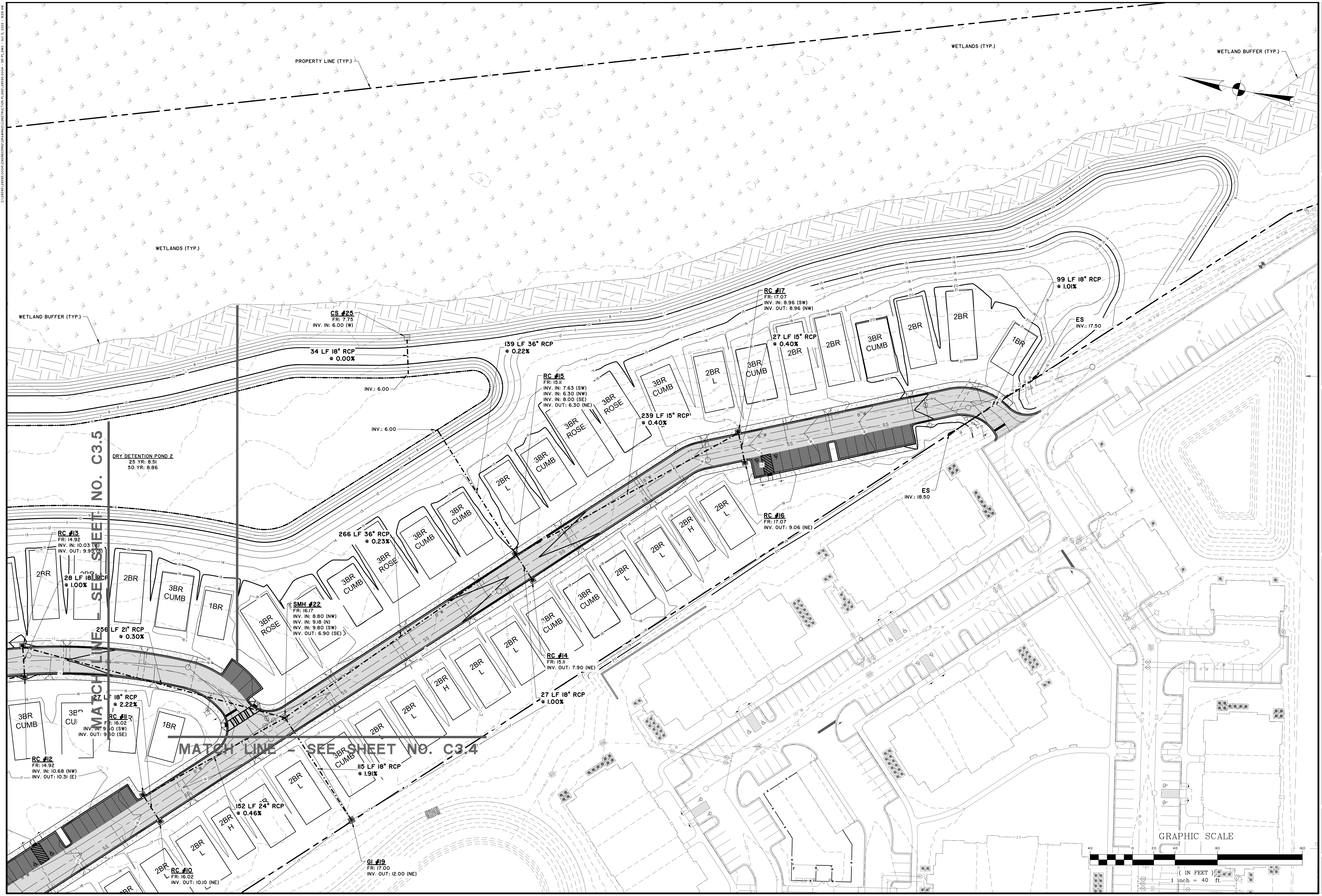
NO.	REVISIONS	BY	DATE

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 PORT WENTWORTH, GEORGIA
 SINGLE FAMILY RENTAL - PARCEL 4
DRAINAGE PLAN

JOB NO:	J-28595.0004
DATE:	7/5/2022
DRAWN:	BJJ
DESIGNED:	SKM
REVIEWED:	SKM
APPROVED:	SKM
SCALE:	1" = 40'

C3.5



NO.	REVISIONS	BY	DATE

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NOVARE GROUP - PORT WENTWORTH SFR, LLC
 PORT WENTWORTH, GEORGIA
 SINGLE FAMILY RENTAL - PARCEL 4
DRAINAGE PLAN

JOB NO:	J-28595.0004
DATE:	7/5/2022
DRAWN:	JBJ
DESIGNED:	SKM
REVIEWED:	SKM
APPROVED:	SKM
SCALE:	1" = 40'

C3.6



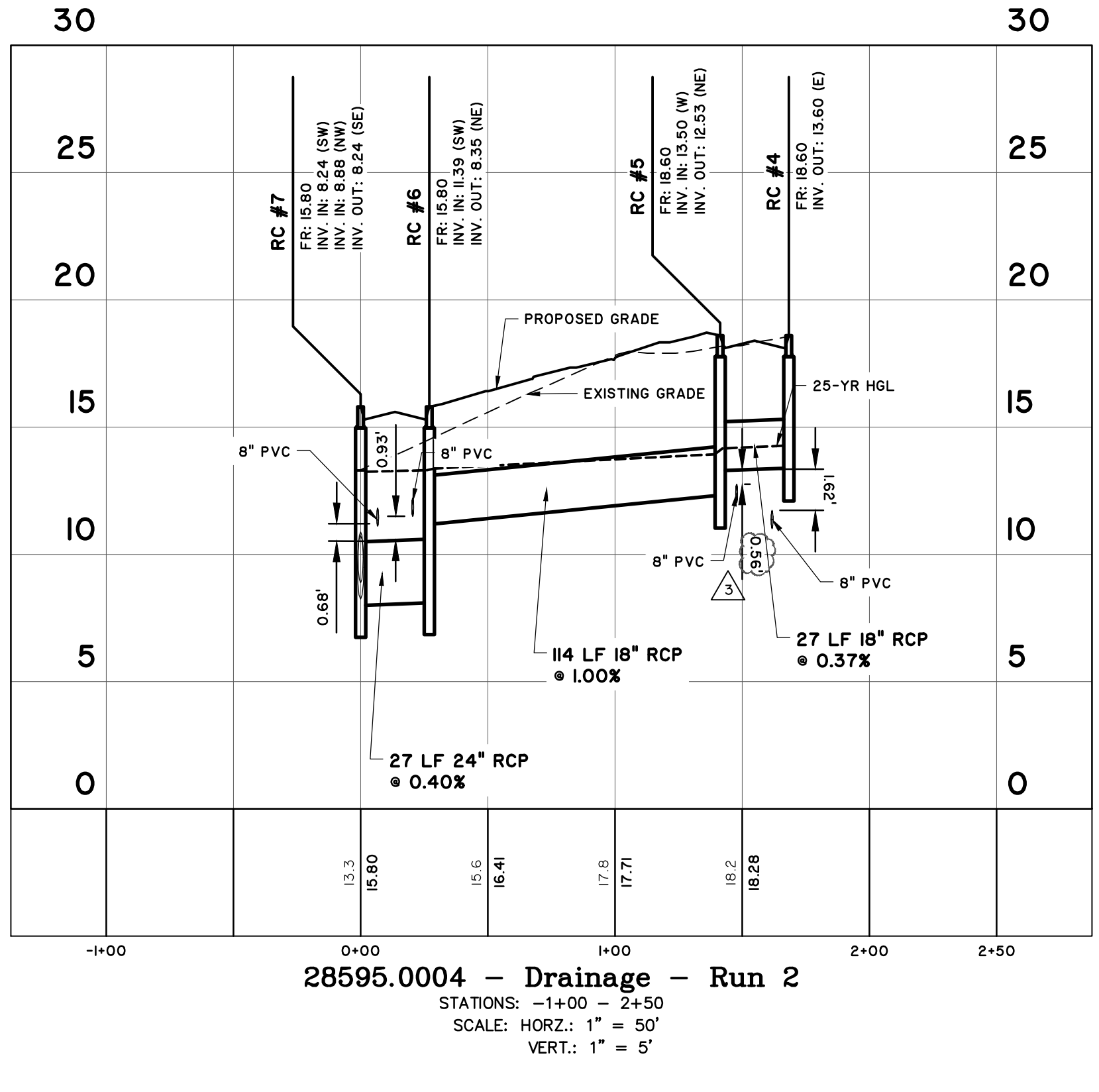
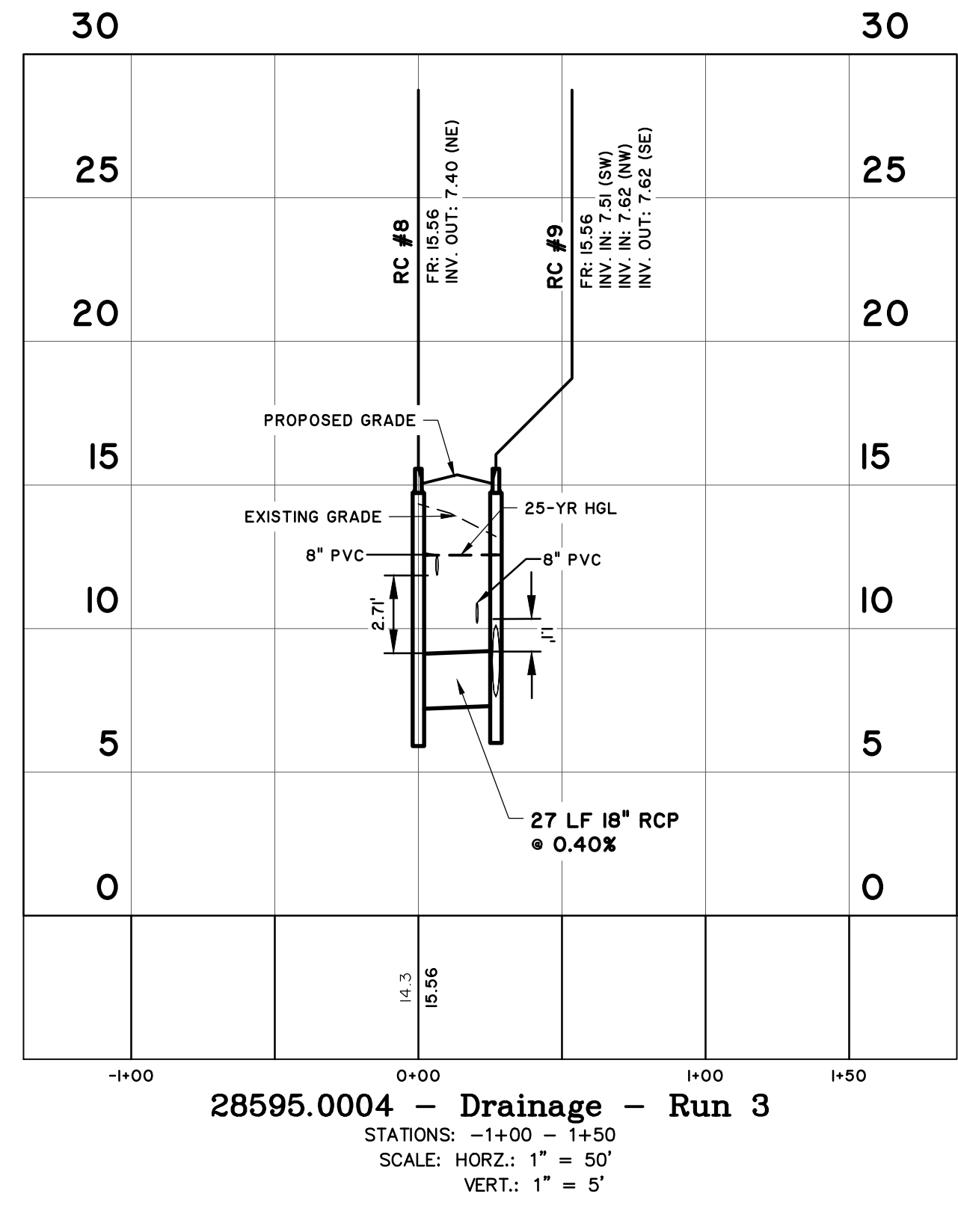
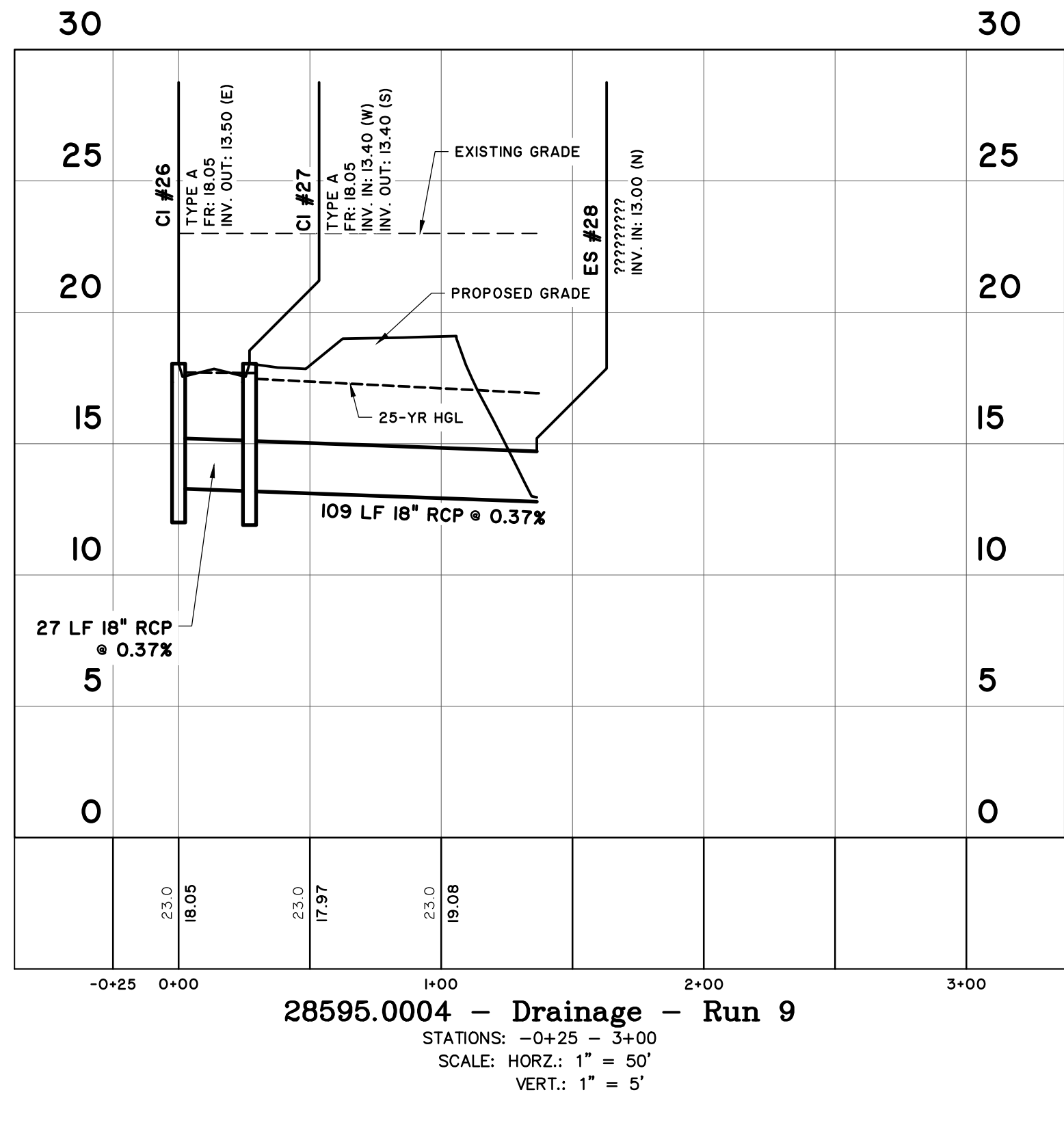
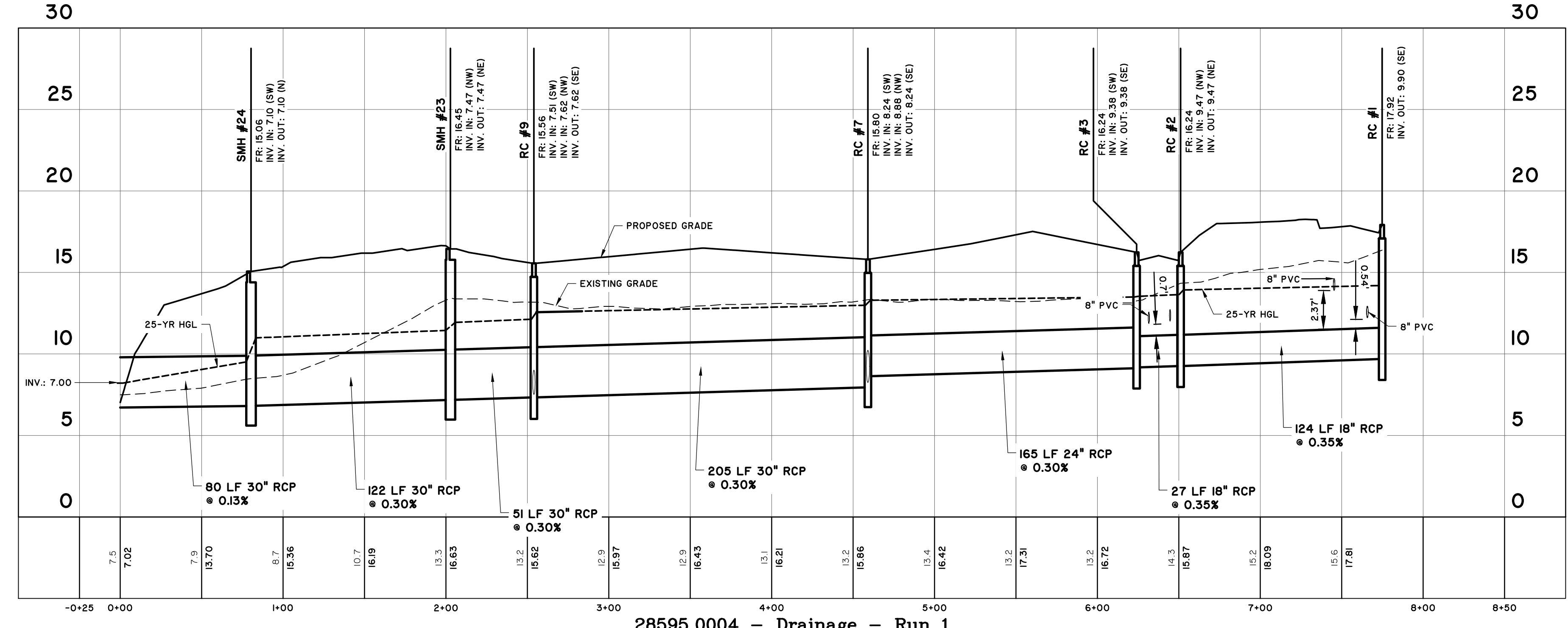
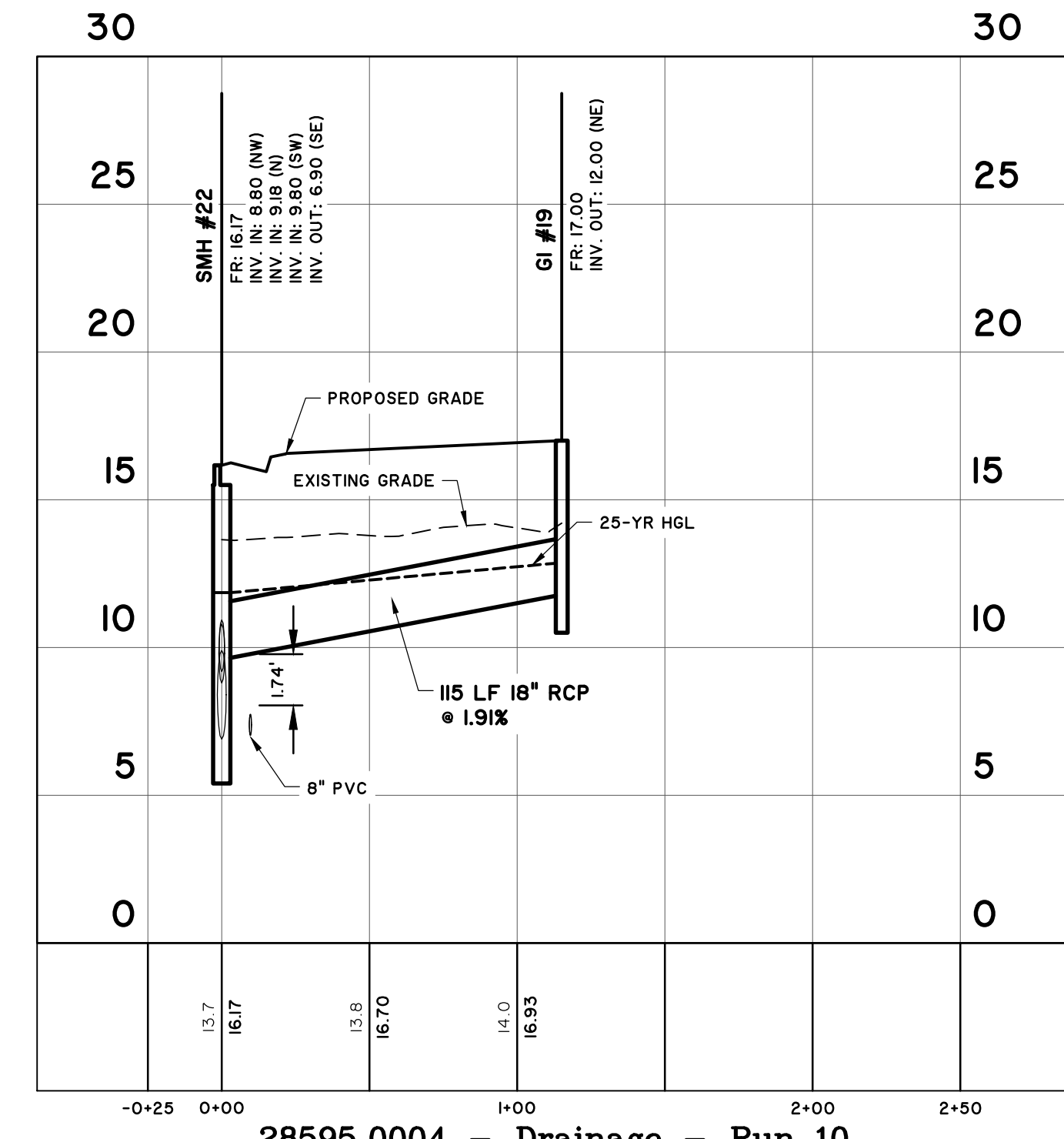
NO.	REVISIONS	BY	DATE
3	PER I.T. LONG REVIEW COMMENTS DATED 10/04/22	SGJ	10/05/22

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 Savannah, GA 31405 • 912.234.5300
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NOVARE GROUP - PORT WENTWORTH SFR, LLC
 PORT WENTWORTH, GEORGIA
 SINGLE FAMILY RENTAL - PARCEL 4
DRAINAGE PROFILES

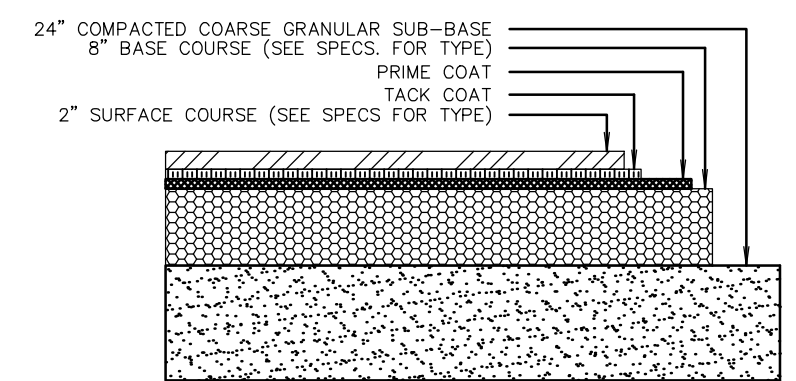
JOB NO:	J-28595.0004
DATE:	7/5/2022
DRAWN:	JBJ
DESIGNED:	SKM
REVIEWED:	SKM
APPROVED:	SKM
SCALE:	AS NOTED

C3.8

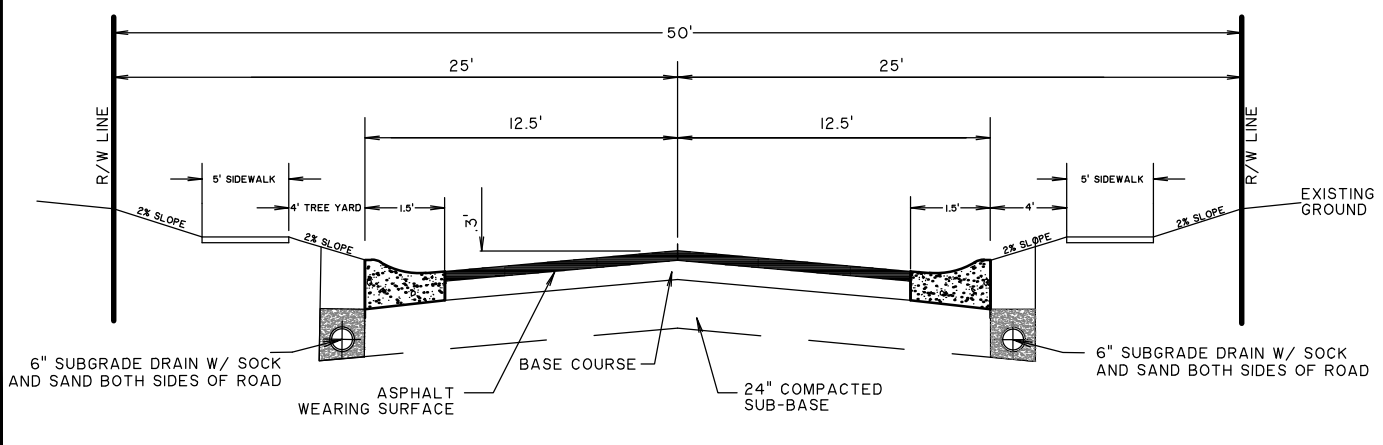


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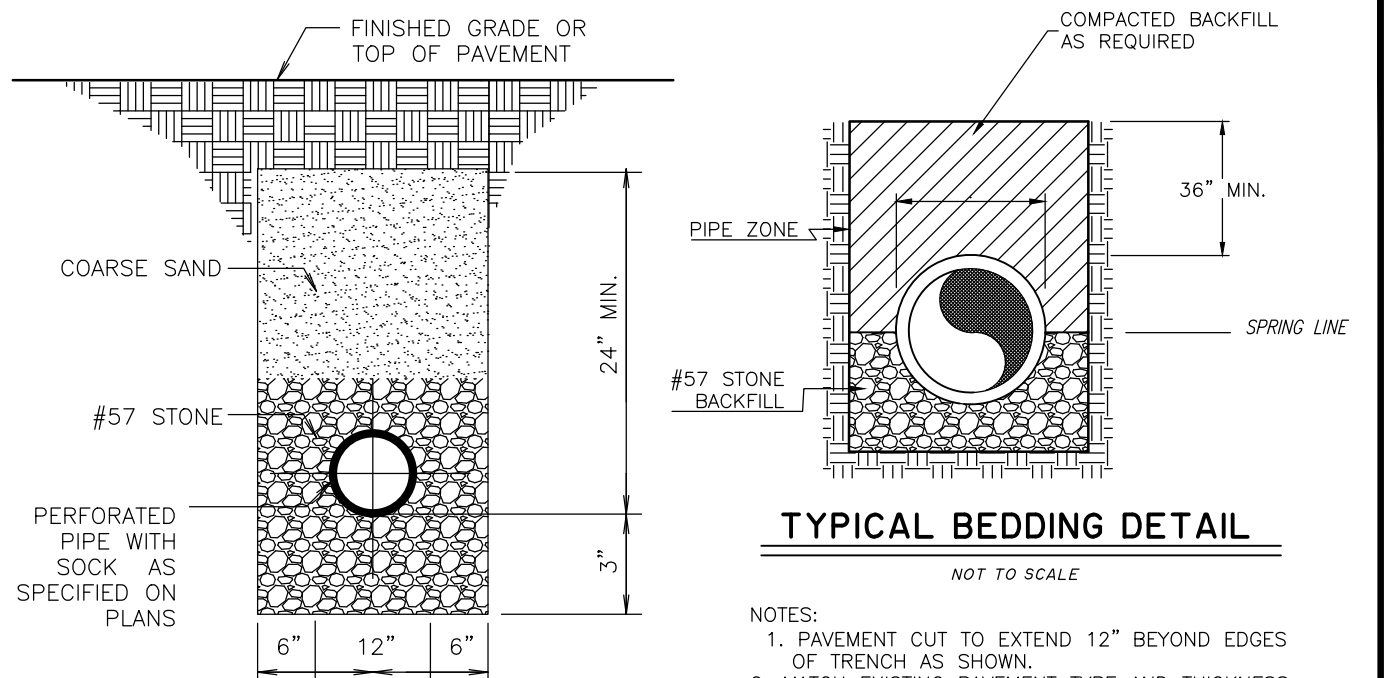
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**PAVEMENT SECTION
TYPICAL FOR NEIGHBORHOOD STREETS**
NOT TO SCALE

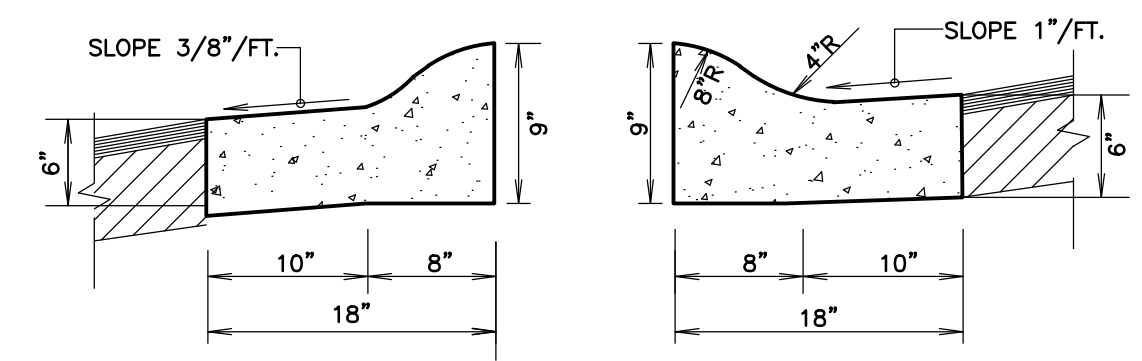


**TYPICAL SECTION
ROLL-OVER CURB
(TYPICAL FOR NEIGHBORHOOD STREETS)**
NOT TO SCALE



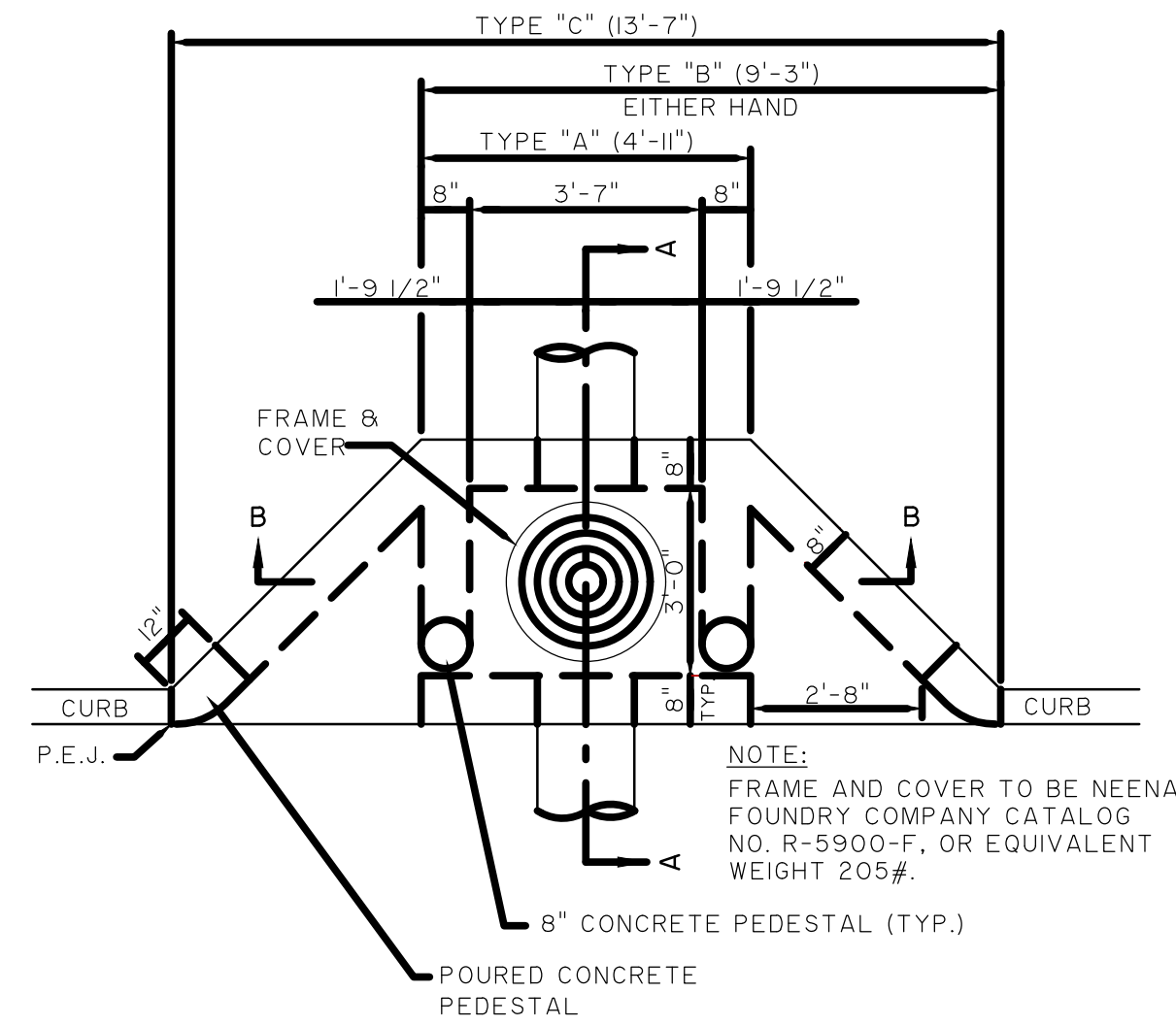
SUBGRADE DRAIN DETAIL
NOT TO SCALE

- NOTES:
1. 6" PIPE SHALL BE ADS 6" DIA. PERFORATED TUBING OR APPROVED EQUIVALENT.
2. COARSE SAND BACKFILL SHALL BE USED.
3. MINIMUM GRADIENT FOR ALL SUBGRADE DRAIN SHALL BE 0.15%.



PITCH CURB **NORMAL CURB**

- NOTES:
1. ALL CONCRETE SHALL BE 3,000 PSI.
2. PROVIDE CONTROL JOINTS EVERY TEN FEET (10').
3. PROVIDE EXPANSION JOINTS EVERY FIFTY FEET (50).
4. PROVIDE EXPANSION JOINT WHERE CURB ABUTS SIDEWALKS, OR OTHER STRUCTURES.
5. PROVIDE LIGHT BROOM FINISH.
6. REFER TO CITY OF PORT WENTWORTH DETAIL: SD-10
- 18" ROLL-OVER CURB & GUTTER**
NOT TO SCALE

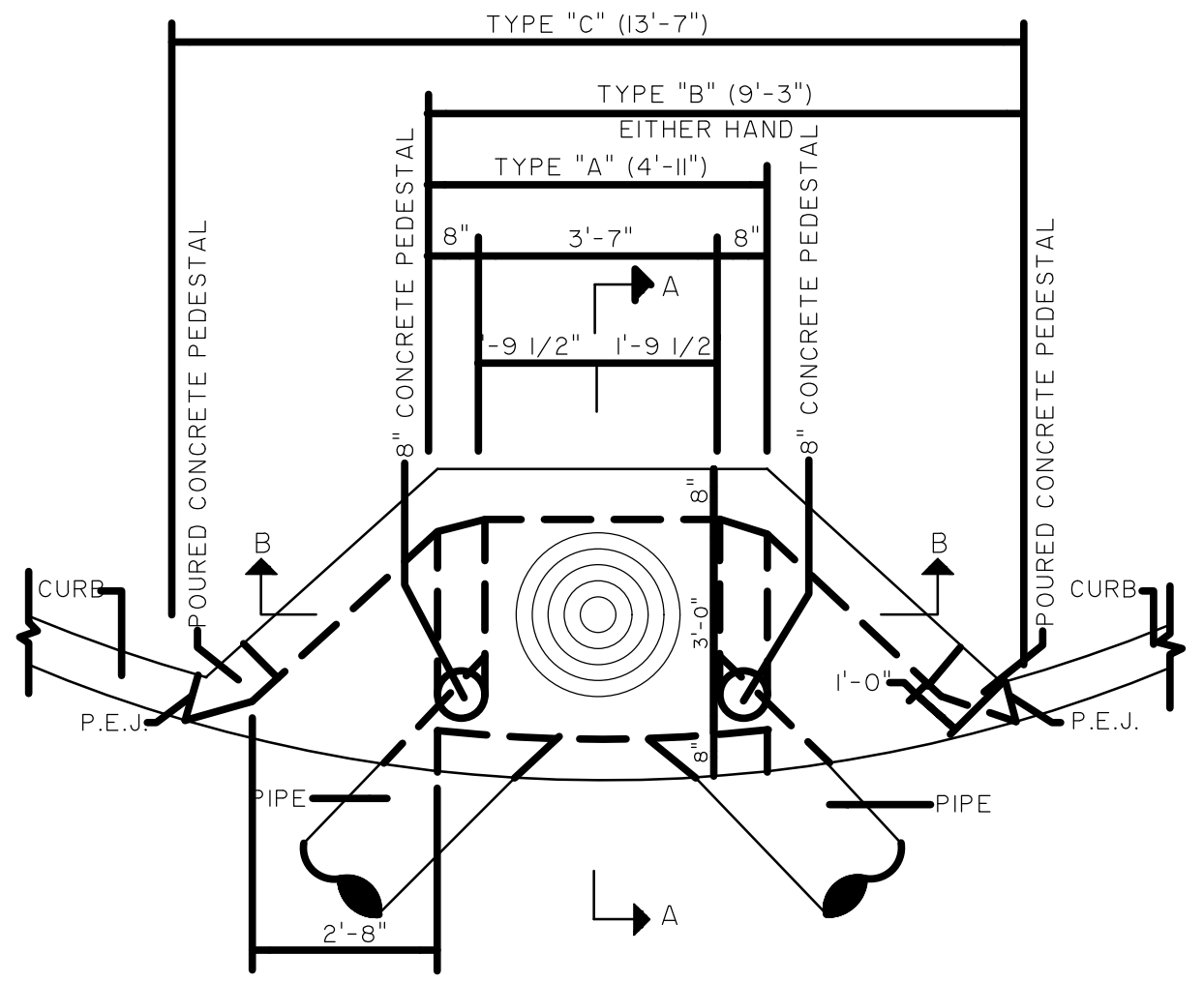


PLAN OF CURB INLET

City of Port Wentworth
TECHNICAL DETAILS

SD-1

PREPARED BY STEVENSON & PALMER ENGINEERING, INC. SCALE: N.T.S.
DATED: FEBRUARY 2007

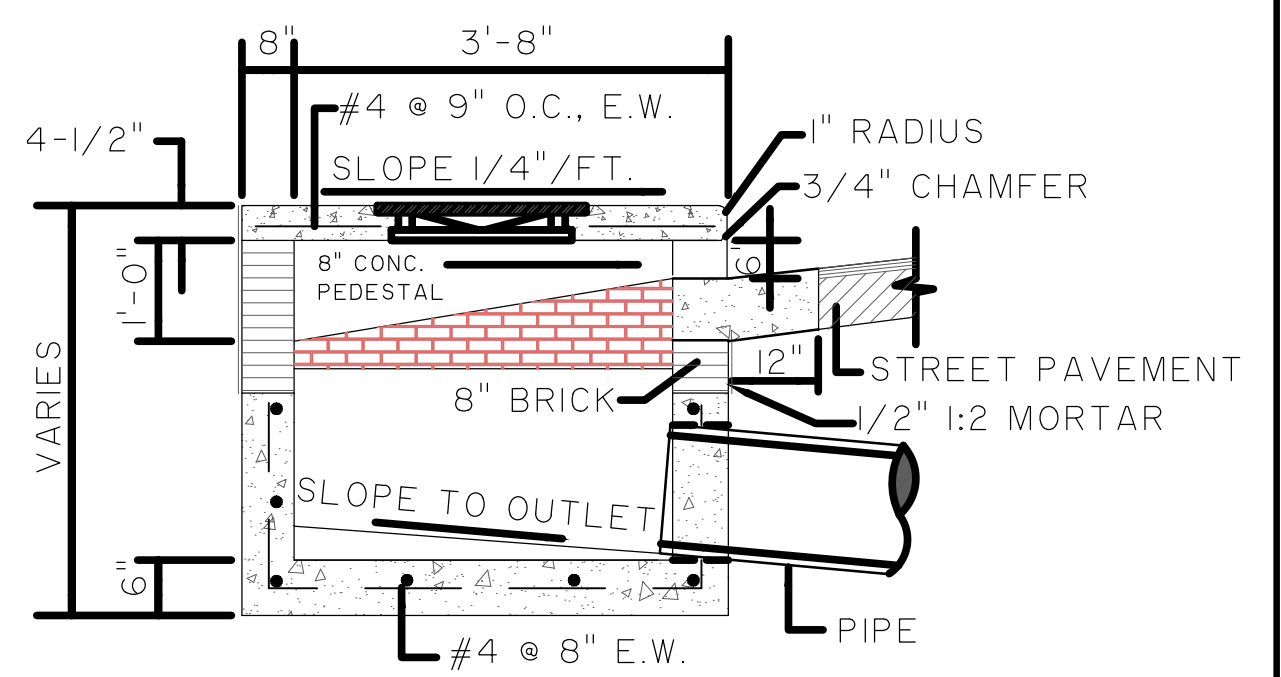


PLAN OF CRUB INLET ON RADIUS

City of Port Wentworth
TECHNICAL DETAILS

SD-2

PREPARED BY STEVENSON & PALMER ENGINEERING, INC. SCALE: N.T.S.
DATED: FEBRUARY 2007



- NOTES:
1. CHAMFER ALL EXPOSED CONCRETE EDGES 3/4"
2. PIPE TIEING TO CURB INLET MUST BE SEALED INSIDE AND OUTSIDE OF STRUCTURE WITH BRICK AND MORTAR

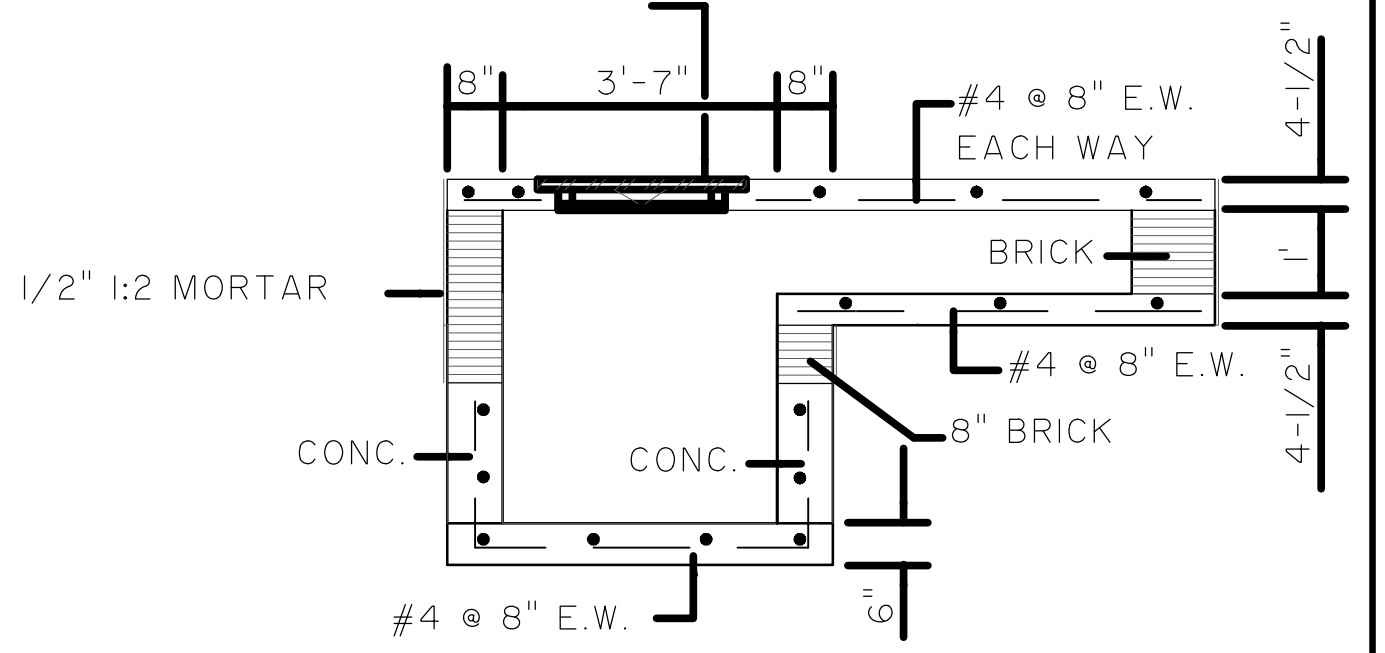
CURB INLET SECTION A - A

City of Port Wentworth
TECHNICAL DETAILS

SD-3

PREPARED BY STEVENSON & PALMER ENGINEERING, INC. SCALE: N.T.S.
DATED: FEBRUARY 2007

- NOTE:
C.I. MANHOLE FRAME AND COVER EQUIVALENT TO NEENAH R-5900-F. FRAME AND COVER TO BE MACHINE FITTED PRIOR TO LEAVING SHOP. WEIGHT - 205 LBS.



- NOTES:
1. MATCH TOP OF PIPE ELEVATIONS WHEN DIFFERENT SIZE PIPES ARE CONSTRUCTED IN CURB INLET.
2. TYPE "B" INLET SHOWN

CURB INLET SECTION B - B

City of Port Wentworth
TECHNICAL DETAILS

SD-4

PREPARED BY STEVENSON & PALMER ENGINEERING, INC. SCALE: N.T.S.
DATED: FEBRUARY 2007



NO.	REVISIONS	BY	DATE

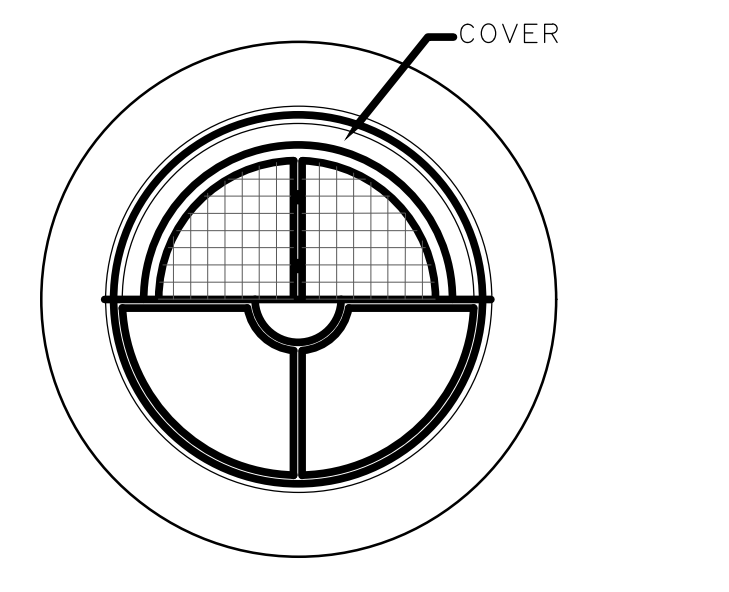
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Savannah, GA 31405 • 912.234.5300
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NOVARE GROUP - PORT WENTWORTH SFR, LLC
PORT WENTWORTH, GEORGIA
SINGLE FAMILY RENTAL - PARCEL 4
PAVING, GRADING & DRAINAGE DETAILS

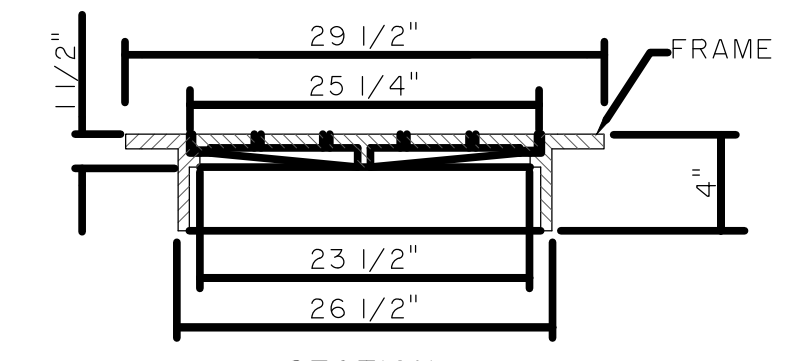
JOB NO:	J-28595.0004
DATE:	7/5/2022
DRAWN:	UJB
DESIGNED:	SKM
REVIEWED:	SKM
APPROVED:	SKM
SCALE:	1" = 1'

C3.9

2/28/2022 10:55:04 AM STEVENSON & PALMER ENGINEERING, INC. CONSTRUCTION PLANS/REVISED/004 - FIG. 07 DWG - 011 12/2022 - 9:58 AM



PLAN



SECTION

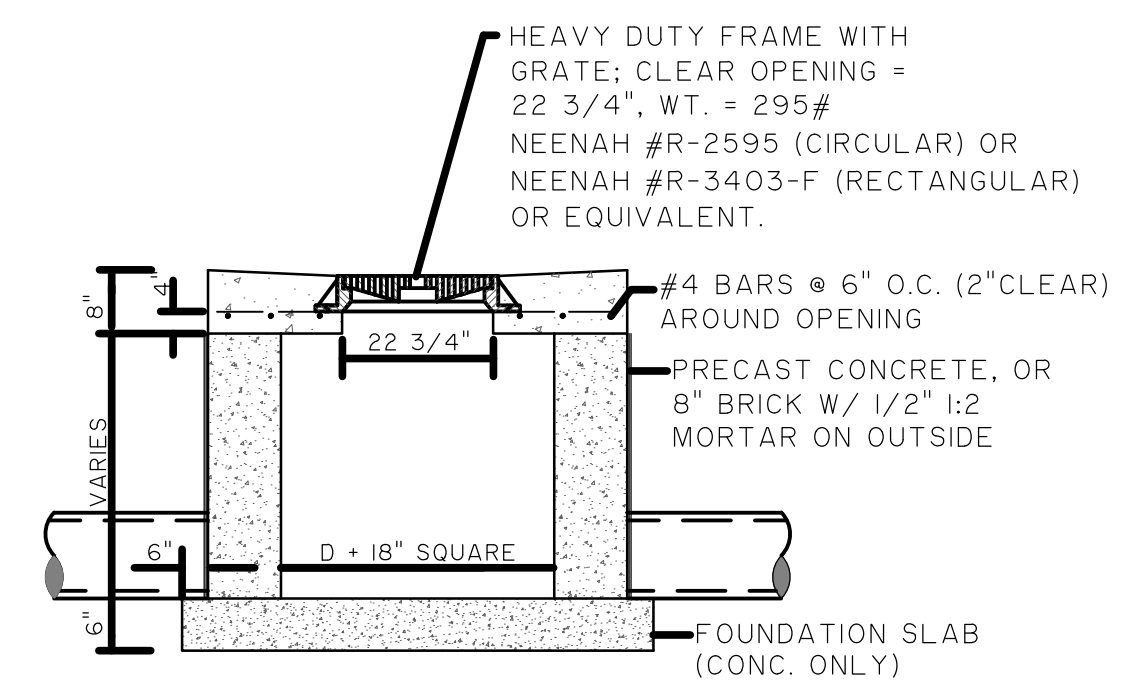
- NOTES:
1. FRAME AND COVER TO BE NEENAH FOUNDRY COMPANY CATALOG NO. R-5900-F OR EQUIVALENT WEIGHT 205#.
 2. COVER MUST HAVE FOUNDRY STAMP SHOWING THE UTILITY (DRAINAGE).

INLET FRAME & COVER

City of Port Wentworth
TECHNICAL DETAILS

SD-5

PREPARED BY STEVENSON & PALMER ENGINEERING, INC. SCALE: N.T.S. DATED: FEBRUARY 2007

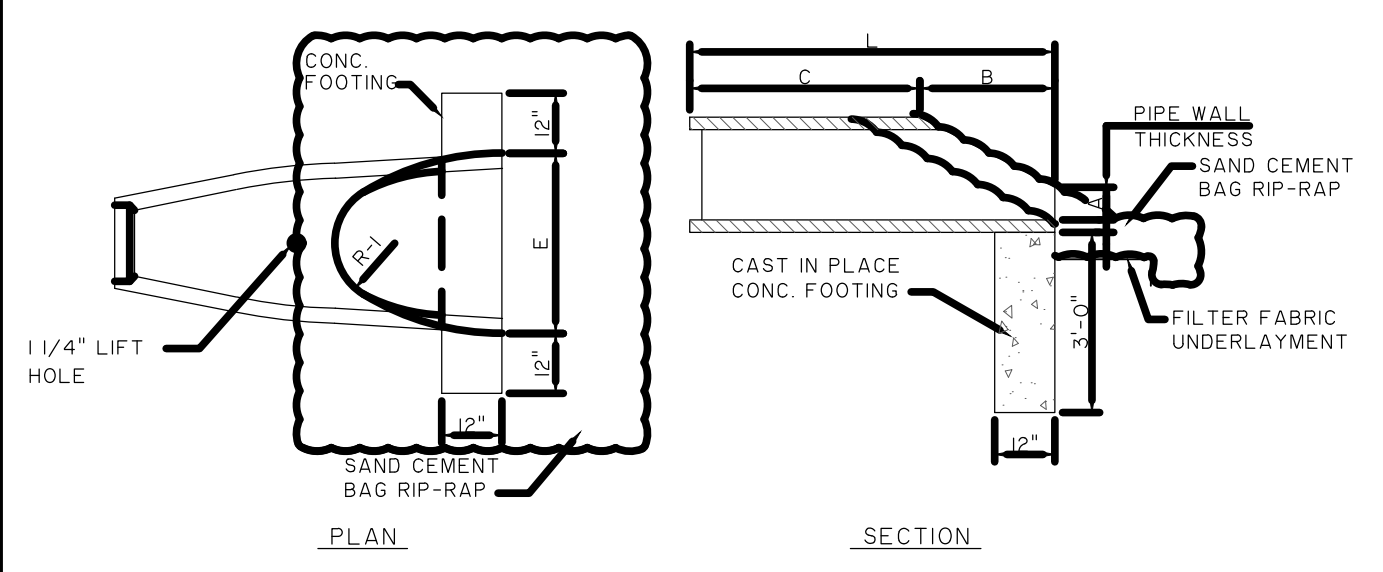


GRATE INLET

City of Port Wentworth
TECHNICAL DETAILS

SD-8

PREPARED BY STEVENSON & PALMER ENGINEERING, INC. SCALE: N.T.S. DATED: FEBRUARY 2007



FLARE DIMENSIONS						
PIPE DIA.	A	B	C	L	E	R-1
15"	6"	2'-3"	3'-10"	6'-1"	2'-6"	1'-0"
18"	9"	2'-3"	3'-10"	6'-1"	3'-0"	1'-4"
24"	10"	3'-8"	2'-6"	6'-2"	4'-0"	1'-5"
30"	12"	4'-6"	1'-8"	6'-2"	5'-0"	1'-6"
36"	16"	5'-3"	2'-11"	8'-2"	6'-0"	2'-0"
42"	21"	5'-3"	2'-11"	8'-2"	6'-6"	2'-4"

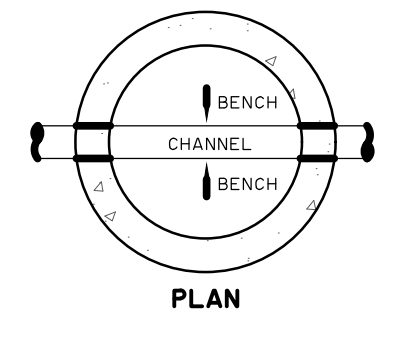
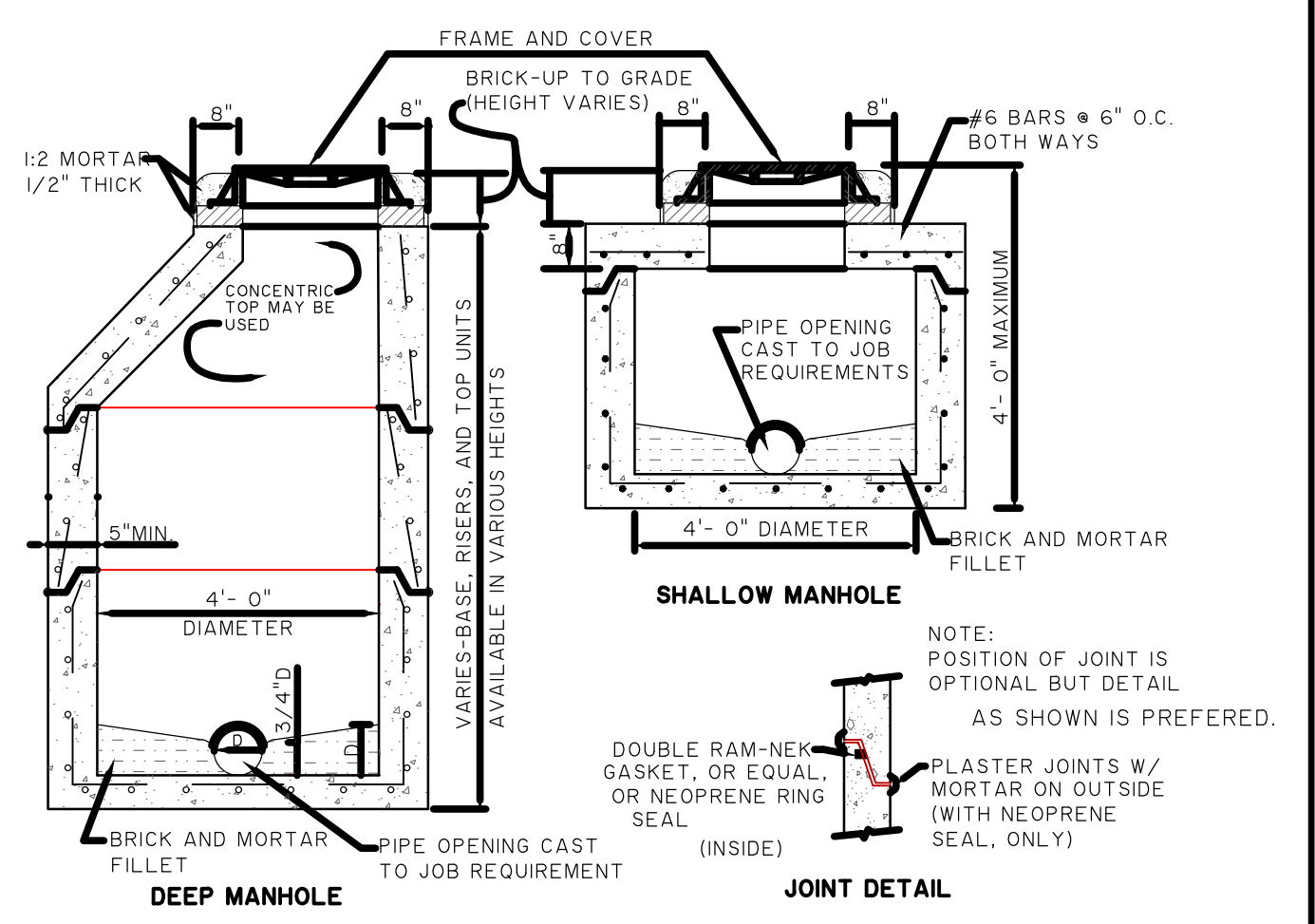
REINFORCEMENT CONFORMS TO ASTM A-82

FLARED END SECTION

City of Port Wentworth
TECHNICAL DETAILS

SD-11

PREPARED BY STEVENSON & PALMER ENGINEERING, INC. SCALE: N.T.S. DATED: FEBRUARY 2007



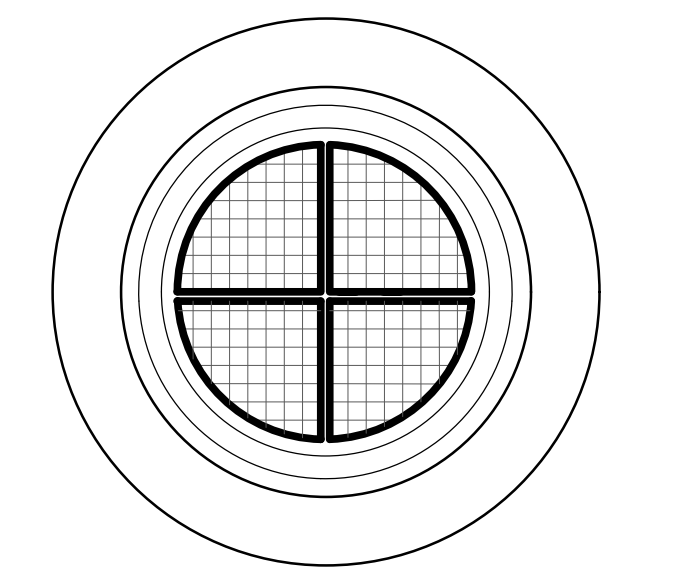
PLAN

PRECAST STORM MANHOLE

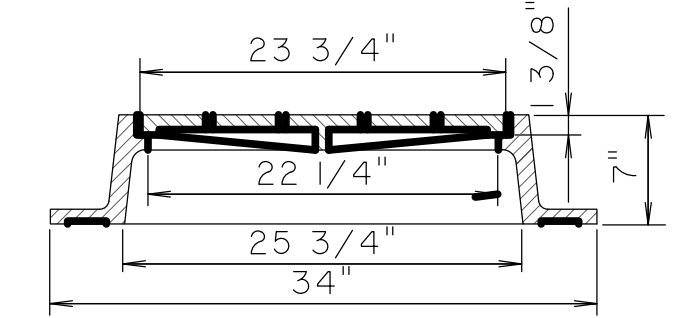
City of Port Wentworth
TECHNICAL DETAILS

SD-12

PREPARED BY STEVENSON & PALMER ENGINEERING, INC. SCALE: N.T.S. DATED: FEBRUARY 2007



PLAN



SECTION

- NOTE:
- MANHOLE RIM & COVER SIMILAR TO NEENAH FOUNDRY CO. R-1412-A4. TOTAL WEIGHT 310#. TYPE "C" LID TO HAVE MACHINED BEARING SURFACES. LID TO BE LETTERED "STORM".

STORM MANHOLE RING & COVER

City of Port Wentworth
TECHNICAL DETAILS

SD-14

PREPARED BY STEVENSON & PALMER ENGINEERING, INC. SCALE: N.T.S. DATED: FEBRUARY 2007



NO.	REVISIONS	BY	DATE

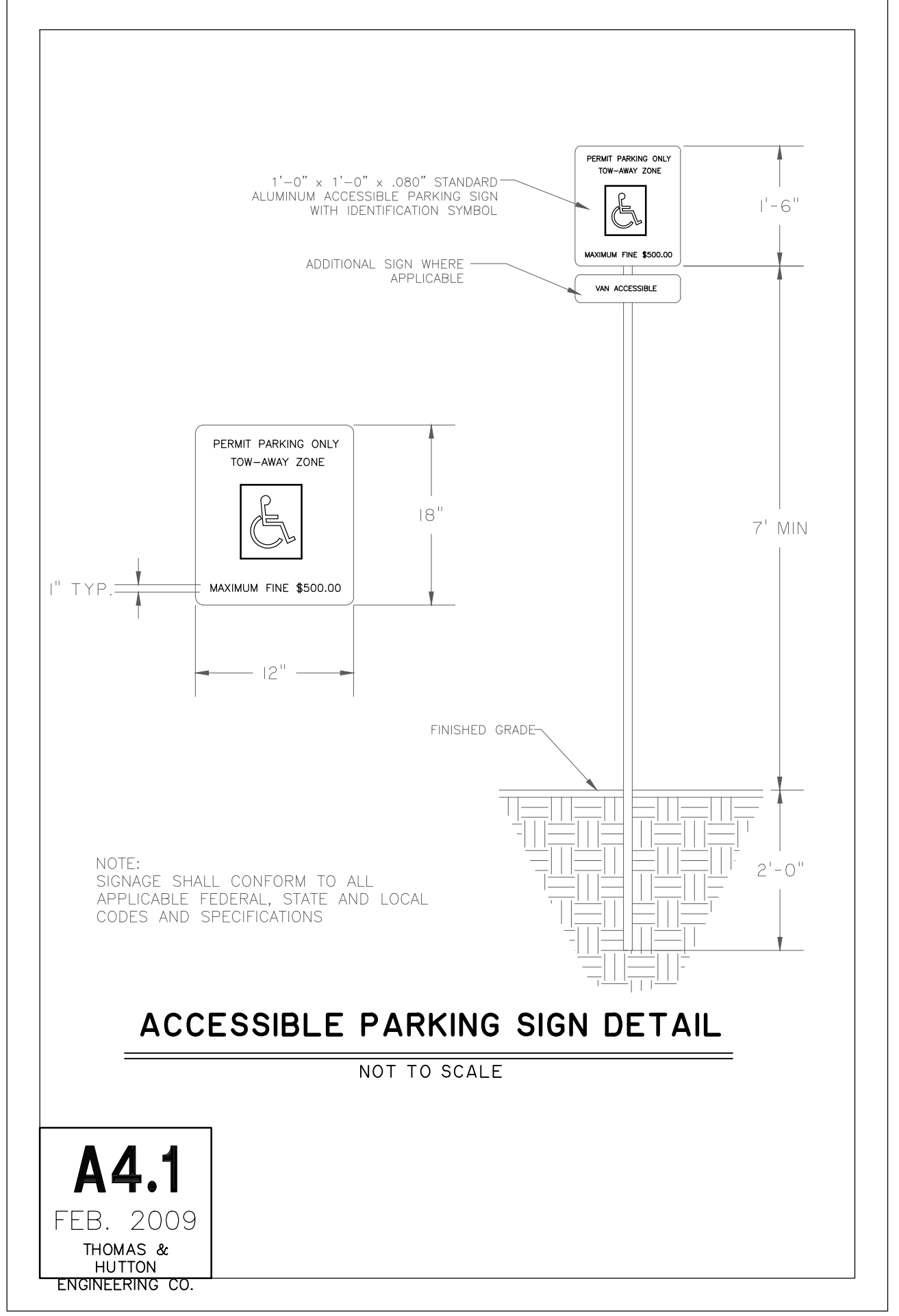
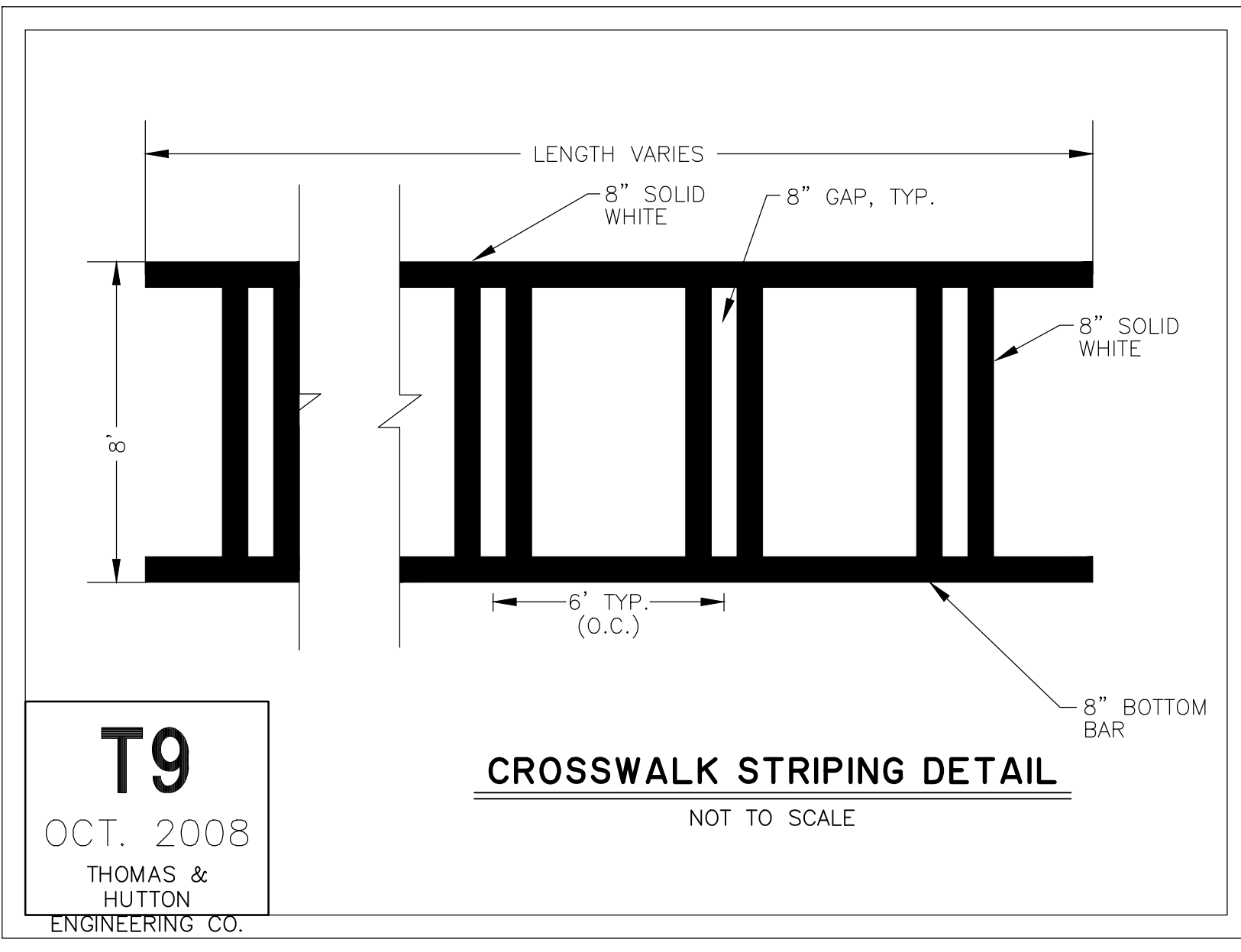
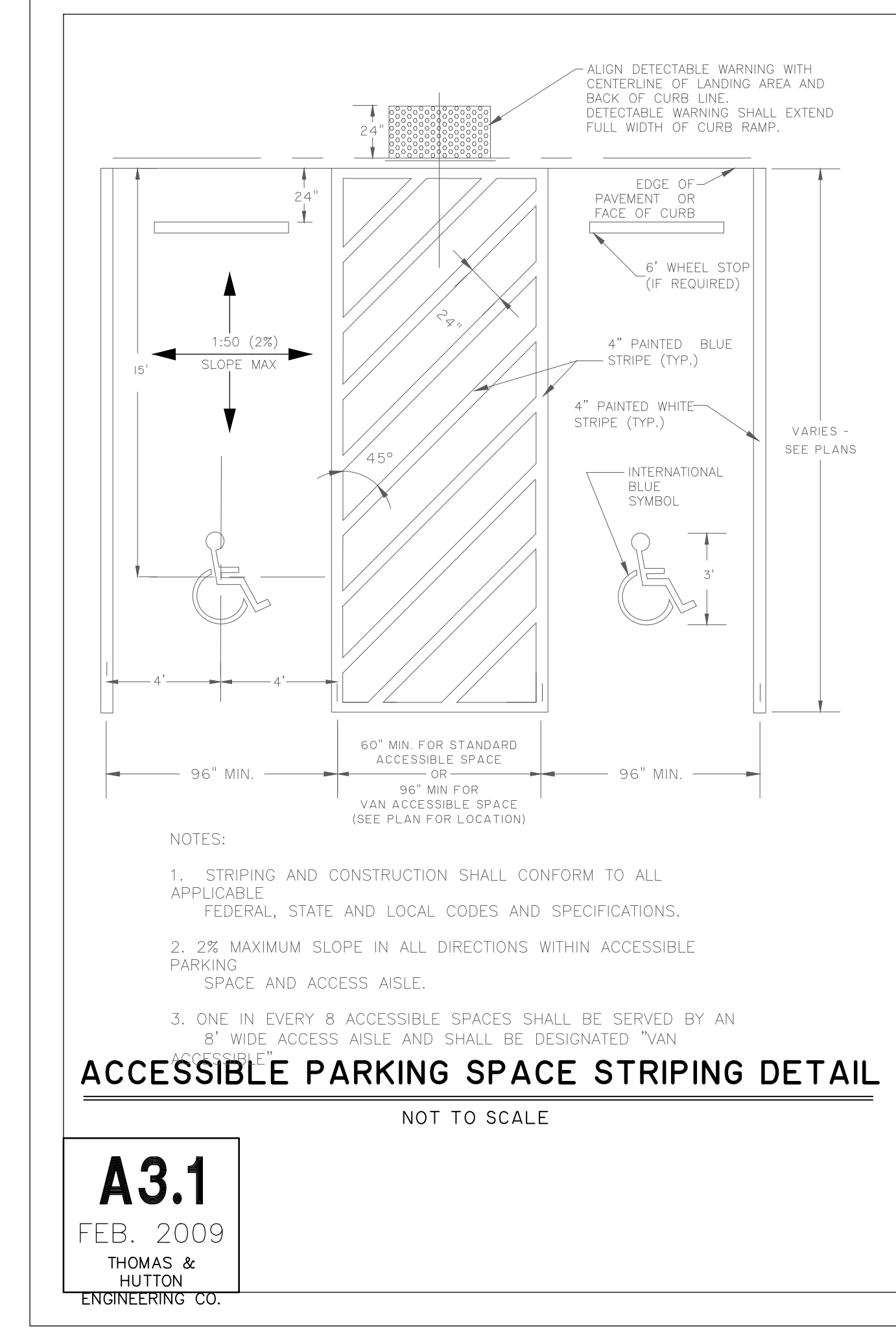
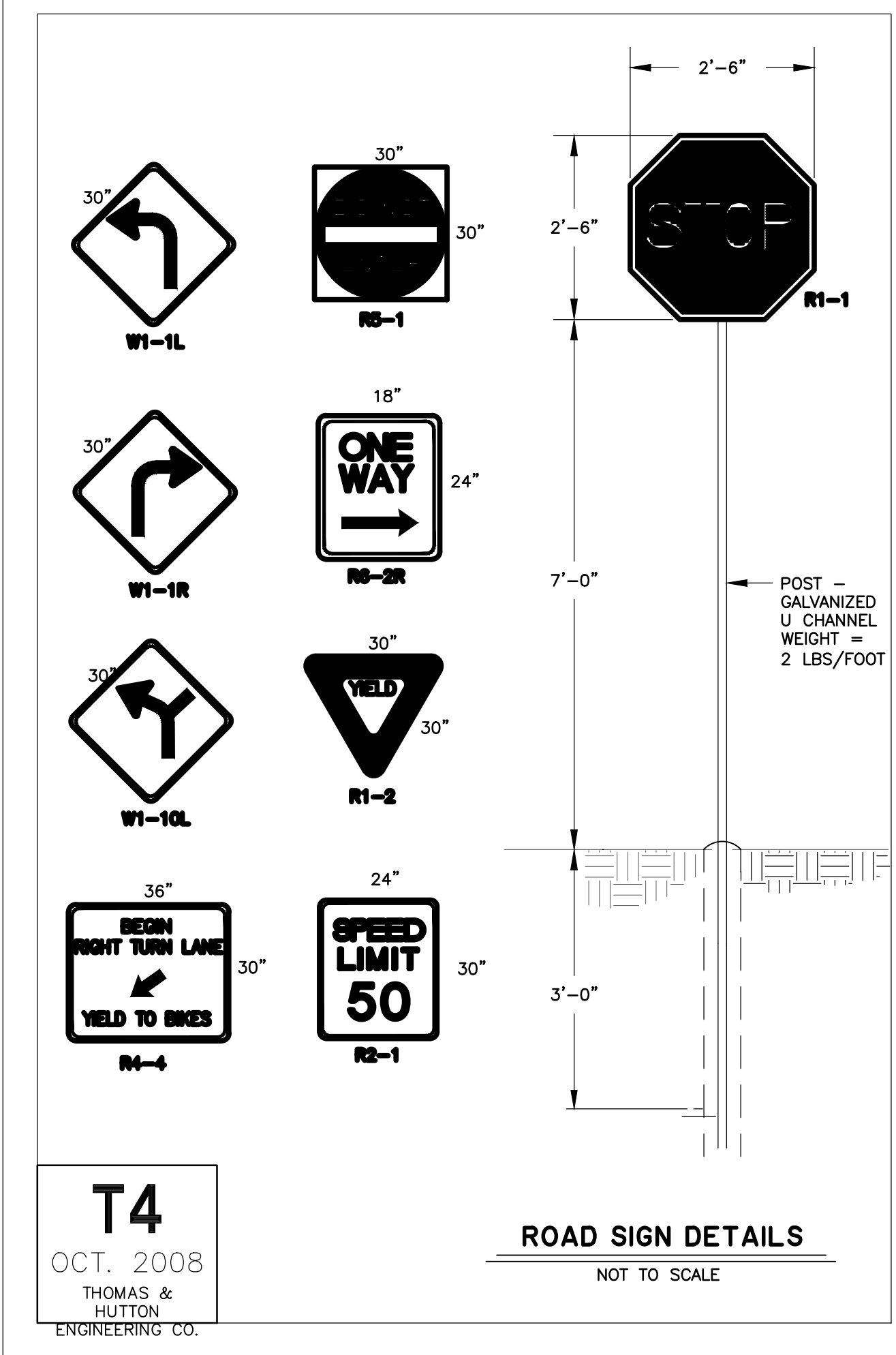
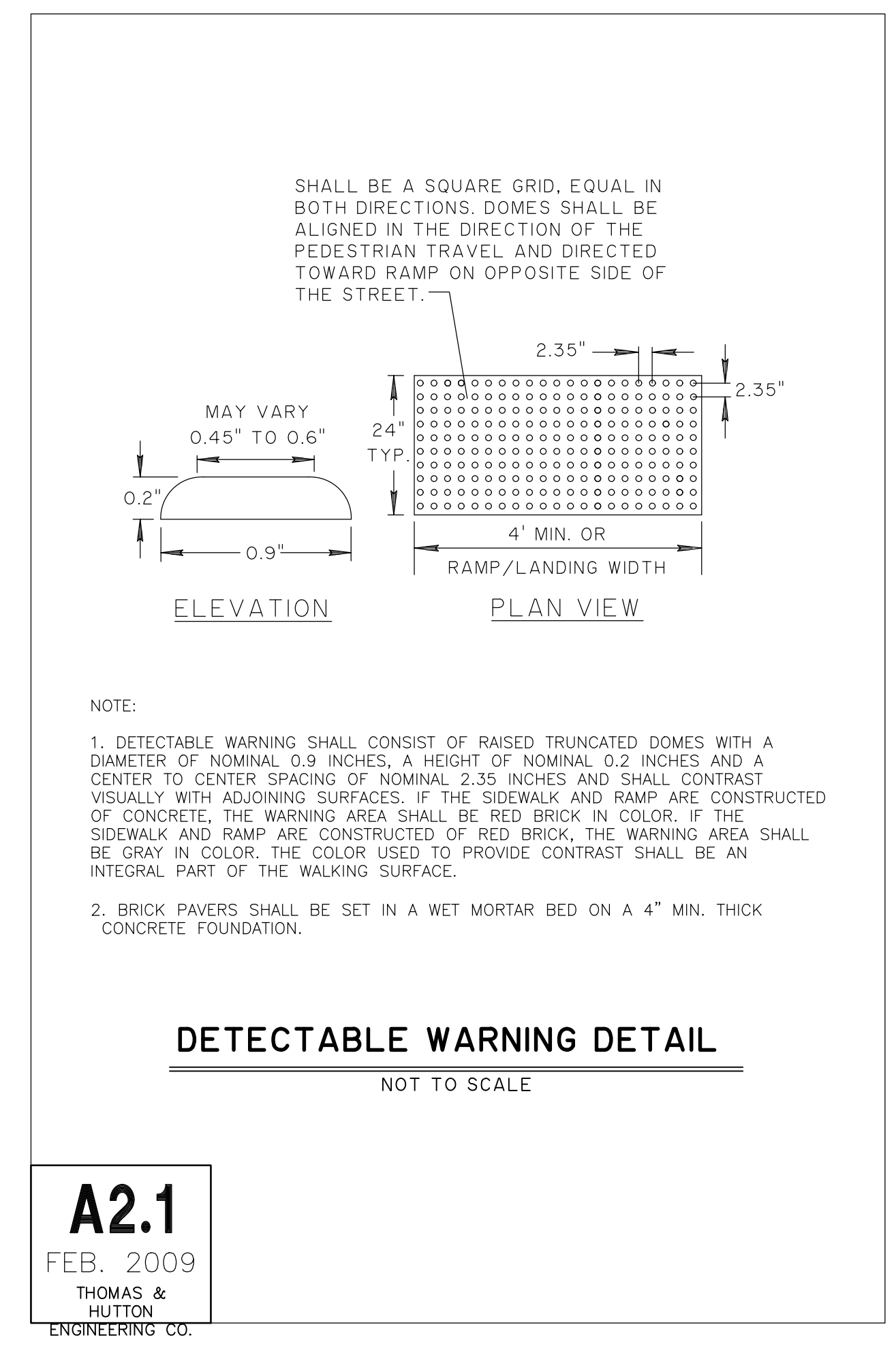
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PORT WENTWORTH, GEORGIA
SINGLE FAMILY RENTAL - PARCEL 4
PAVING, GRADING & DRAINAGE DETAILS

JOB NO:	J-28595.0004
DATE:	7/5/2022
DRAWN:	JBJ
DESIGNED:	SKM
REVIEWED:	SKM
APPROVED:	SKM
SCALE:	1" = 1'

C3.10

Z:\Users\18555\OneDrive\Documents\CONSTRUCTION PLANS\885858.DWG - FIG.07.DWG - 01.12.2022 - 9:58 AM



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REVIEWED:	SKM
APPROVED:	SKM
SCALE:	1" = 1'

C3.12

CONSTRUCTION ACTIVITY	SCHEDULE CONSIDERATION
1. OBTAIN ALL PLAN APPROVALS AND OTHER APPLICABLE PERMITS.	
2. FLAG THE WORK LIMITS AND MARK THE TREES AND BUFFER AREAS FOR PROTECTION.	
3. HOLD PRE CONSTRUCTION CONFERENCE AT LEAST ONE WEEK PRIOR TO STARTING CONSTRUCTION.	
4. CONSTRUCTION ACCESS - CONSTRUCTION ENTRANCE, CONSTRUCTION ROUTES, EQUIPMENT PARKING AREAS.	FIRST LAND DISTURBING ACTIVITY - STABILIZE BARE AREAS IMMEDIATELY WITH GRAVEL AND TEMPORARY VEGETATION AS CONSTRUCTION TAKES PLACE.
5. SEDIMENT TRAPS AND BARRIERS - BASIN TRAPS, SEDIMENT FENCES, AND OUTLET PROTECTION.	INSTALL PRINCIPAL BASINS AFTER CONSTRUCTION SITE IS ACCESSED. INSTALL ADDITIONAL TRAPS AND BARRIERS AS NEEDED DURING GRADING.
6. RUNOFF CONTROL - DIVERSIONS, PERIMETER DIKES, WATER BARS, AND OUTLET PROTECTION.	INSTALL KEY PRACTICES AFTER PRINCIPAL SEDIMENT TRAPS AND BEFORE LAND GRADING. INSTALL ADDITIONAL RUNOFF-CONTROL MEASURES DURING GRADING.
7. RUNOFF CONVEYANCE SYSTEM- STABILIZE STREAM BANKS, STORM DRAINS, CHANNELS, INLET AND OUTLET PROTECTION, SLOPE DRAINS.	WHERE NECESSARY, STABILIZE STREAM BANKS AS EARLY AS POSSIBLE. INSTALL PRINCIPAL RUNOFF CONVEYANCE SYSTEM WITH RUNOFF-CONTROL MEASURES. INSTALL REMAINDER OF SYSTEM AFTER GRADING.
8. LAND CLEARING AND GRADING - SITE PREPARATION CUTTING, FILLING AND GRADING, SEDIMENTATION TRAPS, BARRIERS, DIVERSIONS, DRAINS, SURFACE ROUGHENING.	BEGIN MAJOR CLEARING AND GRADING AFTER PRINCIPAL SEDIMENT AND KEY RUNOFF CONTROL MEASURES ARE INSTALLED. INSTALL ADDITIONAL CONTROL MEASURES AS GRADING PROGRESSES. MARK TREES AND BUFFER AREAS FOR PRESERVATION.
9. SURFACE STABILIZATION - TEMPORARY AND PERMANENT SEEDING, MULCHING, SODDING, RIPRAP.	APPLY TEMPORARY OR PERMANENT STABILIZATION MEASURES IMMEDIATELY ON ALL DISTURBED AREAS WHERE WORK IS DELAYED OR COMPLETE.
10. BUILDING CONSTRUCTION- BUILDINGS UTILITIES, PAVING.	INSTALL NECESSARY EROSION AND SEDIMENTATION CONTROL PRACTICES AS WORK TAKES PLACE.
11. LANDSCAPING AND FINAL STABILIZATION - TOPSOILING, TREES AND SHRUBS, PERMANENT SEEDING, MULCHING, SODDING RIPRAP.	LAST CONSTRUCTION PHASE--STABILIZE ALL OPEN AREAS, INCLUDING BORROW AND SPOIL AREAS. REMOVE AND STABILIZE ALL TEMPORARY CONTROL MEASURES.

ACTIVITY	MONTH		
	1	2	3
PERIMETER B MPS	█		
SITE CLEARING	█	█	
TEMPORARY GRASSING		█	
SITE GRADING		█	█
PERMANENT GRASSING			█
FINAL STABILIZATION/ BMP REMOVAL			█
BMP MAINTENANCE	█	█	█

ECO.2 YES 30. PROVIDE COMPLETE REQUIREMENTS OF INSPECTIONS AND RECORD KEEPING BY THE PRIMARY PERMITEE *

INSPECTIONS AND RECORD KEEPING

- A. PRIMARY PERMITEE:
- EACH DAY WHEN ANY TYPE OF CONSTRUCTION ACTIVITY HAS TAKEN PLACE AT A PRIMARY PERMITEE'S SITE, CERTIFIED PERSONNEL PROVIDED BY THE PRIMARY PERMITEE SHALL INSPECT: (a) ALL AREAS OF THE PRIMARY PERMITEE'S SITE WHERE PETROLEUM PRODUCTS ARE STORED, USED, OR HANDLED FOR SPILLS AND LEAKS FROM VEHICLES AND EQUIPMENT. (b) ALL LOCATIONS AT THE PRIMARY PERMITEE'S SITE WHERE VEHICLES ENTER OR EXIT THE SITE FOR EVIDENCE OF OFF-SITE SEDIMENT TRACKING. THESE INSPECTIONS MUST BE CONDUCTED UNTIL A NOTICE OF TERMINATION IS SUBMITTED.
 - MEASURE AND RECORD RAINFALL WITHIN DISTURBED AREAS OF THE SITE THAT HAVE MET FINAL STABILIZATION ONCE EVERY 24 HOURS EXCEPT ANY NON-WORKING SATURDAY, NON-WORKING SUNDAY AND NON-WORKING FEDERAL HOLIDAY. THE DATA COLLECTED FOR THE PURPOSE OF COMPLIANCE WITH THIS PERMIT SHALL BE REPRESENTATIVE OF THE MONITORED ACTIVITY. MEASUREMENT OF RAINFALL MAY BE SUSPENDED IF ALL AREAS OF THE SITE HAVE UNDERGONE FINAL STABILIZATION OR ESTABLISHED A CROP OF ANNUAL VEGETATION AND A SEEDING OF TARGET PERENNIALS APPROPRIATE FOR THE REGION.
 - CERTIFIED PERSONAL (PROVIDED BY THE PRIMARY PERMITEE) SHALL INSPECT THE FOLLOWING AT LEAST ONCE EVERY SEVEN (7) CALENDAR DAYS AND WITHIN 24 HOURS OF THE END OF A STORM THAT IS 0.5 INCHES OR GREATER (UNLESS SUCH STORM ENDS AFTER 5:00PM ON ANY FRIDAY OR ON ANY NON-WORKING SATURDAY, NON-WORKING SUNDAY OR ANY FEDERAL HOLIDAY IN WHICH CASE THE INSPECTION SHALL BE COMPLETED BY THE END OF THE NEXT BUSINESS DAY AND/OR WORKING DAY, WHICHEVER OCCURS FIRST): (a) DISTURBED AREAS OF THE PRIMARY PERMITEE'S CONSTRUCTION SITE. (b) AREAS USED BY THE PRIMARY PERMITEE FOR STORAGE OF MATERIALS THAT ARE EXPOSED TO PRECIPITATION. AND (c) STRUCTURAL CONTROL MEASURES. EROSION AND SEDIMENT CONTROL MEASURES IDENTIFIED IN THE PLAN APPLICABLE TO THE PRIMARY PERMITEE'S SITE SHALL BE OBSERVED TO ENSURE THAT THEY ARE OPERATING CORRECTLY. WHERE DISCHARGE LOCATIONS OR POINTS ARE ACCESSIBLE, THEY SHALL BE INSPECTED TO ASCERTAIN WHETHER EROSION CONTROL MEASURES ARE EFFECTIVE IN PREVENTING SIGNIFICANT IMPACTS TO RECEIVING WATER(S). FOR AREAS OF A SITE THAT HAVE UNDERGONE FINAL STABILIZATION OR ESTABLISHED A CROP OF ANNUAL VEGETATION AND A SEEDING OF TARGET PERENNIALS APPROPRIATE FOR THE REGION, THE PERMITEE MUST COMPLY WITH PART IV.D.4.a.(4). THESE INSPECTIONS MUST BE CONDUCTED UNTIL A NOTICE OF TERMINATION IS SUBMITTED.
 - CERTIFIED PERSONNEL (PROVIDED BY PRIMARY PERMITEE) SHALL INSPECT AT LEAST ONCE PER MONTH DURING THE TERM OF THIS PERMIT (I.E. UNTIL A NOTICE OF TERMINATION HAS BEEN SUBMITTED) THE AREAS OF THE SITE THAT HAVE UNDERGONE FINAL STABILIZATION OR ESTABLISHED A CROP OF ANNUAL VEGETATION AND A SEEDING OF TARGET PERENNIALS APPROPRIATE FOR THE REGION. THESE AREAS SHALL BE INSPECTED FOR EVIDENCE OF, OR THE

POTENTIAL FOR, POLLUTANTS ENTERING THE DRAINAGE SYSTEM AND THE RECEIVING WATER(S). EROSION AND SEDIMENT CONTROL MEASURES IDENTIFIED IN THE PLAN SHALL BE OBSERVED TO ENSURE THAT THEY ARE OPERATING CORRECTLY. WHERE DISCHARGE LOCATIONS OR POINTS ARE ACCESSIBLE, THEY SHALL BE INSPECTED TO ASCERTAIN WHETHER EROSION CONTROL MEASURES ARE EFFECTIVE IN PREVENTING SIGNIFICANT IMPACTS TO RECEIVING WATER(S).

- BASED ON THE RESULTS OF EACH INSPECTION, THE SITE DESCRIPTION AND THE POLLUTION PREVENTION AND CONTROL MEASURES IDENTIFIED IN THE EROSION, SEDIMENTATION AND POLLUTION CONTROL PLAN, THE PLAN SHALL BE REVISED AS APPROPRIATE NOT LATER THAN SEVEN (7) CALENDAR DAYS FOLLOWING EACH INSPECTION. IMPLEMENTATION OF SUCH CHANGES SHALL BE MADE AS SOON AS PRACTICAL BUT IN NO CASE LATER THAN SEVEN (7) CALENDAR DAYS FOLLOWING EACH INSPECTION.
- A REPORT OF EACH INSPECTION THAT INCLUDES THE NAME(S) OF CERTIFIED PERSONNEL MAKING EACH INSPECTION, THE DATE(S) OF EACH INSPECTION, CONSTRUCTION PHASE (I.E., INITIAL, INTERMEDIATE OR FINAL), MAJOR OBSERVATIONS RELATING TO THE IMPLEMENTATION OF THE EROSION, SEDIMENTATION AND POLLUTION CONTROL PLAN, AND ACTIONS TAKEN IN ACCORDANCE WITH PART IV.D.4.a.(5). OF THE PERMIT SHALL BE MADE AND RETAINED AT THE SITE OR BE READILY AVAILABLE AT A DESIGNATED ALTERNATE LOCATION UNTIL THE ENTIRE SITE OR THAT PORTION OF A CONSTRUCTION PROJECT THAT HAS BEEN PHASED HAS UNDERGONE FINAL STABILIZATION AND A NOTICE OF TERMINATION IS SUBMITTED TO EPD. SUCH REPORTS SHALL BE READILY AVAILABLE BY END OF THE SECOND BUSINESS DAY AND/OR WORKING DAY AND SHALL IDENTIFY ALL INCIDENTS OF BEST MANAGEMENT PRACTICES THAT HAVE NOT BEEN PROPERLY INSTALLED AND/OR MAINTAINED AS DESCRIBED IN THE PLAN. WHERE THE REPORT DOES NOT IDENTIFY ANY INCIDENTS, THE INSPECTION REPORT SHALL CONTAIN A CERTIFICATION THAT THE BEST MANAGEMENT PRACTICES ARE IN COMPLIANCE WITH THE EROSION, SEDIMENTATION AND POLLUTION CONTROL PLAN. THE REPORT SHALL BE SIGNED IN ACCORDANCE WITH PART V.6.2 OF THIS PERMIT.

AN "EROSION & SEDIMENTATION INSPECTION AND MAINTENANCE REPORT" SHEET IS ATTACHED. SHOULD THE INSPECTION REVEAL ANY DEFICIENCIES, A COPY SHALL BE SENT TO:

SCOTT K. MONSON, PE
THOMAS & HUTTON
50 PARK OF COMMERCE WAY
SAVANNAH, GA 31405
(912) 234-5300

ECO.2 YES 31. PROVIDE COMPLETE REQUIREMENTS OF SAMPLING FREQUENCY AND REPORTING OF SAMPLING RESULTS *

- SAMPLING REQUIREMENTS. THIS PERMIT REQUIRES THE MONITORING OF NEPHELOMETRIC TURBIDITY IN RECEIVING WATER(S) OR OUTFALLS IN ACCORDANCE WITH THIS PERMIT. THIS PARAGRAPH SHALL NOT APPLY TO ANY LAND DISTURBANCE ASSOCIATED WITH THE CONSTRUCTION OF SINGLE-FAMILY HOMES WHICH ARE NOT PART OF A SUBDIVISION OR PLANNED COMMON DEVELOPMENT UNLESS FIVE (5) ACRES OR MORE WILL BE DISTURBED. THE FOLLOWING PROCEDURES CONSTITUTE EPD'S GUIDELINES FOR SAMPLING TURBIDITY.
- SAMPLING REQUIREMENTS SHALL INCLUDE THE FOLLOWING:
 - A USGS TOPOGRAPHIC MAP, A TOPOGRAPHIC MAP OR A DRAWING (REFERRED TO AS A TOPOGRAPHIC MAP) THAT IS A SCALE EQUAL TO OR MORE DETAILED THAN A 1:24000 MAP SHOWING THE LOCATION OF THE SITE OR THE STAND ALONE CONSTRUCTION (a) THE LOCATION OF ALL PERENNIAL AND INTERMITTENT STREAMS AND OTHER WATER BODIES LOCATED DURING MANDATORY FIELD VERIFICATION, INTO WHICH THE STORM WATER IS DISCHARGED AND (b) THE RECEIVING WATER AND/OR OUTFALL SAMPLING LOCATIONS. WHEN THE PERMITEE HAS CHOSEN TO USE A USGS TOPOGRAPHIC MAP AND THE RECEIVING WATER(S) IS NOT SHOWN ON THE USGS TOPOGRAPHIC MAP, THE LOCATION FOR THE RECEIVING WATER(S) MUST BE HAND-DRAWN ON THE USGS TOPOGRAPHIC MAP FROM WHERE THE STORM WATER(S) ENTERS THE RECEIVING WATER(S) TO THE POINT WHERE THE RECEIVING WATER(S) COMBINES WITH THE FIRST BLUE LINE STREAM SHOWN ON THE USGS TOPOGRAPHIC MAP;
 - A WRITTEN NARRATIVE OF SITE SPECIFIC ANALYTICAL METHODS USED TO COLLECT, HANDLE AND ANALYZE THE SAMPLES INCLUDING QUALITY CONTROL/QUALITY ASSURANCE PROCEDURES. THIS NARRATIVE MUST INCLUDE PRECISE SAMPLING METHODOLOGY FOR EACH SAMPLING LOCATION;
 - WHEN THE PERMITEE HAS DETERMINED THAT SOME OR ALL OUTFALLS WILL BE SAMPLED, A RATIONALE MUST BE INCLUDED ON THE PLAN FOR THE NTU LIMIT(S) SELECTED FROM APPENDIX B. THIS RATIONALE MUST INCLUDE THE SIZE OF THE CONSTRUCTION SITE, THE CALCULATION OF THE SIZE OF THE SURFACE WATER DRAINAGE AREA, AND THE TYPE OF RECEIVING WATER(S) (I.E., TROUT STREAM OR SUPPORTING WARM WATER FISHERIES); AND
 - ANY ADDITIONAL INFORMATION EPD DETERMINES NECESSARY TO BE PART OF THE PLAN. EPD WILL PROVIDE WRITTEN NOTICE TO THE PERMITEE OF THE INFORMATION NECESSARY AND THE TIME LINE FOR SUBMITTAL.
 - SAMPLE TYPE. ALL SAMPLING SHALL BE COLLECTED BY "GRAB SAMPLES" AND THE ANALYSIS OF THESE SAMPLES MUST BE CONDUCTED IN ACCORDANCE WITH METHODOLOGY AND TEST PROCEDURES ESTABLISHED BY 40 CFR PART 136 (UNLESS OTHER TEST PROCEDURES HAVE BEEN APPROVED); THE GUIDANCE DOCUMENT TITLED "NPDES STORM WATER SAMPLING GUIDANCE DOCUMENT, EPA 833-B-92-001" AND GUIDANCE DOCUMENTS THAT MAY BE PREPARED BY THE EPD.
 - SAMPLE CONTAINERS SHOULD BE LABELED PRIOR TO COLLECTING THE SAMPLES.
 - SAMPLES SHOULD BE WELL MIXED BEFORE TRANSFERRING TO A SECONDARY CONTAINER.
 - LARGE MOUTH, WELL CLEANED AND RINSED GLASS OR PLASTIC JARS SHOULD BE USED FOR COLLECTING SAMPLES. THE JARS SHOULD BE CLEANED THOROUGHLY TO AVOID CONTAMINATION.
 - MANUAL, AUTOMATIC OR RISING STAGE SAMPLING MAY BE UTILIZED. SAMPLES REQUIRED BY THIS PERMIT SHOULD BE ANALYZED IMMEDIATELY, BUT IN NO CASE LATER THAN 48 HOURS AFTER COLLECTION. HOWEVER, SAMPLES FROM AUTOMATIC SAMPLERS MUST BE COLLECTED NO LATER THAN THE NEXT BUSINESS DAY AFTER THEIR ACCUMULATION, UNLESS FLOW THROUGH AUTOMATED ANALYSIS IS UTILIZED. IF AUTOMATIC SAMPLING IS UTILIZED AND THE AUTOMATIC SAMPLER IS NOT ACTIVATED DURING THE QUALIFYING EVENT, THE PERMITEE MUST UTILIZE MANUAL SAMPLING OR RISING STAGE SAMPLING DURING THE NEXT QUALIFYING EVENT. DILUTION OF SAMPLES IS NOT REQUIRED. SAMPLES MAY BE ANALYZED DIRECTLY WITH A PROPERLY CALIBRATED TURBIDIMETER. SAMPLES ARE NOT REQUIRED TO BE COOLED.
 - SAMPLING AND ANALYSIS OF THE RECEIVING WATER(S) OR OUTFALLS BEYOND THE MINIMUM FREQUENCY STATED IN THE PERMIT MUST BE REPORTED TO EPD

AS SPECIFIED IN PART IV.E. OF THE PERMIT.

- SAMPLING POINTS: THERE WILL BE 3 STORM WATER SAMPLING LOCATIONS. THE SAMPLING LOCATION WILL BE THE DOWNSTREAM POINTS, PER NPDES PERMIT GAR 10000, FOR CONSTRUCTION ACTIVITIES. THE PRIMARY PERMITEE MUST COMPLETE ALL SAMPLING.
- FOR CONSTRUCTION ACTIVITIES THE PRIMARY PERMITEE MUST SAMPLE ALL RECEIVING WATER(S) OR ALL OUTFALL(S), OR A COMBINATION OF RECEIVING WATER(S) AND OUTFALL(S). SAMPLES TAKEN FOR THE PURPOSE OF COMPLIANCE WITH THIS PERMIT SHALL BE REPRESENTATIVE OF THE MONITORED ACTIVITY AND REPRESENTATIVE OF THE WATER QUALITY OF THE RECEIVING WATER(S) AND/OR THE STORM WATER OUTFALL(S) USING THE FOLLOWING MINIMUM GUIDELINES:
 - THE UPSTREAM SAMPLE FOR EACH RECEIVING WATER(S) MUST BE TAKEN IMMEDIATELY UPSTREAM OF THE CONFLUENCE OF THE FIRST STORM WATER DISCHARGE FROM THE PERMITTED ACTIVITY (I.E., THE DISCHARGE FARTHEST UPSTREAM AT THE SITE) BUT DOWNSTREAM OF ANY OTHER STORM WATER DISCHARGES NOT ASSOCIATED WITH THE PERMITTED ACTIVITY, WHERE APPROPRIATE. SEVERAL UPSTREAM SAMPLES FROM ACROSS THE RECEIVING WATER(S) MAY NEED TO BE TAKEN AND THE ARITHMETIC AVERAGE OF THE TURBIDITY OF THESE SAMPLES USED FOR THE UPSTREAM TURBIDITY VALUE.
 - THE DOWNSTREAM SAMPLE FOR EACH RECEIVING WATER(S) MUST BE TAKEN DOWNSTREAM OF THE CONFLUENCE OF THE LAST STORM WATER DISCHARGE FROM THE PERMITTED ACTIVITY (I.E., THE DISCHARGE FARTHEST DOWNSTREAM AT THE SITE) BUT UPSTREAM OF ANY OTHER STORM WATER DISCHARGE NOT ASSOCIATED WITH THE PERMITTED ACTIVITY, WHERE APPROPRIATE. SEVERAL DOWNSTREAM SAMPLES FROM ACROSS THE RECEIVING WATER(S) MAY NEED TO BE TAKEN AND THE ARITHMETIC AVERAGE OF THE TURBIDITY OF THESE SAMPLES USED FOR THE DOWNSTREAM TURBIDITY VALUE.
 - IDEALLY THE SAMPLES SHOULD BE TAKEN FROM THE HORIZONTAL AND VERTICAL CENTER OF THE RECEIVING WATER(S) OR THE STORM WATER OUTFALL CHANNEL(S).
 - CARE SHOULD BE TAKEN TO AVOID STIRRING THE BOTTOM SEDIMENTS IN THE RECEIVING WATER(S) OR IN THE OUTFALL STORM WATER CHANNEL.
 - THE SAMPLING CONTAINER SHOULD BE HELD SO THAT THE OPENING FACES UPSTREAM.
 - THE SAMPLES SHOULD BE KEPT FREE FROM FLOATING DEBRIS.
 - PERMITEES DO NOT HAVE TO SAMPLE SHEETFLOW THAT FLOWS ONTO UNDISTURBED NATURAL AREAS OR AREAS STABILIZED BY THE PROJECT. FOR PURPOSES OF THIS SECTION, STABILIZED SHALL MEAN, FOR UNPAVED AREAS AND AREAS NOT COVERED BY PERMANENT STRUCTURES AND AREAS LOCATED OUTSIDE THE WASTE DISPOSAL LIMITS OF A LANDFILL CELL THAT HAS BEEN CERTIFIED BY EPD FOR WASTE DISPOSAL, 100% OF THE SOIL SURFACE IS UNIFORMLY COVERED IN PERMANENT VEGETATION WITH A DENSITY OF 70% OR GREATER, OR LANDSCAPED ACCORDING TO THE PLAN (UNIFORMLY COVERED WITH LANDSCAPING MATERIALS IN PLANNED LANDSCAPED AREAS), OR EQUIVALENT PERMANENT STABILIZATION MEASURES AS DEFINED IN THE MANUAL (EXCLUDING A CROP OF ANNUAL VEGETATION AND A SEEDING OF TARGET CROP PERENNIALS APPROPRIATE FOR THE REGION).
- ALL SAMPLING PURSUANT TO THIS PERMIT MUST BE DONE IN SUCH A WAY (INCLUDING GENERALLY ACCEPTED SAMPLING METHODS, LOCATIONS, TIMING AND FREQUENCY) AS TO ACCURATELY REFLECT WHETHER STORM WATER RUNOFF FROM THE CONSTRUCTION SITE IS IN COMPLIANCE WITH THE STANDARD SET FORTH IN PARTS III.D.3. OR III.D.4., WHICHEVER IS APPLICABLE.
- SAMPLING FREQUENCY
 - THE PRIMARY PERMITEE MUST SAMPLE IN ACCORDANCE WITH THE PLAN AT LEAST ONCE FOR EACH RAINFALL EVENT DESCRIBED BELOW. FOR A QUALIFYING EVENT, THE PERMITEE SHALL SAMPLE AT THE BEGINNING OF ANY STORM WATER DISCHARGE TO A MONITORED RECEIVING WATER AND/OR FROM A MONITORED OUTFALL LOCATION WITHIN FORTY-FIVE (45) MINUTES OR AS SOON AS POSSIBLE.
 - HOWEVER, WHERE MANUAL AND AUTOMATIC SAMPLING ARE IMPOSSIBLE (AS DEFINED IN THIS PERMIT), OR ARE BEYOND THE PERMITEE'S CONTROL, THE PERMITEE SHALL TAKE SAMPLES AS SOON AS POSSIBLE, BUT IN NO CASE MORE THAN TWELVE (12) HOURS AFTER THE BEGINNING OF THE STORM WATER DISCHARGE.
 - SAMPLING BY THE PERMITEE SHALL OCCUR FOR THE FOLLOWING QUALIFYING EVENTS:
 - FOR EACH AREA OF THE SITE THAT DISCHARGES TO A RECEIVING WATER OR FROM AN OUTFALL, THE FIRST RAIN EVENT THAT REACHES OR EXCEEDS 0.5 INCH WITH A STORM WATER DISCHARGE THAT OCCURS DURING NORMAL BUSINESS HOURS AS DEFINED IN THIS PERMIT AFTER ALL CLEARING AND GRUBBING OPERATIONS HAVE BEEN COMPLETED, BUT PRIOR TO COMPLETION OF MASS GRADING OPERATIONS, IN THE DRAINAGE AREA OF THE LOCATION SELECTED AS THE SAMPLING LOCATION;
 - IN ADDITION TO (A.) ABOVE, FOR EACH AREA OF THE SITE THAT DISCHARGES TO A RECEIVING WATER OR FROM AN OUTFALL, THE FIRST RAIN EVENT THAT REACHES OR EXCEEDS 0.5 INCH WITH A STORM WATER DISCHARGE THAT OCCURS DURING NORMAL BUSINESS HOURS AS DEFINED IN THE PERMIT EITHER 90 DAYS AFTER THE FIRST SAMPLING EVENT OR AFTER ALL MASS GRADING OPERATIONS HAVE BEEN COMPLETED, BUT PRIOR TO SUBMITTAL OF A NOT, IN THE DRAINAGE AREA OF THE LOCATION SELECTED AS THE SAMPLING LOCATIONS, WHICHEVER COMES FIRST;
 - AT THE TIME OF SAMPLING PERFORMED PURSUANT TO (A) AND (B) ABOVE, IF B MPS IN ANY AREA OF THE SITE THAT DISCHARGES TO A RECEIVING WATER OR FROM AN OUTFALL ARE NOT PROPERLY DESIGNED, INSTALLED AND MAINTAINED, CORRECTIVE ACTION SHALL BE DEFINED AND IMPLEMENTED WITHIN TWO (2) BUSINESS DAYS, AND TURBIDITY SAMPLES SHALL BE TAKEN FROM DISCHARGES FROM THAT AREA OF THE SITE FOR EACH SUBSEQUENT RAIN EVENT THAT REACHES OR EXCEEDS 0.5 INCH DURING NORMAL BUSINESS HOURS UNTIL THE SELECTED TURBIDITY STANDARD IS ATTAINED, OR UNTIL POST-STORM EVENT INSPECTIONS DETERMINE THAT B MPS ARE PROPERLY DESIGNED, INSTALLED AND MAINTAINED;
 - WHERE SAMPLING PURSUANT TO (A), (B) OR (C) ABOVE IS REQUIRED BUT NOT POSSIBLE (OR NOT REQUIRED BECAUSE THERE WAS NO DISCHARGE), THE PERMITEE, IN ACCORDANCE WITH PART IV.D.a.(6), MUST INCLUDE A WRITTEN JUSTIFICATION IN THE INSPECTION REPORT OF WHY SAMPLING WAS NOT PERFORMED. PROVIDING THIS JUSTIFICATION DOES NOT RELIEVE THE PERMITEE OF ANY SUBSEQUENT SAMPLING OBLIGATIONS UNDER (A), (B) OR (C) ABOVE; AND

ECO.2 YES 32. PROVIDE COMPLETE DETAILS FOR RETENTION OF RECORDS AS PER PART IV.F. OF THE PERMIT *

RETENTION OF RECORDS

- THE PRIMARY PERMITEE SHALL RETAIN THE FOLLOWING RECORDS AT THE CONSTRUCTION SITE OR THE RECORDS SHALL BE READILY AVAILABLE AT A DESIGNATED ALTERNATE LOCATION FROM COMMENCEMENT OF CONSTRUCTION UNTIL SUCH TIME AS A NOTICE OF TERMINATION IS SUBMITTED IN ACCORDANCE WITH PART VI.
 - COPY OF ALL NOTICES OF INTENT SUBMITTED TO EPD.
 - A COPY OF THE ES&PC PLAN REQUIRED IN PERMIT No. GAR 100001.
 - THE DESIGN PROFESSIONALS REPORT OF THE THE RESULTS OF THE INSPECTION CONDUCTED IN ACCORDANCE WITH PART IV.A.5 IN PERMIT No. GAR 100001.
 - A COPY OF ALL SAMPLING INFORMATION, RESULTS, AND REPORTS REQUIRED BY IN PERMIT No. GAR 100001.
 - A COPY OF ALL INSPECTION REPORTS GENERATED IN ACCORDANCE WITH PART IV.D.4.a OF PERMIT No. GAR 100001.
 - A COPY OF ALL VIOLATION SUMMARIES AND VIOLATION SUMMARY REPORTS GENERATED IN ACCORDANCE WITH PART III.D.2 IN PERMIT No. GAR 100001.
 - DAILY RAINFALL INFORMATION COLLECTED IN ACCORDANCE WITH PART IV.D.4.a.(2). IN PERMIT No. GAR 100001.
- COPIES OF ALL NOTICES OF INTENT, NOTICES OF TERMINATION, INSPECTION REPORTS, SAMPLING REPORTS (INCLUDING ALL CALIBRATION AND MAINTENANCE RECORDS AND ALL ORIGINAL STRIP CHART RECORDINGS FOR CONTINUOUS MONITORING INSTRUMENTATION) OR OTHER REPORTS REQUESTED BY THE EPD, EROSION, SEDIMENTATION AND POLLUTION CONTROL PLANS, RECORDS OF ALL DATA USED TO COMPLETE THE NOTICE OF INTENT TO BE COVERED BY THIS PERMIT AND ALL OTHER RECORDS REQUIRED BY THIS PERMIT SHALL BE RETAINED BY THE PERMITEE WHO EITHER PRODUCED OR USED IT FOR A PERIOD OF AT LEAST THREE YEARS FROM THE DATE THAT THE NOTICE OF TERMINATION IS SUBMITTED IN ACCORDANCE WITH PART VI OF THE GAR100001. THESE RECORDS MUST BE MAINTAINED AT THE PERMITEE'S PRIMARY PLACE OF BUSINESS OR AT A DESIGNATED ALTERNATIVE LOCATION ONCE THE CONSTRUCTION ACTIVITY HAS CEASED AT THE PERMITTED SITE. THIS PERIOD MAY BE EXTENDED BY REQUEST OF THE EPD AT ANY TIME UPON WRITTEN NOTIFICATION TO THE PERMITEE.

EPD OFFICE:
COASTAL DISTRICT - BRUNSWICK
GEORGIA ENVIRONMENTAL PROTECTION DIVISION
400 COMMERCE CENTER DR.
BRUNSWICK, GA 31523
(912)264-7284



GSWCC LEVEL L2
DESIGN PROFESSIONAL
CERTIFICATION #
0000012466
EXPIRES : 6/22/2024

NO.	REVISIONS	BY	DATE

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Savannah, GA 31405 • 912.234.5300
www.thomasandhutton.com

NOVARE GROUP - PORT WENTWORTH SFR, LLC
PORT WENTWORTH, GEORGIA

SINGLE FAMILY RENTAL - PARCEL 4

ESPC NOTES

JOB NO: J-28595.0004
DATE: 7/5/2022
DRAWN: JBJ
DESIGNED: SKM
REVIEWED: SKM
APPROVED: SKM
SCALE: 1" = 1'

ECO.2



GSWCC LEVEL L2
DESIGN PROFESSIONAL
CERTIFICATION #
000002466
EXPIRES : 6/22/2024

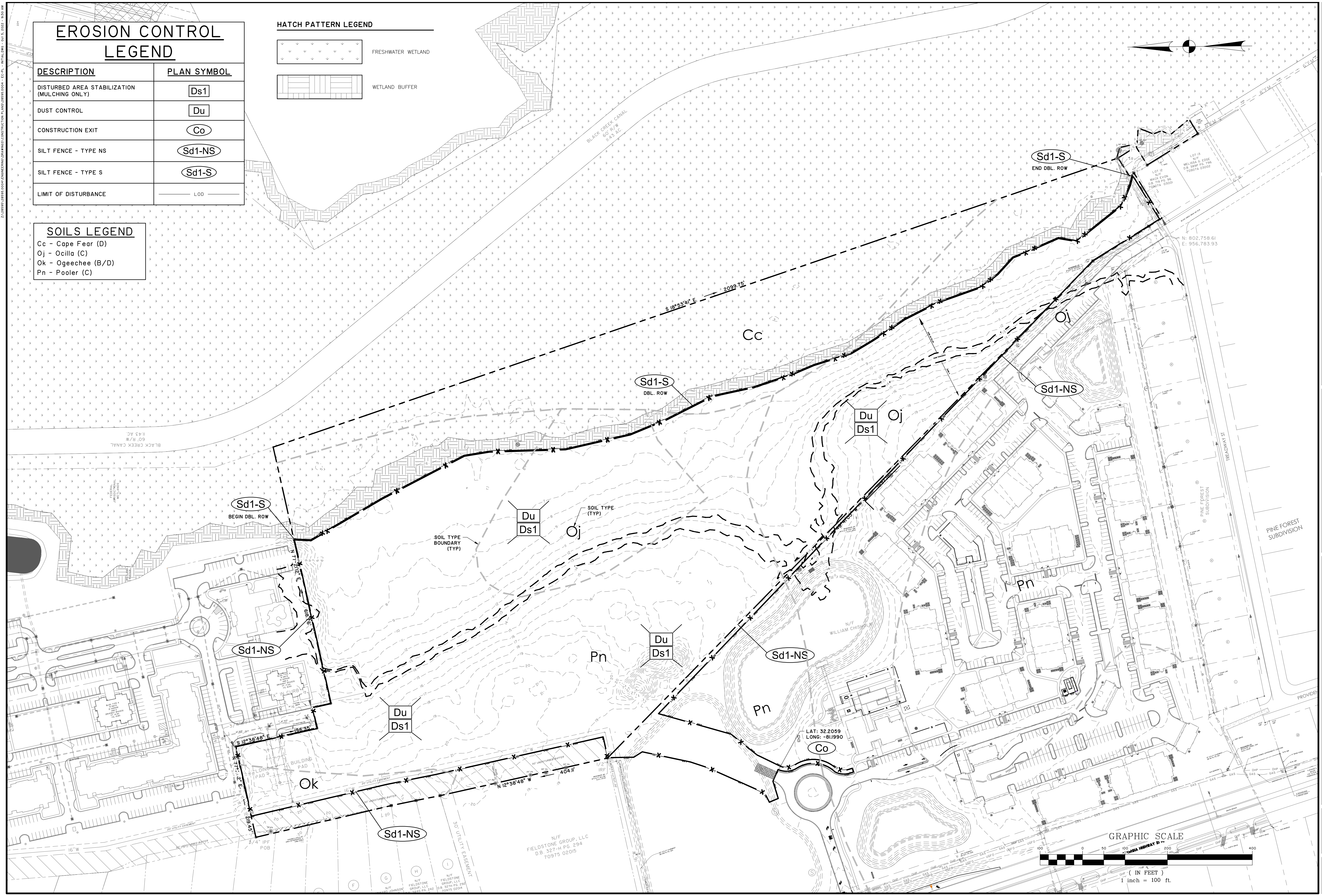
NO.	REVISIONS	BY	DATE

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NOVARE GROUP - PORT WENTWORTH SFR, LLC
 PORT WENTWORTH, GEORGIA
 SINGLE FAMILY RENTAL - PARCEL 4
 ESPC PLAN - INITIAL

JOB NO: J-28595.0004
 DATE: 7/5/2022
 DRAWN: JBJ
 DESIGNED: SKM
 REVIEWED: SKM
 APPROVED: SKM
 SCALE: 1" = 100'

EC1.1



EROSION CONTROL LEGEND

DESCRIPTION	PLAN SYMBOL
DISTURBED AREA STABILIZATION (MULCHING ONLY)	Ds1
DUST CONTROL	Du
CONSTRUCTION EXIT	Co
SILT FENCE - TYPE NS	Sd1-NS
SILT FENCE - TYPE S	Sd1-S
LIMIT OF DISTURBANCE	LOD

HATCH PATTERN LEGEND

	FRESHWATER WETLAND
	WETLAND BUFFER

SOILS LEGEND

Cc - Cape Fear (D)
Oj - Ocilla (C)
Ok - Ogeechee (B/D)
Pn - Pooler (C)

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GSWCC LEVEL L2
DESIGN PROFESSIONAL
CERTIFICATION #
000002466
EXPIRES : 6/22/2024

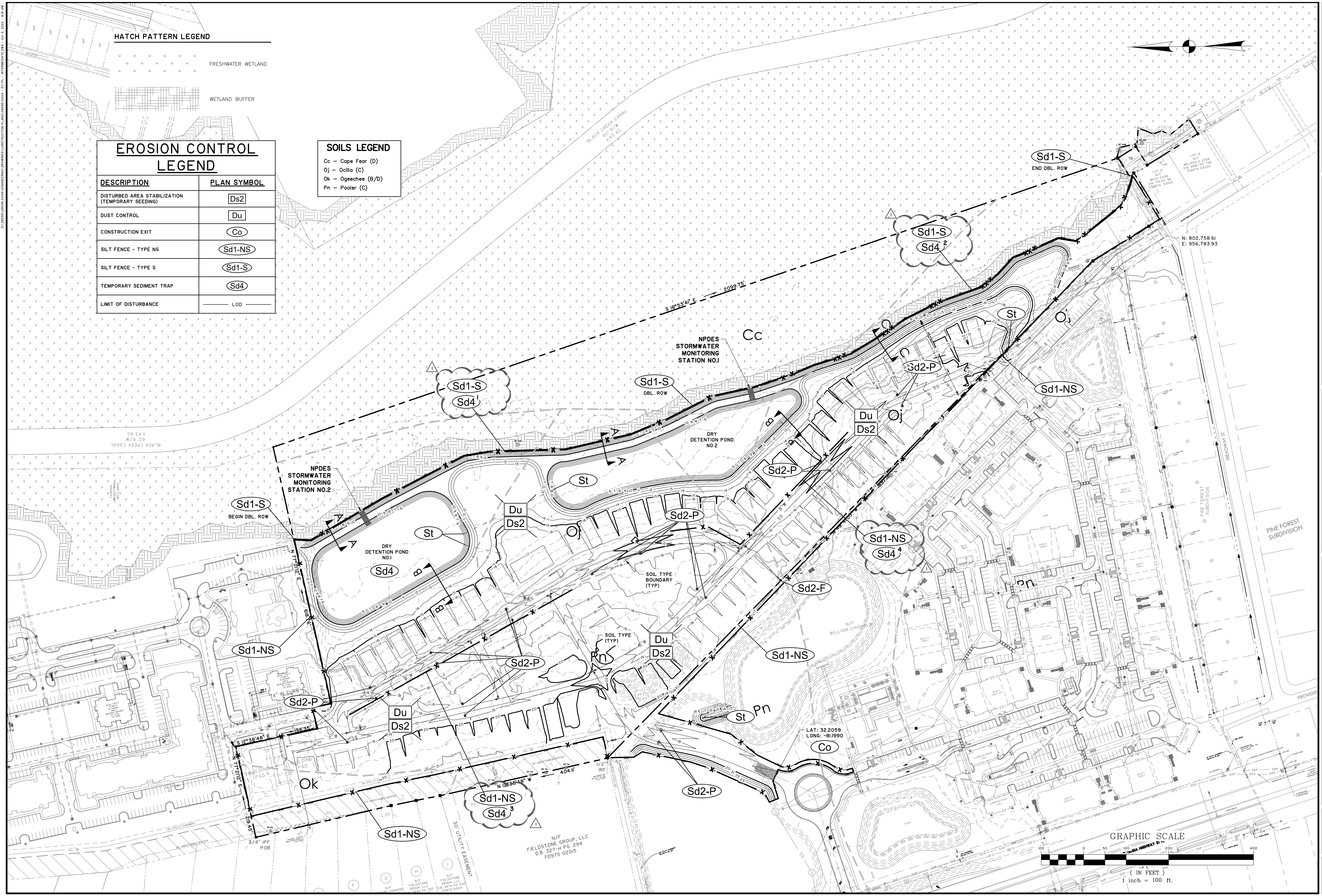
NO.	REVISIONS	BY	DATE
I	REVISED PER EPD COMMENTS	SCJ	8/22/22

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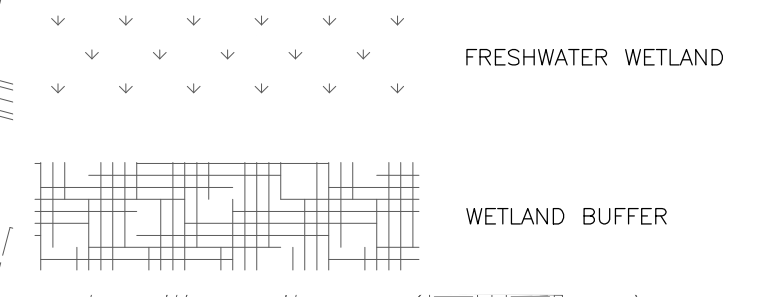
NOVARE GROUP - PORT WENTWORTH SFR, LLC
 SINGLE FAMILY RENTAL - PARCEL 4
ESPC PLAN - INTERMEDIATE

JOB NO:	J-28595.0004
DATE:	7/5/2022
DRAWN:	JBW
DESIGNED:	SKM
REVIEWED:	SKM
APPROVED:	SKM
SCALE:	1" = 100'

EC2.1



HATCH PATTERN LEGEND

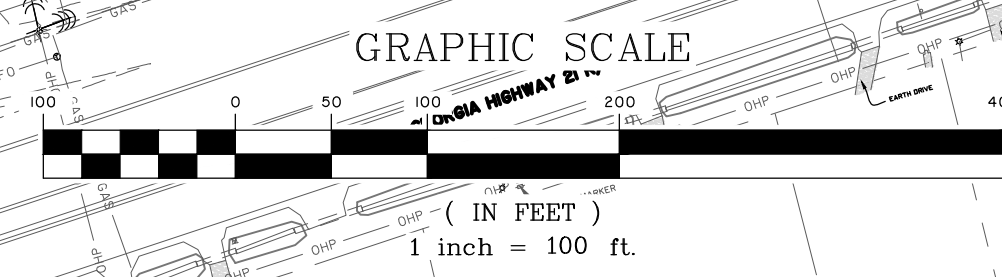


EROSION CONTROL LEGEND

DESCRIPTION	PLAN SYMBOL
DISTURBED AREA STABILIZATION (TEMPORARY SEEDING)	Ds2
DUST CONTROL	Du
CONSTRUCTION EXIT	Co
SILT FENCE - TYPE NS	Sd1-NS
SILT FENCE - TYPE S	Sd1-S
TEMPORARY SEDIMENT TRAP	Sd4
LIMIT OF DISTURBANCE	LOD

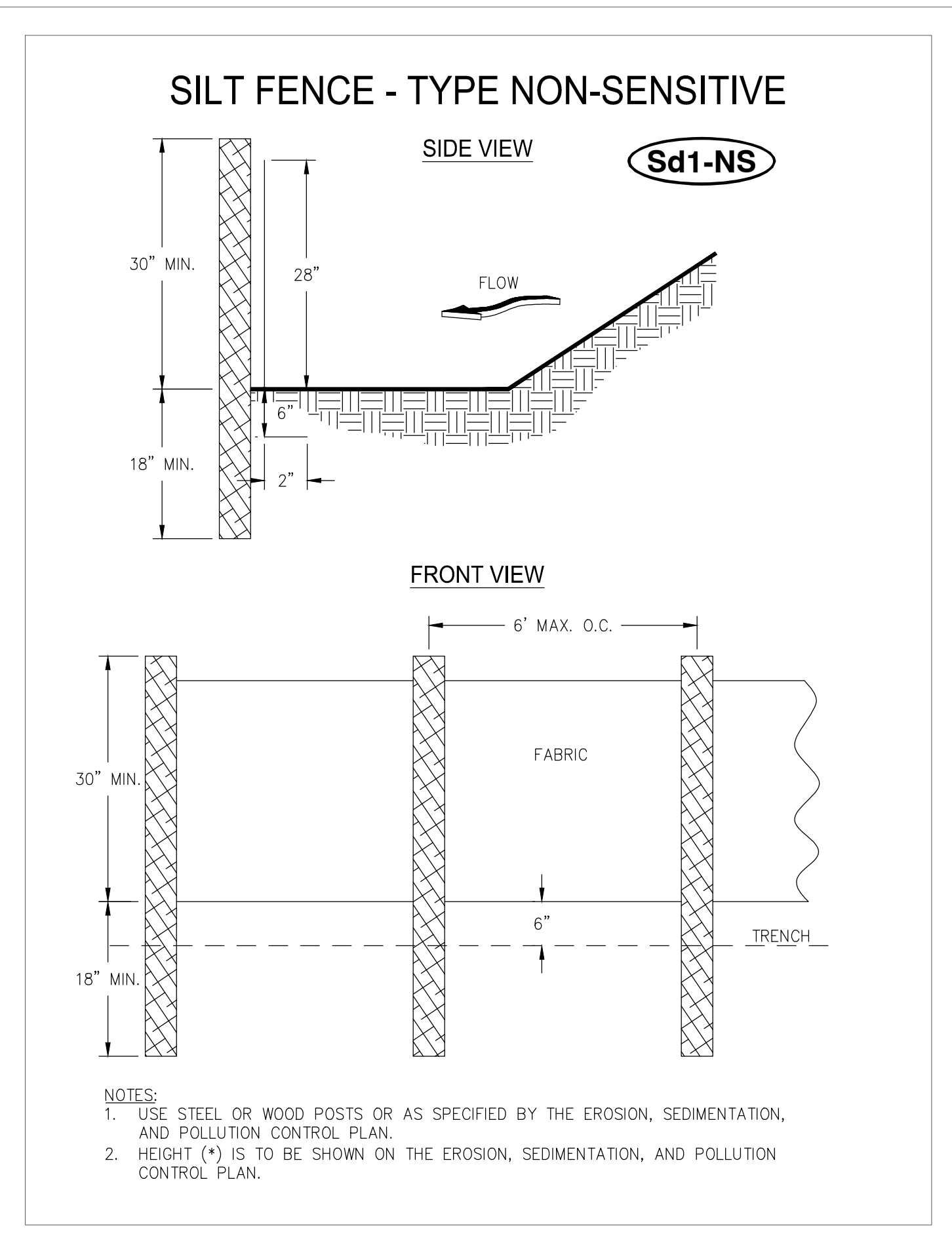
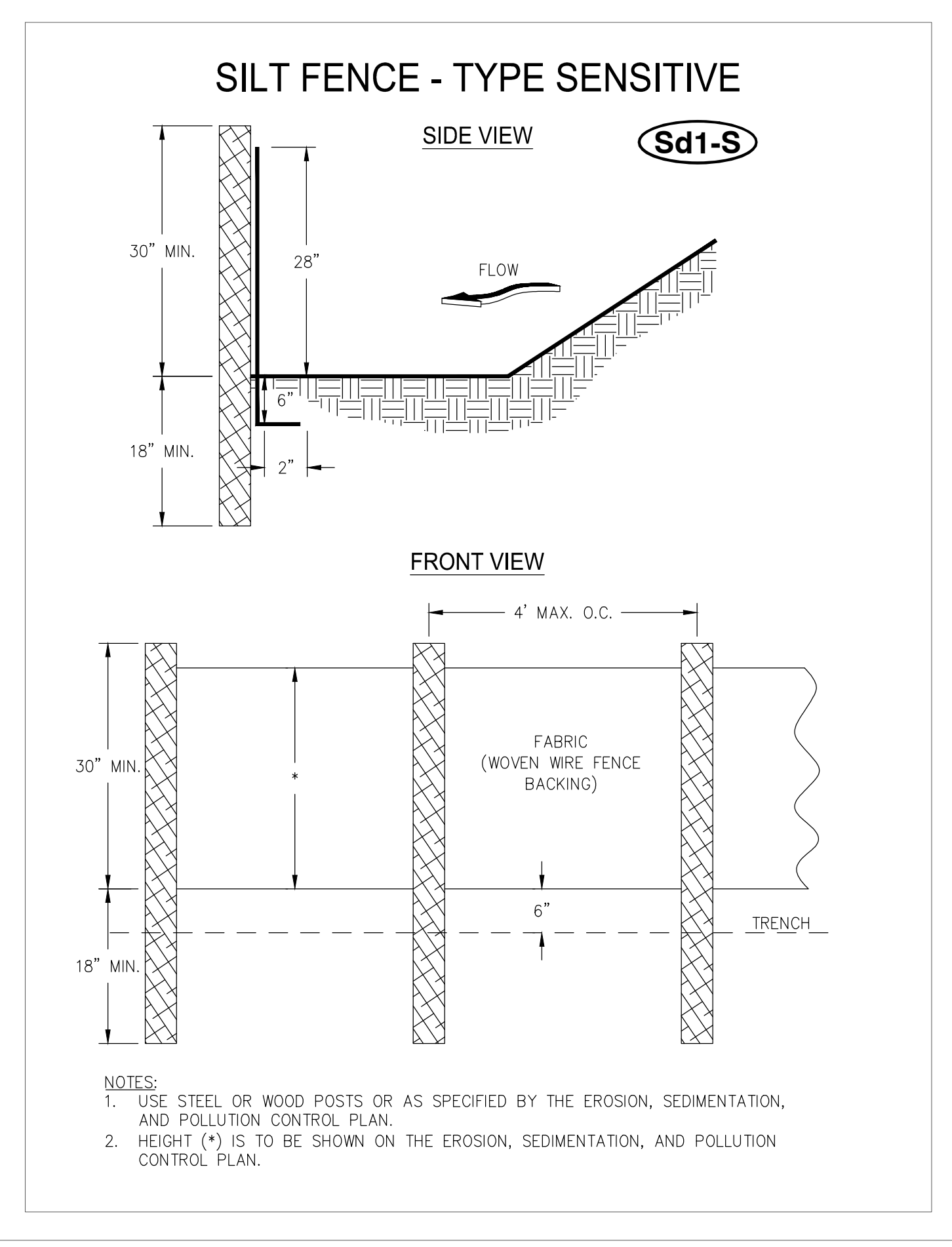
SOILS LEGEND

- Cc - Cape Fear (D)
- Oj - Oclita (C)
- Ok - Ogeechee (B/D)
- Pn - Pooler (C)



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DUST CONTROL ON DISTURBED AREAS

DEFINITION
Controlling surface and air movement of dust on land-disturbing activities.

PURPOSE

- Prevent the movement of dust from exposed soil surfaces.
- Prevent the movement of airborne substances that may be harmful to health.

INSTALLATION

- Apply according to approved plan, if shown.
- Mulch disturbed areas and tackify with resins such as asphalt, Curasol or Terrateck according to manufacturer's recommendations.
- Stabilize disturbed areas with temporary or permanent vegetation.
- Irrigate disturbed areas until surface is wet.
- Cover surfaces with crushed stone or gravel.

32

Du

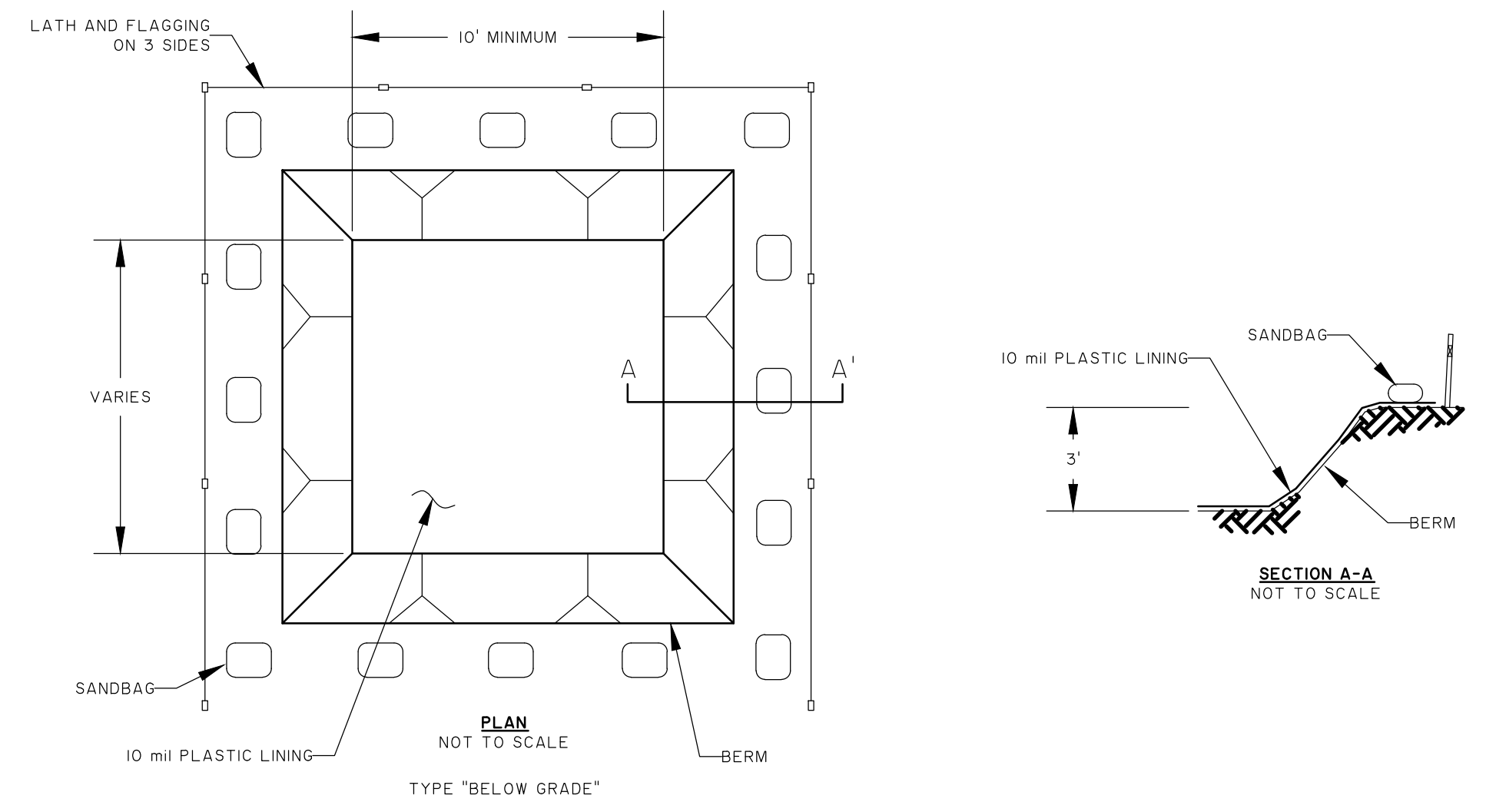
DUST CONTROL

NOT TO SCALE

Table 1. Spray-On Adhesive Application Requirements

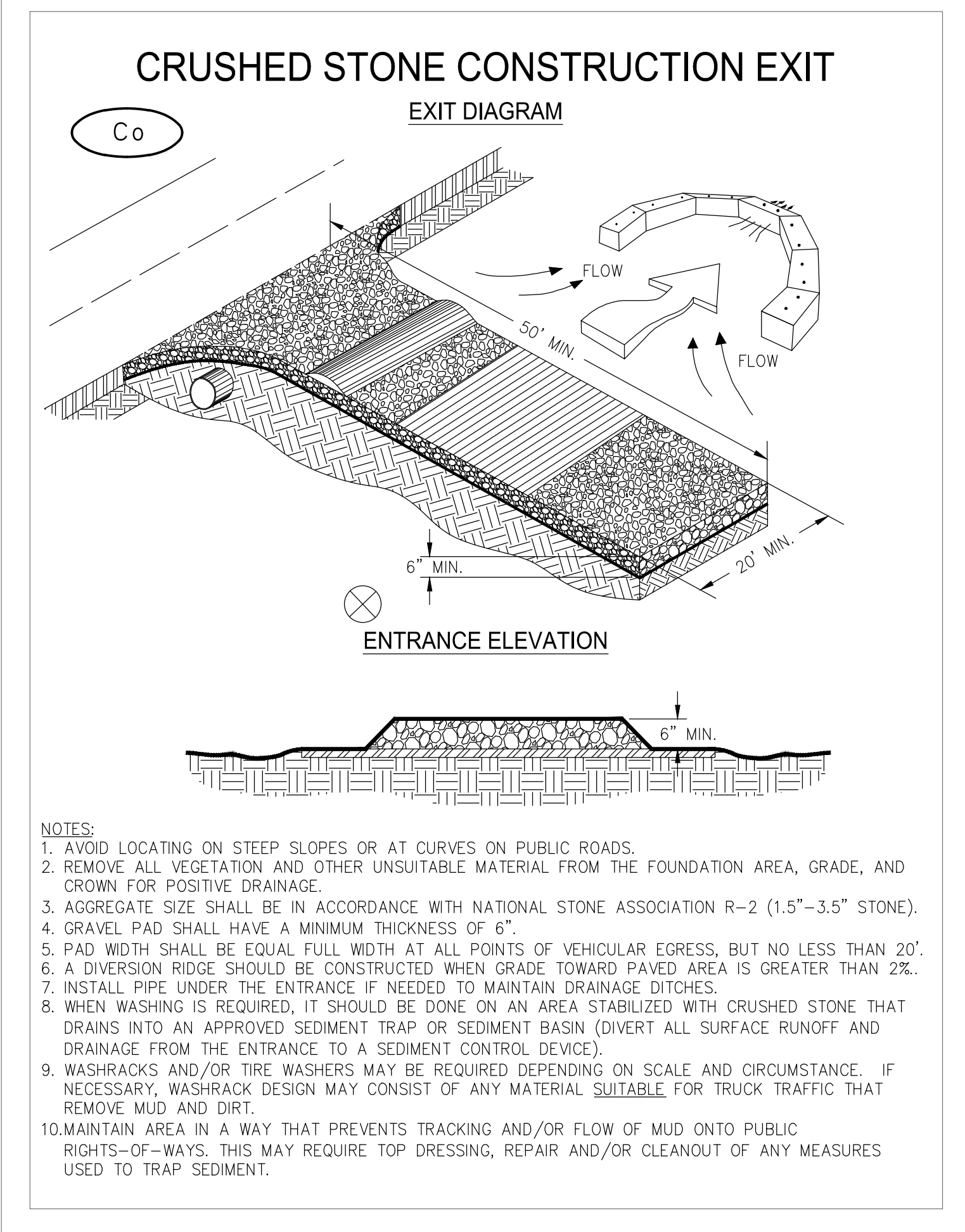
Adhesive	Water Dilution	Nozzle Type	Application (Gal./Acre)
Anionic asphalt emulsion	7:1*	Coarse spray	1,200
Latex emulsion	12.5:1 *	Fine spray	235
Resin-in-water emulsion	4:1*	Fine spray	300

*Use manufacturer's recommendations when available.



NOTES:

- ACTUAL LAYOUT DETERMINED IN THE FIELD.
- THE CONCRETE WASHOUT SIGN SHALL BE INSTALLED WITHIN 30' OF THE TEMPORARY CONCRETE WASHOUT FACILITY.



SEEDING RATES FOR TEMPORARY & PERMANENT COVER

MONTH	TEMPORARY COVER	RATE PER ACRE		PERMANENT COVER	RATE PER ACRE	
		SEEDED ALONE	ADDED TO MIX		SEEDED ALONE	ADDED TO MIX
JANUARY	* LESPEDEZA, ANNUAL	40 lbs.	10 lbs.	* BAHIA, PENSACOLA	60 lbs.	30 lbs.
	* RYE	3 bu.	5 bu.	BERMUDA, UNHULLED	10 lbs.	6 lbs.
	* RYEGRASS, ANNUAL	40 lbs.	5 bu.	CENTPEDE, SOD	-	-
FEBRUARY	* LESPEDEZA, ANNUAL	40 lbs.	10 lbs.	* BAHIA, PENSACOLA	60 lbs.	30 lbs.
	* RYEGRASS, WEeping	3 bu.	5 bu.	BERMUDA, UNHULLED	10 lbs.	6 lbs.
	* RYEGRASS, ANNUAL	40 lbs.	5 bu.	CENTPEDE, SOD	75 lbs.	-
MARCH	* LESPEDEZA, ANNUAL	40 lbs.	10 lbs.	* BAHIA, PENSACOLA	60 lbs.	30 lbs.
	* LOVEGRASS, WEeping	4 lbs.	2 lbs.	BERMUDA, UNHULLED	10 lbs.	6 lbs.
	* SUDANGRASS	60 lbs.	-	CENTPEDE, SOD	75 lbs.	-
APRIL	* LESPEDEZA, ANNUAL	40 lbs.	10 lbs.	* BAHIA, PENSACOLA	60 lbs.	30 lbs.
	* LOVEGRASS, WEeping	4 lbs.	2 lbs.	BERMUDA, UNHULLED	10 lbs.	6 lbs.
	* SUDANGRASS	60 lbs.	-	CENTPEDE, SOD	75 lbs.	-
MAY	* LESPEDEZA, ANNUAL	40 lbs.	10 lbs.	* BAHIA, PENSACOLA	60 lbs.	30 lbs.
	* LOVEGRASS, WEeping	4 lbs.	2 lbs.	BERMUDA, UNHULLED	10 lbs.	6 lbs.
	* SUDANGRASS	60 lbs.	-	CENTPEDE, SOD	75 lbs.	-
JUNE	* LESPEDEZA, ANNUAL	40 lbs.	10 lbs.	* BAHIA, PENSACOLA	60 lbs.	30 lbs.
	* LOVEGRASS, WEeping	4 lbs.	2 lbs.	BERMUDA, UNHULLED	10 lbs.	6 lbs.
	* SUDANGRASS	60 lbs.	-	CENTPEDE, SOD	75 lbs.	-
JULY	* LESPEDEZA, ANNUAL	40 lbs.	10 lbs.	* BAHIA, PENSACOLA	60 lbs.	30 lbs.
	* LOVEGRASS, WEeping	4 lbs.	2 lbs.	BERMUDA, UNHULLED	10 lbs.	6 lbs.
	* SUDANGRASS	60 lbs.	-	CENTPEDE, SOD	75 lbs.	-
AUGUST	* LESPEDEZA, ANNUAL	40 lbs.	10 lbs.	* BAHIA, PENSACOLA	60 lbs.	30 lbs.
	* LOVEGRASS, WEeping	4 lbs.	2 lbs.	BERMUDA, UNHULLED	10 lbs.	6 lbs.
	* SUDANGRASS	60 lbs.	-	CENTPEDE, SOD	75 lbs.	-
SEPTEMBER	* LESPEDEZA, ANNUAL	40 lbs.	10 lbs.	* BAHIA, PENSACOLA	60 lbs.	30 lbs.
	* LOVEGRASS, WEeping	4 lbs.	2 lbs.	BERMUDA, UNHULLED	10 lbs.	6 lbs.
	* SUDANGRASS	60 lbs.	-	CENTPEDE, SOD	75 lbs.	-
OCTOBER	* LESPEDEZA, ANNUAL	40 lbs.	10 lbs.	* BAHIA, PENSACOLA	60 lbs.	30 lbs.
	* LOVEGRASS, WEeping	4 lbs.	2 lbs.	BERMUDA, UNHULLED	10 lbs.	6 lbs.
	* SUDANGRASS	60 lbs.	-	CENTPEDE, SOD	75 lbs.	-
NOVEMBER	* LESPEDEZA, ANNUAL	40 lbs.	10 lbs.	* BAHIA, PENSACOLA	60 lbs.	30 lbs.
	* LOVEGRASS, WEeping	4 lbs.	2 lbs.	BERMUDA, UNHULLED	10 lbs.	6 lbs.
	* SUDANGRASS	60 lbs.	-	CENTPEDE, SOD	75 lbs.	-
DECEMBER	* LESPEDEZA, ANNUAL	40 lbs.	10 lbs.	* BAHIA, PENSACOLA	60 lbs.	30 lbs.
	* LOVEGRASS, WEeping	4 lbs.	2 lbs.	BERMUDA, UNHULLED	10 lbs.	6 lbs.
	* SUDANGRASS	60 lbs.	-	CENTPEDE, SOD	75 lbs.	-

NOTES:

ALL PERMANENT GRASS PLANTINGS SHALL BE MULCHED
 PERMANENT GRASSING SHOWN ON THIS TABLE IS FOR DISTURBED AREAS NOT SHOWN ON LANDSCAPE PLAN.
 * INDICATES MARGINAL (BUT PERMISSIBLE) PLANTING DATE

- UNSCARIFIED
- SCARIFIED
- CENTPEDE SOD CAN BE USED AS PERMANENT COVER ANYTIME EXCEPT JUNE THRU OCTOBER

GSWCC LEVEL L2
 DESIGN PROFESSIONAL
 CERTIFICATION #
 000012466
 EXPIRES : 6/22/2024

NO.	REVISIONS	BY	DATE

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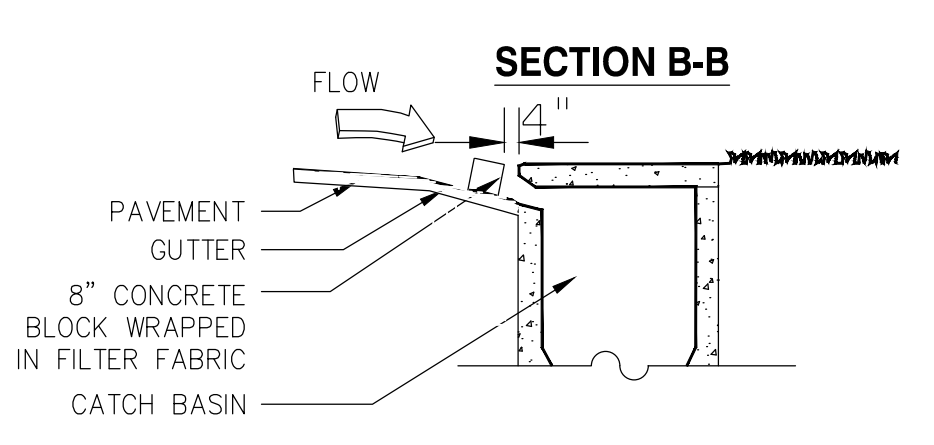
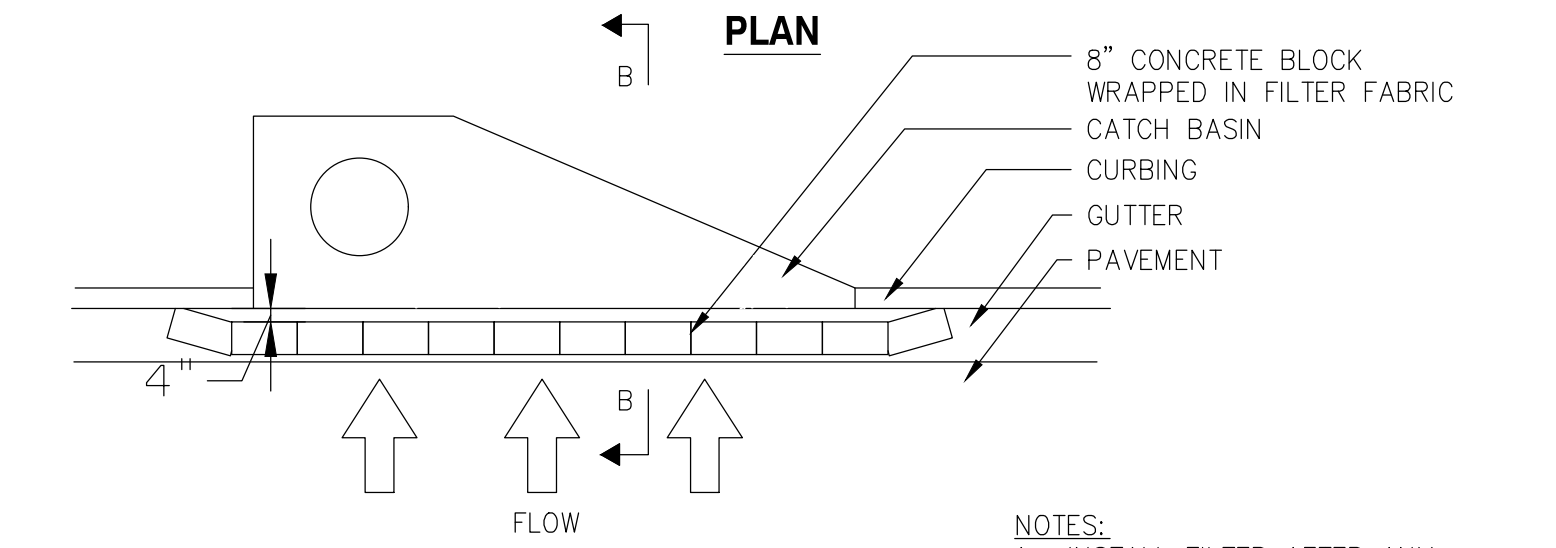
NOVARE GROUP - PORT WENTWORTH SFR, LLC
 PORT WENTWORTH, GEORGIA

SINGLE FAMILY RENTAL - PARCEL 4

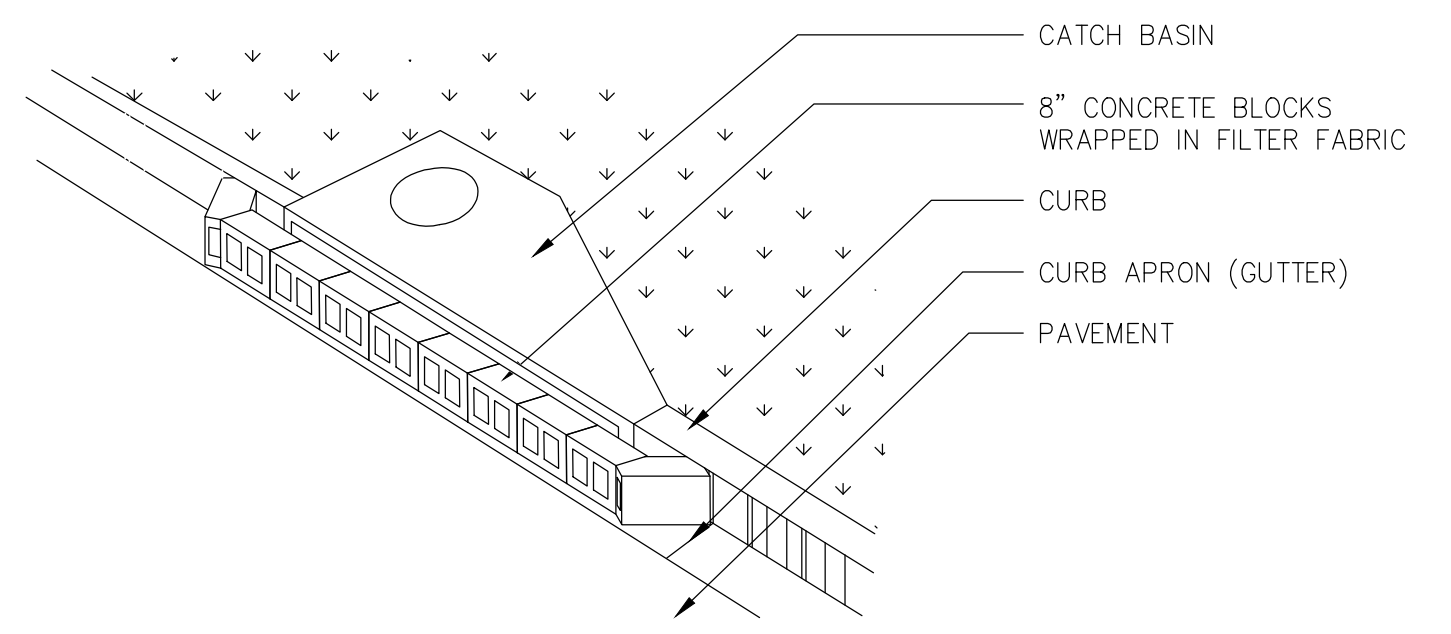
ESPC DETAILS

JOB NO: J-28595.0004
 DATE: 7/5/2022
 DRAWN: JBJ
 DESIGNED: SKM
 REVIEWED: SKM
 APPROVED: SKM
 SCALE: 1" = 1'

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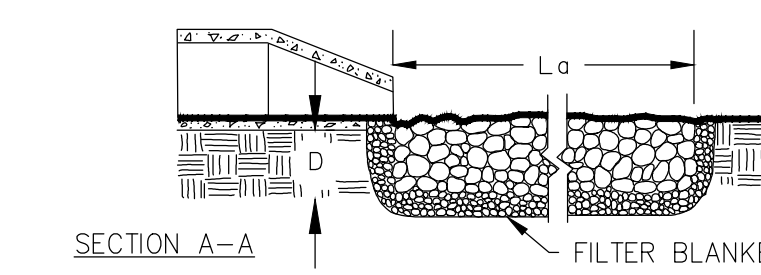
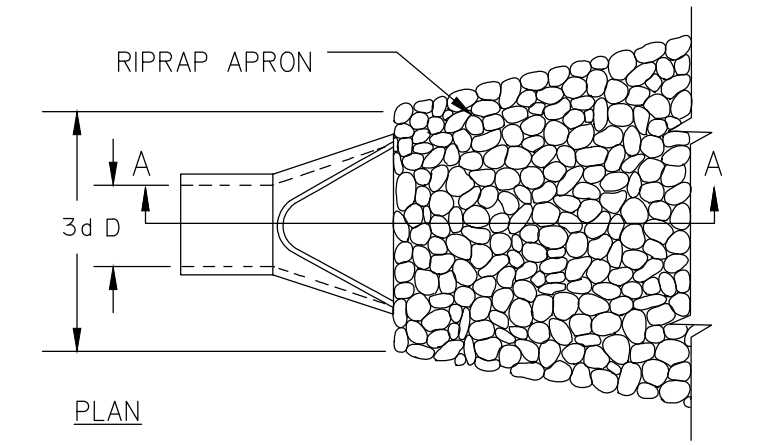


- NOTES:**
1. INSTALL FILTER AFTER ANY ASPHALT PAVEMENT INSTALLATION.
 2. WRAP 8" CONCRETE BLOCKS IN FILTER FABRIC AND SPAN ACROSS CATCH BASIN INLET.
 3. FACE OPENINGS IN BLOCKS OUTWARD.
 4. LEAVE A GAP OF APPROXIMATELY 4 INCHES BETWEEN THE CURB AND THE FILTERS TO ALLOW FOR OVERFLOW TO PREVENT HAZARDOUS PONDING.
 5. INSTALL OUTLET PROTECTION BELOW STORM DRAIN OUTLETS.

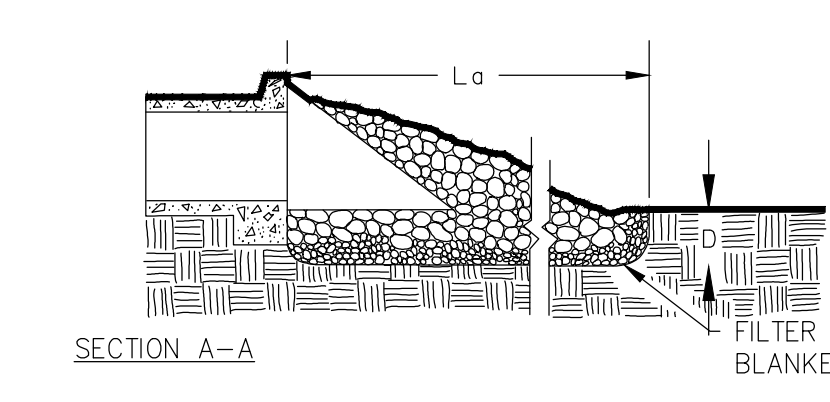
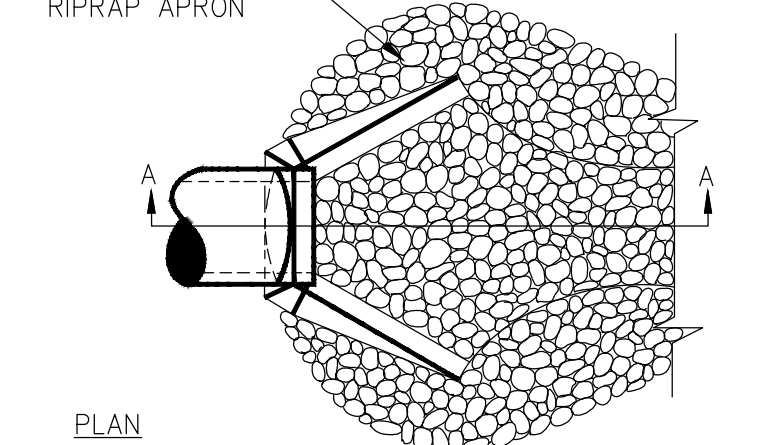


CURB INLET FILTER "PIGS IN BLANKET" CURB INLET PROTECTION
NOT TO SCALE (Sd2-P)

PIPE OUTLET TO FLAT AREA -- NO WELL DEFINED CHANNEL



PIPE OUTLET TO WELL DEFINED CHANNEL

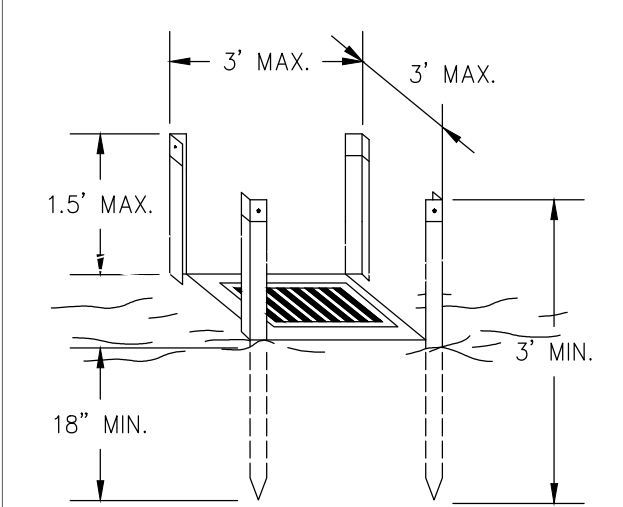


- NOTES:**
1. L_a IS THE LENGTH OF THE RIPRAP APRON.
 2. $D = 1.5$ TIMES THE MAXIMUM STONE DIAMETER BUT NOT LESS THAN 6".
 3. IN A WELL-DEFINED CHANNEL, EXTEND THE APRON UP THE CHANNEL BANKS TO AN ELEVATION OF 6" ABOVE THE MAXIMUM TAILWATER DEPTH OR TO THE TOP OF THE BANK (WHICHEVER IS LESS).
 4. A FILTER BLANKET OR FILTER FABRIC SHOULD BE INSTALLED BETWEEN THE RIPRAP AND THE SOIL FOUNDATION.
 5. $L_a = 10'$
 $W1 = 4'$
 $W2 = 12'$
 $d50 = 3.6"$
 $dMAX = 5.4"$
 $D = 8.1"$

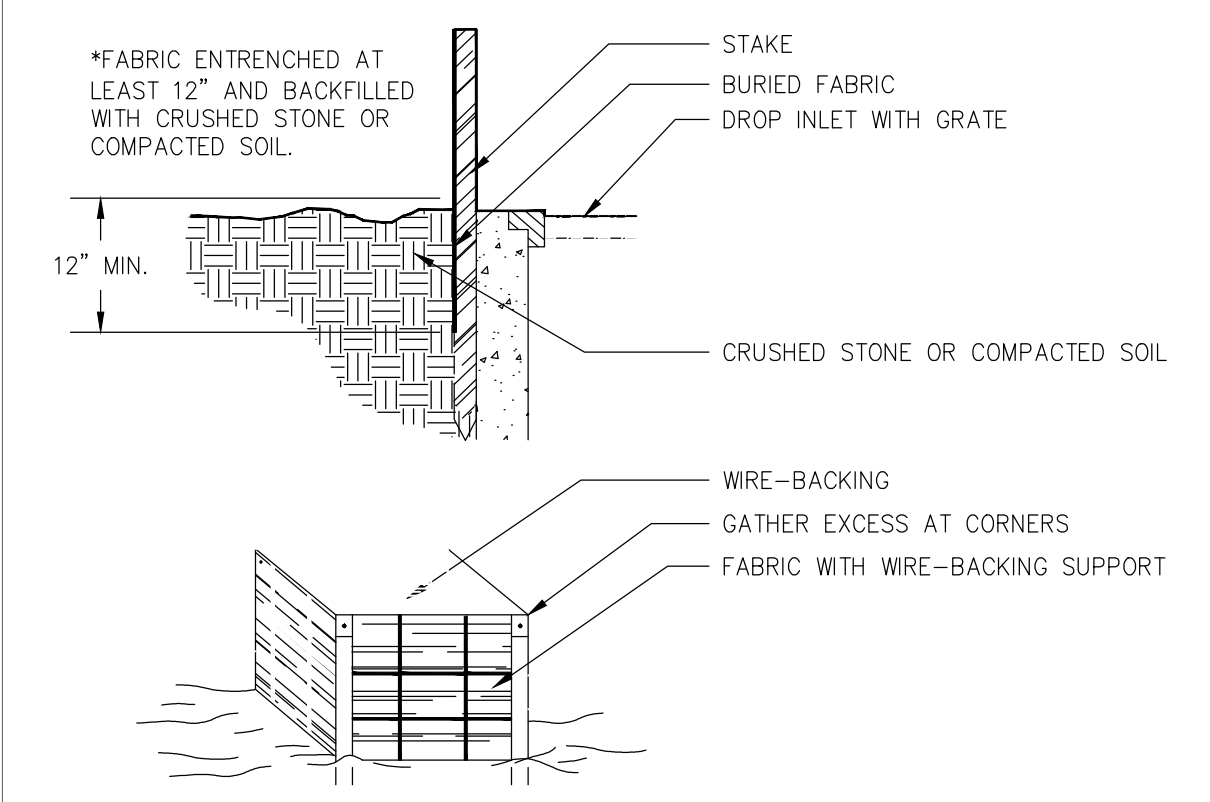
RIPRAP OUTLET PROTECTION
NOT TO SCALE (St)

FABRIC AND SUPPORTING FRAME FOR INLET PROTECTION

STEEL FRAME AND SILT FENCE INSTALLATION



- NOTES:**
1. DESIGN IS FOR SLOPES NO GREATER THAN 5% (NOT DESIGNED FOR CONCENTRATED FLOWS).
 2. THE STEEL POSTS SUPPORTING THE SILT FENCE MATERIAL SHOULD BE SPACED EVENLY AROUND THE PERIMETER OF THE INLET (MAXIMUM OF 3' APART).
 3. THE STEEL POSTS SHOULD BE SECURELY DRIVEN AT LEAST 18" DEEP.
 4. THE FABRIC SHOULD BE ENTRENCHED AT LEAST 12" AND THEN BACKFILLED WITH CRUSHED STONE OR COMPACTED SOIL.

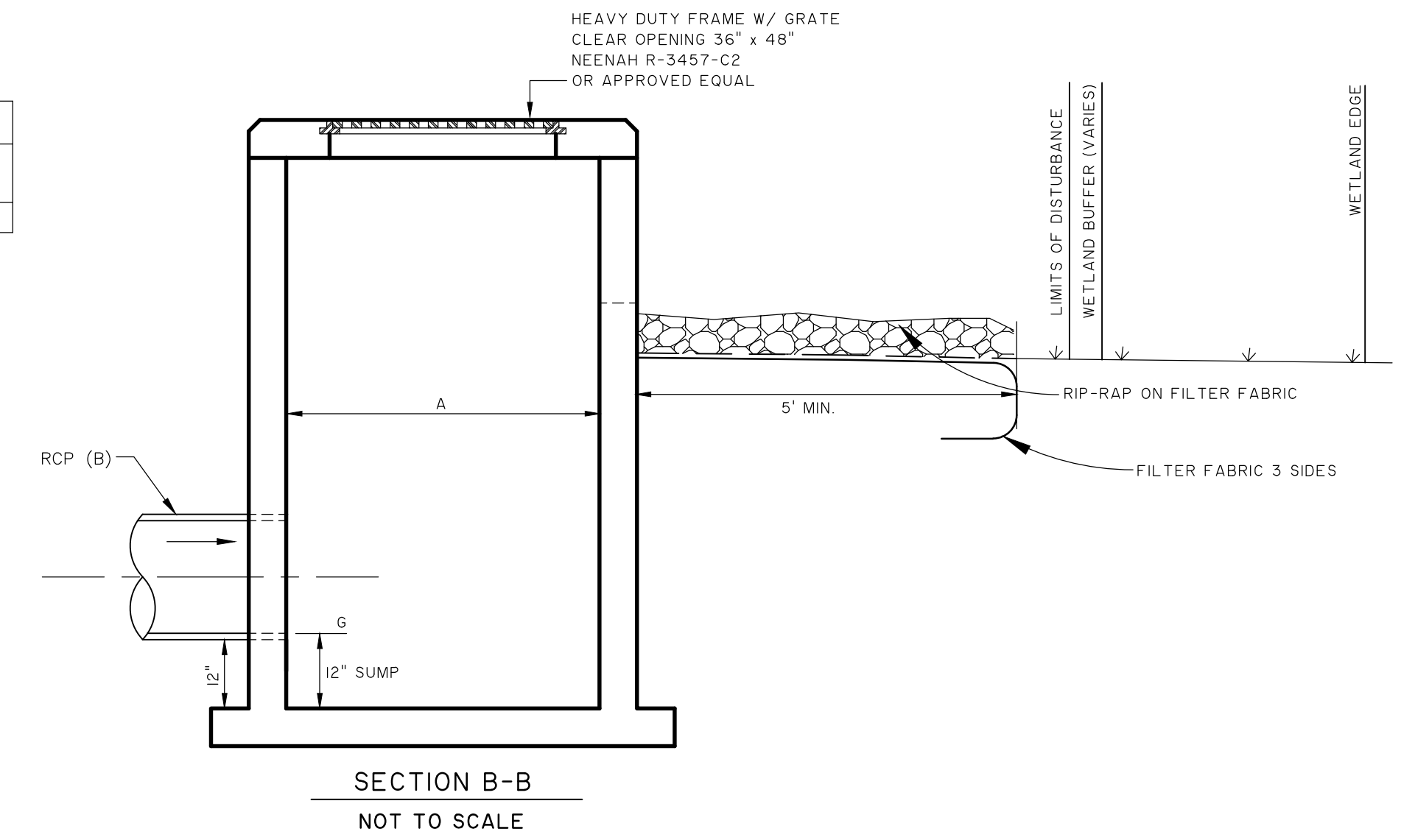
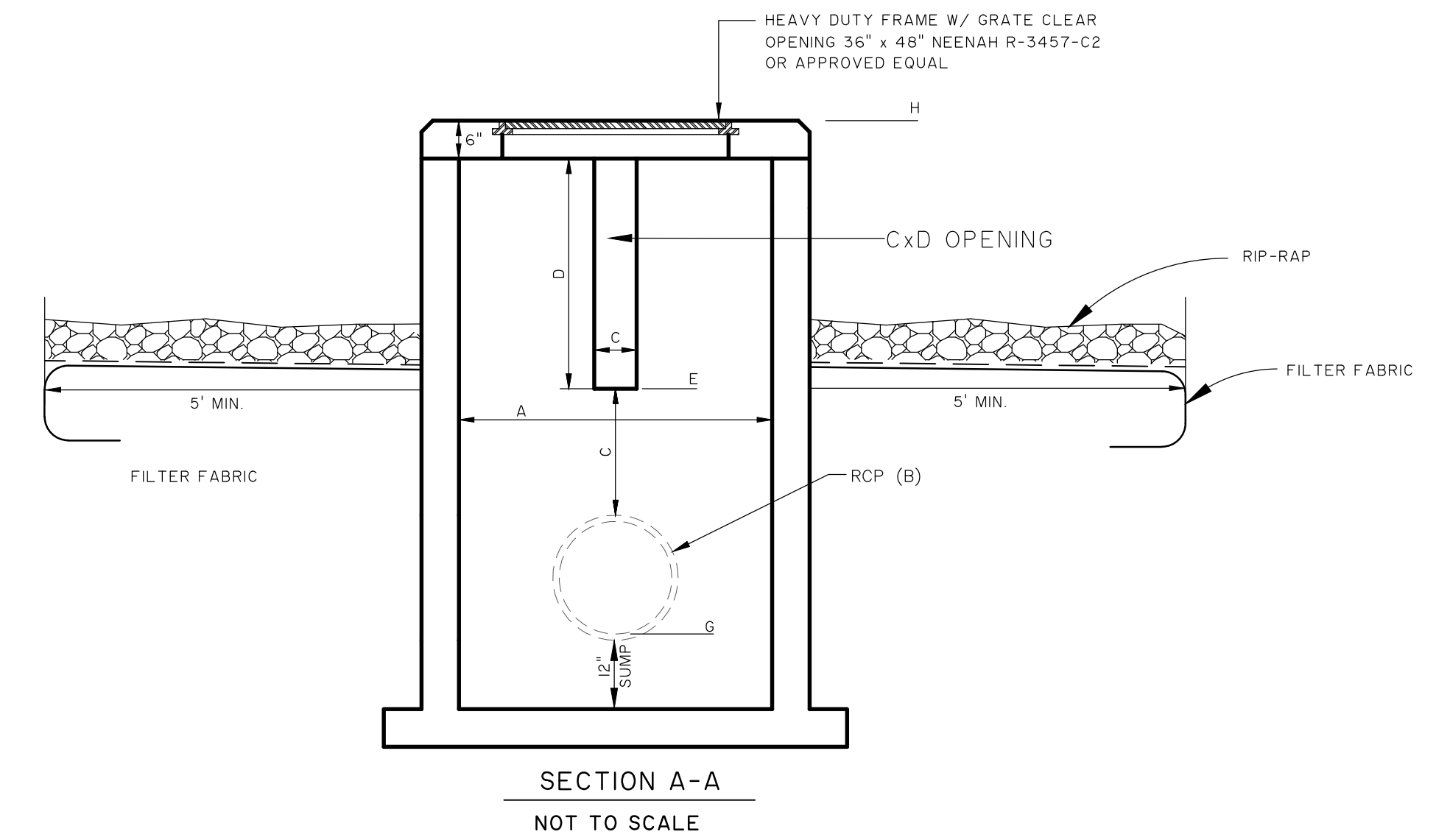
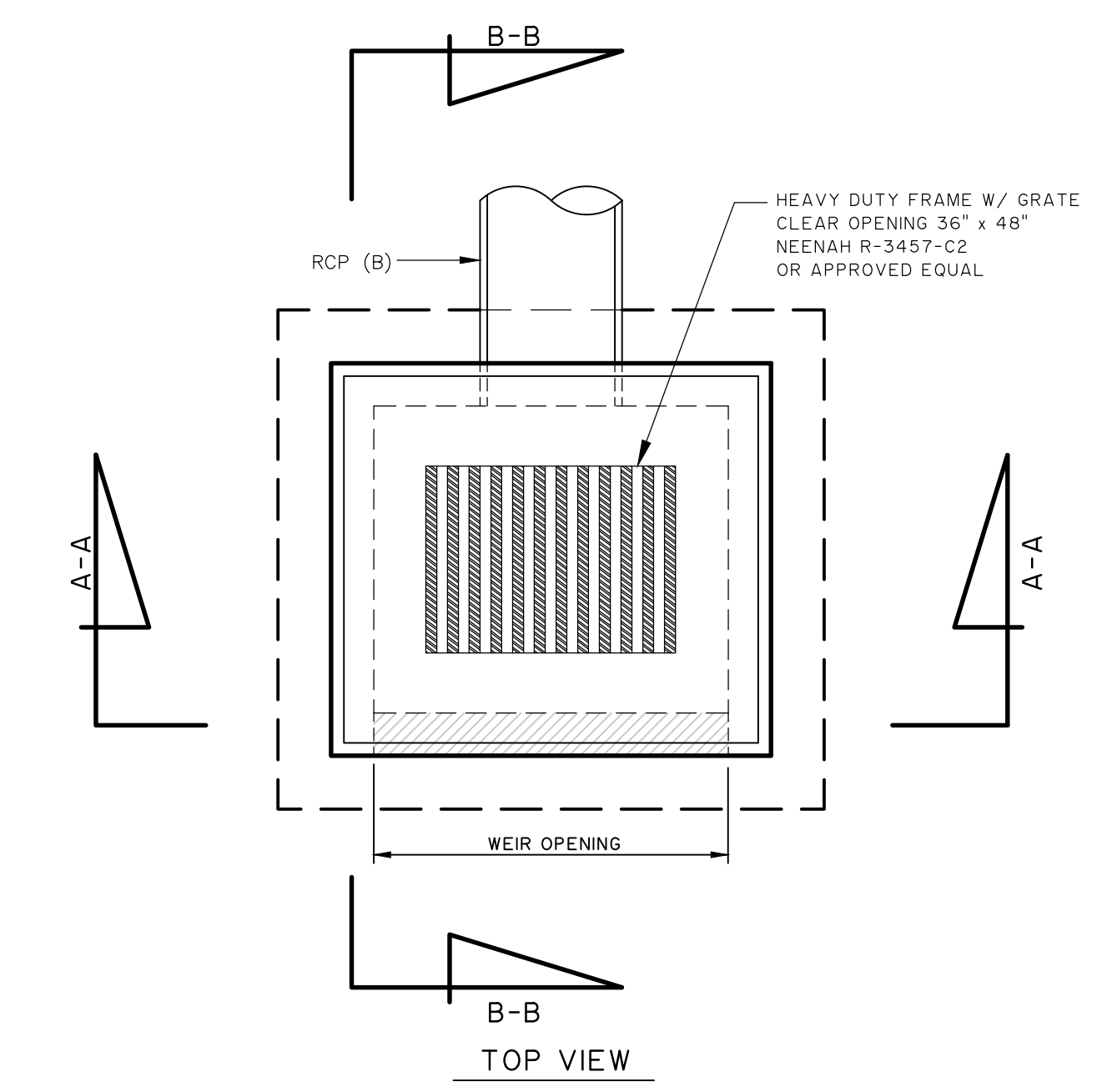


(Sd2-F)

CONTROL STRUCTURE DIMENSIONS

CS	A (MIN.)	B	C	D	E (EL)	G (EL)	H
CS	48"	18"ø	6"	24"	8.0	6.0	10.5

BUBBLER STRUCTURE DETAIL (TYP. - SEE TABLE)
NOT TO SCALE



GEORGIA
REGISTERED PROFESSIONAL ENGINEER
GSECE 000012466
EXPIRES: 6/22/2024

NO.	REVISIONS	BY	DATE

THOMAS & HUTTON
50 Park of Commerce Way
Savannah, GA 31405 • 912.234.5300
www.thomasandhutton.com

NOVARE GROUP - PORT WENTWORTH SFR, LLC
PORT WENTWORTH, GEORGIA
SINGLE FAMILY RENTAL - PARCEL 4
ESPC DETAILS

JOB NO:	J-28595.0004
DATE:	7/5/2022
DRAWN:	JBJ
DESIGNED:	SKM
REVIEWED:	SKM
APPROVED:	SKM
SCALE:	1" = 1'