



CITY OF PORT WENTWORTH

PLANNING COMMISSION

OCTOBER 10, 2022

Council Meeting Room

Regular Meeting

6:30 PM

7224 GA HIGHWAY 21
PORT WENTWORTH, GA 31407

1. CALL MEETING TO ORDER

2. PRAYER AND PLEDGE OF ALLEGIANCE

3. ROLL CALL - SECRETARY

4. APPROVAL OF AGENDA

5. ADOPTION OF MINUTES

A. Planning Commission - Regular Meeting - Sep 12, 2022 6:30 PM

6. ZONING MAP AMENDMENTS (REZONING)

A. Zoning Map Amendment Application submitted by David Smith, Kimley-Horn, on behalf of Joseph H. Honerlein, for PIN # 70976 01012B (640 Highway 30) to Rezone from RA (Residential Agriculture) to P-C-3 (Planned General Business) Zoning District for the purpose of a Convenience Store / Fuel Service Station (Parker's kitchen)

- Public Hearing
- Action

7. ZONING TEXT AMENDMENTS (ORDINANCES)

8. SITE PLAN/SUBDIVISION APPROVAL

A. Site Plan Review Application submitted by Felipe Toledo, P.E., Thomas & Hutton of behalf of LRE Crossgate North, LLC., for PIN # 7-0035-01-007 (Northeast corner of Crossgate Rd & Jimmy Deloach Parkway) for a Specific Development Site Plan to allow a warehouse development (NFI Crossgate Industrial Park) in a P-I-1 (Planned Industrial) Zoning District

- Public Hearing
- Action

9. NEW BUSINESS

10. ADJOURNMENT



CITY OF PORT WENTWORTH

PLANNING COMMISSION

SEPTEMBER 12, 2022

Council Meeting Room

Regular Meeting

6:30 PM

7224 GA HIGHWAY 21
PORT WENTWORTH, GA 31407

1. CALL MEETING TO ORDER

Vice-Chairman Lauree Morris called the meeting to order.

2. PRAYER AND PLEDGE OF ALLEGIANCE

Commissioner Herrin led the Prayer and Pledge of Allegiance.

3. ROLL CALL - SECRETARY

Attendee Name	Title	Status	Arrived
Bill Herrin	Planning Commissioner	Present	
Rosetta Franklin	Planning Commissioner	Present	
Lauree Morris	Planning Commissioner	Present	
CJ Neesmith	Planning Commissioner	Absent	
Janet Hester	Planning Commissioner	Absent	
Melanie Ellis	Building Inspector	Present	
Steve Davis	City Manager	Present	

4. APPROVAL OF AGENDA

- Approval of Agenda

RESULT: ADOPTED [UNANIMOUS]
MOVER: Rosetta Franklin, Planning Commissioner
SECONDER: Bill Herrin, Planning Commissioner
AYES: Herrin, Franklin, Morris
ABSENT: Neesmith, Hester

5. ADOPTION OF MINUTES

- Planning Commission - Regular Meeting - Jul 11, 2022 6:30 PM

RESULT: ACCEPTED [UNANIMOUS]
MOVER: Bill Herrin, Planning Commissioner
SECONDER: Rosetta Franklin, Planning Commissioner
AYES: Herrin, Franklin, Morris
ABSENT: Neesmith, Hester

6. ZONING MAP AMENDMENTS (REZONING)

7. ZONING TEXT AMENDMENTS (ORDINANCES)

8. SITE PLAN/SUBDIVISION APPROVAL

Minutes Acceptance: Minutes of Sep 12, 2022 6:30 PM (ADOPTION OF MINUTES)

- A. Alcoholic Beverage License Application submitted by An Lin Ruan, for a Pouring Beer / Wine / Liquor and Sunday Sales License for Milan Ruan Inc., DBA Milan Grill Bar (7202 Highway 21) located in a P-C-3 (Planned General Business) Zoning District

The applicant was not present at the meeting to represent the application. Vice-Chairman Morris asked Mr. Davis if the applicant had passed the background check done by the City of Port Wentworth Police Department. Mr. Davis responded yes.

There were no public comments.

Commissioner Herrin made a motion to approve the application. Commissioner Franklin seconded the motion to approve. The vote was unanimous.

RESULT:	APPROVED [UNANIMOUS]
MOVER:	Bill Herrin, Planning Commissioner
SECONDER:	Rosetta Franklin, Planning Commissioner
AYES:	Herrin, Franklin, Morris
ABSENT:	Neesmith, Hester

- B. Site Plan Review Application submitted by Hillpointe, LLC., of behalf of Ameridevelopment Pooler, LLC., for PIN # 71017 01014 (Highway 30) for a General Development Site Plan to allow a multi-family development (Marion Village Apartments) in a P-R-M (Planned Residential Multifamily) Zoning District

Jessica Vick, Roberts Civil Engineering, was present on behalf of the developer and gave a brief overview of the project. Vice-Chairman Morris asked if the proposed road through the project would impact the wetlands. Mrs. Vick responded that there would be no additional impacts to the wetlands and there is a wetland disturbance permit already issued on the property several years ago. Mr. Davis asked if the second entrance (closest to Hodgeville Road) could be moved due to the impact it may have on the intersection of Hodgeville Road and Highway 30. Mrs. Vick stated they would look at moving the entrance location.

Public Hearing:

-Charles Covert, Highway 30, raised concerns about the intersection of Highway 30 and Hodgeville Road. Mr. Covert asked if once the water and sanitary sewer utilities are extended, would residents be able to connect. Mr. Davis responded yes, as long as they pay the applicable tap and connection fees.

-Avril Roy-Smith, Roseberry Cir, asked if there would be any impacts on the wetlands. Mrs. Vick responded that there would be no additional impacts on the wetlands.

After the public hearing was closed, Vice-Chairman Morris asked if there would be an environmental study done. Mrs. Vick responded that a DRI was underway. Commissioner Herrin made a motion to approve the application. Commissioner Franklin seconded the motion to approve. The vote was unanimous.

RESULT:	APPROVED [UNANIMOUS]
MOVER:	Bill Herrin, Planning Commissioner
SECONDER:	Rosetta Franklin, Planning Commissioner
AYES:	Herrin, Franklin, Morris
ABSENT:	Neesmith, Hester

- C. Subdivision Application submitted by Jason Bryant, P.E., Pittman Engineering, Co., on behalf of Forestar (USA) Real Estate Group Inc., for PIN # 70906 04042 (Lakeside Blvd) located in a M-P-O (Master Plan Overlay) Zoning District for a Preliminary Plat of a Major Subdivision (Lakeside at Rice Hope Phase 24) for the purpose of Single-Family Homes

Minutes Acceptance: Minutes of Sep 12, 2022 6:30 PM (ADOPTION OF MINUTES)

The applicant, Jason Bryant, was present and gave a brief overview of the project. Mr. Davis asked if the berm would from neighboring phases along I-95 would be extended to the project. Mr. Bryant responded yes.

Public Hearing:

-Ralph Duxbury, Lakeside Drive, asked if these would be rentals. Mr. Bryant responded that he was not sure.

-Richard Gilardi, Lakeside Drive, asked in what order the phases would be built. Mr. Bryant stated that phase 20 would be built prior to phase 24, because phase 24 would be an extension of the previous phase.

RESULT:	APPROVED [UNANIMOUS]
MOVER:	Bill Herrin, Planning Commissioner
SECONDER:	Rosetta Franklin, Planning Commissioner
AYES:	Herrin, Franklin, Morris
ABSENT:	Neesmith, Hester

9. NEW BUSINESS

10. ADJOURNMENT

A. Adjournment

RESULT:	ADOPTED [UNANIMOUS]
MOVER:	Rosetta Franklin, Planning Commissioner
AYES:	Herrin, Franklin, Morris
ABSENT:	Neesmith, Hester

Chairman

The foregoing minutes are true and correct and approved by me on this _____ day of _____, 2022.

Secretary

Minutes Acceptance: Minutes of Sep 12, 2022 6:30 PM (ADOPTION OF MINUTES)



Planning Commission
305 South Coastal Highway
Port Wentworth, GA 31407

Meeting: 10/10/22 06:30 PM
Department: Development Services
Category: Planning/Zoning Item
Prepared By: Melanie Ellis
Department Head: Brian Harvey

SCHEDULED

AGENDA ITEM (ID # 2740)

DOC ID: 2740

Zoning Map Amendment Application submitted by David Smith, Kimley-Horn, on behalf of Joseph H. Honerlein, for PIN # 70976 01012B (640 Highway 30) to Rezone from RA (Residential Agriculture) to P-C-3 (Planned General Business) Zoning District for the purpose of a Convenience Store / Fuel Service Station (Parker's kitchen)

Issue/Item: Zoning Map Amendment Application submitted by David Smith, Kimley-Horn, on behalf of Joseph H. Honerlein, for PIN # 70976 01012B (640 Highway 30) to Rezone from RA (Residential Agriculture) to P-C-3 (Planned General Business) Zoning District for the purpose of a Convenience Store / Fuel Service Station (Parker's kitchen)

Background: The subject property is currently woodland.

Facts and Findings: The total amount of property to be rezoned is 4.38 acres. The applicant is requesting to rezone for a commercial development that will include a fuel station and a convenience Store. The project will also include associated parking, and drainage. The proposed access will be on Highway 30 and the Effingham Parkway once completed.

Funding: N/A

Recommendation: The Planning Commission will hear this application on Monday, October 10, 2022 at 6:30 PM.

ATTACHMENTS:

- ZMA PARKERS 7-0976-01-012B RA TO PC3 OCT 2022 - Application (PDF)
- ZMA PARKERS 7-0976-01-012B RA TO PC3 OCT 2022 - Sealed Site Survey (PDF)
- ZMA PARKERS 7-0976-01-012B RA TO PC3 OCT 2022 - Conceptual Site Plan (PDF)
- ZMA PARKERS 7-0976-01-012B RA TO PC3 OCT 2022 - Timeline (DOCX)

APPLICATION TO AMEND THE ZONING MAP OF PORT WENTWORTH, GEORGIA

RECEIVED
AUG 10 2022
BY: [Signature]

Applicant: David D. Smith

Phone # 912-226-2607

Mailing Address: 100 Bull Street, Suite 200 Savannah, GA 31401

Property Owner: Joseph H. Honerlein

Phone #

Use back if more than one owner

Owner Address: 13 Putters Place Savannah, GA 31419

PIN #(s): 70976 01012B

of Acres 4.38

Zoning Classification: Present Residential-Agriculture (RA) Requested General-Business (P-C-3)

Use of Property: Present Vacant Requested Convenience Store/Fuel Service Station

If the requested changed is to extend an existing adjacent zoning district to include this property, explain below why the proposed change should be made.

If the requested changed is not to extend an adjacent zoning district, explain below why this property should be placed in a different zoning district than all adjoining properties. (How does it differ from adjoining properties and why should it be subject to different restrictions than those applying to adjoining properties?)

The proposed rezoning will provide an opportunity for convenience and retail business to develop along State Route 30. This will provide service to the increased traffic volumes anticipated along the SR30 corridor as well as the proposed future development of Effingham Parkway. Several businesses east and west of the site currently operate along the SR30 corridor within a mile of the proposed property, so the proposed zoning is not inconsistent with current development pattern.

Attach the following documents:

- 1. Written legal description of the property (e.g. copy of deed) – full metes and bounds description rather than plat reference.
2. Name, PIN #, property address and mailing address of property owners within 250 feet of this property.
3. Plat showing property lines with lengths and bearings, adjoining streets, locations of existing buildings, north arrow and scale. Submit fifteen (15) copies of in 11" x 17", one 1 copy in 8.5" x 11", and a PDF on a flash drive.
4. Site Plan of proposed use of property. Submit fifteen (15) copies in 11" x 17", one 1 copy in 8.5" x 11", and a PDF on a flash drive.
5. Disclosure of Campaign Contributions and Gifts form.
6. Disclosure of Financial Interests form
7. If property owner and applicant are not the same, Authorization by Property Owner form or Authorizations of Attorney form.
8. Filing fee of \$356.00 + \$50.00 per acre + \$50.00 Administrative Fee, payable to the City of Port Wentworth.

APPLICATION MUST BE FILED 45 BUSINESS DAYS PRIOR TO THE PLANNING COMMISSION MEETING AT WHICH THEY ARE TO BE CONSIDERED.

I hereby authorize the staff of the City of Port Wentworth to inspect the premises of the above described property and to post this property with the duly required notices. I hereby depose and say that all statements herein and attached statements submitted are true and correct to the best of my knowledge and belief.

Sworn to and subscribed before me this 3rd day of August, 2022.

[Signature]
Signature of Applicant

[Signature]
Notary Public

MELISSA R WRIGHT
NOTARY PUBLIC
Chatham County
State of Georgia
My Comm. Expires June 13 2026

Attachment: ZMA PARKERS 7-0976-01-012B RA TO PC3 OCT 2022 - Application (2740 : Zoning Map Amendment 70976 01012B Hwy 30



City of Port Wentworth
 Melanie Ellis
 7224 GA Highway 21
 Porth Wentworth, GA 31407

July 27, 2022

**RE: *Written Legal Description
 SR 30 and Future Effingham Parkway
 Porth Wentworth, GA***

Dear Melanie,

Below is a written legal description of the property contained in the attached signed and sealed ALTA Survey provided by Survey Matters:

All that certain piece, parcel, or tract of land laying and being in Chatham County, Georgia, and being more particularly described as follows:

Beginning at a monument on the miter forming the intersection of the northwesterly margin of the right-of-way of Georgia Highway 30 (variable width public Right-of-Way) and the northeasterly margin of the Right-of-Way of Effingham Parkway (DB. 1828, PG. 2) Having GA East Grid Coordinates of N798,974.75, E 948,061.54; Thence along the northeasterly margin of the Right-of-Way of Effingham parkway (for the following two calls) (1) N46°44'51"W a distance of 77.91 feet to an iron pin, (2) Thence N24°58'01"W a distance of 158.40 feet to an iron pin, Thence along the common line of Quarterman N45°40'58"E a distance of 611.99 feet to an iron pin, thence along the common line of Jeffers S12°30'58"E a distance of 510.31 feet to a monument, Thence along the northwesterly margin of the Right-of-Way of Georgia Highway 30 (for thw following two calls) (1) S67°41'20"W a distance of 282.12 feet to the point of beginning and containing 190,918 S.F. or 4.383 Acres more or less.

Very truly yours;
 Kimley-Horn and Associates, Inc.

David D Smith
 david.smith@kimley-horn.com

PROPERTIES WITHIN 250FT OF PID 70976 01012B

Owner Name	Parcel Number	Property Address	Owner Address
FIELDSTONE GROUP LLC, & LBC CAPITAL II LLC	7097601041Z	1100 MEINHARD RD, PORT WENTWORTH, GA 31407	204 WILEY BOTTOM RD, SAVANNAH, GA 31411-1537
JEFFERS, LYNN	7097601048	HIGHWAY 30, PORT WENTWORTH, GA 31407	222 JEFFERS RD, PORT WENTWORTH, GA 31407-9734
ORR, BRIAN P	7097601012	700 MONTIETH RD, PORT WENTWORTH, GA 31407	700 MONTIETH RD, PORT WENTWORTH, GA 31407
KENDRICK, FREDDY L & KENDRICK, DONNA A	7097601014	614 HIGHWAY 30, PORT WENTWORTH, GA 31407	614 GA HIGHWAY 30, PORT WENTWORTH, GA 31407-9602
HOHNERLEIN, JOSEPH H	7097601012B	640 HIGHWAY 30, PORT WENTWORTH, GA 31407	13 PUTTERS PL, SAVANNAH, GA 31419-6067
QUARTERMAN, OF ZIKE	7097601013	MONTIETH RD, PORT WENTWORTH, GA 31407	327 MONTEITH RD, PORT WENTWORTH, GA 31407-9777
JEFFERS, LYNN	7097601049	HIGHWAY 30, PORT WENTWORTH, GA 31407	222 JEFFERS RD, PORT WENTWORTH, GA 31407-9734
JEFFERS, LYNN	7097601050	HIGHWAY 30, PORT WENTWORTH, GA 31407	222 JEFFERS RD, PORT WENTWORTH, GA 31407-9734
RAHN, GUY K	7097601023	732 HIGHWAY 30, PORT WENTWORTH, GA 31407	732 GA HIGHWAY 30, PORT WENTWORTH, GA 31407-9604

Attachment: ZMA PARKERS 7-0976-01-012B RA TO PC3 OCT 2022 - Application (2740 : Zoning Map

DISCLOSURE OF CAMPAIGN CONTRIBUTIONS
(Required by Title 36, Chapter 67A, Official Code of Georgia Annotated)

Reference: Application filed on August 3rd, 2022, to rezone real property described as follows:

Withing the two years preceding the above filing date, the applicant has made campaign contributions aggregating \$250.00 or more to each member of the City Council of the City of Port Wentworth who will consider the application and is listed below. List (1) the name and official position of the local government official and (2) the dollar amount, description and date of each campaign contribution.

I certify that I have not, within two years preceding the above filing date, made any contributions aggregating \$250.00 or more to any member of the City council of the City of Port Wentworth.

I hereby depose and say that all statements herein are true, correct and complete to the best of my knowledge and belief.

Sworn to and subscribed before me this
3rd day of August, 2022.

Signature of Applicant

Notary Public

MELISSA R WRIGHT
NOTARY PUBLIC
Chatham County
State of Georgia
My Comm. Expires June 13 2026

Attachment: ZMA PARKERS 7-0976-01-012B RA TO PC3 OCT 2022 - Application (2740 : Zoning Map Amendment 70976 01012B Hwy 30

DISCLOSURE OF FINANCIAL INTERESTS

(Required by Title 36, Chapter 67A, Official Code of Georgia Annotated)

Reference: Application filed on August 3rd, 2022, to rezone real property described as follows:

The undersigned official of the City of Port Wentworth has a property interest (Note 1) in said property as follows:

The undersigned official of the City of Port Wentworth has financial interest (Note 2) in a business entity (Note 3) which has property interest in said property, which financial interests as follows:

The undersigned official of the City of Port Wentworth has a member of the family (Note 4) having a property interest in said property or a financial interest in a business entity which has a property interest in said property, which family member and property interest or financial interest are as follows:

Note 1: Property Interest – Direct ownership of real property, including any percentage of ownership less than total ownership

Note 2: Financial Interest – All direct ownership interest of the total assets or capital stock of a business entity where such ownership interest is 10 percent or more

Note 3: business entity – Corporation, partnership, limited partnership, firm, enterprise, franchise, association or trust

Note 4: Member of family – Spouse, mother, father, brother, sister, son, or daughter

I hereby depose and say that all statements herein are true, correct and complete to the best of my knowledge and belief.

Sworn to and subscribed before me this 3rd day of August, 2022.

Signature of Official

Notary Public

Attachment: ZMA PARKERS 7-0976-01-012B RA TO PC3 OCT 2022 - Application (2740 : Zoning Map Amendment 70976 01012B Hwy 30

AUTHORIZATION OF PROPERTY OWNER

Application for Rezoning or Variance

I swear that I am the owner of the property which is the subject matter of the attached application, as is shown in the records of Port Wentworth, Georgia.

I authorize the person named below to act as applicant in the pursuit of a variance or for the rezoning of this property.

Name of Applicant: David D. Smith

Address: 100 Bull Street, Suite 200 Savannah, GA 31401

Telephone Number: 912-226-2607

Lynette Hohnerlein
Signature of Owner

Personally appeared before me

Lynette Hohnerlein

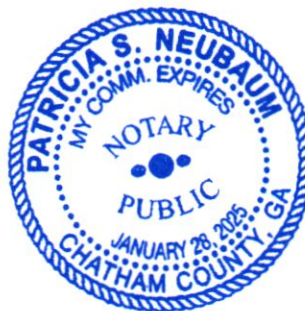
who swears that the information contained in this authorization is true and correct to the best of his or her knowledge and belief.

Patricia S. Neubaum

Notary Public

June 29, 2022

Date



Attachment: ZMA PARKERS 7-0976-01-012B RA TO PC3 OCT 2022 - Application (2740 : Zoning Map Amendment 70976 01012B Hwy 30

CITY OF PORT WENTWORTH
(912) 964-4379

REC#: 00365954 8/12/2022 1:20 PM
OPER: KS TERM: 055
REF#: 0027916

TRAN: 112.0000 BLDG PERMIT
220367 625.00CR
HONERLEIN, JOSEPH
PIN# 7-0976-01-012B
DEV-ZMA 625.00CR

TENDERED: 625.00 CHECK
APPLIED: 625.00-

CHANGE: 0.00

WWW.CITYOFPORTWENTWORTH.COM



City of Port Wentworth
Melanie Ellis
7224 GA Highway 21
Port Wentworth, GA 31407

August 3rd, 2022

**RE: *Proposed Convience Store Rezoning Submittal
SR 30 and Future Effingham Parkway
Porth Wentworth, GA***

Dear Melanie,

Below is an explanation of how we addressed the comments received on July 7th, 2022 regarding the application to amend the zoning map of Port Wentworth, GA for PIN# 70976 01012B.

City of Port Wentworth Development Services:

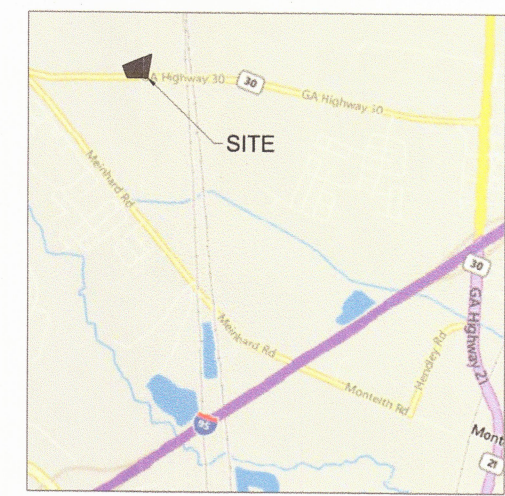
- 1) Comment # 1. Completed application with original signature (not copies or digital)
 - i) Comment #1 response. Completed application re-submitted with original signatures.*
- 2) Comment # 2. Application Fee check (total due \$625.00)
 - i) Comment #2 response. Application check for \$625.00 included.*
- 3) Comment # 3. Written legal description of the property (see item #1 on application under *Attach the following documents*)
 - i) Comment #3 response. Legal description included in provided in re-submittal.*
- 4) Comment # 4. Developments of Regional Impact (DRI) initial form – attached in email
 - i) Comment #4 response. Based on the discretion of the client the truck diesel portion of the proposed site has been removed and relieves the requirement of a DRI.*
- 5) Comment # 5. The requested zoning district will need to be a planned district (P)
 - i) Comment #5 response. Zoning district amended to be a planned district (P).*
- 6) Comment # 6. The requested zoning of C-1 does not allow Truck stops as a use. You will need to review the Zoning Districts in the City of Port Wentworth zoning ordinance (section 5.2) and choose an appropriate district for your requested use. Once a zoning district will need to be on the original signed form under requested zoning (P-X-X).
 - i) Comment #6 response. Based on the discretion of the client the truck diesel portion of the proposed site has been removed; however, the form has been updated to reflect a requested zoning of P-C-3.*



Very truly yours;
Kimley-Horn and Associates, Inc.

David D Smith
david.smith@kimley-horn.com

Attachment: ZMA PARKERS 7-0976-01-012B RA TO PC3 OCT 2022 - Application (2740 : Zoning Map Amendment 70976 01012B Hwy 30



VICINITY MAP

PROPOSED DEVELOPMENT SUMMARY:

SITE SUMMARY:

CURRENT ZONING:	R-A (RESIDENTIAL-AGRICULTURAL)
PROPOSED ZONING:	P-C-3 (GENERAL-BUSINESS)
SITE AREA:	4.35 ACRES

BUILDING SETBACK:

FRONT:	40 FT
SIDE:	10 FT
BACK:	N/A

LANDSCAPE SETBACK:

FRONT:	25 FT
SIDE:	25 FT
BACK:	25 FT

PROPOSED LAND USES & DENSITIES:

CONVENIENCE STORE	5,175 SF
SERVICE STATION	8 MPD

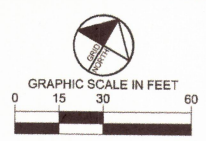
PARKING SUMMARY:

REQUIRED STANDARD PARKING:	26 SPACES (TOTAL)
REQUIRED HANDICAP PARKING:	2 SPACE

PROPOSED PARKING:

STANDARD SPACES:	56 SPACES
HANDICAP SPACES:	3 SPACES

CONCEPTUAL PLAN
SUBJECT TO CHANGE



NOTE: CONCEPT PLAN BASED ON PARCEL DIMENSIONS FROM GIS PARCELS. ACTUAL BOUNDARY LINES MAY VARY FROM THOSE INDICATED HEREIN.

PREPARED BY
Kimley-Horn
© 2022 KIMLEY-HORN AND ASSOCIATES, INC.
100 BULL STREET, SUITE 200
SAVANNAH, GEORGIA 31401
PHONE: (912) 436-6905
WWW.KIMLEY-HORN.COM

PREPARED FOR
Parker's kitchen
DRAYTON-PARKER COMPANIES, LLC.
17 WEST WOODCROFT STREET
SAVANNAH, GEORGIA 31401
PHONE: 912-231-1001

No.	ISSUANCE AND REVISION DESCRIPTIONS	DATE	BY
1	CSP-1 LAYOUT REVISIONS		

**PRELIMINARY:
NOT FOR CONSTRUCTION**

PROJECT
PARKER'S - 640 HIGHWAY 30
PORT WENTWORTH, GEORGIA
CITY OF PORT WENTWORTH, GEORGIA
PARCEL ID: 100616 01012B

GSWCC NO (LEVEL II)	0000000000
DRAWN BY	JG
DESIGNED BY	DS
REVIEWED BY	JG
DATE	03/28/22
PROJECT NO.	014774001
TITLE	CONCEPTUAL SITE PLAN
SHEET NUMBER	

Drawing name: K:\SAV_Civil\014774000_Pecan\014774001_Highway 30-Port Wentworth-GA-CSP4.dwg Layout1 Aug 10, 2022 9:37 am by David Smith
This document, together with the concepts and designs presented herein, is intended only for the specific purpose and client for which it was prepared. Reuse of and/or other reliance on this document without written authorization and adaptation by Kimley-Horn and Associates, Inc. shall be without liability to Kimley-Horn and Associates, Inc.

Project Timeline

Project Number: 220367

Project Name: Parker's 7-0976-01-012B

Applicant / Engineer: David D Smith – Kimley-Horn

Owner: Joseph H Honerlein

City Review Engineer: N/A

- 06.30.22 –Application Received - Incomplete
- 07.07.22 – Letter of Missing Items in Application sent to David D. Smith
- 08.10.22 – Revised Application Received – Complete
- 09.23.22 – public hearing notice letters mailed
- 09.23.22 – public hearing notice sent to Savannah Morning News (published 9/26/22)
- 09.26.22 – Public hearing notice signs posted.



Planning Commission
305 South Coastal Highway
Port Wentworth, GA 31407

Meeting: 10/10/22 06:30 PM
Department: Development Services
Category: Planning/Zoning Item
Prepared By: Melanie Ellis
Department Head: Brian Harvey

SCHEDULED

AGENDA ITEM (ID # 2743)

DOC ID: 2743

Site Plan Review Application submitted by Felipe Toledo, P.E., Thomas & Hutton of behalf of LRE Crossgate North, LLC., for PIN # 7-0035-01-007 (Northeast corner of Crossgate Rd & Jimmy Deloach Parkway) for a Specific Development Site Plan to allow a warehouse development (NFI Crossgate Industrial Park) in a P-I-1 (Planned Industrial) Zoning District

Issue/Item: Site Plan Review Application submitted by Felipe Toledo, P.E., Thomas & Hutton of behalf of LRE Crossgate North, LLC., for PIN # 7-0035-01-007 (Northeast corner of Crossgate Rd & Jimmy Deloach Parkway) for a Specific Development Site Plan to allow a warehouse development (NFI Crossgate Industrial Park) in a P-I-1 (Planned Industrial) Zoning District

Background: The subject property is currently vacant woodland. There are no buildings or structures on the subject property. The general development site plan for this project was approved during the March 8, 2022 City Council Meeting.

Facts and Findings: The proposed project consist of a 332,450 s.f. warehouse and a 96,250 s.f. warehouse with associated parking, utilities, drainage and infrastructure improvements. The entrance will be located off of Crossgate Road. The applicant provided a Traffic Impact Analysis with the general development plan. The site plan has been reviewed by City Engineer's T. R. Long Engineering and a concurrence letter issued. This project complies with the 2021-2041 City of Port Wentworth Comprehensive Plan.

Funding: N/A

Recommendation: The Planning Commission will hear this application on Monday, October 10, 2022 at 6:30 PM.

ATTACHMENTS:

- NFI Crossgate Ind Pk 7-0035-01-007 S-Site Plan 2022-Site Plan App (PDF)
- NFI Crossgate Ind Pk 7-0035-01-007 S-Site Plan 2022-Adj Prop Owners (PDF)
- NFI Crossgate Ind Pk 7-0035-01-007 S-Site Plan 2022-Timeline (DOCX)
- NFI Crossgate Ind Pk 7-0035-01-007 S-Site Plan 2022-TR Long Concurrence 9.14.22 (PDF)
- NFI Crossgate Ind Pk 7-0035-01-007 S-Site Plan 2022-Site Dev Bldgs A&B (PDF)

City of Port Wentworth
 7224 Highway 21 ▪ Port Wentworth ▪ Georgia ▪ 31407 ▪ 912-999-2084

Site Plan Review Application Submittal Checklist

Documentation below is required for a complete submittal.

- Signed and Completed Application
- 3 Full size sets of site plan civil drawings or concept plan (depending on type of site plan)
- 15 half size (11" X 17") sets of site plan civil drawings or concept plan (depending on type of site plan)
- 2 copies of hydrology reports (if applicable)
- Names, mailing address, and PIN number of all property owners within 250 feet of all property lines
- 1 8 ½" X 11" of site plan civil drawings or concept plan (depending on type of site plan)
- PDF of entire submittal on a flash drive or download link ONLY (NO CD'S)
- Other Engineering details or reports may be required once submittal has been received
- Site plan review fee check
 - No Land Disturbance- \$206.00 Site Plan Fee + \$50.00 Admin Fee = Total \$256.00
 - With Land Disturbance - \$836.00 Site Plan Fee + \$50.00 Admin Fee = Total \$886.00

Additional Fee Statement: If engineer review cost to the City exceeds the site plan review fee that is paid at the time of initial application submittal, you may be required to pay additional review cost.

I have read and agree to the above additional fee statement

Applicant's Signature



Felipe Toledo

Date

9/28/2022

Owner Name	Parcel Number	Property Address	Owner Address	County	State
LRE CROSSGATE SOUTH LLC	7003301004	CROSSGATE RD, PORT WENTWORTH, GA 31407	CROSSGATE RD, PORT WENTWORTH, GA 31407	Chatham	GA
GEORGIA POWER COMPANY	7003501006	HIGHWAY 21, PORT WENTWORTH, GA 31407	241 RALPH MCGILL BLVD NE, ATLANTA, GA 30308-3374	Chatham	GA
MCCASKLE, JULIA & HARRIS, SARAH	7001018008	101 GORDON ST, PORT WENTWORTH, GA 31407	101 GORDON ST, PORT WENTWORTH, GA 31407-1401	Chatham	GA
PORT WENTWORTH CITY OF	7000803039	WARREN DR, PORT WENTWORTH, GA 31407	PO BOX 4086, SAVANNAH, GA 31407-4086	Chatham	GA
CRESCENT INVESTMENTS INC	7003501002	6232 HIGHWAY 21 RD, PORT WENTWORTH, GA 31407	6232 GA HIGHWAY 21, PORT WENTWORTH, GA 31407-9796	Chatham	GA
MCINTOSH, OWEN E & MCINTOSH, ERMA J	7001018001	115 GORDON ST, PORT WENTWORTH, GA 31407	115 GORDON ST, PORT WENTWORTH, GA 31407-1401	Chatham	GA
CROSSGATE INDL INVTRS LLC	7003501008	1500 CROSSGATE RD, PORT WENTWORTH, GA 31407	CROSSGATE RD, PORT WENTWORTH, GA 31407	Chatham	GA
BROWNFIELD, PAMELA	7001018002	113 GORDON ST, PORT WENTWORTH, GA 31407	113 GORDON ST, PORT WENTWORTH, GA 31407-1401	Chatham	GA
WATSON, JACQUELINE & WATSON, MARCUS	7001018003	111 GORDON ST, PORT WENTWORTH, GA 31407	111 GORDON ST, PORT WENTWORTH, GA 31407-1401	Chatham	GA
SAVANNAH ECONOMIC DEV AUTHORIT	7003301005	1501 CROSSGATE RD, PORT WENTWORTH, GA 31407	131 HUTCHINSON ISLAND RD, SAVANNAH, GA 31421-7006	Chatham	GA
GUNN, KELLY LAPERAL	7000803037	60 WARREN DR, PORT WENTWORTH, GA 31407	117 WREN CT, SAVANNAH, GA 31419-8340	Chatham	GA
SAVANNAH ECONOMIC DEVELOPMENT AUTHORITY	7000902002	1 BIRKENHEAD ST, PORT WENTWORTH, GA 31407	131 HUTCHINSON ISLAND RD, SAVANNAH, GA 31421-7006	Chatham	GA
LRE CROSSGATE NORTH LLC	7003501007	CROSSGATE RD, PORT WENTWORTH, GA 31407	CROSSGATE RD, PORT WENTWORTH, GA 31407	Chatham	GA
PARTAIN, KAREN D EDITH F	7001018005	107 GORDON RD, PORT WENTWORTH, GA 31407	107 GORDON ST, PORT WENTWORTH, GA 31407-1401	Chatham	GA
NORTON, GARY WILSON & NORTON, DONNA	7001018006	105 GORDON ST, PORT WENTWORTH, GA 31407	105 GORDON ST, PORT WENTWORTH, GA 31407-1401	Chatham	GA
SOUTHERN REGION INDUSTRIAL REALTY INC	7001001001	DORSET RD, PORT WENTWORTH, GA 31407	3 COMMERCIAL PL Unit 209, NORFOLK, VA 23510-2108	Chatham	GA
NRPH INC	7003501005	1000 CROSSGATE RD, PORT WENTWORTH, GA 31407	15 FAIR LAWN AVE Unit 2A, FAIR LAWN, NJ 07410-2322	Chatham	GA
L-A SAVANNAH-CROSSGATE LLC	7000501004	BONNYBRIDGE RD, PORT WENTWORTH, GA 31407	1960 SATELLITE BLVD Unit 3000, DULUTH, GA 30097-4129	Chatham	GA
PERRY, JULIE STALLINGS	7001018004	109 GORDON ST, PORT WENTWORTH, GA 31407	109 GORDON ST, PORT WENTWORTH, GA 31407-1401	Chatham	GA
NORFOLK SOUTHERN COPR TAXATION DEPT BOX 209	7000901001	BIRKENHEAD ST, PORT WENTWORTH, GA 31407	3 COMMERCIAL PL, NORFOLK, VA 23510-2108	Chatham	GA
HENDRICK, ROBERT EWING	7001018007	103 GORDON ST, PORT WENTWORTH, GA 31407	103 GORDON ST, PORT WENTWORTH, GA 31407-1401	Chatham	GA

Project Timeline

Project Number: 220478

Project Name: NFI Crossgate Ind Pk

Applicant / Engineer: Felipe Toledo, P.E. – Thomas & Hutton

Owner: LRE Crossgate North LLC (c/o Brian Werrell)

City Review Engineer: Trent Long, TR Long

- 09/12/2022 – Application received; Incomplete.
- 09/13/2022 – Sent email to Felipe Toledo asking for a PDF of the entire submittal.
- 09/13/2022 – Recv'd Electronic PDF link of submittal.
- 09/14/2022 – Recv'd Email from Felipe Toledo about adding TR Long to the Email thread.
- 09/14/2022 – Received concurrence from TR Long. Placing on the October 2022 agendas.
- 09/23/2022 – Public hearing notice letters mailed
- 09/23/2022 - Public hearing notice sent to Savannah Morning Newspaper (published 9/26/22)

114 North Commerce Street
Hinesville, Georgia 31313
(912) 368-5664 Office
(912) 368-7206 Fax



1000 Towne Center Blvd.
Suite 304
Pooler, Georgia 31322
(912) 355-1046

September 14, 2022

Mr. Brian Harvey
City of Port Wentworth
7224 Georgia Highway 21
Port Wentworth, Georgia 31407

Re: NFI Industries Building A and B
Crossgate Industrial Park
Revised August 15, 2022
Port Wentworth, Georgia

Dear Mr. Harvey,

T. R. Long Engineering, P.C. has reviewed the entitled "Site Development for Buildings A & B at Crossgate Industrial Park" prepared by Thomas and Hutton dated February 14, 2022, and revised August 15, 2022. The specific development plan generally meets the intent of the development requirements in Port Wentworth. T. R. Long Engineering, P.C. concurs with the plans as presented with the exception of an off-site water main installation.

There is a water main that needs to be installed to comply with the "Water, Sewer and Re-use Water Service Agreement" between the City of Port Wentworth and L-A Savannah Crossgate, LLC. In order to meet the intent of this agreement a water main should be installed between Crossgate Boulevard and existing water main near Bonnybridge Road. T. R. Long Engineering recommends that the city and the developer enter into an agreement to design and install this water meter.

Concurrence by T. R. Long Engineering, P.C. and Port Wentworth does not relieve the owner/developer, designer, engineer and contractor nor their representatives from their individual or collective responsibilities to comply with provisions of Local, State, and Federal regulations and/or ordinances. T. R. Long Engineering, P.C. and Port Wentworth review the submitted documents for completeness and general compliance with codes, ordinances and/or standards. No design liability can be assumed or assigned to T. R. Long Engineering, P.C., or Port Wentworth. All design liability remains with the professional engineer who signed and sealed those documents. Additionally, concurrence with the submitted documents and their intent is not to be construed as a check of every item submitted and does not prevent Port Wentworth from requiring corrections and/or addressing of omissions in the submitted documents and/or construction.

Should you have any questions, comments or need additional information please contact us.

Sincerely,


Trent R. Long, P.E.

2025/07/15/2025 10:00 AM

WATER LEGEND

DESCRIPTION	EXISTING	PROPOSED
WATER MAIN	— 10" W —	— 10" W —
SINGLE SERVICE LATERAL	---	---
DOUBLE SERVICE LATERAL	---	---
VALVE AND BOX	⊗	⊗
FIRE HYDRANT W/ VALVE & BOX	⊗	⊗
POST HYDRANT	⊗	⊗
REDUCER	△	△
BACKFLOW PREVENTOR	▭	▭
CROSS	┌┐	┌┐
TEE	┌┐	┌┐
90° BEND - HORIZONTAL	└┘	└┘
45° BEND - HORIZONTAL	/ \	/ \
22-1/2° BEND - HORIZONTAL	/ \	/ \
11-1/4° BEND - HORIZONTAL	/ \	/ \
BEND - VERTICAL		
CAP		

ABBREVIATIONS

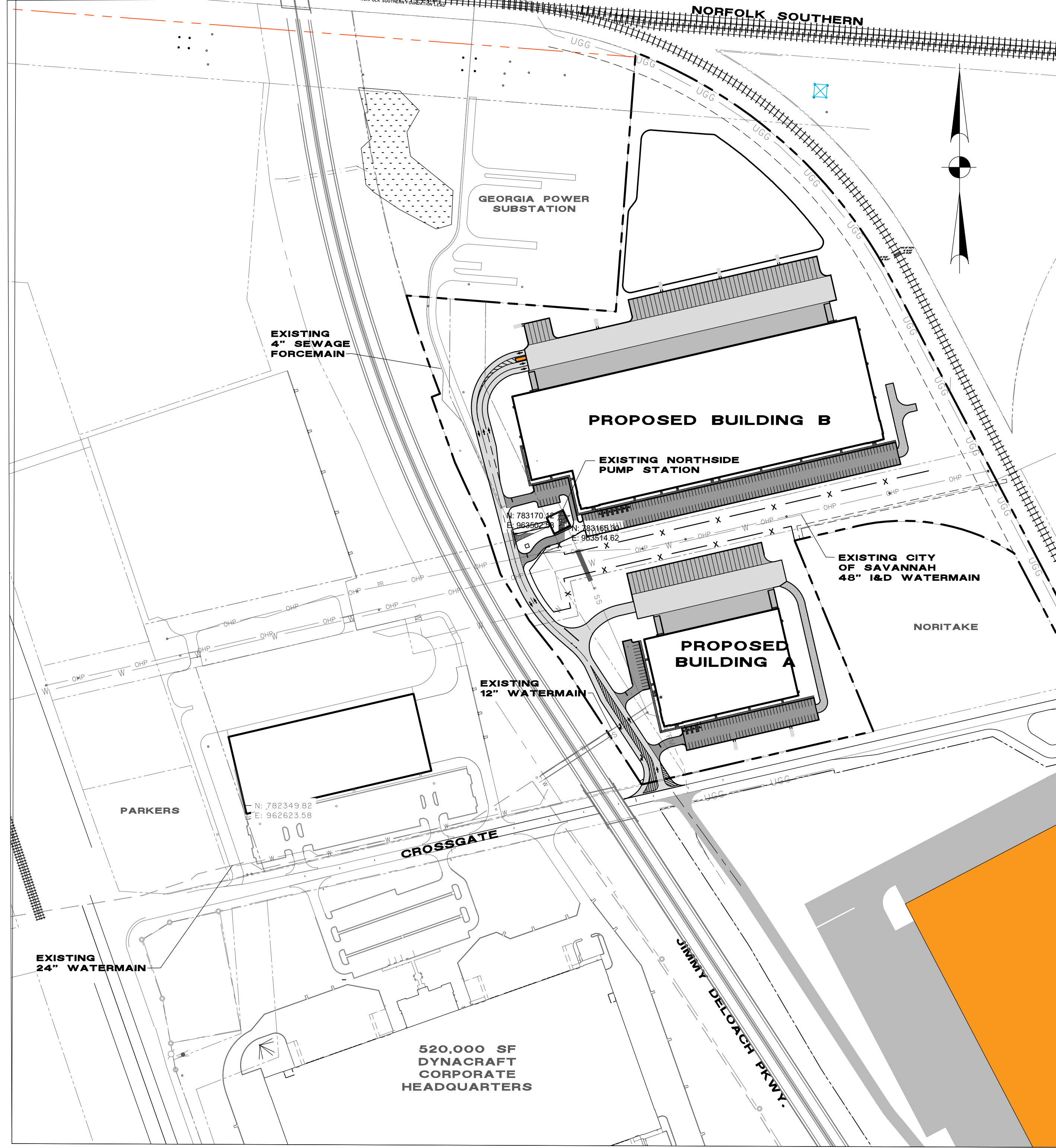
HDPE	HIGH DENSITY POLYETHYLENE	JB	JUNCTION BOX	SDMH	STORM DRAINAGE MANHOLE
BOT	BOTTOM	LF	LINEAR FEET	SF	SQUARE FEET
CI	CURB INLET	MAX	MAXIMUM	SS	SANITARY SEWER
CPP	CORRUGATED PLASTIC PIPE	MIN	MINIMUM	TC	TOP OF CURB
DIP	DUCTILE IRON PIPE	MH	MANHOLE	TG	TOP OF GUTTER
EL	ELEVATION	OC	ON CENTER	TP	TOP OF PAVEMENT
FG	FINISH GRADE	PC	POINT OF CURVE	TW	TOP OF WALK
FH	FIRE HYDRANT	PH	POST HYDRANT	TYP	TYPICAL
FM	FORCE MAIN (SANITARY SEWER)	PT	POINT OF TANGENT	W	WATER
FP	FINISH PAD	PVC	POLYVINYL CHLORIDE	W/	WITH
FR	FRAME	RCP	REINFORCED CONCRETE PIPE	WV	WATER VALVE
GI	GRATE INLET	RJP	RESTRAINED JOINT PIPE	YI	YARD INLET
GV	GATE VALVE	R/W	RIGHT-OF-WAY		
INV	INVERT ELEVATION	SD	STORM DRAINAGE		

SEWER LEGEND

DESCRIPTION	EXISTING	PROPOSED
GRAVITY PIPE	SS	SS
SINGLE SERVICE LATERAL	---	---
DOUBLE SERVICE LATERAL	---	---
MANHOLE	○	●
CLEANOUT	○	●
FORCEMAIN	--- 10" FM --- 10" FM ---	--- 10" FM --- 10" FM ---
VALVE AND BOX	⊗	⊗
FLUSH HYDRANT	⊗	⊗
REDUCER	△	△
BACKFLOW PREVENTOR	▭	▭
CROSS	┌┐	┌┐
TEE	┌┐	┌┐
90° BEND - HORIZONTAL	└┘	└┘
45° BEND - HORIZONTAL	/ \	/ \
22-1/2° BEND - HORIZONTAL	/ \	/ \
11-1/4° BEND - HORIZONTAL	/ \	/ \
BEND - VERTICAL		
PLUG		

GENERAL NOTES

- CONTRACTOR SHALL COORDINATE TIE-IN OF NEW WATER AND SEWER FACILITIES TO CITY OF PORT WENTWORTH SYSTEM. ALL WORK ON THIS PROJECT SHALL BE IN STRICT ACCORDANCE WITH CITY OF PORT WENTWORTH SPECIFICATIONS AND DETAILS.
- EXISTING NORTHSIDE PUMP STATION AS WELL AS FORCEMAIN, GRAVITY SEWER AND WATER MAINS EXIST ON THE PROJECT SITE THAT ARE OWNED AND MAINTAINED BY THE CITY OF PORT WENTWORTH. CONSTRUCTION OF IMPROVEMENTS WILL REQUIRE MODIFICATIONS, RELOCATIONS AND CONNECTION TO PORT WENTWORTH UTILITIES AND ALL OUTAGES MUST BE SCHEDULED WITH CITY PERSONNEL (OMAR SENATI-MARTINEZ 912-999-2084)
- SITING FOR THE DISTRIBUTION CENTER PROJECT WILL BE CONSTRUCTED IN CLOSE PROXIMITY TO EXISTING GA POWER TRANSMISSION LINE POLES. PRIOR TO THE START OF CONSTRUCTION CONTRACTOR SHALL BE RESPONSIBLE FOR STAKING THE LOCATION OF ORANGE SAFETY BARRIER AROUND THE POLES AND GUY WIRES AND MEETING WITH REPRESENTATIVE FROM GA POWER (STEVE KENARD - 912-547-1494) PRIOR TO INSTALLATION. ALL WORK SHALL BE PERFORMED SO AS TO CAUSE NO DAMAGE TO EXISTING POLES, GUYS OR POWERLINES. THERE IS AN EXISTING GRAVEL DRIVEWAY THAT PROVIDES ACCESS FOR GEORGIA POWER FROM CROSSGATE ROAD TO THE SUBSTATION. CONTRACTOR SHALL MAINTAIN A MINIMUM OF 12' WIDE ACCESS TO THE SUBSTATION AT ALL TIMES.
- A CITY OF SAVANNAH 48" DIAMETER INDUSTRIAL AND DOMESTIC WATER LINE BISECTS THE PROPERTY THAT IS BEING DEVELOPED. PRIOR TO START OF ANY WORK AT THE PROJECT SITE, THE CONTRACTOR SHALL INSTALL ORANGE SAFETY BARRIER AS SHOWN ON DRAWING C1 AND C2 AND NO EQUIPMENT, MATERIAL OR PERSONNEL SHALL BE ALLOWED IN FENCED OFF AREA.
- CONTRACTOR SHALL MAINTAIN MINIMUM COVER OVER THE WATER MAIN PIPE BARREL OF 3'-0" UNLESS OTHERWISE INDICATED. TOP OF PIPE ELEVATIONS ARE SHOWN FOR CASES WHERE FUTURE STORM SEWERS ARE TO BE INSTALLED. IN NO CASE SHALL THE WATER MAIN BE INSTALLED AT A LOWER ELEVATION THAN THAT SHOWN.
- SHOULD PIPE, FITTINGS, AND OTHER MATERIALS BE NEEDED IN ADDITION TO THAT SHOWN ON THE DRAWINGS BECAUSE PIPELINE WAS NOT INSTALLED TO THE ALIGNMENT AND PROF. SHOWN, THEN THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING THOSE NECESSARY MATERIALS AND PROVIDING THE EQUIPMENT AND LABOR TO INSTALL THEM TO MEET THE DESIGN INTENT OF THE WATERMAIN AT NO ADDITIONAL COST TO THE OWNER.
- THE CONTRACTOR SHALL NOTIFY THE OWNER AND THE ENGINEER 48 HOURS IN ADVANCE OF ALL REQUIRED TESTS AND INSPECTIONS.
- THE CONTRACTOR WILL NOTIFY THE ENGINEER IF UNSUITABLE MATERIAL IS DISCOVERED PRIOR TO BEGINNING ANY REMOVAL OPERATION.
- ALL WATERMAINS SHALL BE POLYVINYL CHLORIDE (PVC C900) UNLESS OTHERWISE INDICATED.
- ALL GRAVITY SEWER MAIN SHALL BE POLYVINYL CHLORIDE (PVC SDR26) UNLESS OTHERWISE INDICATED.
- SURVEYING AND BOUNDARY INFORMATION BY THOMAS AND HUTTON
- ALL ELEVATIONS SHOWN ARE BASED ON NAVD88.
- TOPOGRAPHIC SURVEY BY THOMAS AND HUTTON.
- CONTRACTOR SHALL VERIFY ACCURACY OF ANY TEMPORARY BENCHMARKS SHOWN PRIOR TO UTILIZING THEM FOR CONSTRUCTION.
- THE EXISTING UNDERGROUND UTILITIES SHOWN HEREON ARE BASED UPON AVAILABLE INFORMATION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING THE EXACT LOCATION / DEPTH OF ALL UTILITIES THAT MAY BE IMPACTED BY HIS CONSTRUCTION. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY AND TAKE STEPS TO PROTECT THE LINE(S) AND ENSURE CONTINUED SERVICE. DAMAGE CAUSED TO EXISTING UTILITIES BY THE CONTRACTOR SHALL BE REPAIRED BY THE CONTRACTOR. ADDITIONALLY, THE CONTRACTOR SHALL CONFIRM THE CONNECTION POINTS OF NEW UTILITIES TO EXISTING UTILITIES PRIOR TO BEGINNING NEW CONSTRUCTION.
- IF WORK IS SUSPENDED OR DELAYED FOR 14 DAYS, THE CONTRACTOR SHALL TEMPORARILY STABILIZE THE DISTURBED AREA AT NO ADDITIONAL COST TO THE OWNER.
- THE CONTRACTOR SHALL INSTALL ANY BARRICADES PRIOR TO BEGINNING CONSTRUCTION
- THE CONTRACTOR SHALL INSTALL ALL EROSION CONTROL AND PREVENTION STRUCTURES SHOWN ON THE PLANS. BOTH MUST BE APPROVED BY CITY OF PORT WENTWORTH PRIOR TO BEGINNING ANY LAND DISTURBING ACTIVITIES.
- ALL EROSION AND SEDIMENT CONTROL DEVICES SHALL BE CONSTRUCTED SIMULTANEOUSLY WITH THE DISTURBANCE OF THE LAND AND SHALL REMAIN FUNCTIONAL UNTIL THE CONTRIBUTING DISTURBED AREAS ARE STABILIZED. SILT BARRIERS WILL BE INSTALLED AS NECESSARY TO PREVENT EXCESSIVE SEDIMENTATION OF DOWNSTREAM AREAS. CONTRACTOR SHALL GRADE AREAS TO DRAIN FOR POSITIVE FLOW PRIOR TO FINAL APPROVAL.
- ALL DRAINAGE WILL BE MADE FUNCTIONAL DAILY AS WORK PROGRESSES.



PROJECT MAP
SCALE: 1" = 200'

GENERAL INFORMATION

COUNTY	CHATHAM	OWNER OF PROPERTY	NFI INDUSTRIES
CITY	PORT WENTWORTH	GENERAL CONTRACTOR	THOMAS & HUTTON 50 PARK OF COMMERCE WAY SAVANNAH, GA 31402 (912) 234-5300
ZONING	P-I-1	ENGINEER	THOMAS & HUTTON 50 PARK OF COMMERCE WAY SAVANNAH, GA 31402 (912) 234-5300
		SURVEYOR	THOMAS & HUTTON 50 PARK OF COMMERCE WAY SAVANNAH, GA 31402 (912) 234-5300
		UTILITY	CITY OF PORT WENTWORTH ATTN: BRIAN HARVEY DIRECTOR OF DEVELOPMENT SERVICES 305 SOUTH COASTAL HIGHWAY PORT WENTWORTH, GA 31407 912-964-4379 EXT 108



GSWCC LEVEL II
DESIGN PROFESSIONAL
CERTIFICATION
#0000055539
EXPIRATION DATE:
9/12/2023

NO.	REVISIONS	BY	DATE

THOMAS & HUTTON
Engineering | Surveying | Planning | GIS | Consulting
50 Park of Commerce Way
Savannah, GA 31405 • 912.234.5300
www.thomasandhutton.com

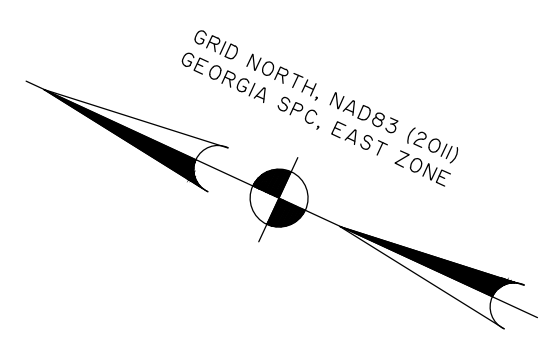
NFI INDUSTRIES
PORT WENTWORTH, GEORGIA
SITE DEVELOPMENT FOR BUILDINGS A & B
GENERAL NOTES

JOB NO:	J-26327.0010
DATE:	2/14/22
DRAWN:	SSF
DESIGNED:	SSF
REVIEWED:	FIT
APPROVED:	FIT
SCALE:	AS LISTED



Attachment: NFI Crossgate Ind PK 7-0035-01-007 5-Site Plan 2022-Site Dev Bldgs A&B (2743 - Site Plan Review Application (Specific) PIN # 7-0035-01-007 Crossgate Road NFI OCT 2022)

7/24/22 11:52:37 AM 2022-09-12 10:52:37 AM 2022-09-12 10:52:37 AM 2022-09-12 10:52:37 AM



GRID NORTH, NAD83 (2011)
GEORGIA SPC. EAST ZONE

- NOTES**
- HORIZONTAL AND VERTICAL CONTROL SHOWN ON THIS SHEET SHOULD BE USED FOR ALL LAYOUT AND RECORD DATA FOR THIS PROJECT. IF DISCREPANCIES ARE FOUND, PLEASE CONTACT THOMAS & HUTTON PRIOR TO PROCEEDING. IT IS THE CONTRACTOR'S RESPONSIBILITY TO ESTABLISH SUPPLEMENTAL CONTROL WITHIN THE PROJECT AS NEEDED.
 - ELEVATIONS FOR THIS PROJECT ARE BASED ON NAVD83.
 - COORDINATES FOR THIS PROJECT ARE BASED ON THE GEORGIA STATE PLANE COORDINATE SYSTEM, GEORGIA EAST ZONE, NAD83. DUE TO NORMAL VARIATIONS INHERENT TO ESTABLISHING COORDINATE POSITIONS, INDIVIDUAL GPS UNITS SHOULD BE LOCALIZED (OR CALIBRATED) TO THIS SITE.



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9/12/2023

No.	REVISIONS	BY	DATE

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 50 Park of Commerce Way
 Savannah, GA 31405 • 912.234.5300
 www.thomasandhutton.com

NFI INDUSTRIES
 PORT WENTWORTH, GEORGIA

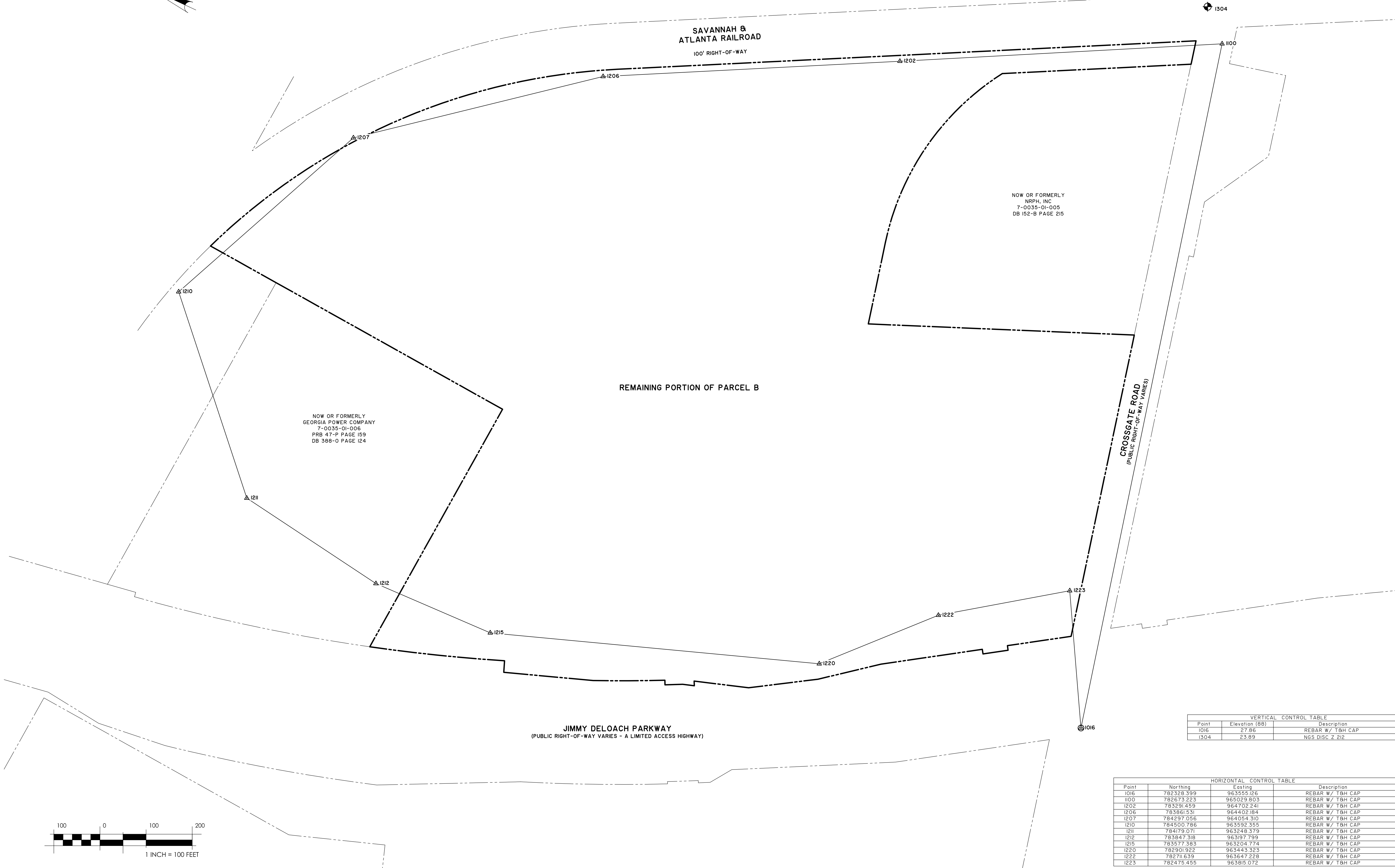
SITE DEVELOPMENT FOR BUILDINGS A & B

SURVEY CONTROL SHEET

JOB NO: J-26327.0010
 DATE: 2/14/22
 DRAWN: SSF
 DESIGNED: SSF
 REVIEWED: FIT
 APPROVED: FIT
 SCALE: 1" = 100'

SC1

Attachment: NFI Crossgate Ind PK 7-0035-01-007 5-Site Plan 2022-Site Dev Bldgs A&B (2743 - Site Plan Review Application (Specific)) PIN # 7-0035-01-007 Crossgate Road NFI OCT 2022)



VERTICAL CONTROL TABLE

Point	Elevation (88)	Description
1016	27.86	REBAR W/ T&H CAP
1304	23.89	NGS DISC Z 212

HORIZONTAL CONTROL TABLE

Point	Northing	Easting	Description
1016	782328.399	963555.126	REBAR W/ T&H CAP
1100	782673.223	965029.803	REBAR W/ T&H CAP
1202	783291.459	964702.241	REBAR W/ T&H CAP
1206	783861.531	964402.184	REBAR W/ T&H CAP
1207	784297.056	964054.310	REBAR W/ T&H CAP
1210	784500.786	963592.355	REBAR W/ T&H CAP
1211	784179.071	963248.379	REBAR W/ T&H CAP
1212	783847.318	963197.799	REBAR W/ T&H CAP
1215	783577.383	963304.774	REBAR W/ T&H CAP
1220	782901.922	963443.323	REBAR W/ T&H CAP
1222	782711.639	963647.228	REBAR W/ T&H CAP
1223	782475.455	963815.072	REBAR W/ T&H CAP



GSWCC LEVEL II DESIGN PROFESSIONAL CERTIFICATION #0000055539 EXPIRATION DATE: 9/12/2023

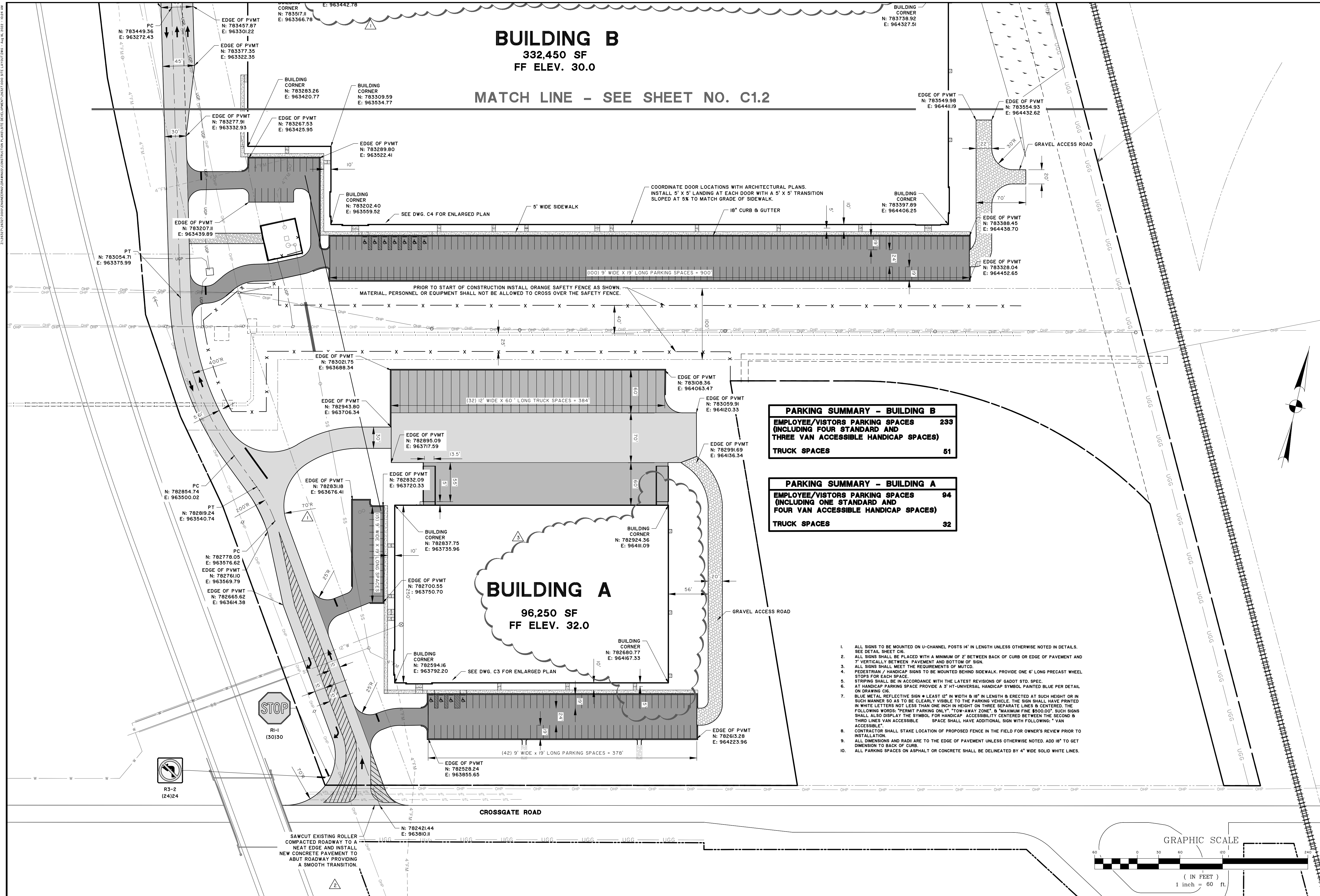
NO.	REVISIONS	DATE	BY
3	CHANGED SIZE OF BUILDING A	8/15/22	SSF
2	ADDED NOTE ON PAVING	6/20/22	SSF
1	MODIFIED STRIPING ON ENTRANCE ROAD	5/10/22	SSF

THOMAS & HUTTON
 50 Park of Commerce Way
 Savannah, GA 31405 • 912.234.5300
 www.thomasandhutton.com

NFI INDUSTRIES
 PORT WENTWORTH, GEORGIA
 SITE DEVELOPMENT FOR BUILDINGS A & B
SITE LAYOUT - SHEET 1

JOB NO:	J-26327.0010
DATE:	2/14/22
DRAWN:	SSF
DESIGNED:	SSF
REVIEWED:	FIT
APPROVED:	FIT
SCALE:	1" = 60'

C1.1



BUILDING B
 332,450 SF
 FF ELEV. 30.0

MATCH LINE - SEE SHEET NO. C1.2

BUILDING A
 96,250 SF
 FF ELEV. 32.0

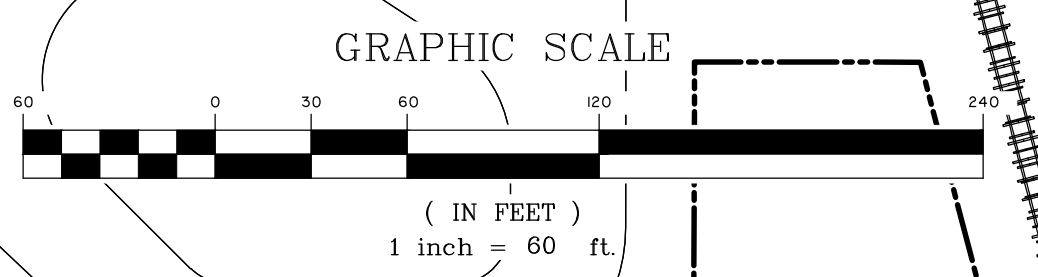
PARKING SUMMARY - BUILDING B

EMPLOYEE/VISITORS PARKING SPACES (INCLUDING FOUR STANDARD AND THREE VAN ACCESSIBLE HANDICAP SPACES)	233
TRUCK SPACES	61

PARKING SUMMARY - BUILDING A

EMPLOYEE/VISITORS PARKING SPACES (INCLUDING ONE STANDARD AND FOUR VAN ACCESSIBLE HANDICAP SPACES)	94
TRUCK SPACES	32

- ALL SIGNS TO BE MOUNTED ON U-CHANNEL POSTS 14' IN LENGTH UNLESS OTHERWISE NOTED IN DETAILS. SEE DETAIL SHEET C16.
- ALL SIGNS SHALL BE PLACED WITH A MINIMUM OF 2' BETWEEN BACK OF CURB OR EDGE OF PAVEMENT AND 7' VERTICALLY BETWEEN PAVEMENT AND BOTTOM OF SIGN.
- ALL SIGNS SHALL MEET THE REQUIREMENTS OF MUTCD.
- PEDESTRIAN / HANDICAP SIGNS TO BE MOUNTED BEHIND SIDEWALK. PROVIDE ONE 6' LONG PRECAST WHEEL STOPS FOR EACH SPACE.
- STRIPING SHALL BE IN ACCORDANCE WITH THE LATEST REVISIONS OF GADOT STD. SPEC.
- AT HANDICAP PARKING SPACE PROVIDE A 3' HT-UNIVERSAL HANDICAP SYMBOL PAINTED BLUE PER DETAIL ON DRAWING C16.
- BLUE METAL REFLECTIVE SIGN • AT LEAST 12" IN WIDTH & 18" IN LENGTH & ERECTED AT SUCH HEIGHT OR IN SUCH MANNER SO AS TO BE CLEARLY VISIBLE TO THE PARKING VEHICLE. THE SIGN SHALL HAVE PRINTED IN WHITE LETTERS NOT LESS THAN ONE INCH IN HEIGHT ON THREE SEPARATE LINES & CENTERED. THE FOLLOWING WORDS: "PERMIT PARKING ONLY", "TOW-AWAY ZONE", & "MAXIMUM FINE \$500.00" SUCH SIGNS SHALL ALSO DISPLAY THE SYMBOL FOR HANDICAP ACCESSIBILITY CENTERED BETWEEN THE SECOND & THIRD LINES VAN ACCESSIBLE SPACE SHALL HAVE ADDITIONAL SIGN WITH FOLLOWING: "VAN ACCESSIBLE"
- CONTRACTOR SHALL STAKE LOCATION OF PROPOSED FENCE IN THE FIELD FOR OWNER'S REVIEW PRIOR TO INSTALLATION.
- ALL DIMENSIONS AND RADII ARE TO THE EDGE OF PAVEMENT UNLESS OTHERWISE NOTED. ADD 18" TO GET DIMENSION TO BACK OF CURB.
- ALL PARKING SPACES ON ASPHALT OR CONCRETE SHALL BE DELINEATED BY 4" WIDE SOLID WHITE LINES.





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CERTIFICATION
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9/12/2023

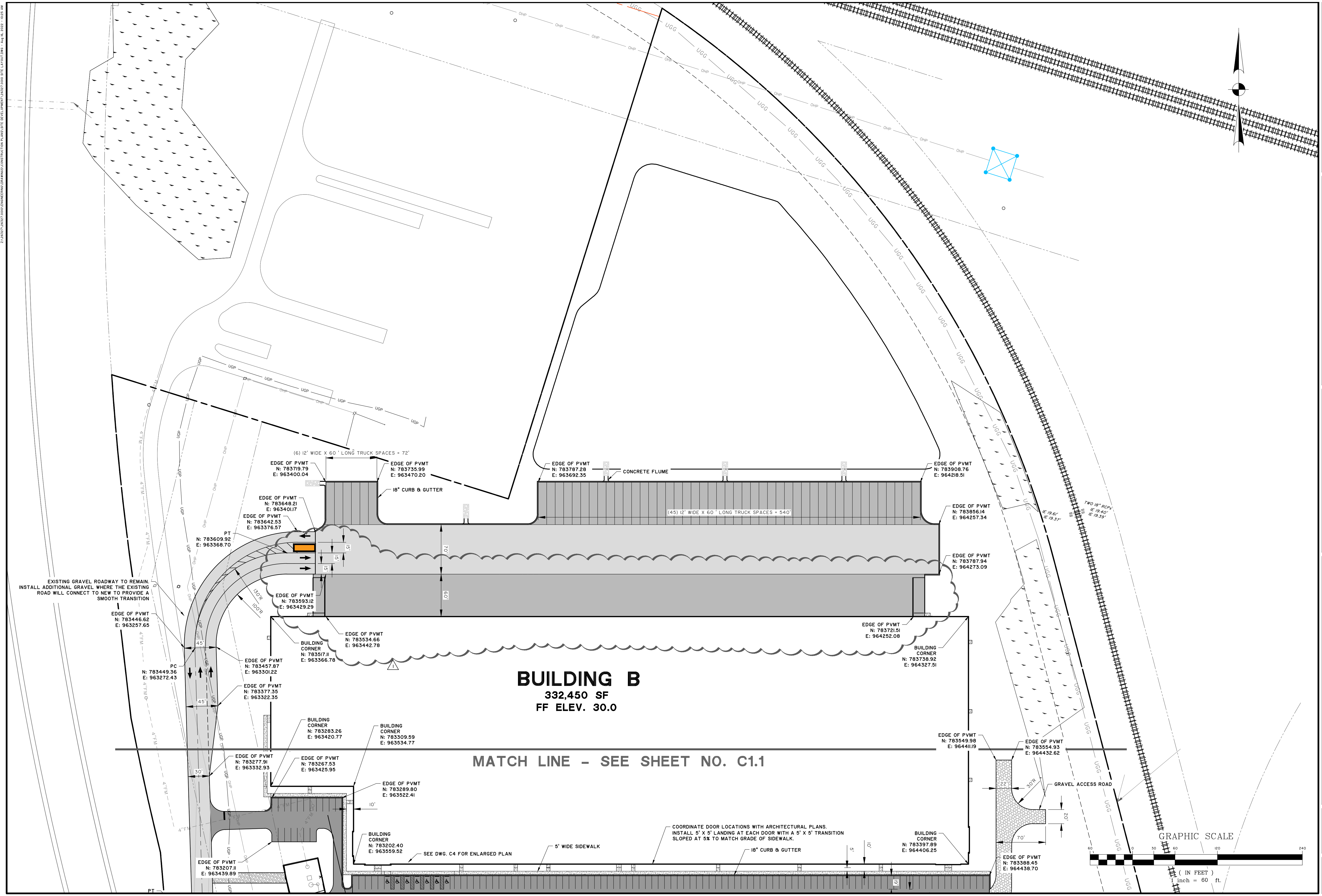
NO.	ADJUSTED TRUCK APRON	REVISIONS	BY	DATE
I				

THOMAS & HUTTON
50 Park of Commerce Way
Savannah, GA 31405 • 912.234.5300
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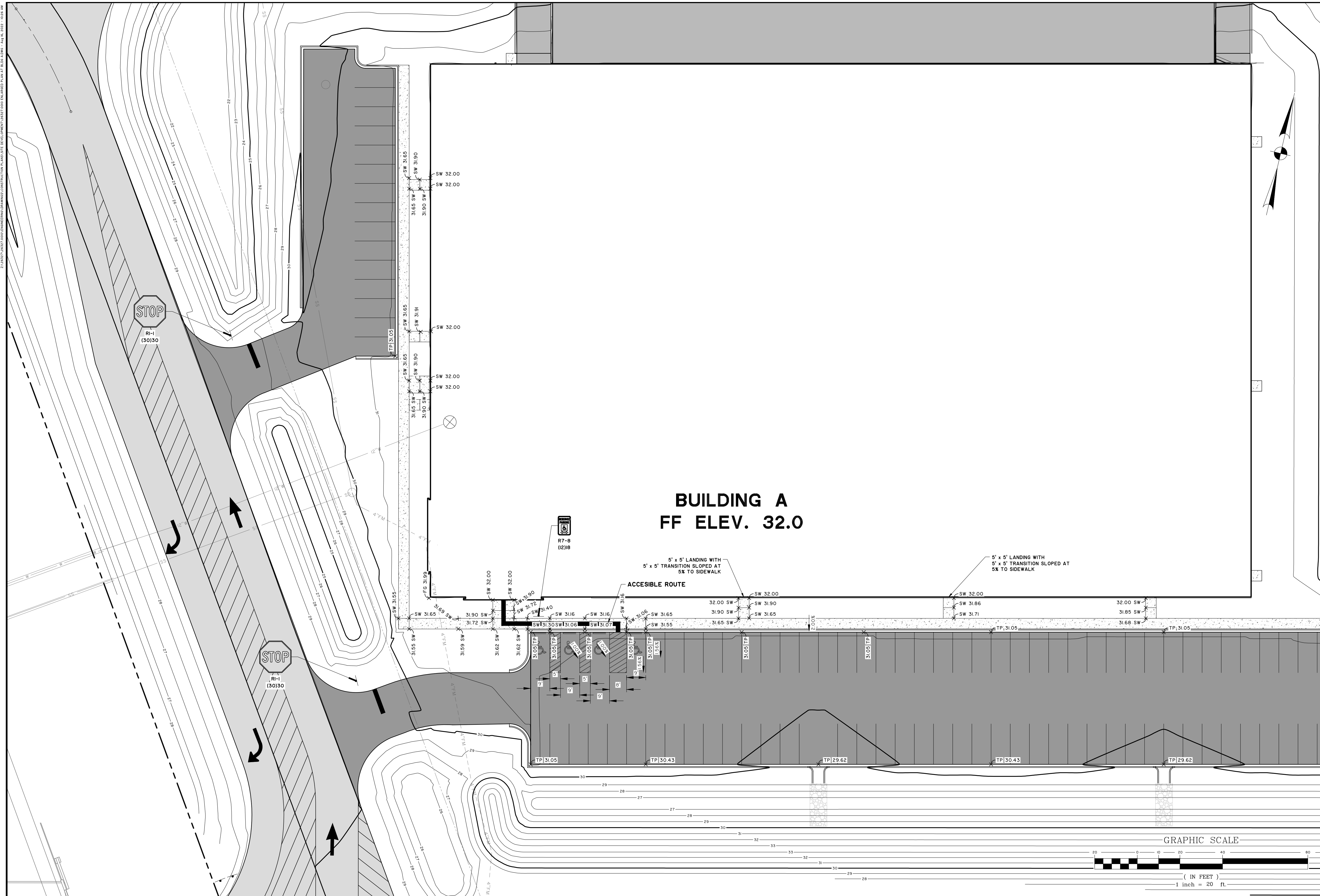
NFI INDUSTRIES
PORT WENTWORTH, GEORGIA
SITE DEVELOPMENT FOR BUILDINGS A & B
SITE LAYOUT - SHEET 2

JOB NO: J-26327.0010
DATE: 2/14/22
DRAWN: SSF
DESIGNED: SSF
REVIEWED: FIT
APPROVED: FIT
SCALE: 1" = 60'

C1.2



D:\PROJECTS\2022\NFI\INDUSTRIES\BUILDING\CONSTRUCTION\PLAN\SITE DEVELOPMENT\2022\000 SITE LAYOUT.DWG - July 14, 2022 - 10:58 AM



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 DESIGN PROFESSIONAL
 CERTIFICATION
 #0000055539
 EXPIRATION DATE:
 9/12/2023

NO.	REVISIONS	BY	DATE

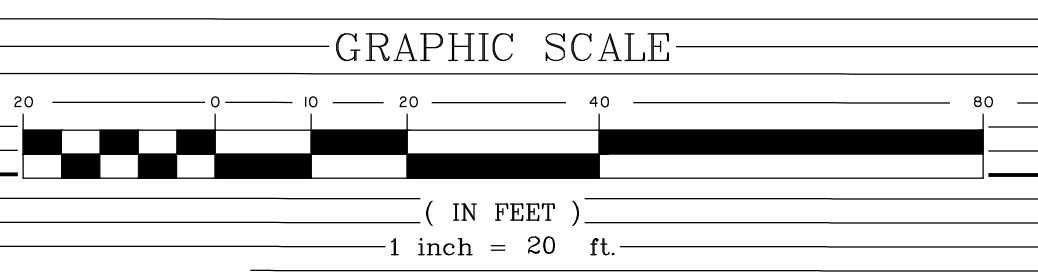
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 Savannah, GA 31405 • 912.234.5300
 www.thomasandhutton.com

NFI INDUSTRIES
 PORT WENTWORTH, GEORGIA
 SITE DEVELOPMENT FOR BUILDINGS A & B
ENLARGED PLAN AT BUILDING A

JOB NO: J-26327.0010
 DATE: 2/14/22
 DRAWN: SSF
 DESIGNED: SSF
 REVIEWED: FIT
 APPROVED: FIT
 SCALE: 1" = 20'

C1.3

2/14/2022 10:57:00 AM (GMT-05:00) JASON ORNE, ENGINEER, PROJECT: NFI CROSSGATE INDUSTRIAL DEVELOPMENT, 4337 FORD ROAD, SAVANNAH, GA 31405, 912.234.5300





GSWCC LEVEL II
DESIGN PROFESSIONAL
CERTIFICATION
#0000055539
EXPIRATION DATE:
9/12/2023

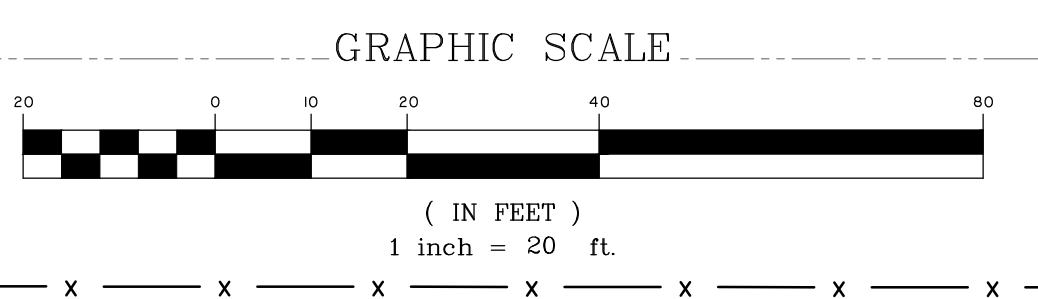
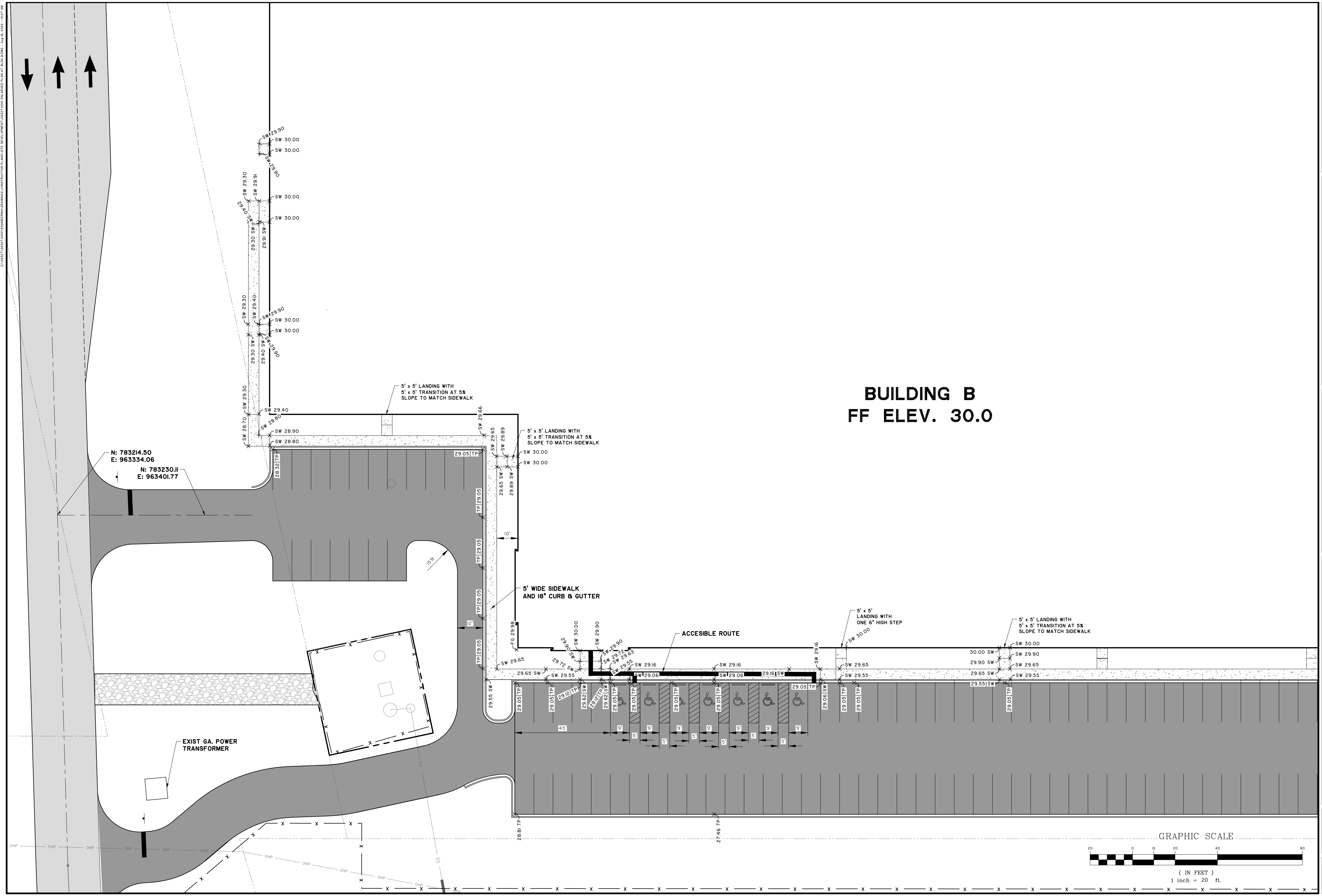
NO.	REVISIONS	BY	DATE

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NFI INDUSTRIES
 PORT WENTWORTH, GEORGIA
 SITE DEVELOPMENT FOR BUILDINGS A & B
ENLARGED PLAN AT BUILDING B

JOB NO: J-26327.0010
 DATE: 2/14/22
 DRAWN: SSF
 DESIGNED: SSF
 REVIEWED: FIT
 APPROVED: FIT
 SCALE: 1" = 20'

C1.4



2:\V\2022\NFI\INDUSTRIES\BUILDINGS\CONSTRUCTION\PLANS\SITE DEVELOPMENT\ENLARGED PLAN AT BUILDING B.dwg - Aug 16, 2022 - 10:57 AM

Attachment: NFI Crossgate Ind PK 7-0035-01-007 5-Site Plan 2022-Site Dev Bldgs A&B (2743 - Site Plan Review Application (Specific)) PIN # 7-0035-01-007 Crossgate Road NFI OCT 2022)



GSWCC LEVEL II DESIGN PROFESSIONAL CERTIFICATION #000005539 EXPIRATION DATE: 9/12/2023

NO.	REVISIONS	DATE	BY
4	CHANGED SIZE OF BUILDING A	8/15/22	SF
3	REVISED WATER SYSTEM	7/29/22	SF
2	REVISED WATER AND SEWER SYSTEM	6/2/22	SF
1	WATER SYSTEM REVISION	5/27/22	SF

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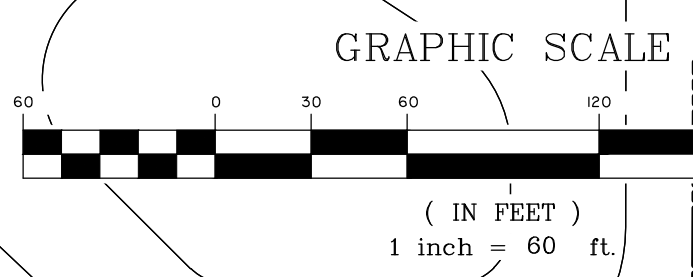
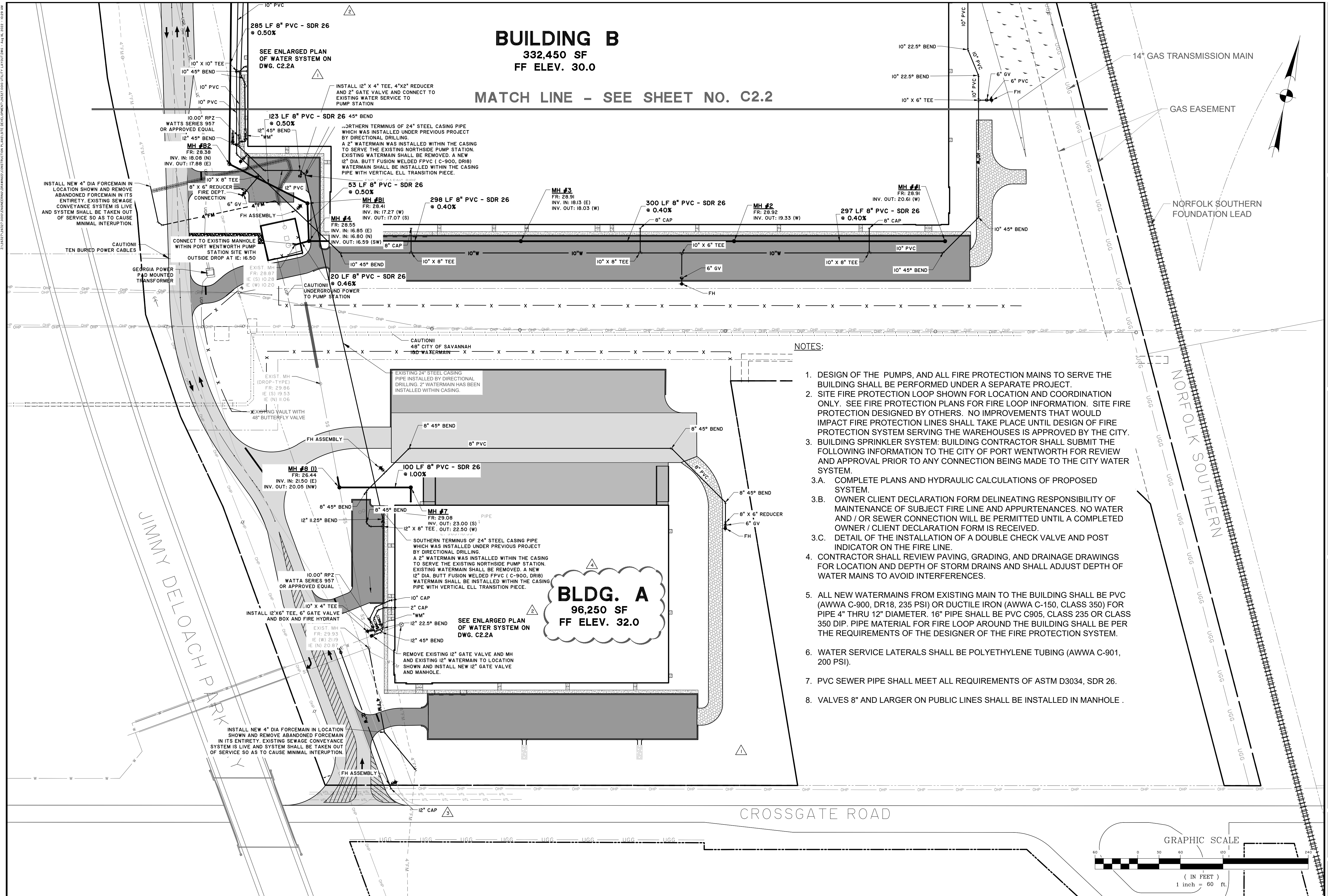
NFI INDUSTRIES
 PORT WENTWORTH, GEORGIA
 SITE DEVELOPMENT FOR BUILDINGS A & B
WATER & SEWER PLAN - SHEET 1

JOB NO:	J-26327.0010
DATE:	2/14/22
DRAWN:	SSF
DESIGNED:	SSF
REVIEWED:	FIT
APPROVED:	FIT
SCALE:	1" = 60'

BUILDING B

332,450 SF
FF ELEV. 30.0

MATCH LINE - SEE SHEET NO. C2.2



CROSSGATE ROAD

JIMMY DELOACH PARK

NORFOLK SOUTHERN FOUNDATION LEAD

NORFOLK SOUTHERN

BLDG. A
 96,250 SF
 FF ELEV. 32.0

285 LF 8" PVC - SDR 26
 @ 0.50%

SEE ENLARGED PLAN OF WATER SYSTEM ON DWG. C2.2A

INSTALL 12" X 4" TEE, 4"X2" REDUCER AND 2" GATE VALVE AND CONNECT TO EXISTING WATER SERVICE TO PUMP STATION

123 LF 8" PVC - SDR 26
 @ 0.50%

NORTHERN TERMINUS OF 24" STEEL CASING PIPE WHICH WAS INSTALLED UNDER PREVIOUS PROJECT BY DIRECTIONAL DRILLING. A 2" WATERMAIN WAS INSTALLED WITHIN THE CASING TO SERVE THE EXISTING NORTHSIDE PUMP STATION. EXISTING WATERMAIN SHALL BE REMOVED. A NEW 12" DIA. BUTT FUSION WELDED FPVC (C-900, DR18) WATERMAIN SHALL BE INSTALLED WITHIN THE CASING PIPE WITH VERTICAL ELL. TRANSITION PIECE.

53 LF 8" PVC - SDR 26
 @ 0.50%

MH #1
 FR: 28.41
 INV. IN: 17.27 (W)
 INV. OUT: 17.07 (S)

MH #4
 FR: 28.55
 INV. IN: 16.85 (E)
 INV. IN: 16.80 (N)
 INV. OUT: 16.59 (SW)

20 LF 8" PVC - SDR 26
 @ 0.46%

MH #8 (I)
 FR: 26.44
 INV. IN: 21.50 (E)
 INV. OUT: 20.05 (NW)

MH #7
 FR: 29.08
 INV. OUT: 23.00 (S)
 INV. OUT: 22.50 (W)

100 LF 8" PVC - SDR 26
 @ 1.00%

MH #3
 FR: 28.91
 INV. IN: 18.13 (E)
 INV. OUT: 18.03 (W)

MH #2
 FR: 28.92
 INV. OUT: 19.33 (W)

298 LF 8" PVC - SDR 26
 @ 0.40%

300 LF 8" PVC - SDR 26
 @ 0.40%

297 LF 8" PVC - SDR 26
 @ 0.40%

MH #5
 FR: 28.91
 INV. IN: 18.13 (E)
 INV. OUT: 18.03 (W)

MH #6
 FR: 28.91
 INV. IN: 18.13 (E)
 INV. OUT: 18.03 (W)

MH #7
 FR: 29.08
 INV. OUT: 23.00 (S)
 INV. OUT: 22.50 (W)

MH #8 (I)
 FR: 26.44
 INV. IN: 21.50 (E)
 INV. OUT: 20.05 (NW)

MH #7
 FR: 29.08
 INV. OUT: 23.00 (S)
 INV. OUT: 22.50 (W)

MH #7
 FR: 29.08
 INV. OUT: 23.00 (S)
 INV. OUT: 22.50 (W)

MH #7
 FR: 29.08
 INV. OUT: 23.00 (S)
 INV. OUT: 22.50 (W)

MH #7
 FR: 29.08
 INV. OUT: 23.00 (S)
 INV. OUT: 22.50 (W)

MH #7
 FR: 29.08
 INV. OUT: 23.00 (S)
 INV. OUT: 22.50 (W)

MH #7
 FR: 29.08
 INV. OUT: 23.00 (S)
 INV. OUT: 22.50 (W)

MH #7
 FR: 29.08
 INV. OUT: 23.00 (S)
 INV. OUT: 22.50 (W)

MH #7
 FR: 29.08
 INV. OUT: 23.00 (S)
 INV. OUT: 22.50 (W)

MH #7
 FR: 29.08
 INV. OUT: 23.00 (S)
 INV. OUT: 22.50 (W)

MH #7
 FR: 29.08
 INV. OUT: 23.00 (S)
 INV. OUT: 22.50 (W)

MH #7
 FR: 29.08
 INV. OUT: 23.00 (S)
 INV. OUT: 22.50 (W)

MH #7
 FR: 29.08
 INV. OUT: 23.00 (S)
 INV. OUT: 22.50 (W)

MH #7
 FR: 29.08
 INV. OUT: 23.00 (S)
 INV. OUT: 22.50 (W)

MH #7
 FR: 29.08
 INV. OUT: 23.00 (S)
 INV. OUT: 22.50 (W)

MH #7
 FR: 29.08
 INV. OUT: 23.00 (S)
 INV. OUT: 22.50 (W)



GSWCC LEVEL II DESIGN PROFESSIONAL CERTIFICATION #0000055539 EXPIRATION DATE: 9/12/2023

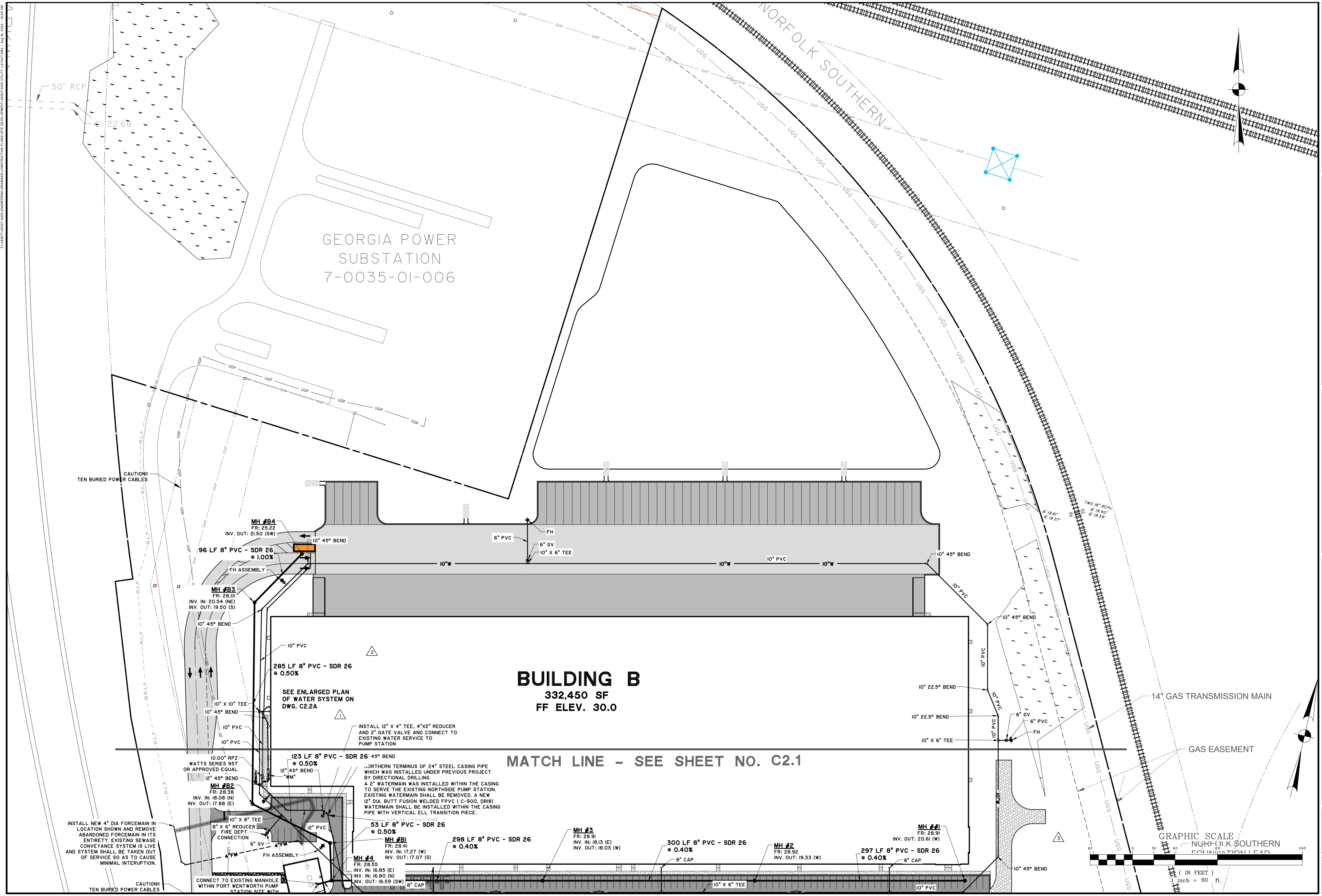
NO.	REVISIONS	BY	DATE
3	REVISED WATER SYSTEM	SSF	7/31/22
2	REVISED WATER AND SEWER SYSTEM	SSF	6/2/22
1	WATER SYSTEM REVISION	SSF	5/27/22

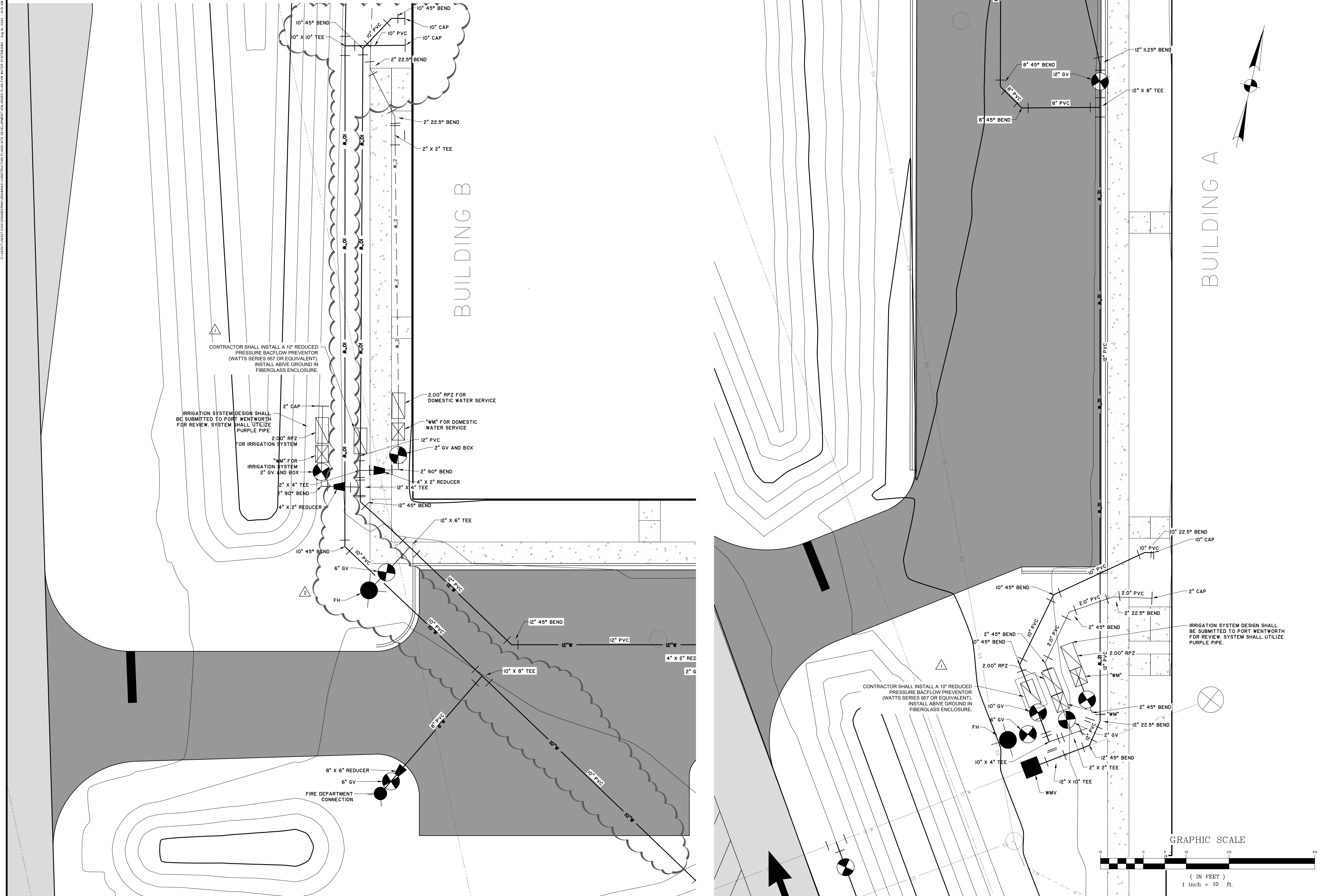
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NFI INDUSTRIES
 PORT WENTWORTH, GEORGIA
 SITE DEVELOPMENT FOR BUILDINGS A & B
WATER & SEWER PLAN - SHEET 2

JOB NO: J-26327.0010
 DATE: 2/14/22
 DRAWN: SSF
 DESIGNED: SSF
 REVIEWED: FIT
 APPROVED: FIT
 SCALE: 1" = 60'

C2.2





GSWCC LEVEL II
 DESIGN PROFESSIONAL
 CERTIFICATION
 #0000055539
 EXPIRATION DATE:
 9/12/2023

NO.	REVISION	DATE
2	REVISED WATER SYSTEM	7/31/22
1	REVISED BACKFLOW PREVENTOR	6/20/22
	REVISIONS	BY

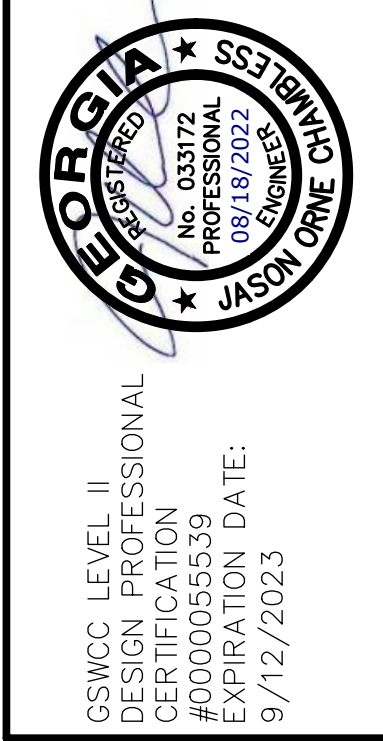
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NFI INDUSTRIES
 PORT WENTWORTH, GEORGIA
 SITE DEVELOPMENT FOR BUILDINGS A & B
ENLARGED PLANS FOR WATER SYSTEM

JOB NO: J-26327.0010
 DATE: 2/14/22
 DRAWN: SSF
 DESIGNED: SSF
 REVIEWED: FIT
 APPROVED: FIT
 SCALE: 1" = 10'

C2.2A

Z:\14357\14357.DWG\THOMASANDHUTTON\CONSTRUCTION\PLANS\SITE DEVELOPMENT\ENLARGED PLANS FOR WATER SYSTEMS - Aug 16, 2022 - 10:33 AM



NO.	REVISIONS	BY	DATE

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NFI INDUSTRIES
 PORT WENTWORTH, GEORGIA
 SITE DEVELOPMENT FOR BUILDINGS A & B
SANITARY SEWER DETAILS

JOB NO:	J-26327.0010
DATE:	2/14/22
DRAWN:	SSF
DESIGNED:	SSF
REVIEWED:	FIT
APPROVED:	FIT
SCALE:	1" = 1/109'

C2.4

DROP MANHOLE CONNECTION

NOTES:
 1. PIPE AND FITTINGS WITHIN CONCRETE ENCASEMENT SHALL BE WRAPPED WITH 6 MIL POLYETHYLENE PRIOR TO THE CONCRETE PLACEMENT
 2. ALL PIPE AND FITTINGS SHALL BE SDR 26 PVC
 3. THE CONNECTIONS TO THE EXISTING MANHOLE SHALL OCCUR BY CORE-DRILLING. THE CONNECTIONS SHALL INCLUDE A WATERTIGHT BOOT (SEE DETAIL SHEET S-6).

PREPARED BY STEVENSON & PALMER ENGINEERING, INC. SCALE: N.T.S. DATED: FEBRUARY 2007

PRECAST STRUCTURE PIPE CONNECTION

NOTE: WALL SLEEVE CONNECTIONS ARE REQUIRED FOR VALVE PITS & WETWELLS

PREPARED BY STEVENSON & PALMER ENGINEERING, INC. SCALE: N.T.S. DATED: FEBRUARY 2007

MANHOLE RING & COVER

MANHOLE RING & COVER SHALL BE HEAVY DUTY RATED EQUAL TO U. S. FOUNDRY CO. LIST 135-ORS. TOTAL WEIGHT 325# TYPE "C" LID TO HAVE MACHINED BEARING SURFACES. LID TO BE LETTERED 2 1/2" - 3" LETTER HEIGHT "SANITARY" (NON VENTED). MANHOLE RING SHALL INCLUDE A WATERTIGHT GASKET. STACKING CLEATS ON THE BOTTOM OF THE COVER SHALL NOT BE ALLOWED.

PREPARED BY STEVENSON & PALMER ENGINEERING, INC. SCALE: N.T.S. DATED: FEBRUARY 2007

PRECAST CONCRETE MANHOLE

PREPARED BY STEVENSON & PALMER ENGINEERING, INC. SCALE: N.T.S. DATED: FEBRUARY 2007

PIPE BEDDING

PREPARED BY STEVENSON & PALMER ENGINEERING, INC. SCALE: N.T.S. DATED: FEBRUARY 2007

COMBINATION AIR VALVE & MANHOLE

PREPARED BY STEVENSON & PALMER ENGINEERING, INC. SCALE: N.T.S. DATED: FEBRUARY 2007

SANITARY SEWER DETAILS

PREPARED BY STEVENSON & PALMER ENGINEERING, INC. SCALE: N.T.S. DATED: FEBRUARY 2007



GSWCC LEVEL II DESIGN PROFESSIONAL CERTIFICATION #0000055539 EXPIRATION DATE: 9/12/2023

NO.	REVISIONS	BY	DATE

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NFI INDUSTRIES
 PORT WENTWORTH, GEORGIA
 SITE DEVELOPMENT FOR BUILDINGS A & B
 WATER SYSTEM DETAILS

JOB NO:	J-26327.0010
DATE:	2/14/22
DRAWN:	SSF
DESIGNED:	SSF
REVIEWED:	FIT
APPROVED:	FIT
SCALE:	1" = 1/8" @ 8'

C2.5

Attachment: NFI Crossgate Ind Pr 7-0035-01-007 5-Site Plan Review Application (Specific) PIN # 7-0035-01-007 Crossgate Road NFI OCT 2022

NOTES:

1. WATER LINE SHALL BE DUCTILE IRON BELOW STORM DRAINAGE DITCH.
2. STRAIGHT RUN OF WATER LINE DIRECTLY BELOW NEW OR EXISTING DRAINAGE DITCH MUST BE 10' MINIMUM WITH NO JOINT.
3. JOINTS SHALL BE RESTRAINED IN ACCORDANCE WITH CITY OF PORT WENTWORTH STANDARD DETAILS.

City of Port Wentworth TECHNICAL DETAILS W-7
 PREPARED BY STEVENSON & PALMER ENGINEERING, INC. SCALE: N.T.S. DATED: FEBRUARY 2007

NOTES:

1. WATER LINE SHALL BE INSTALLED ABOVE SANITARY OR STORM LINE IF POSSIBLE.
2. STRAIGHT RUN OF WATER LINE DIRECTLY ABOVE OR BELOW EXISTING UTILITY LINE MUST BE 10' MINIMUM WITH NO JOINT.
3. IF WATER LINE IS INSTALLED BELOW SANITARY LINE WATER LINE SHALL BE DUCTILE IRON PIPE.
4. JOINTS SHALL BE RESTRAINED IN ACCORDANCE WITH CITY OF PORT WENTWORTH STANDARD DETAILS.

City of Port Wentworth TECHNICAL DETAILS W-6
 PREPARED BY STEVENSON & PALMER ENGINEERING, INC. SCALE: N.T.S. DATED: FEBRUARY 2007

NOTES:

1. CASING SPACERS SHALL BE PLACED ON 6' CENTERS MINIMUM.
2. ALL RAILROAD CROSSINGS SHALL BE INSTALLED IN ACCORDANCE WITH AMERICAN RAILWAY ENGINEERING ASSOCIATION REGULATIONS, UNDER PART 5, PIPELINES (LATEST EDITION) AND PERMIT REQUIREMENTS.
3. ALL HIGHWAY CROSSINGS SHALL BE INSTALLED IN ACCORDANCE WITH GA. D.O.T. REGULATIONS & PERMIT REQUIREMENTS.

City of Port Wentworth TECHNICAL DETAILS W-3
 PREPARED BY STEVENSON & PALMER ENGINEERING, INC. SCALE: N.T.S. DATED: FEBRUARY 2007

NOTES:

1. TAPPING SADDLE TO BE DUCTILE IRON WITH TYPE 304 STAINLESS STEEL FORGED DOUBLE STRAPS, STAINLESS STEEL BOLTS, NUTS AND WASHERS. FINISH IS FUSION-BONDED NYLON TO AVERAGE THICKNESS OF 12 MILS.
2. ALL TAPS ON WATER MAIN WILL REQUIRE A TAPPING SADDLE.

City of Port Wentworth TECHNICAL DETAILS W-2
 PREPARED BY STEVENSON & PALMER ENGINEERING, INC. SCALE: N.T.S. DATED: FEBRUARY 2007

NOTES:

1. MANHOLE FRAME AND COVER SHALL BE NEENAH FOUNDRY CO. CATALOG NO. R-166B, TYPE C, LABELED "WATER".
2. THE BOTTOM OF THE MANHOLE FRAME SHALL NOT BE MORE THAN 12" ABOVE THE TOP OF THE MANHOLE STRUCTURE.
3. PRECAST CONCENTRIC CONE RISERS MAY BE USED WHERE REQUIRED FOR DEPTH.
4. THE MANHOLE FRAME AND COVER MUST BE CENTERED OVER THE VALVE.

City of Port Wentworth TECHNICAL DETAILS W-14
 PREPARED BY STEVENSON & PALMER ENGINEERING, INC. SCALE: N.T.S. DATED: FEBRUARY 2007

NOTES:

1. SET MANHOLE COVER 2" ABOVE NATURAL GRADE OR FINISH GRADE.
2. MANHOLE FRAME AND COVER SHALL BE NEENAH R-166B OR EQUAL. CLEAR OPENING SHALL BE 24" AND HEIGHT SHALL BE 6".

City of Port Wentworth TECHNICAL DETAILS W-13
 PREPARED BY STEVENSON & PALMER ENGINEERING, INC. SCALE: N.T.S. DATED: FEBRUARY 2007

NOTE:

1. MAINGUARD #79 BLOW-OFF HYDRANT BY THE KUPFERLE FOUNDRY COMPANY. SEE MANUFACTURER'S SPECIFICATION FOR FURTHER DETAIL.

City of Port Wentworth TECHNICAL DETAILS W-10
 PREPARED BY STEVENSON & PALMER ENGINEERING, INC. SCALE: N.T.S. DATED: FEBRUARY 2007

NOTE:

1. ALL JOINTS FROM MAIN TO HYDRANT SHALL BE RESTRAINED.
2. PROTECT BOLTS AND THREADS FROM CONCRETE.

City of Port Wentworth TECHNICAL DETAILS W-9
 PREPARED BY STEVENSON & PALMER ENGINEERING, INC. SCALE: N.T.S. DATED: FEBRUARY 2007



GSWCC LEVEL II DESIGN PROFESSIONAL CERTIFICATION #000005539 EXPIRATION DATE: 9/12/2023

NO.	REVISIONS	DATE

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NFI INDUSTRIES
PORT WENTWORTH, GEORGIA
SITE DEVELOPMENT FOR BUILDINGS A & B
WATER SYSTEM DETAILS

JOB NO: J-26327.0010
DATE: 2/14/22
DRAWN: SF
DESIGNED: SF
REVIEWED: SF
APPROVED: FIT
SCALE: 1" = 1'00"

C2.6

Attachment: NFI Crossgate Ind Pk 7-0035-01-007 5-Site Plan 2022-Site Dev Bldgs A&B (2/14) 5-Site Plan Review Application (Specific) PIN # 7-0035-01-007 Crossgate Road NFI OCT 2022

ITEM	QUAN	DESCRIPTION
1	2	FULL PORT BALL VALVE
2	1	REDUCED PRESSURE ZONE DEVICE
3	4	BRASS ELLS THREADED OR FLANGED
4	1	STRAINER W/ RPZ DEVICE (OPTIONAL) SEE NOTE 3
5	6	BRASS OR COPPER ONLY, NIPPLES CUT TO LENGTH
6		PIPE STAND MIN. 12"
7	4	BRASS PLUGS INSERTED IN TEST COCKS
8		2" X 2" DRAIN
9		POLYETHYLENE OR COPPER
10		PREFABRICATED ENCLOSURE BY HOT BOX OR EQUAL
11	2	UNION SEE NOTE 3

NOTES:
1. FOR FINAL APPROVAL, ASSEMBLY MUST BE CENTERED IN ENCLOSURE UNDER NO CONDITION WILL ANY CONNECTION BE ALLOWED BETWEEN THE SERVICE METER AND A BACKFLOW PREVENTER. BACKFLOW PREVENTER SHALL ALWAYS BE INSTALLED IMMEDIATELY DOWNSTREAM OF METER.
2. UNDER NO CIRCUMSTANCE SHALL TEST PORTS BE MODIFIED OR UTILIZED FOR ANY USE OTHER THAN BACKFLOW DEVICE TESTING.
3. ITEMS 4 AND 11 (THE STRAINER AND THE UNIONS) MAY BE INSTALLED ON THE VERTICAL RISERS TO REDUCE THE OVERALL LAYING LENGTH.

TYPICAL OUTSIDE INSTALLATION
REDUCED PRESSURE
TYPE BACKFLOW PREVENTION DEVICE
(3/4", 1", 1 1/2", 2", & 2 1/2" SIZES)

BACKFLOW PREVENTION DEVICE
City of Port Wentworth
TECHNICAL DETAILS
W-25
SCALE: N.T.S. DATED: FEBRUARY 2007

ITEM	QUAN	DESCRIPTION
1	1	DOUBLE CHECK VALVE ASSEMBLY *
2	2	METER BOX (JUMBO METER BOX FOR 5/8", 3/4", 1" & 1 1/2" BFD ONLY)
3	4	TEST COCKS
4	2	FULL PORT BALL VALVES
5	1	POLYETHYLENE, COPPER OR BRASS CUT TO LENGTH
6	2	UNION

INSTALLATION INSTRUCTIONS:
THE ASSEMBLY SHALL NOT BE BURIED IN EARTH, BUT MAY BE INSTALLED IN A UTILITY BOX ADJACENT TO OR AS CLOSE AS PRACTICAL TO, THE OUTSIDE OF THE METER. UNDER NO CONDITION WILL ANY CONNECTION BE ALLOWED BETWEEN THE SERVICE METER AND A BACKFLOW PREVENTER USED FOR SYSTEM CONTAINMENT.
* DUAL CHECK VALVES ARE NOT ALLOWABLE.
2. IF A PRESSURE MONITOR IS TO BE INSTALLED, ADD A TEE, VALVE, FITTINGS AND MOUNT ON SUPPLY SIDE PRIOR TO BACKFLOW PREVENTION DEVICE. UNDER NO CIRCUMSTANCE, SHALL TEST PORTS BE MODIFIED OR UTILIZED FOR THIS OR OTHER APPLICATION, OTHER THAN BACKFLOW DEVICE TESTING.

NOTES:
1. FOR FINAL APPROVAL, ASSEMBLY MUST BE CENTERED IN ENCLOSURE. INSTALLER MUST PROVIDE FOR THERMAL EXPANSION DOWNSTREAM OF THE BACKFLOW PREVENTOR.

TYPICAL OUTSIDE INSTALLATION
(3/4", 1", 1 1/2", 2" & 2 1/2" SIZES)

DOMESTIC DOUBLE CHECK VALVE ASSEMBLY (A)
City of Port Wentworth
TECHNICAL DETAILS
W-20
SCALE: N.T.S. DATED: FEBRUARY 2007

NOTES:
1. WATER METER FOR THE 1-1/2" AND 2" SERVICE PIPE SHALL BE PURCHASED FROM CITY OF PORT WENTWORTH.
2. THE INSTALLATION OF THE METER AND BOX SHALL BE DONE BY THE CUSTOMER REQUIRING SERVICE.
3. IF A WATER TAP IS REQUIRED FOR THE WATER SERVICE, REQUIRING SERVICE TO EXCAVATE THE WATER MAIN, CITY OF PORT WENTWORTH, DIRECTION OF FINISHED GRADE.
4. THE CUSTOMER REQUIRING SERVICE SHALL BE RESPONSIBLE FOR ALL BACKFLOWING AND/OR REPAIRS OF EXCAVATED AREA.
5. CONCRETE METER VAULT SHALL BE THE RESPONSIBILITY OF THE CUSTOMER REQUIRING SERVICE.

WATER METER INSTALLATION 2" SERVICE PIPE & 2" METER
SCALE: N.T.S. DATED: FEBRUARY 2007

WATER METER INSTALLATION 2" SERVICE PIPE
City of Port Wentworth
TECHNICAL DETAILS
W-19
SCALE: N.T.S. DATED: FEBRUARY 2007

NOTES:
1. WATER METER FOR THE 3/4" AND 1" SERVICE PIPE SHALL BE PURCHASED FROM CITY OF PORT WENTWORTH.
2. THE INSTALLATION OF THE METER AND BOX SHALL BE DONE BY THE CUSTOMER REQUIRING SERVICE.
3. IF A WATER TAP IS REQUIRED FOR THE WATER SERVICE, REQUIRING SERVICE TO EXCAVATE THE WATER MAIN, CITY OF PORT WENTWORTH, DIRECTION OF FINISHED GRADE.
4. THE CUSTOMER REQUIRING SERVICE SHALL BE RESPONSIBLE FOR ALL BACKFLOWING AND/OR REPAIRS OF EXCAVATED AREA.

WATER METER INSTALLATION 1" SERVICE PIPE 3/4" METER & 1" METER
SCALE: N.T.S. DATED: FEBRUARY 2007

RESIDENTIAL WATER METER W/BACKFLOW PREVENTER
City of Port Wentworth
TECHNICAL DETAILS
W-17
SCALE: N.T.S. DATED: FEBRUARY 2007

PIPE DIA.	11 1/4"	22 1/2"	45"	90"
4	3	6	12	29
6	4	8	17	41
8	5	11	22	53
10	6	13	26	64
12	7	15	31	75

NOTES:
1. LENGTH OF RESTRAINT SHOWN IS IN FEET.
2. WHERE LINES CONSIST OF BOTH DUCTILE IRON AND PVC WITHIN THE LIMITS OF REQUIRED RESTRAINT, LIMITS FOR PVC SHALL APPLY.
3. U1 AND U2 = UNINTERRUPTED STRAIGHT RUNS OF RESTRAINED JOINT PIPE IN EACH DIRECTION.
4. U_r = THE SMALLER OF U1 OR U2.
5. L = MINIMUM RESTRAINED LENGTH ALONG THE BRANCH.
6. WHERE U_r IS LESS THAN 5', RESTRAIN TEE AS A 90° HORIZONTAL BEND.

MINIMUM RESTRAINED LENGTH (L)
*RESTRAIN AT TEE ONLY.

STANDARD TEE RESTRAINT (DUCTILE IRON PIPE)
City of Port Wentworth
TECHNICAL DETAILS
W-30
SCALE: N.T.S. DATED: FEBRUARY 2007

PIPE DIA.	11 1/4"	22 1/2"	45"	90"
4	5	10	22	52
6	7	15	30	74
8	9	19	40	96
10	11	23	48	115
12	13	27	56	136

NOTES:
1. LENGTH OF RESTRAINT SHOWN IS IN FEET.
2. WHERE LINES CONSIST OF BOTH DUCTILE IRON AND PVC WITHIN THE LIMITS OF REQUIRED RESTRAINT, LIMITS FOR PVC SHALL APPLY.
3. U1 AND U2 = UNINTERRUPTED STRAIGHT RUNS OF PIPE IN EACH DIRECTION.
4. U_r = THE SMALLER OF U1 OR U2.
5. L = MINIMUM RESTRAINED LENGTH ALONG THE BRANCH.
6. WHERE U_r IS LESS THAN 5', RESTRAIN TEE AS A 90° HORIZONTAL BEND.

MINIMUM RESTRAINED LENGTH (L)
* RESTRAIN AT TEE ONLY

STANDARD TEE RESTRAINT (PVC LINE)
City of Port Wentworth
TECHNICAL DETAILS
W-29
SCALE: N.T.S. DATED: FEBRUARY 2007

PIPE DIA.	11 1/4"	22 1/2"	45"	90"
4	3	6	12	28
6	4	8	17	40
8	4	10	22	52
10	5	12	26	62
12	6	15	30	73
16	7	19	39	94
20	11	23	47	114
24	13	26	55	132

NOTES:
1. LENGTH OF RESTRAINT SHOWN IS IN FEET.
2. WHERE LINES CONSIST OF BOTH DUCTILE IRON AND PVC WITHIN THE LIMITS OF REQUIRED RESTRAINT, LIMITS FOR PVC SHALL APPLY.

MINIMUM RESTRAINED LENGTH (L)

STANDARD VERTICAL BEND RESTRAINT
City of Port Wentworth
TECHNICAL DETAILS
W-28
SCALE: N.T.S. DATED: FEBRUARY 2007

PIPE DIA.	11 1/4"	22 1/2"	45"	90"
4	3	6	12	29
6	4	8	17	41
8	5	11	22	53
10	6	13	26	64
12	7	15	31	75

NOTES:
1. LENGTH OF RESTRAINT SHOWN IS IN FEET.
2. WHERE LINES CONSIST OF BOTH DUCTILE IRON AND PVC WITHIN THE LIMITS OF REQUIRED RESTRAINT, LIMITS FOR PVC SHALL APPLY.

MINIMUM RESTRAINED LENGTH (L)

STANDARD HORIZONTAL BEND RESTRAINT
City of Port Wentworth
TECHNICAL DETAILS
W-27
SCALE: N.T.S. DATED: FEBRUARY 2007

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GSWCC LEVEL II
DESIGN PROFESSIONAL
CERTIFICATION
#0000055539
EXPIRATION DATE:
9/12/2023

NO.	REVISIONS	BY	DATE

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NFI INDUSTRIES
PORT WENTWORTH, GEORGIA
SITE DEVELOPMENT FOR BUILDINGS A & B
WATER SYSTEM DETAILS

JOB NO: J-26327.0010
DATE: 2/14/22
DRAWN: SSF
DESIGNED: SSF
REVIEWED: FIT
APPROVED: FIT
SCALE: 1" = 1/16"

C2.7

DUCTILE IRON LINE			PVC LINE		
PIPE DIA.	L		PIPE DIA.	L	
4	28		4	52	
6	40		6	74	
8	52		8	96	
10	62		10	115	
12	73		12	136	
16	94				
20	114				
24	132				

NOTES:
1. LENGTH OF RESTRAINT SHOWN IS IN FEET.
2. WHERE LIMITS CONSIST OF BOTH DUCTILE IRON AND PVC WITHIN THE LIMITS OF REQUIRED RESTRAINT, LIMITS FOR PVC SHALL APPLY.
3. FOR LINE STUBS (SEE DETAIL W39), THE LENGTH OF RESTRAINT (L) SHALL BE FROM THE VALVE AND NOT THE CAP.

STANDARD DEAD END RESTRAINT
City of Port Wentworth
TECHNICAL DETAILS
W-31
PREPARED BY STEVENSON & PALMER ENGINEERING, INC. SCALE: N.T.S. DATED: FEBRUARY 2007

NOTE:
MANHOLE RING & COVER SHALL BE HEAVY DUTY RATED EQUAL TO U. S. FOUNDRY CO. USE 195-ORS. TOTAL WEIGHT 325# TYPE "C" LID TO HAVE MACHINED BEARING SURFACES. LID TO BE LETTERED 2 1/2" - 3" LETTER HEIGHT "WATER" (NON VENTED). MANHOLE RING SHALL INCLUDE A WATERTIGHT GASKET. STACKING CLEATS ON THE BOTTOM OF THE COVER SHALL NOT BE ALLOWED.

MANHOLE RING & COVER
City of Port Wentworth
TECHNICAL DETAILS
W-34
PREPARED BY STEVENSON & PALMER ENGINEERING, INC. SCALE: N.T.S. DATED: FEBRUARY 2007

FPVC CONNECTION DETAIL
SCALE: NONE

City of Port Wentworth
TECHNICAL DETAILS
W-21
PREPARED BY STEVENSON & PALMER ENGINEERING, INC. SCALE: N.T.S. DATED: FEBRUARY 2007

NOTE:
1. USE OF BUTTERFLY VALVES SHALL REQUIRE METER WITH DOUBLE STRAINER.
2. TURBINE METERS (CLASS II) SHALL HAVE U.L. APPROVED STRAINERS.
3. COMPLETE BY-PASS ASSEMBLY IS REQUIRED ON ALL METERS.
4. VALVES GREATER THAN 2" SHALL BE MECHANICAL JOINT GATE VALVES.
5. METERS 3" AND LARGER - ALL JOINTS FROM TEE TO TEE SHALL BE RESTRAINED.
6. INSPECTION LID SHALL BE INSTALLED SUCH THAT ALL METER REGISTERS CAN BE READ WITHOUT REMOVING THE ENTIRE METER PIT LID.
7. THE TEST TEE OR TEE SERVICE SADDLE SHALL NOT BE REQUIRED IF THE METER IS EQUIPPED WITH A TEST PORT.

OPTIONAL QUARTZITE OR COR VULT (4"x6") MIN. CAN BE USED FOR 3" AND LARGER METER. THE BOX SHALL BE SIZED AS REQUIRED TO HOUSE THE EQUIPMENT.

WATER METER INST. 3" AND LARGER
City of Port Wentworth
TECHNICAL DETAILS
W-15
PREPARED BY STEVENSON & PALMER ENGINEERING, INC. SCALE: N.T.S. DATED: FEBRUARY 2007

ITEM	QUAN	DESCRIPTION
1	1	DOUBLE DETECTOR CHECK VALVE ASSEMBLY
2	2	OS&Y RESILIENT SEAT GATE VALVES
3	4	TEST COCKS
4	2	COMPANION FLANGE (UNION SHALL BE USED FOR 2")
5		DUCTILE IRON PIPE, CUT TO FIT
6	8	CARBON STEEL EYE BOLTS
7		3/4 GALV. ALL THREAD ROD
8		MEGA LUG OR EQUIVALENT FOR DUCTILE PIPE
9	2	2" SCH. 40 GALV. PIPE STAND & BASE BOLTED TO FLANGE
10		PIT-CEMENT BLOCK, POURED CONCRETE, OR PREFABRICATED BOX PER CITY SPECS.
11		3/8 ALUMINUM FLOOR PLATE / HATCH COVER
12	1	3/4 CUBIC FT. BYPASS METER
13		2' X 2' MIN. HATCH

NOTES:
1. FOR FINAL APPROVAL, ASSEMBLY MUST BE CENTERED IN ENCLOSURE (IF APPLICABLE). UNDER NO CONDITION WILL ANY CONNECTION BE ALLOWED BETWEEN THE SERVICE METER AND A BACKFLOW PREVENTER USED FOR THE SYSTEM CONTAINMENT. BACKFLOW PREVENTER SHALL ALWAYS BE INSTALLED DOWNSTREAM OF METER.
2. IF A PRESSURE MONITOR IS TO BE INSTALLED, ADD A TEE, VALVE, FITTINGS, AND MOUNT ON SUPPLY SIDE PRIOR TO BACKFLOW PREVENTER; UNDER NO CIRCUMSTANCE SHALL TEST PORTS BE MODIFIED OR UTILIZED FOR THIS OR OTHER APPLICATION, OTHER THAN BACKFLOW DEVICE TESTING.
3. IF ADDITIONAL SIAMENSE CONNECTION IS REQUIRED FOR FIRE SERVICE, SEE DETAIL SHEET STD. FIRE SERVICE SYSTEM FOR BUILDINGS.

TYPICAL BELOW GRADE INSTALLATION
(2", 3", 4", 6", 8", & 10" SIZES)

FIRE SYTEM DOUBLE DETECTOR CHECK VALVE
City of Port Wentworth
TECHNICAL DETAILS
W-22
PREPARED BY STEVENSON & PALMER ENGINEERING, INC. SCALE: N.T.S. DATED: FEBRUARY 2007

ITEM	QUAN	DESCRIPTION
1	1	DOUBLE CHECK VALVE ASSEMBLY
2	2	NON-RISING RESILIENT SEAT GATE VALVES
3	4	TEST COCKS
4	2	COMPANION FLANGE
5		DUCTILE IRON PIPE, CUT TO FIT
6	8	CARBON STEEL EYE BOLTS
7		3/4 GALV. ALL THREAD ROD
8		MEGA LUG OR EQUIVALENT FOR DUCTILE PIPE
9	2	2" SCH. 40 GALV. PIPE STAND & BASE BOLTED TO FLANGE
10		PIT-CEMENT BLOCK, POURED CONCRETE, OR PREFABRICATED BOX PER CITY SPECS.
11		3/8 ALUM. FLOOR PLATE / HATCH COVER W/FLUSH HANDLE
12		2' X 2' MIN. HATCH

NOTES:
1. FOR FINAL APPROVAL, ASSEMBLY MUST BE CENTERED IN ENCLOSURE (IF APPLICABLE). UNDER NO CONDITION WILL ANY CONNECTION BE ALLOWED BETWEEN THE SERVICE METER AND A BACKFLOW PREVENTER USED FOR SYSTEM CONTAINMENT. BACKFLOW PREVENTER SHALL ALWAYS BE INSTALLED DOWNSTREAM OF METER.
2. IF A PRESSURE MONITOR IS TO BE INSTALLED, ADD A TEE, VALVE, FITTINGS, AND MOUNT ON SUPPLY SIDE PRIOR TO BACKFLOW PREVENTER; UNDER NO CIRCUMSTANCE SHALL TEST PORTS BE MODIFIED OR UTILIZED FOR THIS OR OTHER APPLICATION, OTHER THAN BACKFLOW DEVICE TESTING.

TYPICAL BELOW GRADE INSTALLATION
(3", 4", 6", 8", & 10" SIZES)

DOMESTIC DOUBLE CHECK VALVE ASSEMBLY (B)
City of Port Wentworth
TECHNICAL DETAILS
W-21
PREPARED BY STEVENSON & PALMER ENGINEERING, INC. SCALE: N.T.S. DATED: FEBRUARY 2007



GSWCC LEVEL II DESIGN PROFESSIONAL CERTIFICATION #0000055539 EXPIRATION DATE: 9/12/2023

NO.	CHANGED BUILDING SIZE AND GRADING	DATE
2	ADJUSTED FRAME ELEVATION <td>8/15/22</td>	8/15/22
1	REVISIONS <td>7/5/22</td>	7/5/22

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NFI INDUSTRIES
PORT WENTWORTH, GEORGIA
SITE DEVELOPMENT FOR BUILDINGS A & B
PAVING GRADING & DRAINAGE - SHEET 1

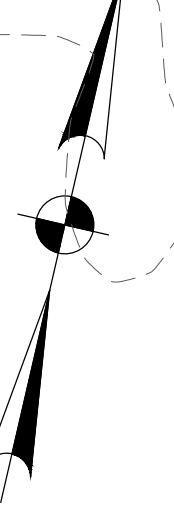
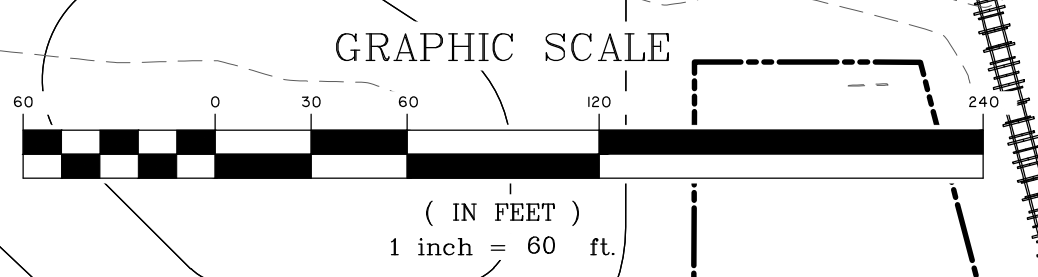
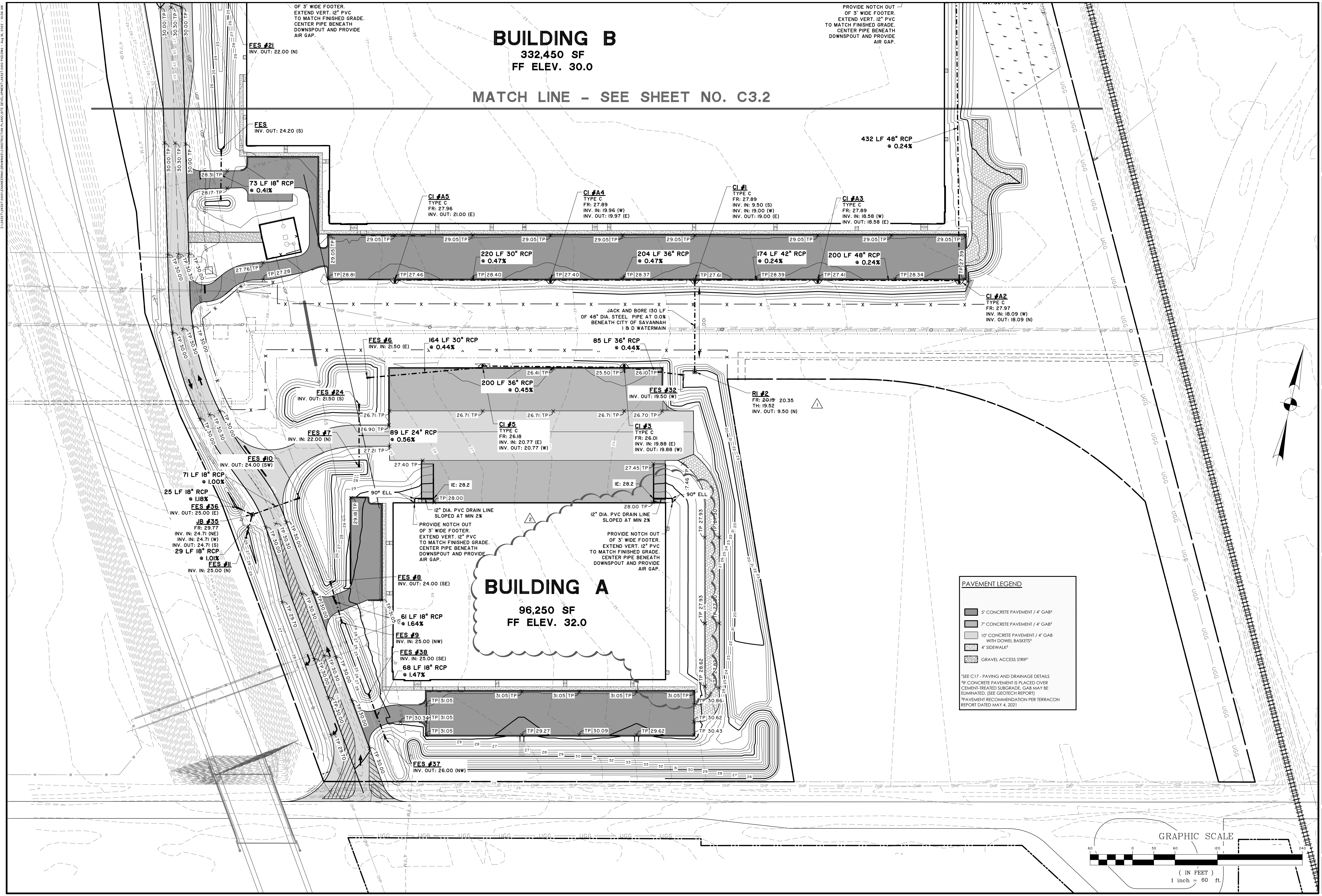
JOB NO:	J-26327.0010
DATE:	2/14/22
DRAWN:	SSF
DESIGNED:	SSF
REVIEWED:	FIT
APPROVED:	FIT
SCALE:	1" = 60'

C3.1

BUILDING B

332,450 SF
FF ELEV. 30.0

MATCH LINE - SEE SHEET NO. C3.2





GSWCC LEVEL II
DESIGN PROFESSIONAL
CERTIFICATION
#0000055539
EXPIRATION DATE:
9/12/2023

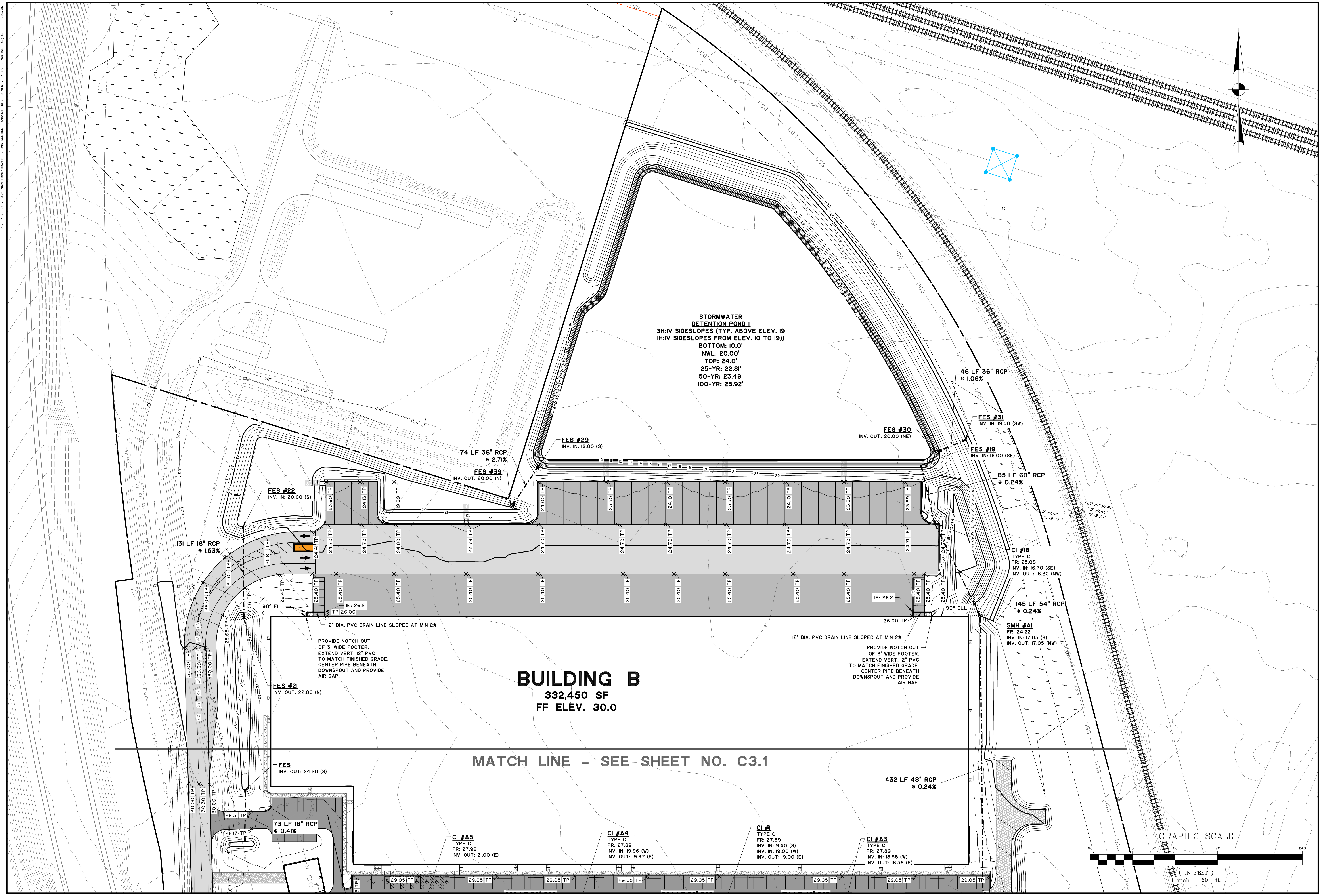
NO.	REVISIONS	BY	DATE

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 PORT WENTWORTH, GEORGIA
 SITE DEVELOPMENT FOR BUILDINGS A & B
PAVING GRADING & DRAINAGE - SHEET 2

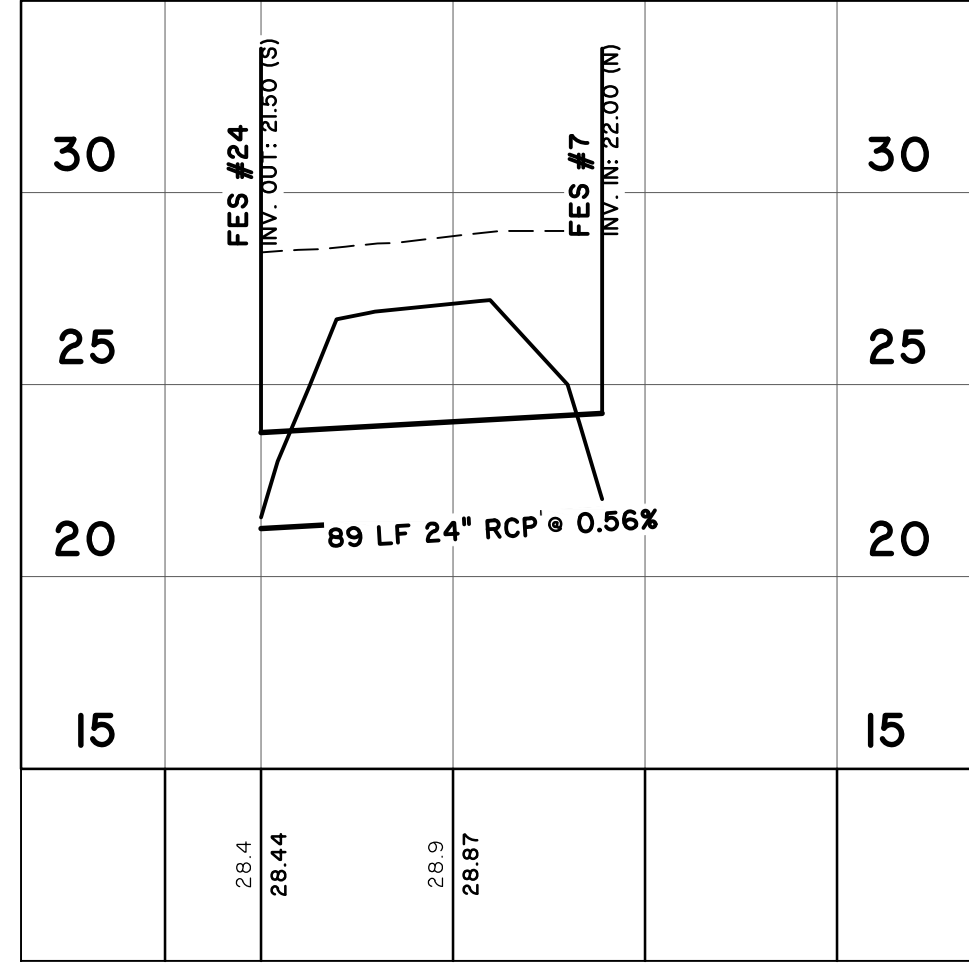
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 REVIEWED: FIT
 APPROVED: FIT
 SCALE: 1" = 60'

C3.2

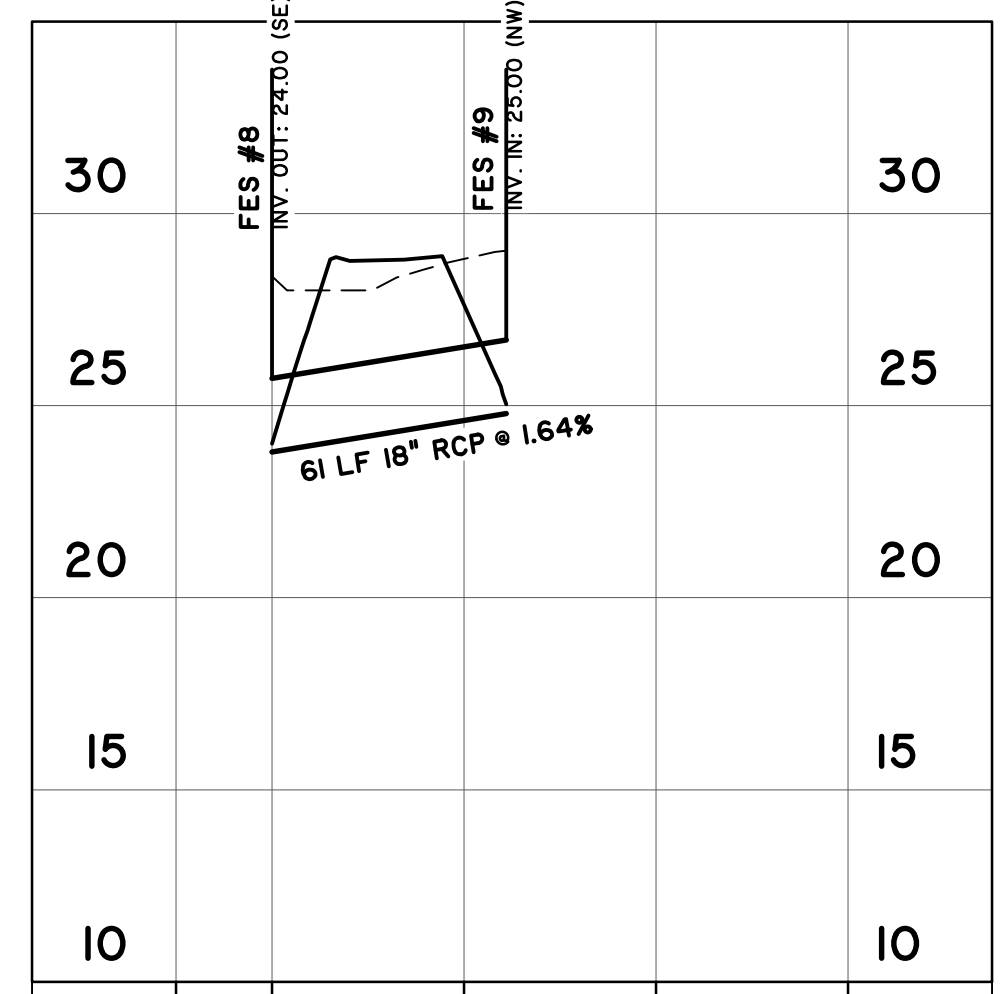


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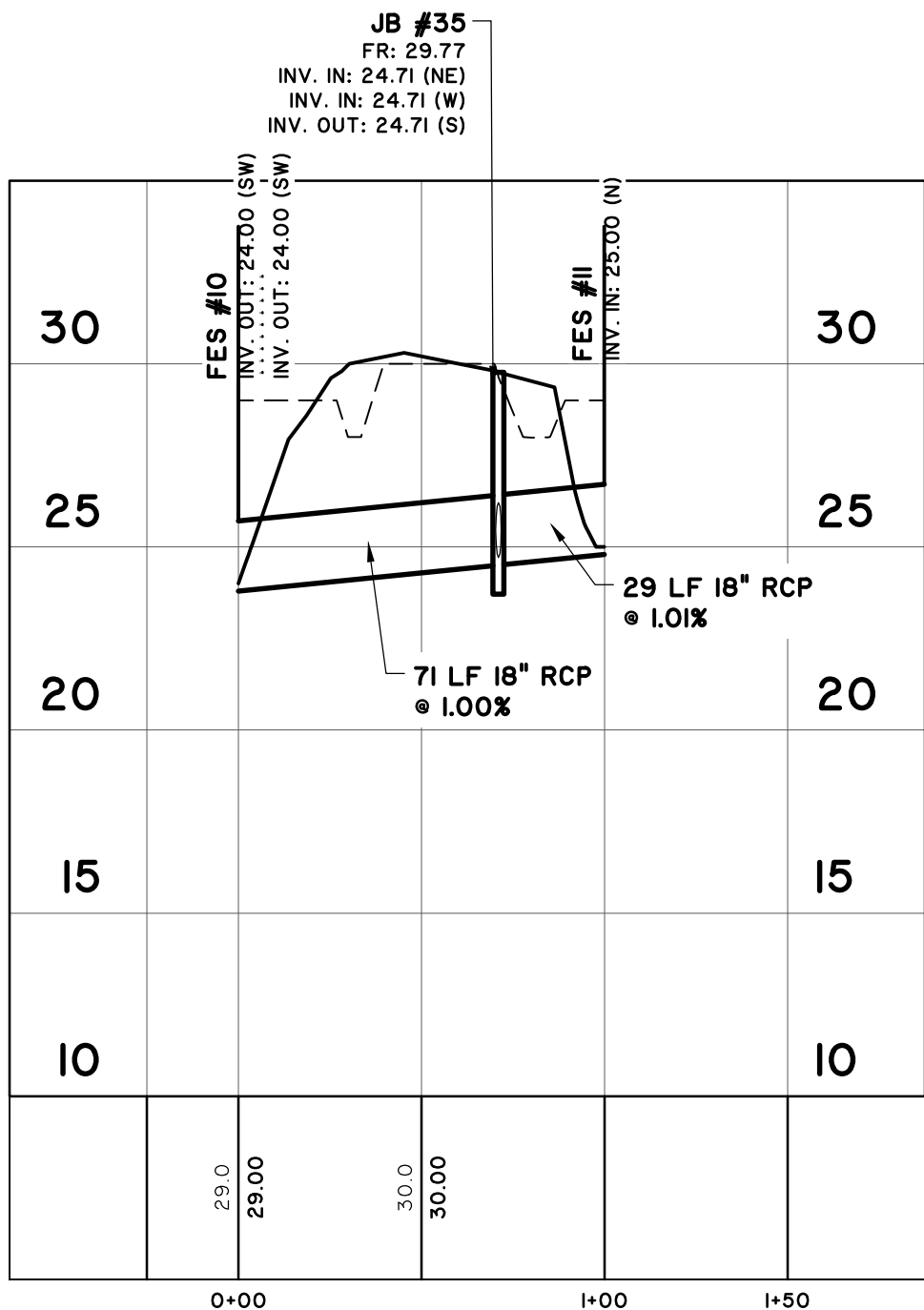
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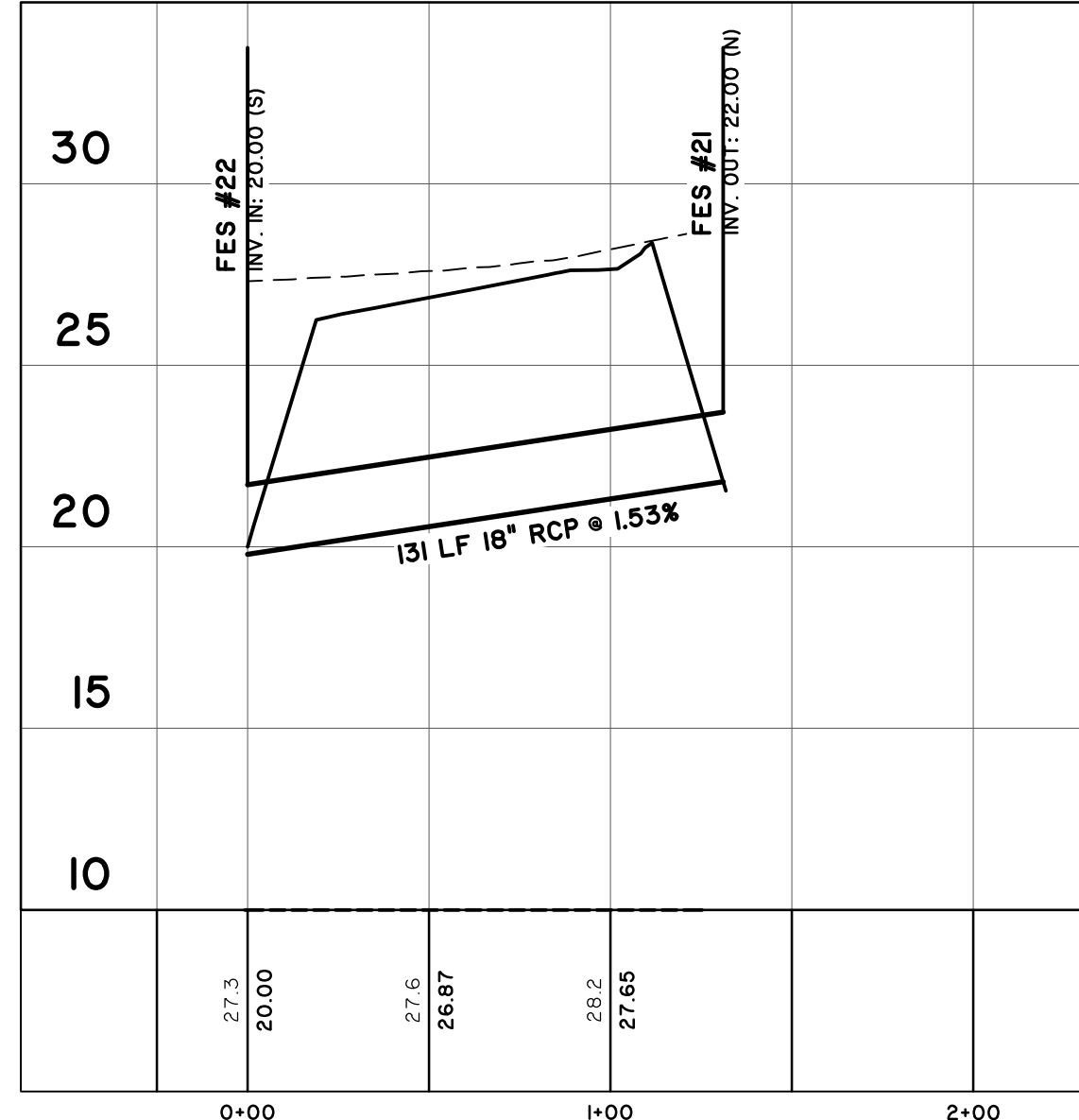
STORM DRAIN RUN 3
 STATIONS: -0+25 - 1+50
 SCALE: HORZ.: 1" = 50'
 VERT.: 1" = 5'



STORM DRAIN RUN 4
 STATIONS: -0+25 - 1+50
 SCALE: HORZ.: 1" = 50'
 VERT.: 1" = 5'



STORM DRAIN RUN 5
 STATIONS: -0+25 - 1+50
 SCALE: HORZ.: 1" = 50'
 VERT.: 1" = 5'



STORM DRAIN RUN 7
 STATIONS: -0+25 - 2+50
 SCALE: HORZ.: 1" = 50'
 VERT.: 1" = 5'



GSWCC LEVEL II
 DESIGN PROFESSIONAL
 CERTIFICATION
 #0000055539
 EXPIRATION DATE:
 9/12/2023

NO.	REVISIONS	BY	DATE

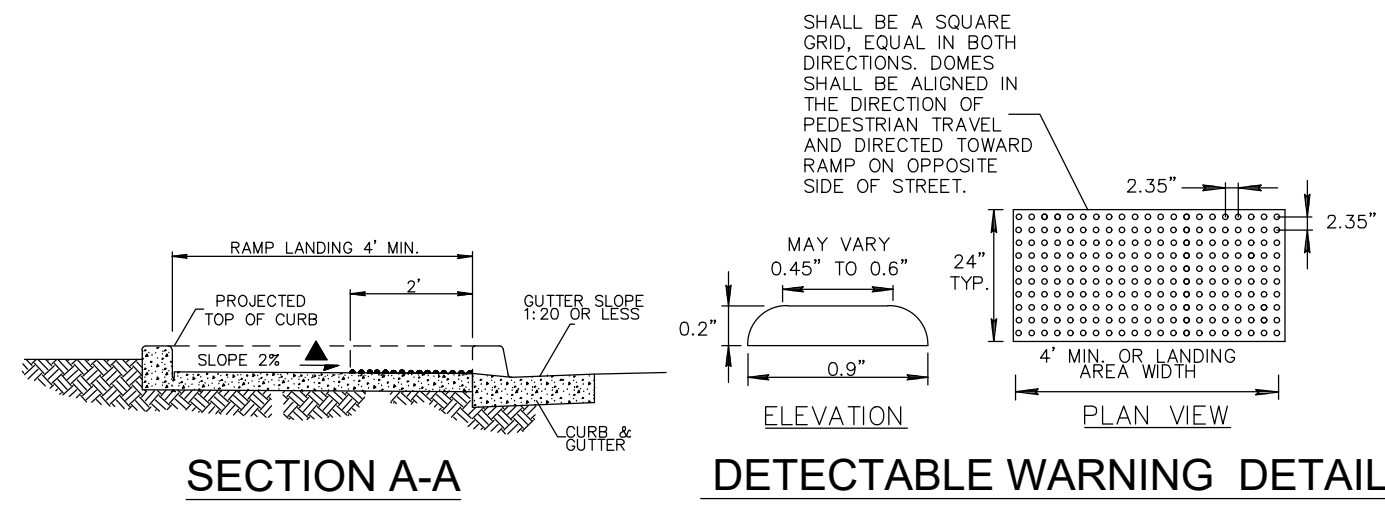
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 SITE DEVELOPMENT FOR BUILDINGS A & B
DRAINAGE PROFILES

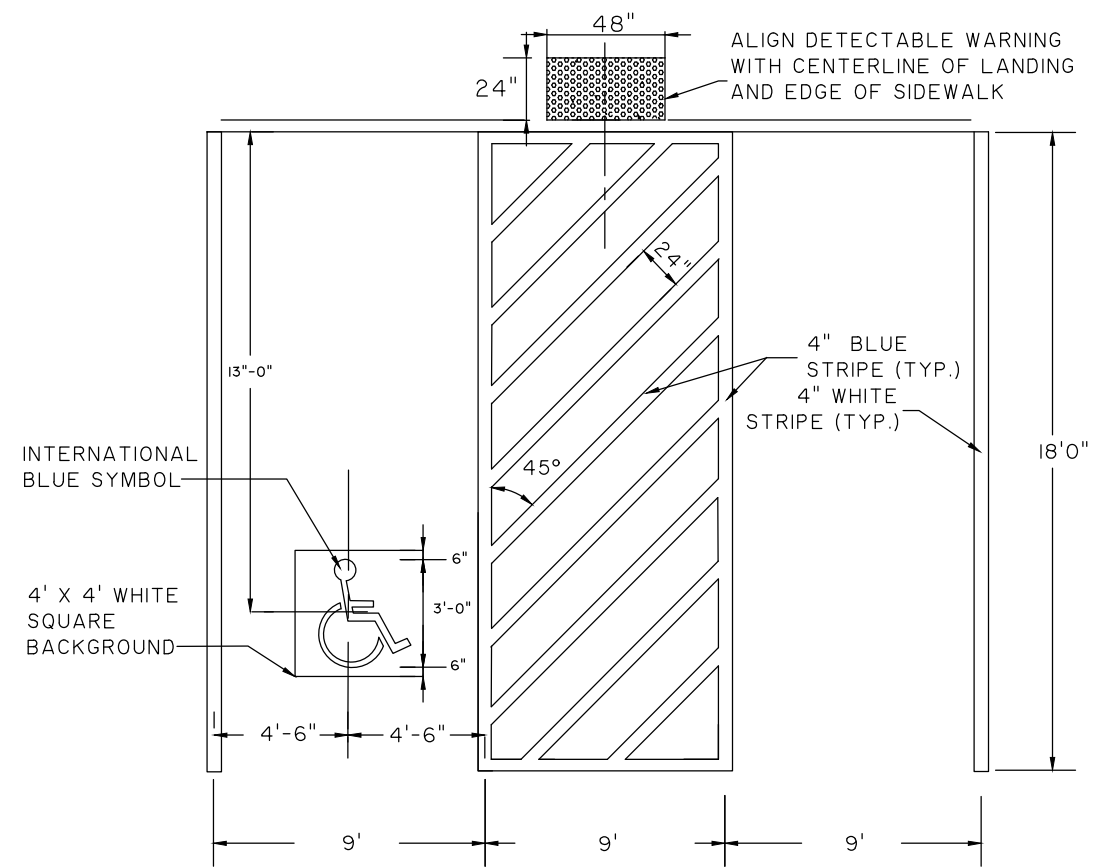
JOB NO:	J-26327.0010
DATE:	2/14/22
DRAWN:	SSF
DESIGNED:	SSF
REVIEWED:	FIT
APPROVED:	FIT
SCALE:	AS NOTED

C3.4

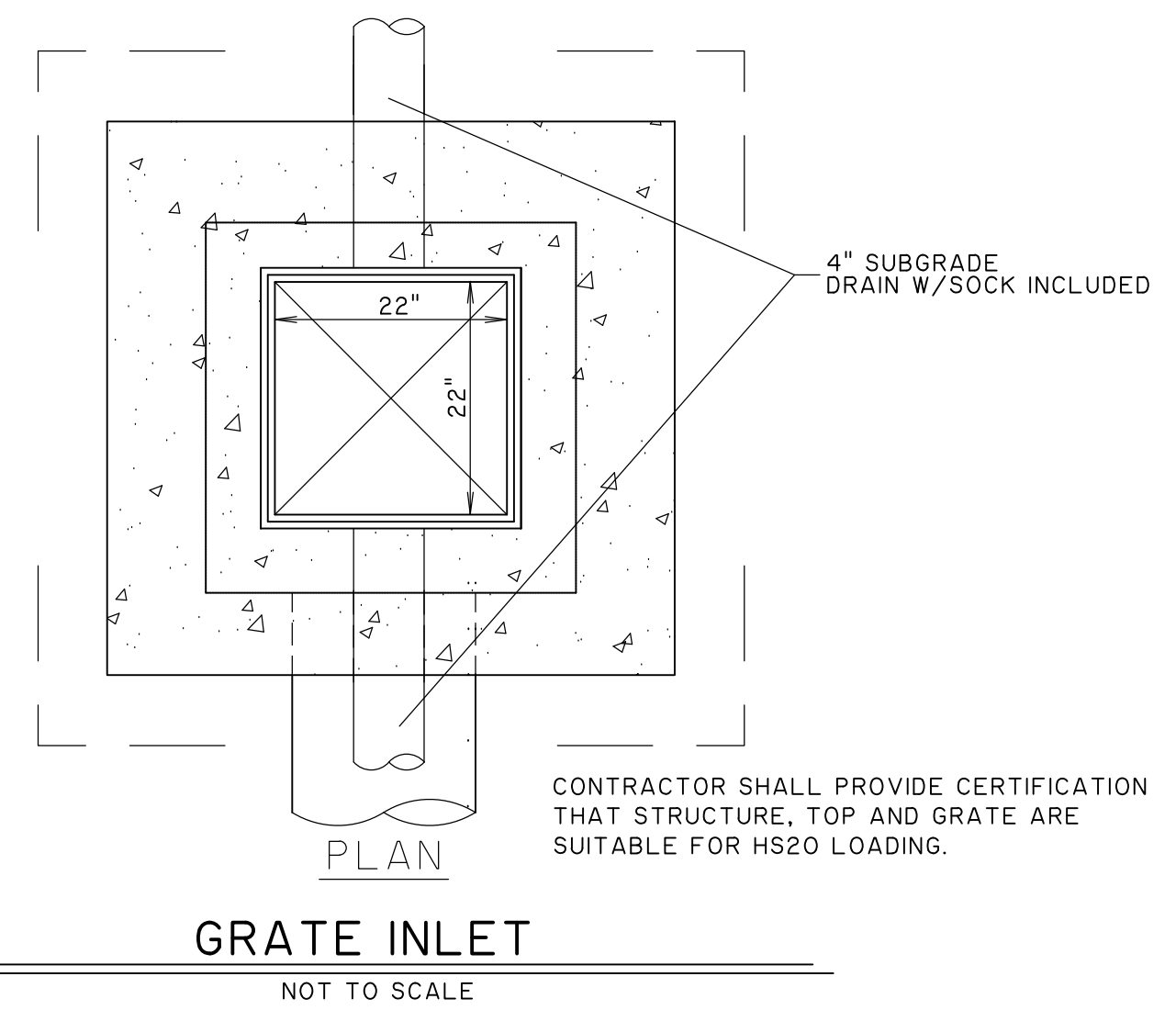
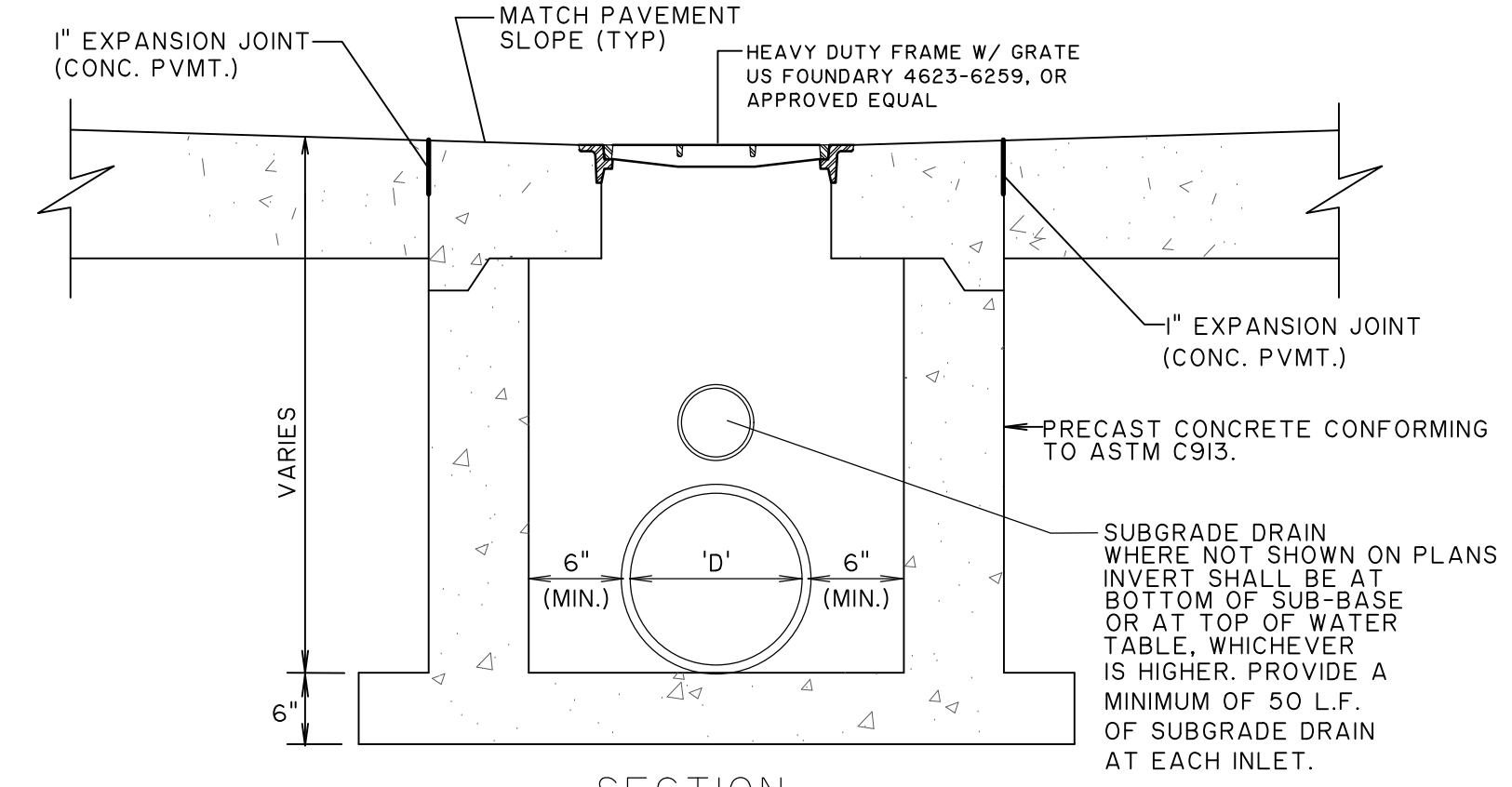
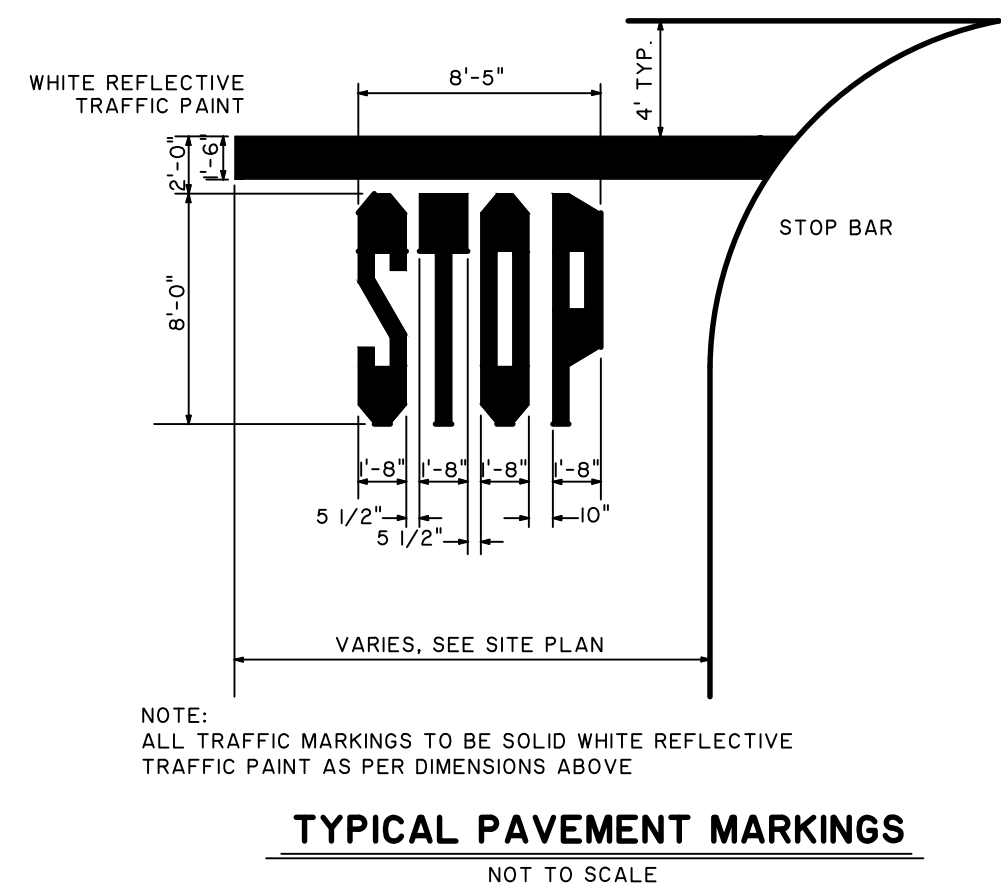
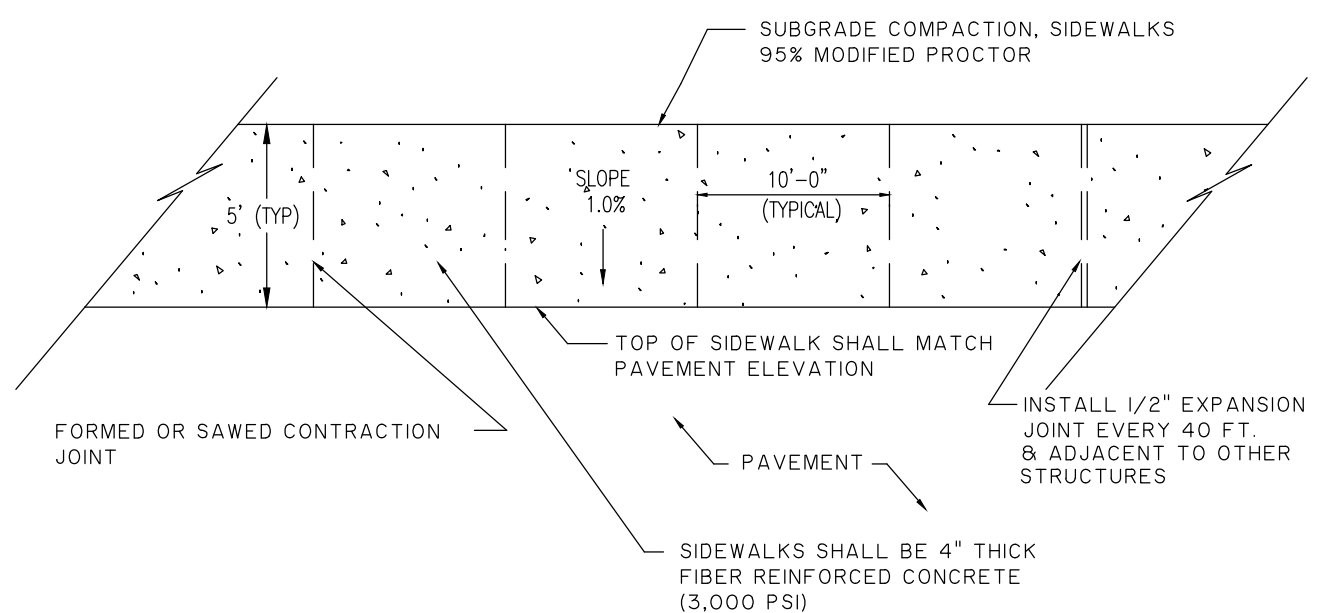
Attachment: NFI Crossgate Ind Pk 7-0035-01-007 S-Site Plan 2022-Site Dev Bldgs A&B (2743 : Site Plan Review Application (Specific) PIN # 7-0035-01-007 Crossgate Road NFI OCT 2022)



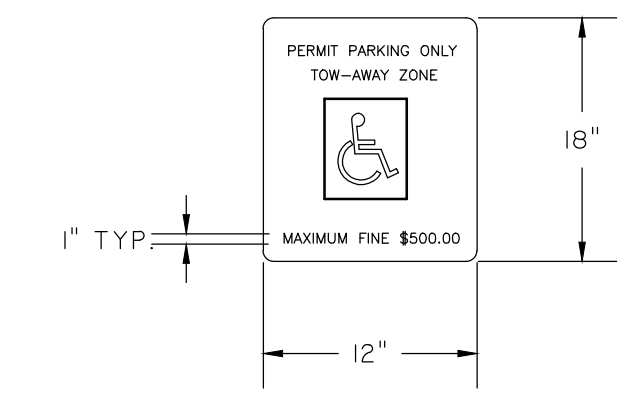
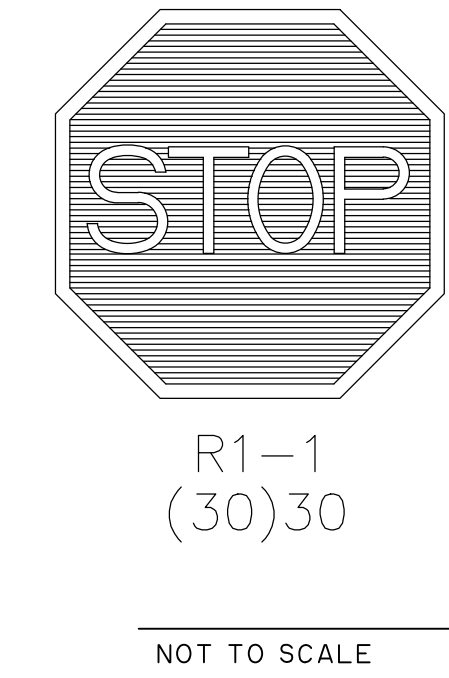
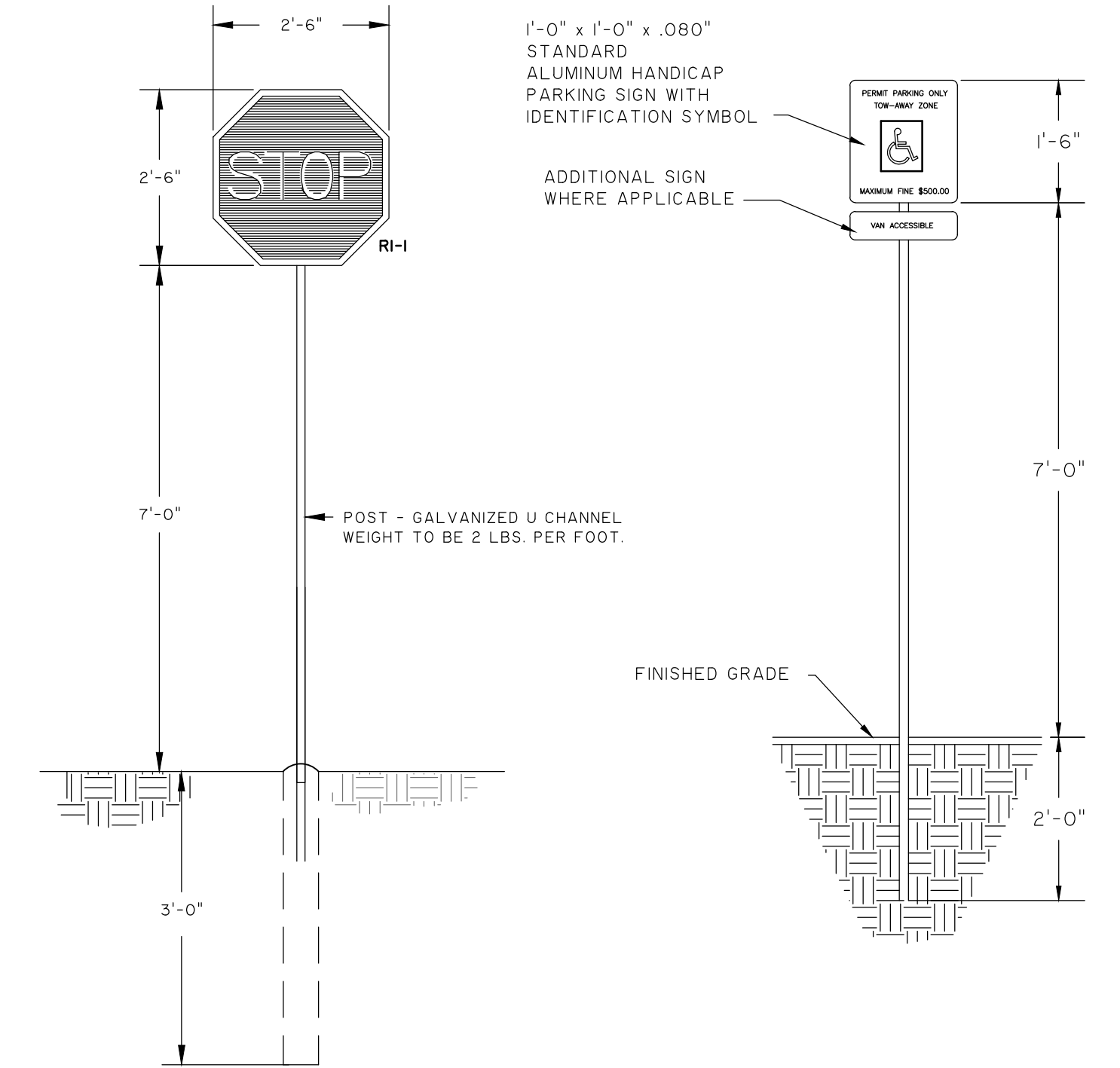
- NOTES:
- HANDICAP RAMP CONSTRUCTION SHALL CONFORM TO ALL FEDERAL, STATE AND GARDEN CITY CODES AND SPECIFICATIONS.
 - SURFACES SHALL MEET THE GUIDELINES OF THE ADA STANDARDS FOR ACCESSIBILITY, APPENDIX A, PART 36.
 - THE SLOPE OF THE GUTTER MUST NOT EXCEED 1:20 ADJACENT TO THE RAMP.
 - DETECTABLE WARNINGS SHALL CONSIST OF RAISED TRUNCATED DOMES WITH A DIAMETER OF NOMINAL 0.9 INCHES, A HEIGHT OF NOMINAL 0.2 INCHES AND A CENTER TO CENTER SPACING OF NOMINAL 2.35 INCHES AND SHALL CONTRAST VISUALLY WITH ADJOINING SURFACES. IF THE SIDEWALK AND RAMP ARE CONSTRUCTED OF CONCRETE, THE WARNING AREA SHALL BE RED BRICK IN COLOR. IF THE SIDEWALK AND RAMP ARE CONSTRUCTED OF RED BRICK, THE WARNING AREA SHALL BE GREY IN COLOR. THE COLOR USED TO PROVIDE CONTRAST SHALL BE AN INTEGRAL PART OF THE WALKING SURFACE.



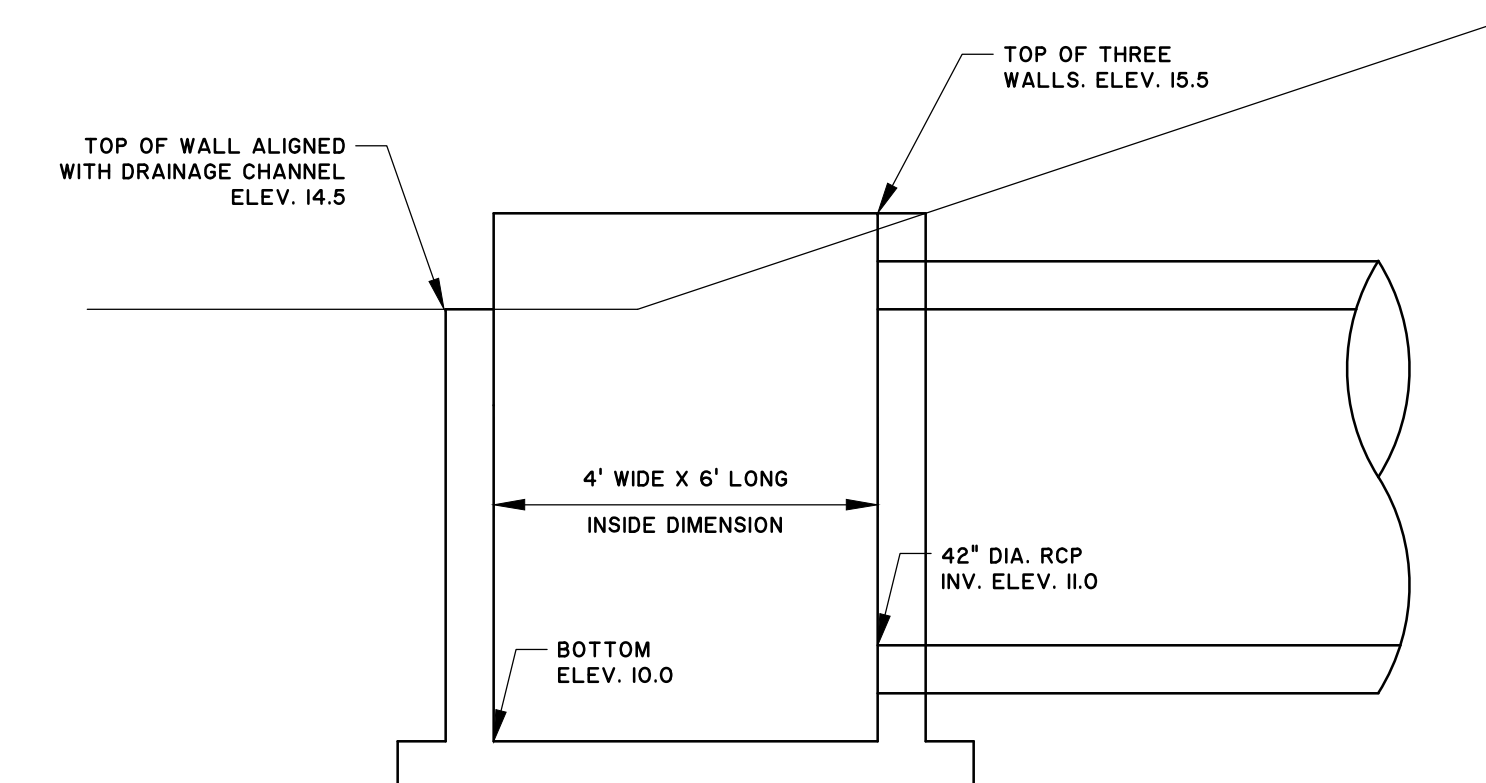
NOTE: STRIPING AND CONSTRUCTION SHALL CONFORM TO ALL APPLICABLE FEDERAL, STATE AND LOCAL CODES AND SPECIFICATIONS



GRATE INLET
NOT TO SCALE



NOTE: SIGNAGE SHALL CONFORM TO ALL APPLICABLE FEDERAL, STATE, AND LOCAL CODES AND SPECIFICATIONS



CONTRACTOR SHALL PROVIDE CERTIFICATION THAT STRUCTURE IS SUITABLE FOR HS20 LOADING APPLIED IMMEDIATELY ADJACENT TO WALL.

GEORGIA
REGISTERED PROFESSIONAL ENGINEER
No. 033172
09/18/2024
JASON ORNE

GSWCC LEVEL II DESIGN PROFESSIONAL CERTIFICATION #0000055539 EXPIRATION DATE: 9/12/2023

NO.	REVISIONS	BY	DATE

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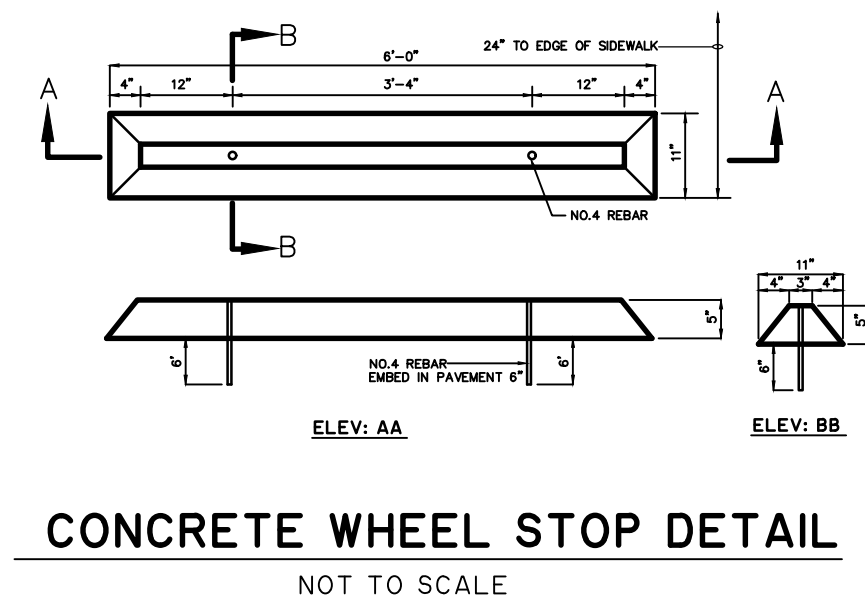
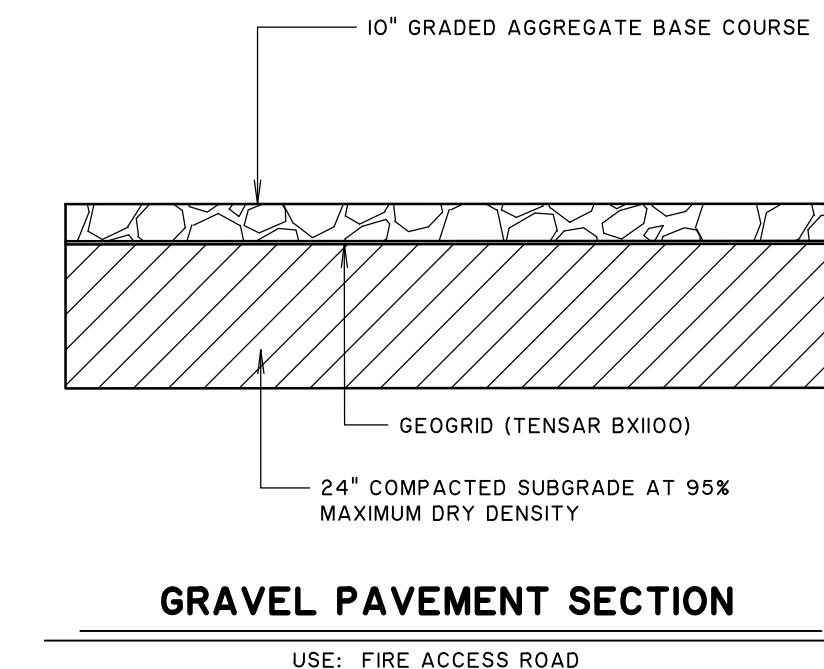
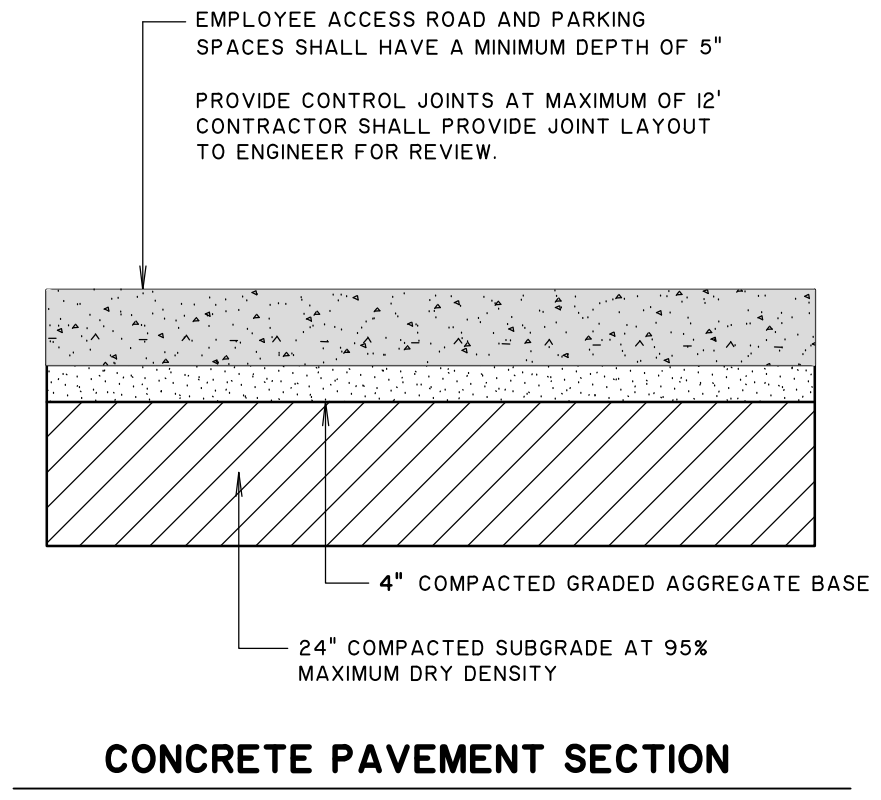
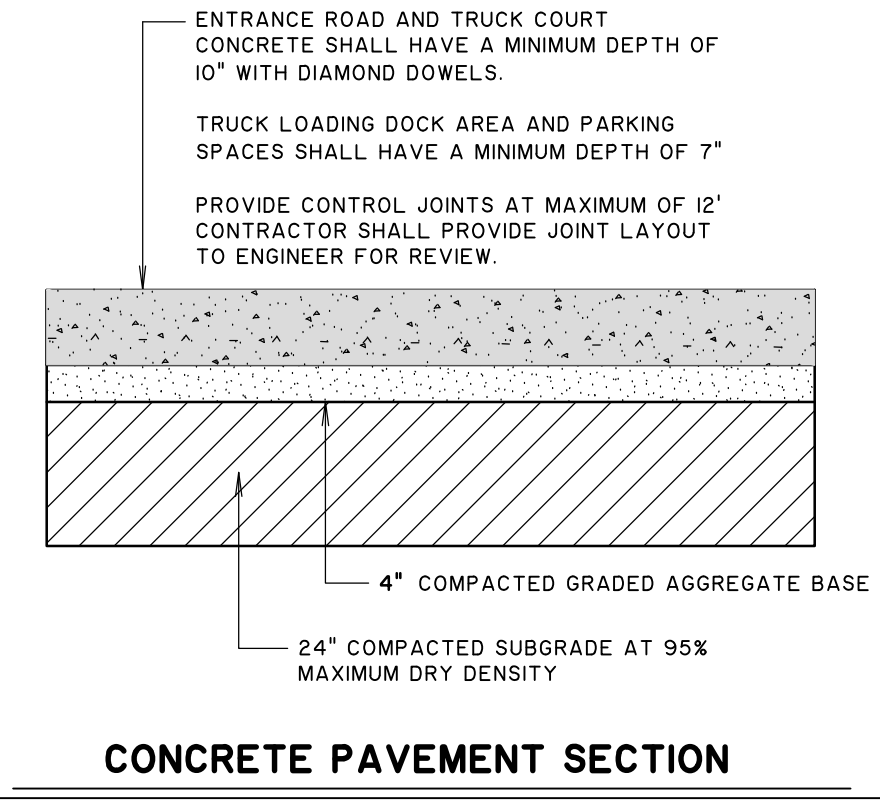
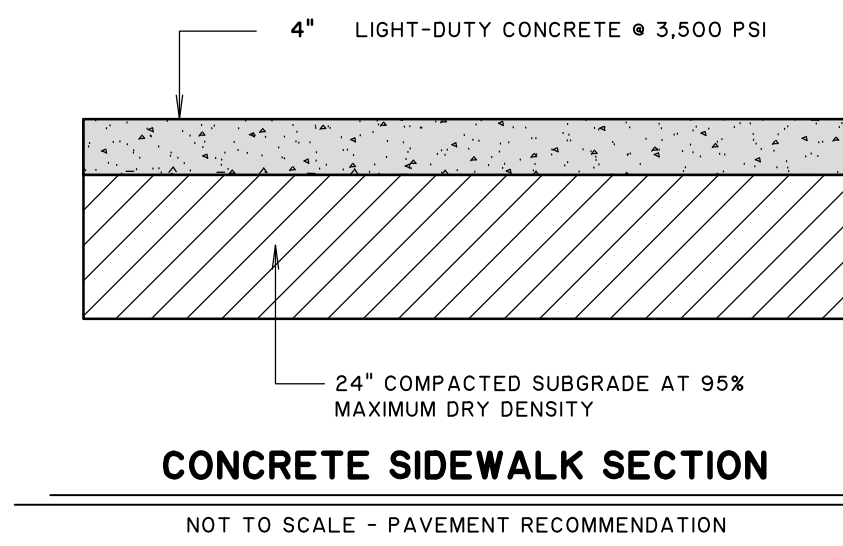
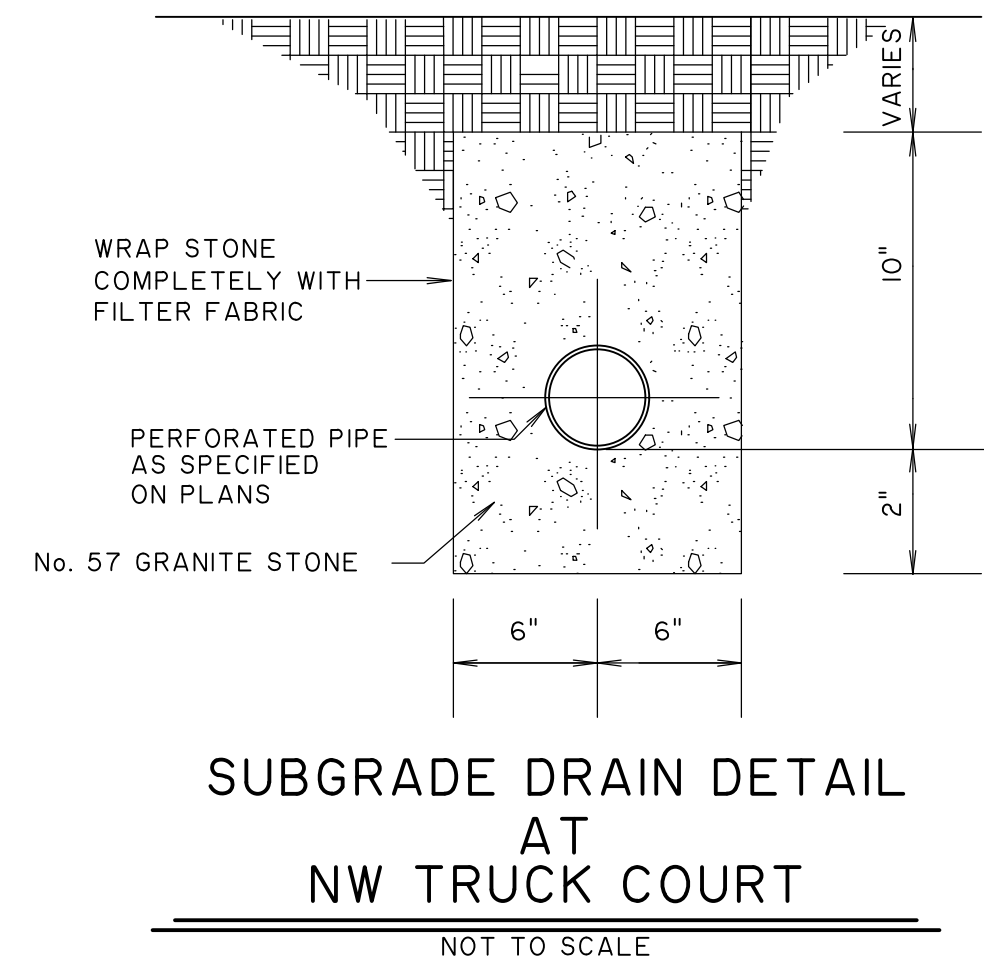
NFI INDUSTRIES
PORT WENTWORTH, GEORGIA

SITE DEVELOPMENT FOR BUILDINGS A & B

DETAILS

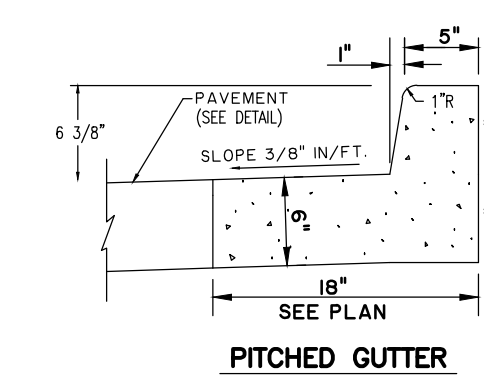
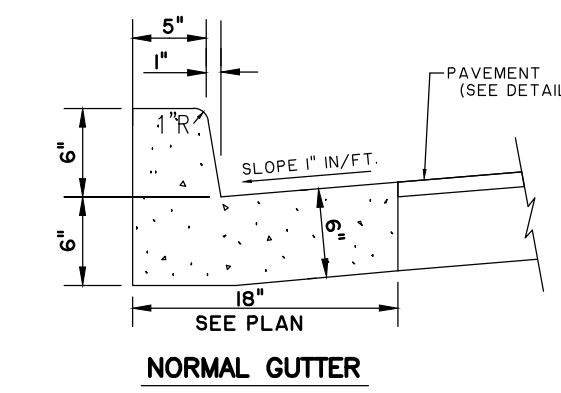
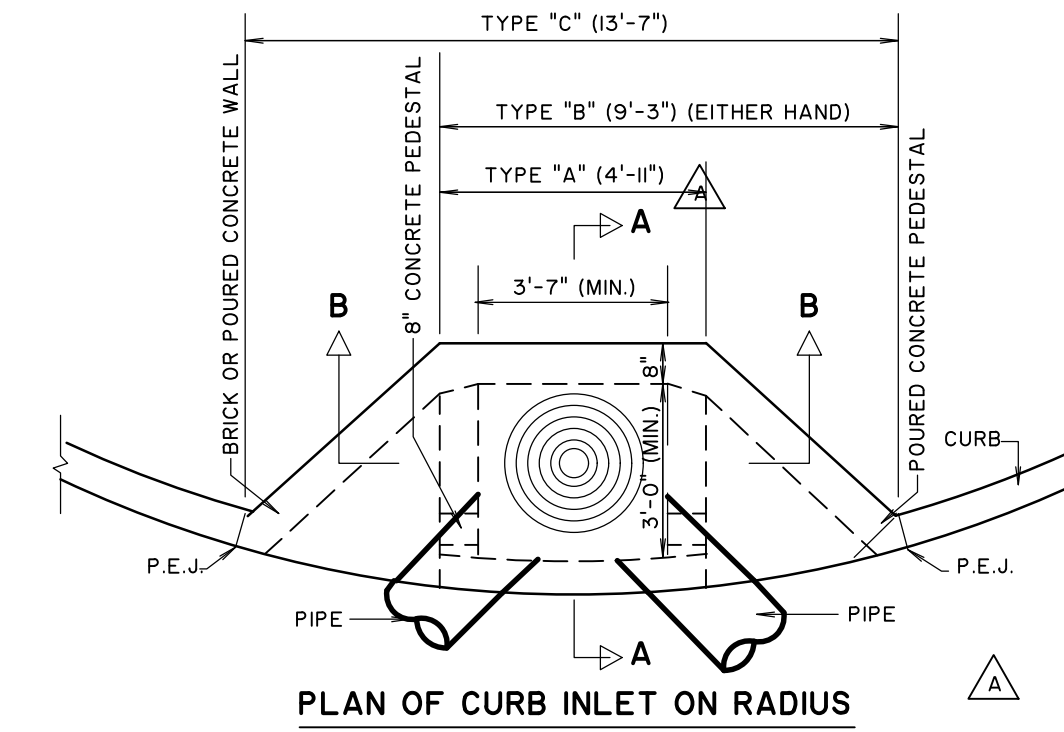
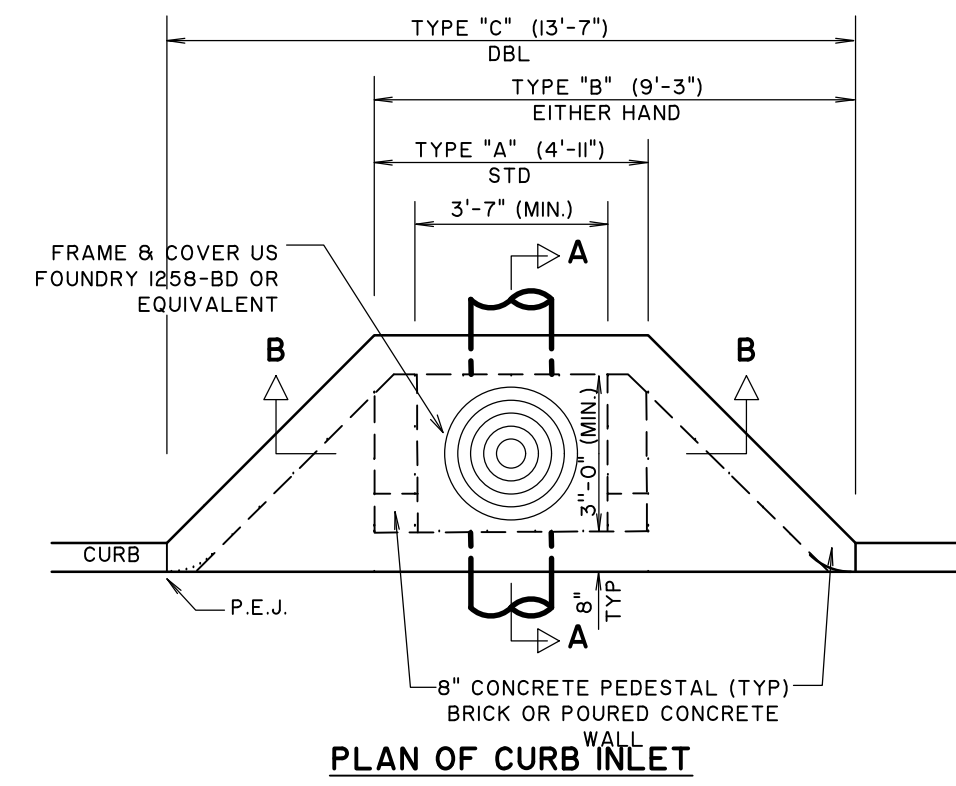
JOB NO:	J-26327.0010
DATE:	2/14/22
DRAWN:	SSF
DESIGNED:	SSF
REVIEWED:	FIT
APPROVED:	FIT
SCALE:	1" = 1'

C3.5

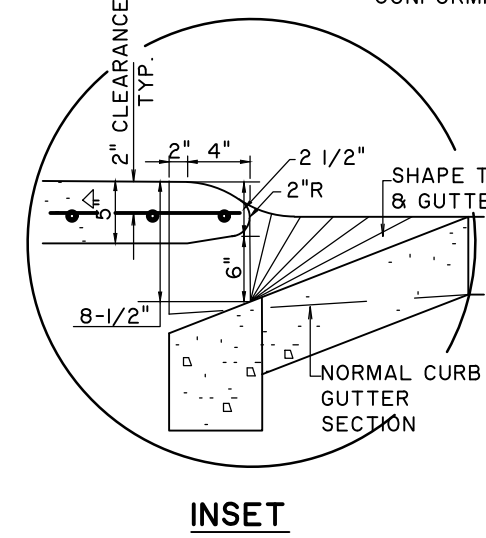
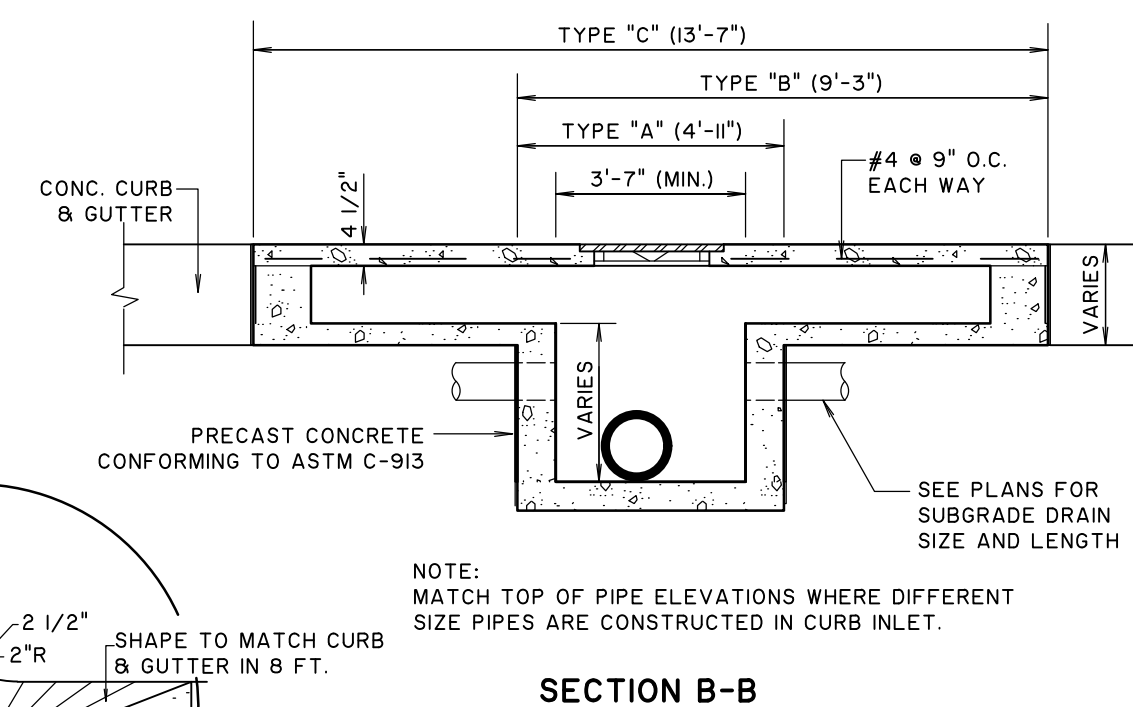
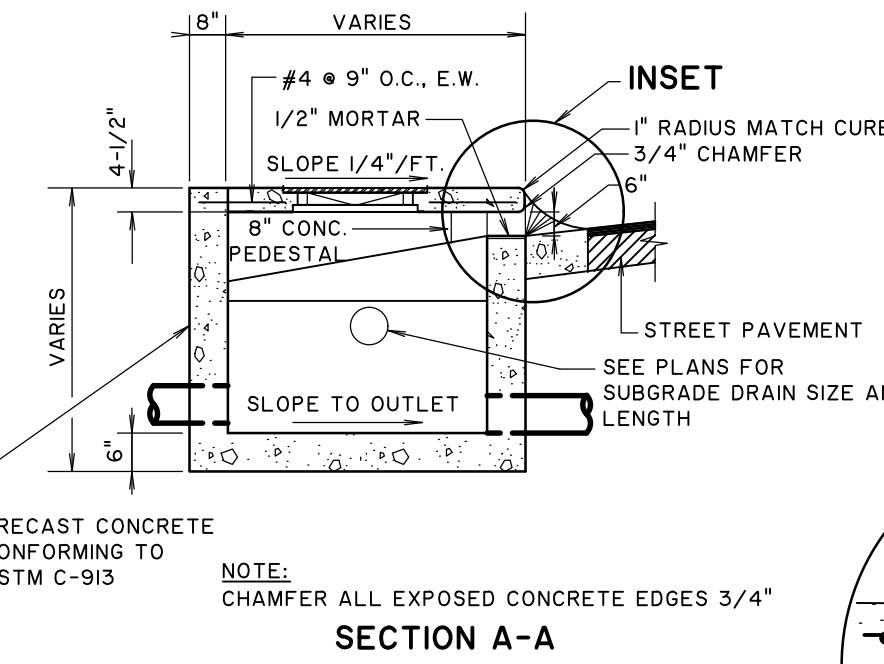
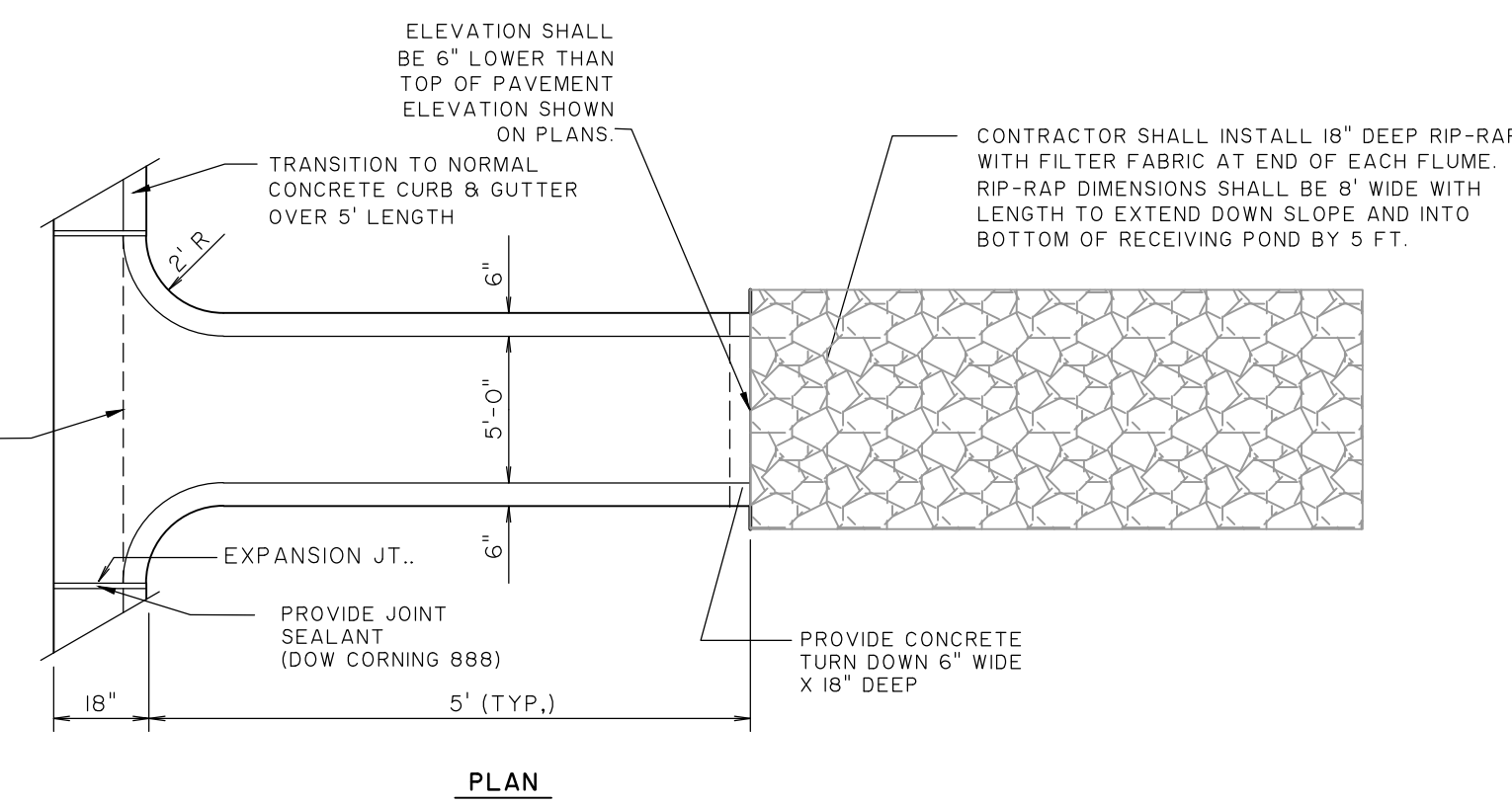
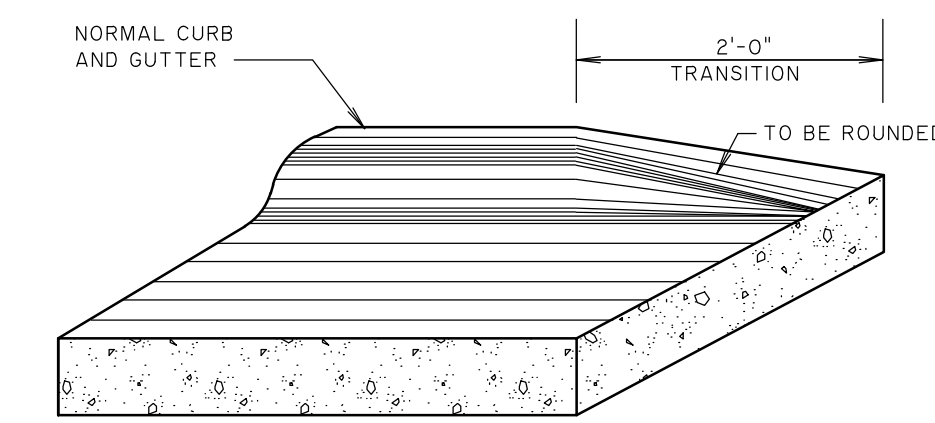


* NOTE: CEMENT-TREATED SUBGRADE MAY REPLACE SUITABLE FILL UNDERNEATH GAB FOR ASPHALT PAVEMENT (SEE GEOTECH REPORT)

* NOTE: IF CONCRETE PAVEMENT IS PLACED OVER CEMENT-TREATED SUBGRADE, GAB MAY BE ELIMINATED (SEE GEOTECH REPORT)



CURB AND GUTTER DETAILS



CURB INLET DETAIL
NOT TO SCALE

NOTES:
CONTRACTOR SHALL TAKE CARE TO COMPACT AREA BELOW AND WITHIN 5' OF FLUME AND CURB AND GUTTER TO 98% MAXIMUM DENSITY (MODIFIED PROCTOR). AREA WITHIN 5' OF FLUME AND CURB AND GUTTER SHALL BE BROUGHT TO FINAL GRADE AND GRASSED IMMEDIATELY AFTER INSTALLATION OF CONCRETE. AREA SHALL BE PROTECTED FROM EROSION UNTIL FULL COVERAGE OF GRASS HAS BEEN ESTABLISHED.

GEORGIA
REGISTERED PROFESSIONAL ENGINEER
No. 033172
09/18/2024
JASON ORNE
EXPIRATION DATE: 9/12/2023

NO.	REVISIONS	DATE

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NFI INDUSTRIES
PORT WENTWORTH, GEORGIA
SITE DEVELOPMENT FOR BUILDINGS A & B
DETAILS

JOB NO:	J-26327.0010
DATE:	2/14/22
DRAWN:	SSF
DESIGNED:	SSF
REVIEWED:	FIT
APPROVED:	FIT
SCALE:	1" = 1'

EROSION, SEDIMENTATION & POLLUTION CONTROL PLAN CHECKLIST - STAND ALONE CONSTRUCTION PROJECTS

SWCD: COASTAL
PROJECT NAME: NFI BUILDINGS A & B SITE DEVELOPMENT
CITY/COUNTY: PORT WENTWORTH/CHATHAM

ADDRESS: CROSSGATE ROAD
DATE ON PLANS: 08/15/21
REVISED DATE:

ATTACHED YES

1. THE APPLICABLE EROSION, SEDIMENTATION AND POLLUTION CONTROL PLAN CHECKLIST ESTABLISHED BY THE COMMISSION AS OF JANUARY 1 OF THE YEAR IN THE LAND-DISTURBING ACTIVITY WAS PERMITTED. (THE COMPLETED CHECKLIST MUST BE SUBMITTED WITH THE ES&PC PLAN OR THE PLAN WILL NOT BE REVIEWED) (PERMIT IV.D.1 PG 26)

PLEASE FIND THE CURRENT STAND ALONE EROSION, SEDIMENTATION AND POLLUTION CONTROL CHECKLIST ATTACHED WITH THIS PLAN

ALL YES

2. LEVEL II CERTIFICATION NUMBER ISSUED BY THE COMMISSION, SIGNATURE AND SEAL OF THE CERTIFIED DESIGN PROFESSIONAL. (SIGNATURE, SEAL AND LEVEL II NUMBER MUST BE ON EACH SHEET PERTAINING TO ES&PC PLAN OR THE PLAN WILL NOT BE REVIEWED)

PLEASE FIND ON EACH SHEET OF THIS PLAN THE GSWCC LEVEL II CERTIFICATION NUMBER, SIGNATURE AND SEAL FOR MR. JASON CHAMBLESS, PE.

ECOJ YES

3. LIMIT OF DISTURBANCE SHALL BE NO GREATER THAN 50 ACRES AT ANY ONE TIME WITHOUT PRIOR WRITTEN AUTHORIZATION FROM THE EPD DISTRICT OFFICE. IF EPD APPROVES THE REQUEST TO DISTURB 50 ACRES OR MORE AT ANY ONE TIME, THE PLAN MUST INCLUDE AT LEAST 4 OF THE BMP'S LISTED IN APPENDIX I OF THIS CHECK LIST. (A COPY OF THE WRITTEN APPROVAL BY EPD MUST BE ATTACHED TO THE PLAN FOR THE PLAN TO BE REVIEWED. (PERMIT IV.D.3 PG 27)

AREA OF DISTURBANCE DOES NOT EXCEED 50 ACRES.

ECOJ YES

4. THE NAME AND PHONE NUMBER OF 24-HOUR LOCAL CONTACT RESPONSIBLE FOR EROSION, SEDIMENTATION AND POLLUTION CONTROLS. (PERMIT II.B.1.c PG 12)

BRIAN WERRELL, PE
302-540-8025

ECOJ YES

5. PROVIDE NAME, ADDRESS, EMAIL ADDRESS AND PHONE NUMBER OF PRIMARY PERMITEE. (PERMIT II.B.1 b PG 12)

NFI INDUSTRIES
TRIAD 1828 CENTER, 2 COOPER STREET
CAMDEN, NJ 08102
BRIAN WERREL: (302)-540-8025 ; BRIAN.WERRELL@NFI INDUSTRIES.COM

ECOJ YES

6. NOTE TOTAL AND DISTURBED ACREAGE OF THE PROJECT OR PHASE UNDER CONSTRUCTION. (PERMIT IV.D.2 c PG 27)

TOTAL PARCEL ACREAGE IS 72.81 ACRES. DISTURBANCE FOR THIS PROJECT IS 35.5 ACRES.

ECOJ YES

7. PROVIDE THE GPS LOCATION OF THE CONSTRUCTION EXIT FOR THE SITE. GIVE THE LATITUDE AND LONGITUDE IN DECIMAL DEGREES. PERMIT II.B.1 a PG 12

CONSTRUCTION EXIT IS LOCATED AT:
LAT: N 32.14722 ; LONG: W 81.17250

ALL YES

8. INITIAL DATE OF THE PLAN AND THE DATES OF ANY REVISIONS MADE TO THE PLAN INCLUDING THE ENTITY WHO REQUESTED THE REVISIONS.

PLEASE FIND THE INITIAL DATE OF THE PLAN AND ALL REVISIONS ON THE COVER SHEET AS WELL AS EACH INDIVIDUAL SHEET OF THE PLAN.

ECOJ YES

9. DESCRIPTION OF THE NATURE OF CONSTRUCTION ACTIVITY. (PERMIT IV.D.2 a PG 27)

THE CONSTRUCTION ACTIVITY AT THE SITE WILL INVOLVE THE CONSTRUCTION OF A 332,500 SF AND 106,250 SF WAREHOUSE INCLUDING ASSOCIATED TRUCK COURTS AND EMPLOYEE PARKING, AND UTILITY INFRASTRUCTURE. EROSION CONTROL MEASURES, DRAINAGE INFRASTRUCTURE, AND PONDS WILL BE IMPLEMENTED TO FACILITATE DRAINAGE AND MINIMIZE EROSION. PRE-DEVELOPED SITE CONDITIONS CONSIST OF WOODED UPLANDS AND WETLANDS.

COVER YES

10. PROVIDE VICINITY MAP SHOWING SITE'S RELATION TO SURROUNDING AREAS. INCLUDE DESIGNATION OF SPECIFIC PHASE, IF NECESSARY. (PERMIT IV.D.2 e PG 27)

PLEASE FIND THE VICINITY MAP LOCATED ON THE COVER SHEET OF THE PLANS

ECOJ.0.3 YES

11. IDENTIFY THE PROJECT RECEIVING WATERS AND DESCRIBE ALL SENSITIVE ADJACENT AREAS INCLUDING STREAMS, LAKES, RESIDENTIAL AREAS, WETLANDS, MARSHLANDS, ETC. WHICH MAY BE AFFECTED. (PERMIT IV.D.2.f PG 27)

THE RECEIVING WATERS FOR THE PROJECT ARE PIPES AND DITCHES THAT ARE TRIBUTARY TO WETLANDS ALONG ST. AUGUSTINE CREEK WHICH ULTIMATELY OUTFALLS TO THE SAVANNAH RIVER.

ECOJ YES

12. DESIGN PROFESSIONAL'S CERTIFICATION STATEMENT AND SIGNATURE THAT THE SITE WAS VISITED PRIOR TO DEVELOPMENT OF THE ES&PC PLAN AS STATED ON PART IV PAGE 19 OF THE PERMIT.

I CERTIFY UNDER PENALTY OF LAW THAT THIS PLAN WAS PREPARED AFTER A SITE VISIT TO THE LOCATIONS DESCRIBED HEREIN BY MYSELF OR AUTHORIZED AGENT UNDER MY SUPERVISION.


JASON CHAMBLESS, PE
GSWCC LEVEL II DESIGN PROFESSIONAL
CERTIFICATION #0000055539
EXPIRATION DATE: 9/12/2023

ECOJ YES

13. DESIGN PROFESSIONAL'S CERTIFICATION STATEMENT AND SIGNATURE THAT THE PERMITEE'S ES&PC PLAN PROVIDES FOR AN APPROPRIATE AND COMPREHENSIVE SYSTEM OF BMP'S AND SAMPLING TO MEET PERMIT REQUIREMENTS AS STATED ON PART IV PAGE 19 OF THE PERMIT.

I CERTIFY THAT THE PERMITEE'S EROSION, SEDIMENTATION & POLLUTION CONTROL PLAN PROVIDES FOR AN APPROPRIATE AND COMPREHENSIVE SYSTEM OF BEST MANAGEMENT PRACTICES REQUIRED BY THE GEORGIA WATER QUALITY CONTROL ACT AND THE DOCUMENT "MANUAL FOR EROSION AND SEDIMENT CONTROL IN GEORGIA" (MANUAL) PUBLISHED BY THE GEORGIA SOIL AND WATER CONSERVATION COMMISSION AS OF JANUARY 1 OF THE YEAR IN WHICH THE LAND-DISTURBING ACTIVITY WAS PERMITTED, PROVIDES FOR THE SAMPLING OF THE RECEIVING WATER(S) OR THE SAMPLING OF THE STORM WATER OUTFALLS AND THAT THE DESIGNED SYSTEM OF BEST MANAGEMENT PRACTICES AND SAMPLING METHODS IS EXPECTED TO MEET THE REQUIREMENTS CONTAINED IN THE GENERAL NPDES PERMIT NO. GAR 100001.


JASON CHAMBLESS, PE
GSWCC LEVEL II DESIGN PROFESSIONAL
CERTIFICATION #0000055539
EXPIRATION DATE: 9/12/2023

ECOJ YES

14. CLEARLY NOTE THE STATEMENT THAT "THE DESIGN PROFESSIONAL WHO PREPARED THE ES&PC PLAN IS TO INSPECT THE INSTALLATION OF THE INITIAL SEDIMENT STORAGE REQUIREMENTS AND PERIMETER CONTROL BMP'S WITHIN 7 DAYS AFTER INSTALLATION, IN ACCORDANCE WITH PART IV.A.3 PAGE 25 OF THE PERMIT.

THE DESIGN PROFESSIONAL WHO PREPARED THE ES&PC PLAN IS TO INSPECT THE INSTALLATION OF THE INITIAL SEDIMENT STORAGE REQUIREMENTS AND PERIMETER CONTROL BMP'S WITHIN 7 DAYS AFTER INSTALLATION.

DESIGN PROFESSIONAL 7-DAY VISIT CERTIFICATION
DESIGN PROFESSIONAL WHO PREPARED THE ES&PC PLAN IS TO INSPECT THE INSTALLATION OF THE INITIAL SEDIMENT STORAGE REQUIREMENTS AND PERIMETER CONTROL BMP'S WITHIN 7 DAYS AFTER INSTALLATION.

DATE OF INSPECTION: _____

I CERTIFY THE SITE WAS _____ WITH THE ES&PC PLAN ON THE DATE OF INSPECTION.

GSWCC LEVEL II DESIGN PROFESSIONAL CERTIFICATION # _____

INSPECTION REVEALED THE FOLLOWING DISCREPANCIES FROM THE ES&PC PLAN

THESE DEFICIENCIES MUST BE ADDRESSED IMMEDIATELY AND A RE-INSPECTION SCHEDULED. WORK SHALL NOT PROCEED ON THE SITE UNTIL DESIGN PROFESSIONAL CERTIFICATION IS OBTAINED.

ECOJ YES

15. CLEARLY NOTE THE STATEMENT THAT "NON-EXEMPT ACTIVITIES SHALL NOT BE CONDUCTED WITHIN THE 25 OR 50-FOOT UNDISTURBED STREAM BUFFERS AS MEASURED FROM THE POINT OF WRESTED VEGETATION OR WITHIN 25-FEET OF THE COASTAL MARSHLAND BUFFER AS MEASURED FROM THE JURISDICTIONAL DETERMINATION LINE WITHOUT FIRST ACQUIRING THE NECESSARY VARIANCES AND PERMITS." (PART IV.(I)-(IV) PG 19-24 OF THE PERMIT).

NON-EXEMPT ACTIVITIES SHALL NOT BE CONDUCTED WITHIN THE 25 OR 50 FOOT UNDISTURBED STREAM BUFFERS AS MEASURED FROM THE POINT OF WRESTED VEGETATION OR WITHIN 25-FEET OF THE COASTAL MARSHLAND BUFFER AS MEASURED FROM THE JURISDICTIONAL DETERMINATION LINE WITHOUT FIRST ACQUIRING THE NECESSARY VARIANCES AND PERMITS.

N/A

16. PROVIDE A DESCRIPTION OF ANY BUFFER ENCROACHMENTS AND INDICATE WHETHER A BUFFER VARIANCE IS REQUIRED.

THERE WILL BE NO BUFFER ENCROACHMENTS AS PART OF THE PROJECT THUS A BUFFER VARIANCE IS NOT REQUIRED.

ECOJ YES

17. CLEARLY NOTE THE STATEMENT THAT "AMENDMENTS/REVISIONS TO THE ES&PC PLAN WHICH HAVE A SIGNIFICANT EFFECT ON BMP'S WITH A HYDRAULIC COMPONENT MUST BE CERTIFIED BY THE DESIGN PROFESSIONAL." (PART IV.C PG 26 OF PERMIT).

AMENDMENTS/REVISIONS TO THE ES&PC PLAN WHICH HAVE A SIGNIFICANT EFFECT ON BMP'S WITH A HYDRAULIC COMPONENT MUST BE CERTIFIED BY THE DESIGN PROFESSIONAL.

ECOJ YES

18. CLEARLY NOTE THE STATEMENT THAT "WASTE MATERIALS SHALL NOT BE DISCHARGED TO WATERS OF THE STATE, EXCEPT AS AUTHORIZED BY A SECTION 404 PERMIT. (PERMIT IV.D.3.c.(I) PG 30).

WASTE MATERIALS SHALL NOT BE DISCHARGED TO WATERS OF THE STATE, EXCEPT AS AUTHORIZED BY A SECTION 404 PERMIT.

ECOJ YES

19. CLEARLY NOTE THE STATEMENT THAT "THE ESCAPE OF SEDIMENT FROM THE SITE SHALL BE PREVENTED BY THE INSTALLATION OF EROSION AND SEDIMENT CONTROL MEASURES AND PRACTICES PRIOR TO LAND DISTURBING ACTIVITIES."

THE ESCAPE OF SEDIMENT FROM THE SITE SHALL BE PREVENTED BY THE INSTALLATION OF EROSION AND SEDIMENT CONTROL MEASURES AND PRACTICES PRIOR TO LAND DISTURBING ACTIVITIES.

ECOJ YES

20. CLEARLY NOTE THE STATEMENT THAT "EROSION CONTROL MEASURES WILL BE MAINTAINED AT ALL TIMES. IF FULL IMPLEMENTATION OF THE APPROVED PLAN DOES NOT PROVIDE FOR EFFECTIVE EROSION CONTROL, ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IMPLEMENTED TO CONTROL OR TREAT THE SEDIMENT SOURCE."

EROSION CONTROL MEASURES WILL BE MAINTAINED AT ALL TIMES. IF FULL IMPLEMENTATION OF THE APPROVED PLAN DOES NOT PROVIDE FOR EFFECTIVE EROSION CONTROL, ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IMPLEMENTED TO CONTROL OR TREAT THE SEDIMENT SOURCE.

ECOJ YES

21. CLEARLY NOTE THE STATEMENT "ANY DISTURBED AREA LEFT EXPOSED FOR A PERIOD GREATER THAN 14 DAYS SHALL BE STABILIZED WITH MULCH OR TEMPORARY SEEDING." (PERMIT IV.D.3.a.(I) PG 28).

ANY DISTURBED AREA LEFT EXPOSED FOR A PERIOD GREATER THAN 14 DAYS SHALL BE STABILIZED WITH MULCH OR TEMPORARY SEEDING.

N/A

22. ANY CONSTRUCTION ACTIVITY WHICH DISCHARGES STORM WATER INTO AN IMPAIRED STREAM SEGMENT, OR WITHIN 1 LINEAR MILE UPSTREAM OF AND WITHIN THE SAME WATERSHED AS, ANY PORTION OF AN BIOTA IMPAIRED STREAM SEGMENT MUST COMPLY WITH PART III.C. OF THE PERMIT. INCLUDE THE COMPLETED APPENDIX I LISTING ALL THE BMP'S THAT WILL BE USED FOR THOSE AREAS OF THE SITE WHICH DISCHARGE TO THE IMPAIRED STREAM SEGMENT. (PART III.C.2.A - V. PG 19-21)

THE SITE IS LOCATED MORE THAN 1 LINEAR MILE UPSTREAM OF THE NEAREST IMPAIRED STREAM SEGMENT.

N/A

23. IF A TMDL IMPLEMENTATION PLAN FOR SEDIMENT HAS BEEN FINALIZED FOR THE IMPAIRED STREAM SEGMENT (IDENTIFIED IN ITEM 22 ABOVE) AT LEAST SIX MONTHS PRIOR TO SUBMITTAL OF NOL, THE ES&PC PLAN MUST ADDRESS ANY SITE-SPECIFIC CONDITIONS OR REQUIREMENTS INCLUDED IN THE TMDL IMPLEMENTATION PLAN. (PERMIT III.C.1 PG 15)

THE SITE IS LOCATED MORE THAN 1 LINEAR MILE UPSTREAM OF THE NEAREST IMPAIRED STREAM SEGMENT.

NA

24. BMP'S FOR CONCRETE WASHDOWN OF TOOLS, CONCRETE MIXER CHUTES, HOPPERS AND THE REAR OF THE VEHICLES, WASHOUT OF THE DRUM AT THE CONSTRUCTION SITE IS PROHIBITED. (PERMIT IV.D.3.c.(6) PG 31).

CONCRETE WASHOUT AREA WILL NOT BE REQUIRED DURING THIS STAGE OF CONSTRUCTION

ECOJ YES

25. PROVIDE BMP'S FOR THE REMEDIATION OF ALL PETROLEUM SPILLS AND LEAKS. (PERMIT IV.D.3.c.(5) PG 31).

PETROLEUM BASED PRODUCTS- CONTAINERS FOR PRODUCTS SUCH AS FUELS, LUBRICANTS AND TARS WILL BE INSPECTED DAILY FOR LEAKS AND SPILLS. THIS INCLUDES ON-SITE VEHICLE AND MACHINERY INSPECTIONS AND REGULAR PREVENTATIVE MAINTENANCE FOR SUCH EQUIPMENT. EQUIPMENT MAINTENANCE AREAS WILL BE LOCATED AWAY FROM STATE WATER, NATURAL DRAINS AND STORM WATER DRAINAGE INLETS. IN ADDITION, TEMPORARY FUELING TANKS SHALL HAVE A SECONDARY CONTAINMENT LINER TO PREVENT/MINIMIZE SITE CONTAMINATION. DISCHARGE OF OILS, FUELS AND LUBRICANTS IS PROHIBITED. PROPER DISPOSAL METHODS WILL INCLUDE COLLECTION IN A SUITABLE CONTAINER AND DISPOSAL AS REQUIRED BY LOCAL AND STATE REGULATIONS. HAVE EQUIPMENT TO CONTAIN AND CLEAN UP PETROLEUM SPILLS IN FUEL STORAGE AREAS OR ON MAINTENANCE AND FUELING VEHICLES. STORE IN COVERED AREAS PROTECTED WITH DIKES. REGULARLY INSPECT FOR CRACKS OR LEAKAGE IN CONTAINERS/TANKS.

SPILL CLEANUP AND CONTROL PRACTICES

- LOCAL, STATE AND MANUFACTURER'S RECOMMENDED METHODS FOR SPILL CLEANUP WILL BE CLEARLY POSTED AND PROCEDURES WILL BE MADE AVAILABLE TO SITE PERSONNEL.
- MATERIALS AND EQUIPMENT NECESSARY FOR SPILL CLEANUP WILL BE KEPT IN THE MATERIAL STORAGE AREAS. TYPICAL MATERIALS AND EQUIPMENT INCLUDES, BUT IS NOT LIMITED TO, BROOMS, DUSTPANS, MOPS, RAGS, GLOVES, GOGGLES, CAT LITTER, SAND, SAWDUST, AND PROPERLY LABELED PLASTIC AND MEAL WASTE CONTAINERS.
- SPILL PREVENTION PRACTICES AND PROCEDURES WILL BE REVIEWED AFTER A SPILL AND ADJUSTED AS NECESSARY TO PREVENT FUTURE SPILLS.
- FOR SPILLS THAT IMPACT SURFACE WATER (LEAVE A SHEEN ON SURFACE WATER), THE NATIONAL RESPONSE CENTER (NRC) WILL BE CONTACTED WITHIN 24 HOURS AT 1-800-424-8802.
- FOR SPILLS OF AN UNKNOWN AMOUNT, THE NATIONAL CENTER (NRC) WILL BE CONTACTED WITHIN 24 HOURS
- FOR SPILLS GREATER THAN 25 GALLONS AND NO SURFACE WATER IMPACTS, THE GEORGIA EPD WILL BE CONTACTED WITHIN

ECOJ YES

24 HOURS.
FOR SPILLS LESS THAN 25 GALLONS AND NO SURFACE WATER IMPACTS, THE SPILL WILL BE CLEANED UP AND LOCAL AGENCIES WILL BE CONTACTED AS REQUIRED.
THE CONTRACTOR SHALL NOTIFY THE LICENSED PROFESSIONAL WHO PREPARED THIS PLAN IF MORE THAN 1320 GALLONS OF PETROLEUM IS STORED ONSITE (THIS INCLUDES CAPACITIES OF EQUIPMENT) OR IF ANY ONE PIECE OF EQUIPMENT HAS A CAPACITY GREATER THAN 660 GALLONS. THE CONTRACTOR WILL NEED A SPILL PREVENTION CONTAINMENT AND COUNTERMEASURES PLAN PREPARED BY THAT LICENSED PROFESSIONAL.

ECOJ YES

26. DESCRIPTION OF THE MEASURES THAT WILL BE INSTALLED DURING THE CONSTRUCTION PROCESS TO CONTROL POLLUTANTS IN STORM WATER THAT WILL OCCUR AFTER CONSTRUCTION OPERATIONS HAVE BEEN COMPLETED. (PERMIT IV.D.3.b PG 29).

THE MAIN PERMANENT EROSION CONTROL PRACTICE AT THE POND DISCHARGES IS RIP-RAP. THE PONDS INCLUDE DISCHARGE POINTS TO HELP SPREAD THE FLOW OVER A LARGE AREA AND TO DECREASE VELOCITIES. PERMANENT GRASSING AND LANDSCAPING WILL BE INSTALLED TO PROTECT EARTHEN AREAS FROM EROSION ONCE CONSTRUCTION IS COMPLETE.

ECOJ YES

27. DESCRIPTION OF PRACTICES TO PROVIDE COVER FOR BUILDING MATERIALS AND BUILDING PRODUCTS ON SITE. (PERMIT IV.D.3.c.(2) PG 30).

THE CONTRACTOR IS TO PROVIDE COVER FOR: BUILDING MATERIALS, BUILDING PRODUCTS, CONSTRUCTION WASTES, TRASH, LANDSCAPE MATERIALS, FERTILIZERS, PESTICIDES, HERBICIDES, DETERGENTS, SANITARY WASTE AND OTHER MATERIALS THAT ARE STORED ON SITE BY USING PLASTIC SHEETING AS COVER AND PROTECTION FROM PRECIPITATION. THE ABOVE PRODUCTS WILL BE STORED IN A LOCATION THAT WOULD MINIMIZE EXPOSURE TO PRECIPITATION AND TO STORMWATER.

ECOJ YES

28. DESCRIPTION OF THE PRACTICES THAT WILL BE USED TO REDUCE THE POLLUTANTS IN STORM WATER DISCHARGES. (PERMIT IV PG 24)

POLLUTANT PREVENTION

THE FOLLOWING MATERIALS ARE EXPECTED ONSITE DURING CONSTRUCTION: PETROLEUM BASED FUELS AND LUBRICANTS FOR EQUIPMENT, ADDITIVES FOR SOIL STABILIZATION, PESTICIDES, FERTILIZERS, HERBICIDES, CRUSHED STONE, CONCRETE PRODUCTS, ASPHALT, TAR, LUMBER, PAINTS/STAINS/FINISHING TREATMENTS, PAINT SOLVENTS, CLEANING SOLVENTS, PLASTICS AND METAL PIPES.

PRACTICES SUCH AS GOOD HOUSEKEEPING, PROPER HANDLING OF HAZARDOUS PRODUCTS AND PROPER SPILL CONTROL PRACTICES WILL BE FOLLOWED TO REDUCE THE RISK OF SPILLS FROM DISCHARGING INTO STORM WATER RUNOFF.

GOOD HOUSEKEEPING

- QUANTITIES ONSITE WILL BE LIMITED TO THE AMOUNT NEEDED FOR THE JOB.
- PRODUCTS AND MATERIALS WILL BE STORED IN A NEAT, ORDERLY MANNER IN APPROPRIATE CONTAINERS PROTECTED FROM RAINFALL, WHERE POSSIBLE.
- PRODUCTS WILL BE KEPT IN THEIR ORIGINAL CONTAINERS WITH MANUFACTURER'S LABELS LEGIBLE AND VISIBLE.
- PRODUCT MIXING, DISPOSAL, AND DISPOSAL OF PRODUCT CONTAINERS WILL BE ACCORDING TO THE MANUFACTURER'S RECOMMENDATIONS.
- THE CONTRACTOR WILL INSPECT SUCH MATERIALS TO ENSURE PROPER USE, STORAGE AND DISPOSAL.

PRODUCT SPECIFIC PRACTICES

FERTILIZER/HERBICIDES/PESTICIDES/DETERGENTS- THESE WILL BE APPLIED AT RATES THAT DO NOT EXCEED THE MANUFACTURER'S SPECIFICATIONS OR ABOVE THE GUIDELINES SET FORTH IN THE CROP ESTABLISHMENT OR IN THE GSWCC MANUAL FOR EROSION AND SEDIMENTATION CONTROL IN GEORGIA. ANY STORAGE OF THESE MATERIALS WILL BE UNDER ROOF IN SEALED CONTAINERS. DO NOT DISCHARGE WASH WATER INTO STORM WATER SYSTEM. INSTALL CURBS OR DIKES AROUND STORAGE AREA TO PROTECT AGAINST SPILLS. LIMIT USE OF DETERGENTS ON-SITE.

PAINTS/FINISHES/SOLVENTS- ALL PRODUCTS WILL BE STORED IN TIGHTLY SEALED ORIGINAL CONTAINERS WHEN NOT IN USE. EXCESS PRODUCT WILL NOT BE DISCHARGED TO THE STORM WATER COLLECTION SYSTEM. EXCESS PRODUCT, MATERIALS USED WITH THESE PRODUCTS AND PRODUCT CONTAINERS WILL BE DISPOSED OF ACCORDING TO THE MANUFACTURER'S SPECIFICATIONS AND RECOMMENDATIONS.

CONCRETE TRUCK WASHING- CONCRETE WASHOUT SHALL OCCUR ONLY IN THE WASH PAD VICINITY DELINEATED IN THE PLANS.

BUILDING MATERIALS- NO BUILDING OR CONSTRUCTION MATERIALS WILL BE BURIED OR DISPOSED OF ONSITE. ALL SUCH MATERIAL WILL BE DISPOSED OF IN PROPER WASTE DISPOSAL PROCEDURES.



GSWCC LEVEL II DESIGN PROFESSIONAL CERTIFICATION #0000055539 EXPIRATION DATE: 9/12/2023

NO.	REVISIONS	BY	DATE

THOMAS & HUTTON
50 Park of Commerce Way
Savannah, GA 31405 • 912.234.5300
www.thomasandhutton.com

NFI INDUSTRIES
PORT WENTWORTH, GEORGIA
SITE DEVELOPMENT FOR BUILDINGS A & B
EROSION CONTROL NOTES

JOB NO:	J-26327.0010
DATE:	2/14/22
DRAWN:	SSF
DESIGNED:	SSF
REVIEWED:	FIT
APPROVED:	FIT
SCALE:	N.T.S.

EC0.1

Attachment: NFI Crossgate Ind Pr 7-0035-01-007 S-Site Plan Review Application (Specific) PIN # 7-0035-01-007 Crossgate Road NFI (Oct 2022)

EROSION, SEDIMENTATION & POLLUTION CONTROL PLAN CHECKLIST - STAND ALONE CONSTRUCTION PROJECTS

SWCD: COASTAL
PROJECT NAME: NFI BUILDINGS A & B SITE DEVELOPMENT
CITY/COUNTY: PORT WENTWORTH/CHATHAM

ADDRESS: CROSSGATE ROAD
DATE ON PLANS: 09/13/21
REVISED DATE:



GSWCC LEVEL II DESIGN PROFESSIONAL CERTIFICATION #0000055539 EXPIRATION DATE: 9/12/2023

Table with columns: NO., REVISIONS, BY, DATE. Contains revision history information.

THOMAS & HUTTON logo and contact information: 50 Park of Commerce Way, Savannah, GA 31405 • 912.234.5300

NFI INDUSTRIES logo and project information: SITE DEVELOPMENT FOR BUILDINGS A & B, EROSION CONTROL NOTES

Table with columns: JOB NO., DATE, DRAWN, DESIGNED, REVIEWED, APPROVED. Contains project identification details.

ECO.2

ECO.2 YES

29. DESCRIPTION AND CHART OR TIMELINE OF THE INTENDED SEQUENCE OF MAJOR ACTIVITIES WHICH DISTURB SOILS FOR THE MAJOR PORTIONS OF THE SITE (I.E., INITIAL PERIMETER AND SEDIMENT STORAGE BMP'S, CLEARING AND GRUBBING ACTIVITIES, EXCAVATION ACTIVITIES, UTILITY ACTIVITIES, TEMPORARY AND FINAL STABILIZATION). (PERMIT IV.D.2b PG 27)

A SPECIFIED WORK SCHEDULE IS NEEDED TO COORDINATE THE TIMING OF LAND DISTURBING ACTIVITIES WITH THE INSTALLATION OF EROSION AND SEDIMENTATION CONTROL MEASURES.

THE PURPOSE OF THE SCHEDULE IS TO REDUCE ON-SITE EROSION AND OFF-SITE SEDIMENTATION BY PERFORMING LAND DISTURBING ACTIVITIES AND INSTALLING EROSION AND SEDIMENTATION CONTROL PRACTICES IN ACCORDANCE WITH A PLANNED SCHEDULE.

IN PLANNING CONSTRUCTION WORK, IT MAY BE HELPFUL TO OUTLINE ALL LAND DISTURBING ACTIVITIES NECESSARY TO COMPLETE THE PROPOSED PROJECT. THEN LIST ALL PRACTICES NEEDED TO CONTROL EROSION AND SEDIMENTATION ON THE SITE. THESE TWO LISTS CAN THEN BE COMBINED IN LOGICAL ORDER TO PROVIDE A PRACTICAL AND EFFECTIVE CONSTRUCTION SEQUENCE SCHEDULE THAT BECOMES PART OF THE EROSION AND SEDIMENTATION CONTROL PLAN.

Table with columns: CONSTRUCTION ACTIVITY, SCHEDULE CONSIDERATION. Lists various construction tasks and their timing considerations.

CONSTRUCTION SCHEDULE Gantt chart showing activity duration from Month 1 to Month 12.

ECO.2 YES

30. PROVIDE COMPLETE REQUIREMENTS OF INSPECTIONS AND RECORD KEEPING BY THE PRIMARY PERMITEE. (PERMIT IV.D.4.g PG 31-33).

INSPECTIONS AND RECORD KEEPING
A. PRIMARY PERMITEE:
1. EACH DAY WHEN ANY TYPE OF CONSTRUCTION ACTIVITY HAS TAKEN PLACE AT A PRIMARY PERMITEE'S SITE, CERTIFIED PERSONNEL PROVIDED BY THE PRIMARY PERMITEE SHALL INSPECT: (a) ALL AREAS OF THE PRIMARY PERMITEE'S SITE WHERE PETROLEUM PRODUCTS ARE STORED, USED, OR HANDLED FOR SPILLS AND LEAKS FROM VEHICLES AND EQUIPMENT. (b) ALL LOCATIONS AT THE PRIMARY PERMITEE'S SITE WHERE VEHICLES ENTER OR EXIT THE SITE FOR EVIDENCE OF OFF-SITE SEDIMENT TRACKING. THESE INSPECTIONS MUST BE CONDUCTED UNTIL A NOTICE OF TERMINATION IS SUBMITTED.
2. MEASURE AND RECORD RAINFALL WITHIN DISTURBED AREAS OF THE SITE THAT HAVE MET FINAL STABILIZATION ONCE EVERY 24 HOURS EXCEPT ANY NON-WORKING SATURDAY, NON-WORKING SUNDAY AND NON-WORKING FEDERAL HOLIDAY. THE DATA COLLECTED FOR THE PURPOSE OF COMPLIANCE WITH THIS PERMIT SHALL BE REPRESENTATIVE OF THE MONITORED ACTIVITY. MEASUREMENT OF RAINFALL MAY BE SUSPENDED IF ALL AREAS OF THE SITE

HAVE UNDERGONE FINAL STABILIZATION OR ESTABLISHED A CROP OF ANNUAL VEGETATION AND A SEEDING OF TARGET PERENNIALS APPROPRIATE FOR THE REGION.
3. CERTIFIED PERSONAL (PROVIDED BY THE PRIMARY PERMITEE) SHALL INSPECT THE FOLLOWING AT LEAST ONCE EVERY SEVEN (7) CALENDAR DAYS AND WITHIN 24 HOURS OF THE END OF A STORM THAT IS 0.5 INCHES OR GREATER (UNLESS SUCH STORM ENDS AFTER 5:00PM ON ANY FRIDAY OR ON ANY NON-WORKING SATURDAY, NON-WORKING SUNDAY OR ANY FEDERAL HOLIDAY IN WHICH CASE THE INSPECTION SHALL BE COMPLETED BY THE END OF THE NEXT BUSINESS DAY AND/OR WORKING DAY, WHICHEVER OCCURS FIRST): (a) DISTURBED AREAS OF THE PRIMARY PERMITEE'S CONSTRUCTION SITE. (b) AREAS USED BY THE PRIMARY PERMITEE FOR STORAGE OF MATERIALS THAT ARE EXPOSED TO PRECIPITATION. AND (c) STRUCTURAL CONTROL MEASURES. EROSION AND SEDIMENT CONTROL MEASURES IDENTIFIED IN THE PLAN APPLICABLE TO THE PRIMARY PERMITEE'S SITE SHALL BE OBSERVED TO ENSURE THAT THEY ARE OPERATING CORRECTLY. WHERE DISCHARGE LOCATIONS OR POINTS ARE ACCESSIBLE, THEY SHALL BE INSPECTED TO ASCERTAIN WHETHER EROSION CONTROL MEASURES ARE EFFECTIVE IN PREVENTING SIGNIFICANT IMPACTS TO RECEIVING WATER(S). FOR AREAS OF A SITE THAT HAVE UNDERGONE FINAL STABILIZATION OR ESTABLISHED A CROP OF ANNUAL VEGETATION AND A SEEDING OF TARGET PERENNIALS APPROPRIATE FOR THE REGION, THE PERMITEE MUST COMPLY WITH PART IV.D.4.g.(4). THESE INSPECTIONS MUST BE CONDUCTED UNTIL A NOTICE OF TERMINATION IS SUBMITTED.
4. CERTIFIED PERSONNEL (PROVIDED BY PRIMARY PERMITEE) SHALL INSPECT AT LEAST ONCE PER MONTH DURING THE TERM OF THIS PERMIT (I.E., UNTIL A NOTICE OF TERMINATION HAS BEEN SUBMITTED) THE AREAS OF THE SITE THAT HAVE UNDERGONE FINAL STABILIZATION OR ESTABLISHED A CROP OF ANNUAL VEGETATION AND A SEEDING OF TARGET PERENNIALS APPROPRIATE FOR THE REGION. THESE AREAS SHALL BE INSPECTED FOR EVIDENCE OF, OR THE POTENTIAL FOR, POLLUTANTS ENTERING THE DRAINAGE SYSTEM AND THE RECEIVING WATER(S). EROSION AND SEDIMENT CONTROL MEASURES IDENTIFIED IN THE PLAN SHALL BE OBSERVED TO ENSURE THAT THEY ARE OPERATING CORRECTLY. WHERE DISCHARGE LOCATIONS OR POINTS ARE ACCESSIBLE, THEY SHALL BE INSPECTED TO ASCERTAIN WHETHER EROSION CONTROL MEASURES ARE EFFECTIVE IN PREVENTING SIGNIFICANT IMPACTS TO RECEIVING WATER(S).
5. BASED ON THE RESULTS OF EACH INSPECTION, THE SITE DESCRIPTION AND THE POLLUTION PREVENTION AND CONTROL MEASURES IDENTIFIED IN THE EROSION, SEDIMENTATION AND POLLUTION CONTROL PLAN, THE PLAN SHALL BE REVISED AS APPROPRIATE NOT LATER THAN SEVEN (7) CALENDAR DAYS FOLLOWING EACH INSPECTION. IMPLEMENTATION OF SUCH CHANGES SHALL BE MADE AS SOON AS PRACTICAL BUT IN NO CASE LATER THAN SEVEN (7) CALENDAR DAYS FOLLOWING EACH INSPECTION.
6. A REPORT OF EACH INSPECTION THAT INCLUDES THE NAME(S) OF CERTIFIED PERSONNEL MAKING EACH INSPECTION, THE DATE(S) OF EACH INSPECTION, CONSTRUCTION PHASE (I.E., INITIAL, INTERMEDIATE OR FINAL), MAJOR OBSERVATIONS RELATING TO THE IMPLEMENTATION OF THE EROSION, SEDIMENTATION AND POLLUTION CONTROL PLAN, AND ACTIONS TAKEN IN ACCORDANCE WITH PART IV.D.4.g.(5). OF THE PERMIT SHALL BE MADE AND RETAINED AT THE SITE OR BE READILY AVAILABLE AT A DESIGNATED ALTERNATE LOCATION UNTIL THE ENTIRE SITE OR THAT PORTION OF A CONSTRUCTION PROJECT THAT HAS BEEN PHASED HAS UNDERGONE FINAL STABILIZATION AND A NOTICE OF TERMINATION IS SUBMITTED TO EPD. SUCH REPORTS SHALL BE READILY AVAILABLE BY END OF THE SECOND BUSINESS DAY AND/OR WORKING DAY AND SHALL IDENTIFY ALL INCIDENTS OF BEST MANAGEMENT PRACTICES THAT HAVE NOT BEEN PROPERLY INSTALLED AND/OR MAINTAINED AS DESCRIBED IN THE PLAN. WHERE THE REPORT DOES NOT IDENTIFY ANY INCIDENTS, THE INSPECTION REPORT SHALL CONTAIN A CERTIFICATION THAT THE BEST MANAGEMENT PRACTICES ARE IN COMPLIANCE WITH THE EROSION, SEDIMENTATION AND POLLUTION CONTROL PLAN. THE REPORT SHALL BE SIGNED IN ACCORDANCE WITH PART V.G.2 OF THIS PERMIT.

AN "EROSION & SEDIMENTATION INSPECTION AND MAINTENANCE REPORT" SHEET IS ATTACHED. SHOULD THE INSPECTION REVEAL ANY DEFICIENCIES, A COPY SHALL BE SENT TO:

JASON CHAMBLESS
THOMAS & HUTTON
50 PARK OF COMMERCE WAY
SAVANNAH, GA 31405
912.721.4170

ECO.2 YES

31. PROVIDE COMPLETE REQUIREMENTS OF SAMPLING FREQUENCY AND REPORTING OF SAMPLING RESULTS. (PART IV.D.6.d PG 35-37 & PART IV.E PG 37)
RT IV.D.6.d PG 35-37 & PART IV.E PG 37

SAMPLING REQUIREMENTS. THIS PERMIT REQUIRES THE MONITORING OF NEPHELOMETRIC TURBIDITY IN RECEIVING WATER(S) OR OUTFALLS IN ACCORDANCE WITH THIS PERMIT. THIS PARAGRAPH SHALL NOT APPLY TO ANY LAND DISTURBANCE ASSOCIATED WITH THE CONSTRUCTION OF SINGLE-FAMILY HOMES WHICH ARE NOT PART OF A SUBDIVISION OR PLANNED COMMON DEVELOPMENT UNLESS FIVE (5) ACRES OR MORE WILL BE DISTURBED. THE FOLLOWING PROCEDURES CONSTITUTE EPD'S GUIDELINES FOR SAMPLING TURBIDITY.
a. SAMPLING REQUIREMENTS SHALL INCLUDE THE FOLLOWING:
(i) A USGS TOPOGRAPHIC MAP, A TOPOGRAPHIC MAP OR A DRAWING (REFERRED TO AS A TOPOGRAPHIC MAP) THAT IS A SCALE EQUAL TO OR MORE DETAILED THAN A 1:24000 MAP SHOWING THE LOCATION OF THE SITE OR THE STAND ALONE CONSTRUCTION; (ii) THE LOCATION OF ALL PERENNIAL AND INTERMITTENT STREAMS AND OTHER WATER BODIES LOCATED DURING MANDATORY FIELD VERIFICATION, INTO WHICH THE STORM WATER IS DISCHARGED AND (b) THE RECEIVING WATER AND/OR OUTFALL SAMPLING LOCATIONS. WHEN THE PERMITEE HAS CHOSEN TO USE A USGS TOPOGRAPHIC MAP AND THE RECEIVING WATER(S) IS NOT SHOWN ON THE USGS TOPOGRAPHIC MAP, THE LOCATION FOR THE RECEIVING WATER(S) MUST BE HAND-DRAWN ON THE USGS TOPOGRAPHIC MAP FROM WHERE THE STORM WATER(S) ENTERS THE RECEIVING WATER(S) TO

THE POINT WHERE THE RECEIVING WATER(S) COMBINES WITH THE FIRST BLUE LINE STREAM SHOWN ON THE USGS TOPOGRAPHIC MAP;
(2) A WRITTEN NARRATIVE OF SITE SPECIFIC ANALYTICAL METHODS USED TO COLLECT, HANDLE AND ANALYZE THE SAMPLES INCLUDING QUALITY CONTROL/QUALITY ASSURANCE PROCEDURES. THIS NARRATIVE MUST INCLUDE PRECISE SAMPLING METHODOLOGY FOR EACH SAMPLING LOCATION;
(3) WHEN THE PERMITEE HAS DETERMINED THAT SOME OR ALL OUTFALLS WILL BE SAMPLED, A RATIONALE MUST BE INCLUDED ON THE PLAN FOR THE NTU LIMIT(S) SELECTED FROM APPENDIX B. THIS RATIONALE MUST INCLUDE THE SIZE OF THE CONSTRUCTION SITE, THE CALCULATION OF THE SIZE OF THE SURFACE WATER DRAINAGE AREA, AND THE TYPE OF RECEIVING WATER(S) (I.E., TROUT STREAM OR SUPPORTING WARM WATER FISHERIES); AND
(4) ANY ADDITIONAL INFORMATION EPD DETERMINES NECESSARY TO BE PART OF THE PLAN. EPD WILL PROVIDE WRITTEN NOTICE TO THE PERMITEE OF THE INFORMATION NECESSARY AND THE TIME LINE FOR SUBMITTAL.
b. SAMPLE TYPE. ALL SAMPLING SHALL BE COLLECTED BY "GRAB SAMPLES" AND THE ANALYSIS OF THESE SAMPLES MUST BE CONDUCTED IN ACCORDANCE WITH METHODOLOGY AND TEST PROCEDURES ESTABLISHED BY 40 CFR PART 136 (UNLESS OTHER TEST PROCEDURES HAVE BEEN APPROVED); THE GUIDANCE DOCUMENT TITLED "NPDES STORM WATER SAMPLING GUIDANCE DOCUMENT, EPA 833-B-92-001" AND GUIDANCE DOCUMENTS THAT MAY BE PREPARED BY THE EPD.
1. SAMPLE CONTAINERS SHOULD BE LABELED PRIOR TO COLLECTING THE SAMPLES.
2. SAMPLES SHOULD BE WELL MIXED BEFORE TRANSFERRING TO A SECONDARY CONTAINER.
3. LARGE MOUTH, WELL CLEANED AND RINSED GLASS OR PLASTIC JARS SHOULD BE USED FOR COLLECTING SAMPLES. THE JARS SHOULD BE CLEANED THOROUGHLY TO AVOID CONTAMINATION.
4. MANUAL, AUTOMATIC OR RISING STAGE SAMPLING MAY BE UTILIZED. SAMPLES REQUIRED BY THIS PERMIT SHOULD BE ANALYZED IMMEDIATELY, BUT IN NO CASE LATER THAN 48 HOURS AFTER COLLECTION. HOWEVER, SAMPLES FROM AUTOMATIC SAMPLERS MUST BE COLLECTED NO LATER THAN THE NEXT BUSINESS DAY AFTER THEIR ACCUMULATION, UNLESS FLOW THROUGH AUTOMATED ANALYSIS IS UTILIZED. IF AUTOMATIC SAMPLING IS UTILIZED AND THE AUTOMATIC SAMPLER IS NOT ACTIVATED DURING THE QUALIFYING EVENT, THE PERMITEE MUST UTILIZE MANUAL SAMPLING OR RISING STAGE SAMPLING DURING THE NEXT QUALIFYING EVENT. DILUTION OF SAMPLES IS NOT REQUIRED. SAMPLES MAY BE ANALYZED DIRECTLY WITH A PROPERLY CALIBRATED TURBIDIMETER. SAMPLES ARE NOT REQUIRED TO BE COOLED.
5. SAMPLING AND ANALYSIS OF THE RECEIVING WATER(S) OR OUTFALLS BEYOND THE MINIMUM FREQUENCY STATED IN THE PERMIT MUST BE REPORTED TO EPD AS SPECIFIED IN PART IV.E. OF THE PERMIT.

c. SAMPLING POINTS: THERE WILL BE 2 STORM WATER SAMPLING LOCATIONS. THE SAMPLING LOCATION WILL BE THE DOWNSTREAM POINTS, PER NPDES PERMIT GAR 100001, FOR CONSTRUCTION ACTIVITIES, THE PRIMARY PERMITEE MUST COMPLETE ALL SAMPLING.
1. FOR CONSTRUCTION ACTIVITIES THE PRIMARY PERMITEE MUST SAMPLE ALL RECEIVING WATER(S) OR ALL OUTFALL(S), OR A COMBINATION OF RECEIVING WATER(S) AND OUTFALL(S). SAMPLES TAKEN FOR THE PURPOSE OF COMPLIANCE WITH THIS PERMIT SHALL BE REPRESENTATIVE OF THE MONITORED ACTIVITY AND REPRESENTATIVE OF THE WATER QUALITY OF THE RECEIVING WATER(S) AND/OR THE STORM WATER OUTFALL(S) USING THE FOLLOWING MINIMUM GUIDELINES:
A. THE UPSTREAM SAMPLE FOR EACH RECEIVING WATER(S) MUST BE TAKEN IMMEDIATELY UPSTREAM OF THE CONFLUENCE OF THE FIRST STORM WATER DISCHARGE FROM THE PERMITTED ACTIVITY (I.E., THE DISCHARGE FARTHEST UPSTREAM AT THE SITE) BUT DOWNSTREAM OF ANY OTHER STORM WATER DISCHARGES NOT ASSOCIATED WITH THE PERMITTED ACTIVITY, WHERE APPROPRIATE, SEVERAL UPSTREAM SAMPLES FROM ACROSS THE RECEIVING WATER(S) MAY NEED TO BE TAKEN AND THE ARITHMETIC AVERAGE OF THE TURBIDITY OF THESE SAMPLES USED FOR THE UPSTREAM TURBIDITY VALUE.
B. THE DOWNSTREAM SAMPLE FOR EACH RECEIVING WATER(S) MUST BE TAKEN DOWNSTREAM OF THE CONFLUENCE OF THE LAST STORM WATER DISCHARGE FROM THE PERMITTED ACTIVITY (I.E., THE DISCHARGE FARTHEST DOWNSTREAM AT THE SITE) BUT UPSTREAM OF ANY OTHER STORM WATER DISCHARGE NOT ASSOCIATED WITH THE PERMITTED ACTIVITY. WHERE APPROPRIATE, SEVERAL DOWNSTREAM SAMPLES FROM ACROSS THE RECEIVING WATER(S) MAY NEED TO BE TAKEN AND THE ARITHMETIC AVERAGE OF THE TURBIDITY OF THESE SAMPLES USED FOR THE DOWNSTREAM TURBIDITY VALUE.
C. IDEALLY THE SAMPLES SHOULD BE TAKEN FROM THE HORIZONTAL AND VERTICAL CENTER OF THE RECEIVING WATER(S) OR THE STORM WATER OUTFALL CHANNEL(S).
D. CARE SHOULD BE TAKEN TO AVOID STIRRING THE BOTTOM SEDIMENTS IN THE RECEIVING WATER(S) OR IN THE OUTFALL STORM WATER CHANNEL.
E. THE SAMPLING CONTAINER SHOULD BE HELD SO THAT THE OPENING FACES UPSTREAM.
F. THE SAMPLES SHOULD BE KEPT FREE FROM FLOATING DEBRIS.
G. PERMITEES DO NOT HAVE TO SAMPLE SHEETFLOW THAT FLOWS ONTO UNDISTURBED NATURAL AREAS OR AREAS STABILIZED BY THE PROJECT. FOR PURPOSES OF THIS SECTION, STABILIZED SHALL MEAN, FOR UNPAVED AREAS AND AREAS NOT COVERED BY PERMANENT STRUCTURES AND AREAS LOCATED OUTSIDE THE WASTE DISPOSAL LIMITS OF A LANDFILL CELL, THAT HAS BEEN CERTIFIED BY EPD FOR WASTE DISPOSAL, 100% OF THE SOIL SURFACE IS UNIFORMLY COVERED IN PERMANENT VEGETATION WITH A DENSITY OF 70% OR GREATER, OR LANDSCAPED ACCORDING TO THE PLAN (UNIFORMLY COVERED WITH LANDSCAPING MATERIALS IN PLANNED LANDSCAPED AREAS), OR EQUIVALENT PERMANENT STABILIZATION MEASURES AS DEFINED IN THE MANUAL (EXCLUDING A CROP OF ANNUAL VEGETATION AND A SEEDING OF TARGET CROP PERENNIALS APPROPRIATE FOR THE

REGION).
A. ALL SAMPLING PURSUANT TO THIS PERMIT MUST BE DONE IN SUCH A WAY (INCLUDING GENERALLY ACCEPTED SAMPLING METHODS, LOCATIONS, TIMING AND FREQUENCY) AS TO ACCURATELY REFLECT WHETHER STORM WATER RUNOFF FROM THE CONSTRUCTION SITE IS IN COMPLIANCE WITH THE STANDARD SET FORTH IN PARTS III.D.3. OR III.D.4., WHICHEVER IS APPLICABLE.
d. SAMPLING FREQUENCY
1. THE PRIMARY PERMITEE MUST SAMPLE IN ACCORDANCE WITH THE PLAN AT LEAST ONCE FOR EACH RAINFALL EVENT DESCRIBED BELOW. FOR A QUALIFYING EVENT, THE PERMITEE SHALL SAMPLE AT THE BEGINNING OF ANY STORM WATER DISCHARGE TO A MONITORED RECEIVING WATER AND/OR FROM A MONITORED OUTFALL LOCATION WITHIN FORTY-FIVE (45) MINUTES OR AS SOON AS POSSIBLE.
2. HOWEVER, WHERE MANUAL AND AUTOMATIC SAMPLING ARE IMPOSSIBLE (AS DEFINED IN THIS PERMIT), OR ARE BEYOND THE PERMITEE'S CONTROL, THE PERMITEE SHALL TAKE SAMPLES AS SOON AS POSSIBLE, BUT IN NO CASE MORE THAN TWELVE (12) HOURS AFTER THE BEGINNING OF THE STORM WATER DISCHARGE.
3. SAMPLING BY THE PERMITEE SHALL OCCUR FOR THE FOLLOWING QUALIFYING EVENTS:
A. FOR EACH AREA OF THE SITE THAT DISCHARGES TO A RECEIVING WATER OR FROM AN OUTFALL, THE FIRST RAIN EVENT THAT REACHES OR EXCEEDS 0.5 INCH WITH A STORM WATER DISCHARGE THAT OCCURS DURING NORMAL BUSINESS HOURS AS DEFINED IN THIS PERMIT AFTER ALL CLEARING AND GRUBBING OPERATIONS HAVE BEEN COMPLETED, BUT PRIOR TO COMPLETION OF MASS GRADING OPERATIONS, IN THE DRAINAGE AREA OF THE LOCATION SELECTED AS THE SAMPLING LOCATION;
B. IN ADDITION TO (A.) ABOVE, FOR EACH AREA OF THE SITE THAT DISCHARGES TO A RECEIVING WATER OR FROM AN OUTFALL, THE FIRST RAIN EVENT THAT REACHES OR EXCEEDS 0.5 INCH WITH A STORM WATER DISCHARGE THAT OCCURS DURING NORMAL BUSINESS HOURS AS DEFINED IN THE PERMIT EITHER 90 DAYS AFTER THE FIRST SAMPLING EVENT OR AFTER ALL MASS GRADING OPERATIONS HAVE BEEN COMPLETED, BUT PRIOR TO SUBMITTAL OF A NOT, IN THE DRAINAGE AREA OF THE LOCATION SELECTED AS THE SAMPLING LOCATIONS, WHICHEVER COMES FIRST;
C. AT THE TIME OF SAMPLING PERFORMED PURSUANT TO (A) AND (B) ABOVE, IF BMPs IN ANY AREA OF THE SITE THAT DISCHARGES TO A RECEIVING WATER OR FROM AN OUTFALL ARE NOT PROPERLY DESIGNED, INSTALLED AND MAINTAINED, CORRECTIVE ACTION SHALL BE DEFINED AND IMPLEMENTED WITHIN TWO (2) BUSINESS DAYS, AND TURBIDITY SAMPLES SHALL BE TAKEN FROM DISCHARGES FROM THAT AREA OF THE SITE FOR EACH SUBSEQUENT RAIN EVENT THAT REACHES OR EXCEEDS 0.5 INCH DURING NORMAL BUSINESS HOURS* UNTIL THE SELECTED TURBIDITY STANDARD IS ATTAINED, OR UNTIL POST-STORM EVENT INSPECTIONS DETERMINE THAT BMPs ARE PROPERLY DESIGNED, INSTALLED AND MAINTAINED;
D. WHERE SAMPLING PURSUANT TO (A), (B) OR (C) ABOVE IS REQUIRED BUT NOT POSSIBLE (OR NOT REQUIRED BECAUSE THERE WAS NO DISCHARGE), THE PERMITEE, IN ACCORDANCE WITH PART IV.D.4.g.(6), MUST INCLUDE A WRITTEN JUSTIFICATION IN THE INSPECTION REPORT OF WHY SAMPLING WAS NOT PERFORMED. PROVIDING THIS JUSTIFICATION DOES NOT RELIEVE THE PERMITEE OF ANY SUBSEQUENT SAMPLING OBLIGATIONS UNDER (A), (B) OR (C) ABOVE; AND
E. EXISTING CONSTRUCTION ACTIVITIES, I.E., THOSE THAT ARE OCCURRING ON OR BEFORE THE EFFECTIVE DATE OF THIS PERMIT, THAT HAVE MET THE SAMPLING REQUIRED BY (A) ABOVE SHALL SAMPLE IN ACCORDANCE WITH (B). THOSE EXISTING CONSTRUCTION ACTIVITIES THAT HAVE MET THE SAMPLING REQUIRED BY (B) ABOVE SHALL NOT BE REQUIRED TO CONDUCT ADDITIONAL SAMPLING OTHER THAN AS REQUIRED BY (C) ABOVE.
*NOTE THAT THE PERMITEE MAY CHOOSE TO MEET THE REQUIREMENTS OF (A) AND (B) ABOVE BY COLLECTING TURBIDITY SAMPLES FROM ANY RAIN EVENT THAT REACHES OR EXCEEDS 0.5 INCH AND ALLOWS FOR SAMPLING AT ANY TIME OF THE DAY OR WEEK.
REPORTING
1. THE APPLICABLE PERMITEES ARE REQUIRED TO SUBMIT THE SAMPLING RESULTS TO THE EPD AT THE ADDRESS SHOWN IN PART II.C BY THE FIFTEENTH DAY OF THE MONTH FOLLOWING THE REPORTING PERIOD. REPORTING PERIODS ARE MONTHS DURING WHICH SAMPLES ARE TAKEN IN ACCORDANCE WITH THIS PERMIT. SAMPLING RESULTS SHALL BE IN A CLEARLY LEGIBLE FORMAT. UPON WRITTEN NOTIFICATION, EPD MAY REQUIRE THE APPLICABLE PERMITEE TO SUBMIT THE SAMPLING RESULTS ON A MORE FREQUENT BASIS. SAMPLING AND ANALYSIS OF ANY STORM WATER DISCHARGE(S) OR THE RECEIVING WATER(S) BEYOND THE MINIMUM FREQUENCY STATED IN THIS PERMIT MUST BE REPORTED IN A SIMILAR MANNER TO THE EPD. THE SAMPLING REPORTS MUST BE SIGNED IN ACCORDANCE WITH PART V.G.2. SAMPLING REPORTS MUST BE SUBMITTED TO EPD USING THE ELECTRONIC SUBMITTAL SERVICE PROVIDED BY EPD. SAMPLING REPORTS MUST BE SUBMITTED TO EPD UNTIL SUCH TIME AS A NOT IS SUBMITTED IN ACCORDANCE WITH PART VI.
2. ALL SAMPLING REPORT SHALL INCLUDE THE FOLLOWING INFORMATION:
a. THE RAINFALL AMOUNT, DATE, EXACT PLACE AND TIME OF SAMPLING OR MEASUREMENTS;
b. THE NAME(S) OF THE CERTIFIED PERSONNEL WHO PERFORMED THE SAMPLING AND MEASUREMENTS;
c. THE DATE(S) ANALYSES WERE PERFORMED;
d. THE TIME(S) ANALYSES WERE INITIATED;
e. THE NAME(S) OF THE CERTIFIED PERSONNEL WHO PERFORMED THE ANALYSES;
f. REFERENCES AND WRITTEN PROCEDURES, WHEN AVAILABLE, FOR THE ANALYTICAL TECHNIQUES OR METHODS USED;
g. THE RESULTS OF SUCH ANALYSES, INCLUDING THE BENCH SHEETS, INSTRUMENT READOUTS, COMPUTER DISKS OR TAPES, ETC., USED TO DETERMINE THESE RESULTS;

**EROSION, SEDIMENTATION & POLLUTION CONTROL PLAN CHECKLIST -
STAND ALONE CONSTRUCTION PROJECTS**

SWCD: COASTAL
PROJECT NAME: NFI BUILDINGS A & B SITE DEVELOPMENT
CITY/COUNTY: PORT WENTWORTH/CHATHAM

ADDRESS: CROSSGATE ROAD
DATE ON PLANS: 08/13/21
REVISED DATE:

- h. RESULTS WHICH EXCEED 1000 NTU SHALL BE REPORTED AS "EXCEEDS 1000 NTU;" AND
- i. CERTIFICATION STATEMENT THAT SAMPLING WAS CONDUCTED AS PER THE PLAN.
3. ALL WRITTEN CORRESPONDENCE REQUIRED BY THIS PERMIT SHALL BE SUBMITTED BY RETURN RECEIPT CERTIFIED MAIL (OR SIMILAR SERVICE) TO THE APPROPRIATE DISTRICT OFFICE OF THE EPD ACCORDING TO THE SCHEDULE IN APPENDIX A OF THIS PERMIT. THE PERMITTEE SHALL RETAIN A COPY OF THE PROOF OF SUBMITTAL AT THE CONSTRUCTION SITE OR THE PROOF OF SUBMITTAL SHALL BE READILY AVAILABLE AT A DESIGNATED LOCATION FROM COMMENCEMENT OF CONSTRUCTION UNTIL SUCH TIME AS A NOT IS SUBMITTED IN ACCORDANCE WITH PART VI.

EPD OFFICE:
COASTAL DISTRICT - BRUNSWICK OFFICE
GEORGIA ENVIRONMENTAL PROTECTION DIVISION
400 COMMERCE CENTER DRIVE
BRUNSWICK, GA 31523-8687
912-264-7284

ECO.3 YES 32. PROVIDE COMPLETE DETAILS FOR RETENTION OF RECORDS AS PER PART IV.F. PG 38 OF THE PERMIT.

RETENTION OF RECORDS

1. THE PRIMARY PERMITTEE SHALL RETAIN THE FOLLOWING RECORDS AT THE CONSTRUCTION SITE OR THE RECORDS SHALL BE READILY AVAILABLE AT A DESIGNATED ALTERNATE LOCATION FROM COMMENCEMENT OF CONSTRUCTION UNTIL SUCH TIME AS A NOTICE OF TERMINATION IS SUBMITTED IN ACCORDANCE WITH PART VI.

- COPY OF ALL NOTICES OF INTENT SUBMITTED TO EPD.
- A COPY OF THE ES&PC PLAN REQUIRED IN PERMIT No. GAR 10000.
- THE DESIGN PROFESSIONALS REPORT OF THE RESULTS OF THE INSPECTION CONDUCTED IN ACCORDANCE WITH PART IV.A.5 IN PERMIT No. GAR 10000.
- A COPY OF ALL SAMPLING INFORMATION, RESULTS, AND REPORTS REQUIRED BY IN PERMIT No. GAR 10000.
- A COPY OF ALL INSPECTION REPORTS GENERATED IN ACCORDANCE WITH PART IV.D.4.g OF PERMIT No. GAR 10000.
- A COPY OF ALL VIOLATION SUMMARIES AND VIOLATION SUMMARY REPORTS GENERATED IN ACCORDANCE WITH PART III.D.2 IN PERMIT No. GAR 10000.
- DAILY RAINFALL INFORMATION COLLECTED IN ACCORDANCE WITH PART IV.D.4.g.(2), IN PERMIT No. GAR 10000.

2. COPIES OF ALL NOTICES OF INTENT, NOTICES OF TERMINATION, INSPECTION REPORTS, SAMPLING REPORTS (INCLUDING ALL CALIBRATION AND MAINTENANCE RECORDS AND ALL ORIGINAL STRIP CHART RECORDINGS FOR CONTINUOUS MONITORING INSTRUMENTATION) OR OTHER REPORTS REQUESTED BY THE EPD, EROSION, SEDIMENTATION AND POLLUTION CONTROL PLANS, RECORDS OF ALL DATA USED TO COMPLETE THE NOTICE OF INTENT TO BE COVERED BY THIS PERMIT AND ALL OTHER RECORDS REQUIRED BY THIS PERMIT SHALL BE RETAINED BY THE PERMITTEE WHO EITHER PRODUCED OR USED IT FOR A PERIOD OF AT LEAST THREE YEARS FROM THE DATE THAT THE NOTICE OF TERMINATION IS SUBMITTED IN ACCORDANCE WITH PART VI OF THE GARIOOOO. THESE RECORDS MUST BE MAINTAINED AT THE PERMITTEE'S PRIMARY PLACE OF BUSINESS OR AT A DESIGNATED ALTERNATIVE LOCATION ONCE THE CONSTRUCTION ACTIVITY HAS CEASED AT THE PERMITTED SITE. THIS PERIOD MAY BE EXTENDED BY REQUEST OF THE EPD AT ANY TIME UPON WRITTEN NOTIFICATION TO THE PERMITTEE.

ECO.3 YES 33. DESCRIPTION OF ANALYTICAL METHODS TO BE USED TO COLLECT AND ANALYZE THE SAMPLES FROM EACH LOCATION. (PERMIT IV.D.6.a.(3) PG 33-35)

STORM WATER SAMPLES ARE TO BE ANALYZED IN ACCORDANCE WITH METHODOLOGY AND TEST PROCEDURES ESTABLISHED BY 40 CFR PART 136 AND THE GUIDANCE DOCUMENT TITLED "NPDES STORM WATER SAMPLING GUIDANCE DOCUMENT EPA 833-B-92-001.

ECO.3 YES 34. APPENDIX B RATIONALE FOR NTU VALUES AT ALL OUTFALL SAMPLING POINTS WHERE APPLICABLE. (PERMIT IV.D.6.a.(3) PG 33)

STORM WATER IS TO BE SAMPLED FOR NEPHELOMETRIC TURBIDITY UNITS (NTU) AT THE OUTFALL LOCATIONS. A DISCHARGE OF STORM WATER RUNOFF FROM DISTURBED AREAS WHERE BEST MANAGEMENT PRACTICES HAVE NOT BEEN PROPERLY DESIGNED, INSTALLED, AND MAINTAINED SHALL CONSTITUTE A SEPARATE VIOLATION FOR EACH DAY ON WHICH SUCH CONDITION RESULTS IN THE TURBIDITY OF THE DISCHARGE EXCEEDING 50, THE VALUE THAT WAS SELECTED FROM APPENDIX B IN PERMIT No. GAR 10000. THE NTU IS BASED UPON THE DISTURBED ACREAGE OF 35.5 ACRES FOR THE PROJECT SITE, THE SURFACE WATER DRAINAGE AREA OF LESS THAN 4.99 SQUARE MILES AND RECEIVING WATER WHICH SUPPORTS WARM WATER FISHERIES. APPENDIX B WAS USED TO DETERMINE THE NTU ALLOWABLE AND DOWNSTREAM SAMPLING WILL BE PERFORMED FOR THIS PROJECT.

Appendix B
Nephelometric Turbidity Unit (NTU) Table
Warm Water (Supporting Warm Water Fisheries)

Surface Water Drainage Area, square miles	0-4.99	5-9.99	10-24.99	25-49.99	50-99.99	100-249.99	250-499.99	500+
100-10	75	150	200	400	750	750	750	750
10.01-25	50	100	100	200	300	500	750	750
25.01-50	50	100	100	200	300	500	750	750
50.01-100	50	50	100	100	150	300	600	600
100.01+	50	50	50	50	100	200	100	100

ECLI-1.3 YES 35. DELINEATE ALL SAMPLING LOCATIONS, PERENNIAL AND INTERMITTENT STREAMS AND OTHER WATER BODIES INTO WHICH STORM WATER IS DISCHARGED. (PERMIT IV.D.6.a.(3) PG 33)

PLEASE SEE PLAN SHEETS FOR DELINEATION OF SAMPLING LOCATIONS, PERENNIAL, INTERMITTENT STREAMS AND OTHER WATER BODIES INTO WHICH STORM WATER IS DISCHARGED.

ECO.3 YES 36. A DESCRIPTION OF APPROPRIATE CONTROLS AND MEASURES THAT WILL BE IMPLEMENTED AT THE CONSTRUCTION SITE INCLUDING (1) INITIAL SEDIMENT STORAGE REQUIREMENTS AND PERIMETER CONTROL BMP'S, (2) INTERMEDIATE GRADING AND DRAINAGE BMP'S, AND (3) FINAL BMP'S. FOR CONSTRUCTION SITES WHERE THERE WILL BE NO MASS GRADING AND THE INITIAL PERIMETER CONTROL BMP'S, INTERMEDIATE GRADING AND DRAINAGE BMP'S, AND FINAL BMP'S ARE THE SAME, THE PLAN MAY COMBINE ALL OF THE BMP'S INTO A SINGLE PHASE. (PERMIT IV.D.3 PG 27)

INITIAL PHASE - THE INITIAL PHASE OF THE ES&PC PLAN WILL INCLUDE THE INSTALLATION OF THE CONSTRUCTION EXIT AND SILT FENCE. TYPE NS & S SILT FENCE WILL BE USED. STORM PONDS AND DITCHES WILL BE CONSTRUCTED AND MAINTAINED DURING SITE CLEARING. STORM DRAIN OUTLET PROTECTION WILL BE INSTALLED AND MAINTAINED AT DISCHARGE LOCATIONS. DUST CONTROL AND MULCHING WILL BE IMPLEMENTED AS NECESSARY TO PROVIDE INITIAL SEDIMENT STORAGE.

INTERMEDIATE PHASE - THE INTERMEDIATE GRADING AND DRAINAGE BMP'S WILL INCLUDE THE MAINTENANCE OF ALL SILT FENCE. STORM DRAIN OUTLET PROTECTION WILL BE INSTALLED AND MAINTAINED AT DISCHARGE LOCATIONS. DUST CONTROL, MULCHING, AND TEMPORARY SEEDING WILL BE IMPLEMENTED AS NECESSARY.

FINAL PHASE - THE FINAL GRADING AND DRAINAGE BMP'S WILL INCLUDE THE MAINTENANCE OF ALL SILT FENCE. STORM DRAIN OUTLET PROTECTION WILL BE MAINTAINED AT DISCHARGE LOCATIONS. PERMANENT SEEDING WILL BE IMPLEMENTED FOR SITE STABILIZATION. ONCE THE SITE IS STABILIZED, ALL TEMPORARY BMP'S ARE TO BE REMOVED.

ALL YES 37. GRAPHIC SCALE AND NORTH ARROW.

GRAPHIC SCALE AND NORTH ARROW ARE LOCATED ON EACH PLAN SHEET.

ECLI-1.3 YES 38. EXISTING AND PROPOSED CONTOUR LINES WITH CONTOUR LINES DRAWN AT AN INTERVAL IN ACCORDANCE WITH THE FOLLOWING:

EXISTING AND PROPOSED CONTOUR LINES DRAWN AT AN INTERVAL OF 1' ARE SHOWN ON EACH PLAN SHEET.

N/A YES 39. USE OF ALTERNATIVE BMP'S WHOSE PERFORMANCE HAS BEEN DOCUMENTED TO BE EQUIVALENT TO OR SUPERIOR TO CONVENTIONAL BMP'S AS CERTIFIED BY A DESIGN PROFESSIONAL (UNLESS DISAPPROVED BY EPD OR THE GEORGIA SOIL AND WATER CONSERVATION COMMISSION). PLEASE REFER TO THE ALTERNATIVE BMP GUIDANCE DOCUMENT FOUND AT www.gswcc.org. (PERMIT IV.D.3.c.(4) PG 29)

NOT APPLICABLE FOR THIS PROJECT.

N/A YES 40. USE OF ALTERNATIVE BMP FOR APPLICATION TO THE EQUIVALENT BMP LIST. PLEASE REFER TO APPENDIX A-2 OF THE MANUAL FOR EROSION & SEDIMENT CONTROL IN GEORGIA 2016 EDITION.

NOT APPLICABLE FOR THIS PROJECT.

N/A YES 41. DELINEATION OF THE APPLICABLE 25-FOOT OR 50-FOOT UNDISTURBED BUFFERS ADJACENT TO STATE WATERS AND ANY ADDITIONAL BUFFERS REQUIRED BY THE LOCAL ISSUING AUTHORITY. CLEARLY NOTE AND DELINEATE ALL AREAS OF IMPACT. (PERMIT IV.D.2.e PG 27)

THERE ARE NO BUFFERS ASSOCIATED WITH THIS PROJECT.

ECO.3 YES 42. DELINEATION OF ON-SITE WETLANDS AND ALL STATE WATERS LOCATED ON AND WITHIN 200 FEET OF THE PROJECT SITE.

THE WETLANDS ARE DELINEATED ON THE PLANS.

ALL YES 43. DELINEATION AND ACREAGE OF CONTRIBUTING DRAINAGE BASINS ON THE PROJECT SITE. (PERMIT IV.D.2.e PG 27)

ALL CONTRIBUTING DRAINAGE BASINS ON THE PROJECT SITE ARE CLEARLY DELINEATED IN AN EXHIBIT AS PART OF THE ATTACHED STORM WATER REPORT.

ATTACHED YES 44. PROVIDE HYDROLOGY STUDY AND MAPS OF DRAINAGE BASINS FOR BOTH PRE- AND POST-DEVELOPMENT CONDITIONS.

PLEASE SEE ATTACHED REPORT WITH DETAILS FOR PRE AND POST DEVELOPMENT HYDROLOGY..

ECO.3 YES 45. AN ESTIMATE OF THE RUNOFF COEFFICIENT OR PEAK DISCHARGE FLOW OF THE SITE PRIOR TO AND AFTER CONSTRUCTION ACTIVITIES ARE COMPLETED. (PERMIT IV.D.2.d PG 27)

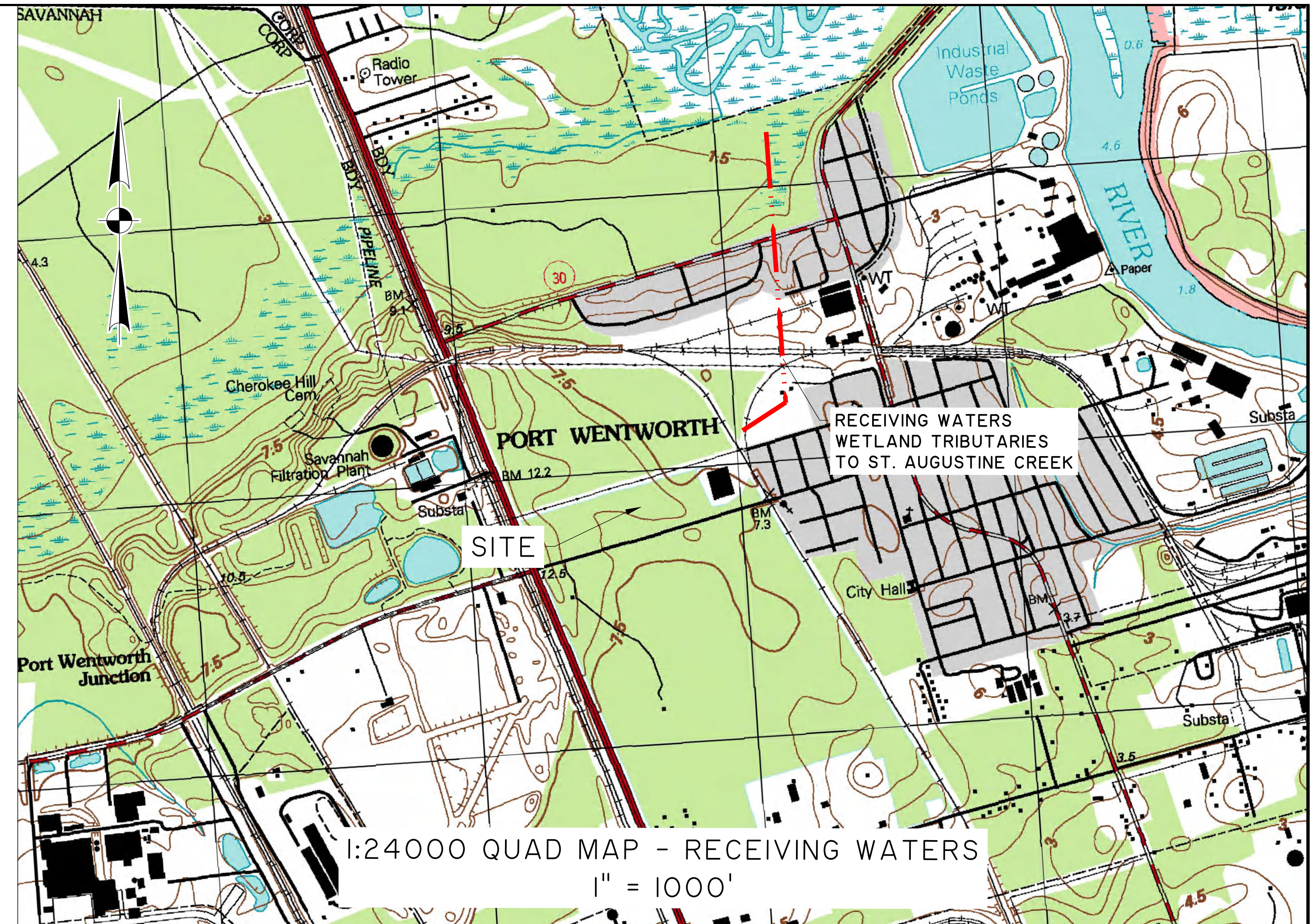
RUNOFF COEFFICIENT: PRE-CONSTRUCTION CN = 80
POST-CONSTRUCTION CN = 86

ECLI-1.3 YES 46. STORM-DRAIN PIPE AND WEIR VELOCITIES WITH APPROPRIATE OUTLET PROTECTION TO ACCOMMODATE DISCHARGES WITHOUT EROSION. IDENTIFY/DELINEATE ALL STORM WATER DISCHARGE POINTS.

THE RIP-RAP CHARTS CONTAIN THE STORMWATER VELOCITIES. THE STORMWATER DISCHARGE POINTS ARE INDICATED ON THE PLANS.

ECO.3 YES 47. SOIL SERIES FOR THE PROJECT SITE AND THEIR DELINEATION.

SOILS ARE DELINEATED ON THE EROSION CONTROL SHEETS. THE SOILS FOR THE SITE ARE Lp - Lakeland sand (A), Ok - Ogeechee LOAMY FINE SAND (B/D), Okc Ogeechee-Urban land complex (B/D), Pn - Pooler fine sandy loam (C/D), As - Albany fine sand (A/D).



ECLI-1.3 YES 48. THE LIMITS OF DISTURBANCE FOR EACH PHASE OF CONSTRUCTION.

PLEASE SEE THE PLAN FOR THE DELINEATION OF THE LIMITS OF DISTURBANCE. THEY ARE THE SAME FOR ALL PHASES OF CONSTRUCTION.

ECO.3 YES 49. PROVIDE A MINIMUM OF 67 CUBIC YARDS OF SEDIMENT STORAGE PER ACRE DRAINED USING A TEMPORARY SEDIMENT BASIN, RETROFITTED DETENTION POND, AND/OR EXCAVATED INLET SEDIMENT TRAPS FOR EACH COMMON DRAINAGE LOCATION. SEDIMENT STORAGE VOLUME MUST BE IN PLACE PRIOR TO AND DURING ALL LAND DISTURBANCE ACTIVITIES UNTIL FINAL STABILIZATION OF THE SITE HAS BEEN ACHIEVED. A WRITTEN JUSTIFICATION EXPLAINING THE DECISION TO USE EQUIVALENT CONTROLS WHEN A SEDIMENT BASIN IS NOT ATTAINABLE MUST BE INCLUDED IN THE PLAN FOR EACH COMMON DRAINAGE LOCATION IN WHICH A SEDIMENT BASIN IS NOT PROVIDED. A WRITTEN JUSTIFICATION AS TO WHY 67 CUBIC YARDS OF STORAGE IS NOT ATTAINABLE MUST ALSO BE GIVEN. WORKSHEETS FROM THE MANUAL MUST BE INCLUDED FOR STRUCTURAL BMP'S AND ALL CALCULATIONS USED BY THE STORAGE DESIGN PROFESSIONAL TO OBTAIN THE REQUIRED SEDIMENT WHEN USING EQUIVALENT CONTROLS. WHEN DISCHARGING FROM SEDIMENT BASINS AND IMPOUNDMENTS, PERMITTEES ARE REQUIRED TO UTILIZE OUTLET STRUCTURES THAT WITHDRAW WATER FROM THE SURFACE, UNLESS INFEASIBLE. IF OUTLET STRUCTURES THAT WITHDRAW WATER FROM THE SURFACE ARE NOT FEASIBLE, A WRITTEN JUSTIFICATION EXPLAINING THIS DECISION MUST BE INCLUDED IN THE PLAN. (PERMIT IV.D.3.g.(3) PG 28)

AN RT-B WAS SELECTED AS THE DEWATERING STRUCTURE FOR THIS PROJECT. WHILE WE DO AGREE THAT AN RT-B DOES NOT ONLY DEWATER FROM THE TOP BUT IN THIS INSTANCE, WE BELIEVE IT IS THE BEST OPTION TO KEEP SEDIMENT FROM ESCAPING THE POND. THE USE OF SKIMMER MORE OFTEN THAN NOT RESULTS IN CLOGGING OR SEDIMENT LEAVING THE SITE THROUGH THE SPILLWAY. THE RT-B ALLOWS FOR A MORE SUSTAINED DEWATERING.

SEDIMENT STORAGE - THE PERMIT REQUIRES A MINIMUM OF 67 CUBIC YARDS OF SEDIMENT STORAGE PER ACRE DRAINED.

THE SEDIMENT STORAGE REQUIREMENT WILL BE ACHIEVED BY UTILIZING THE NEW STORM POND.

SEDIMENT STORAGE REQUIRED
ACREAGE = 35.5
REQUIRED ON SITE SEDIMENT STORAGE = 35.5 AC X 67 CY/AC = 2,378 CY

POND #1:
TOTAL AREA: 145,992 SF (AT BOTTOM - ELEV. 10.0), 162,052 SF (9' ABOVE BOTTOM - ELEV. 19.0)
(1/2 (145,992 + 162,052) * 0.5 FT)/27 = 51,340 CY

51,340 CY EXCEEDS THE REQUIRED 2,378 CY

ECLI-1.3 YES 50. LOCATION OF BEST MANAGEMENT PRACTICES THAT ARE CONSISTENT WITH AND NO LESS STRINGENT THAN THE MANUAL FOR EROSION AND SEDIMENT CONTROL IN GEORGIA. USE UNIFORM CODING SYMBOLS FROM THE MANUAL, CHAPTER 6, WITH LEGEND.

PLEASE SEE THE PLAN SHEETS FOR THE LOCATION OF BEST MANAGEMENT PRACTICES THAT ARE CONSISTENT WITH AND NO LESS STRINGENT THAN THE MANUAL FOR EROSION AND SEDIMENT CONTROL IN GEORGIA USING THE UNIFORM CODING SYMBOLS FROM THE MANUAL, CHAPTER 6 WITH ACCOMPANYING LEGEND.

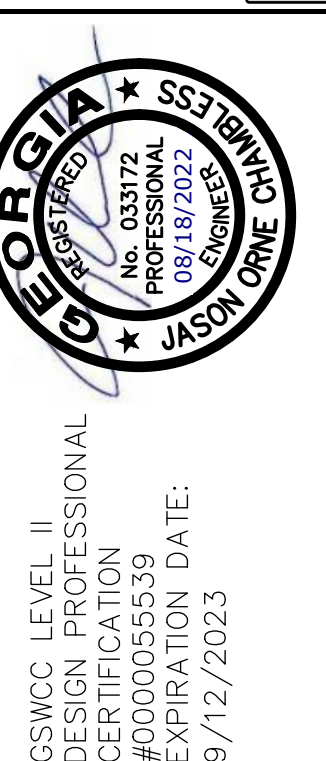
ECLI-2.3 YES 51. PROVIDE DETAILED DRAWINGS FOR ALL STRUCTURAL PRACTICES. SPECIFICATIONS MUST, AT A MINIMUM, MEET THE GUIDELINES SET FORTH IN THE MANUAL FOR EROSION AND SEDIMENT CONTROL IN GEORGIA.

PLEASE SEE THE DETAIL SHEET FOR DETAILED DRAWINGS FOR ALL STRUCTURAL PRACTICES WITH SPECIFICATIONS MEETING THE GUIDELINES SET FORTH IN THE MANUAL FOR EROSION AND SEDIMENT CONTROL IN GEORGIA.

ECLI-2.3 YES 52. PROVIDE VEGETATIVE PLAN, NOTING ALL TEMPORARY AND PERMANENT VEGETATIVE PRACTICES, INCLUDE SPECIES, PLANTING DATES AND SEEDING, FERTILIZER, LIME AND MULCHING RATES. VEGETATIVE PLAN SHALL BE SITE SPECIFIC FOR APPROPRIATE TIME OF YEAR THAT SEEDING WILL TAKE PLACE AND FOR APPROPRIATE GEOGRAPHIC REGION OF GEORGIA.

PLEASE SEE THE PLAN AND DETAIL SHEETS FOR THE VEGETATIVE PLAN NOTING ALL TEMPORARY AND PERMANENT VEGETATIVE PRACTICES INCLUDING SPECIES, PLANTING DATES AND SEEDING, FERTILIZER, LIME AND MULCHING RATES. THIS PLAN IS SPECIFIC TO THE SITE AND APPROPRIATE FOR TIME OF YEAR THAT SEEDING WILL TAKE PLACE AND FOR THE APPROPRIATE GEOGRAPHIC REGION OF GEORGIA.

EFFECTIVE JANUARY 1, 2021



NO.	REVISIONS	BY	DATE

THOMAS & HUTTON
50 Park of Commerce Way
Savannah, GA 31405 • 912.234.5300
www.thomasandhutton.com

NFI INDUSTRIES
PORT WENTWORTH, GEORGIA
SITE DEVELOPMENT FOR BUILDINGS A & B
EROSION CONTROL NOTES

JOB NO: J-26327.0010
DATE: 2/14/22
DRAWN: SSF
DESIGNED: SSF
REVIEWED: FIT
APPROVED: FIT
SCALE: N.T.S.

EC0.3



GSWCC LEVEL II
DESIGN PROFESSIONAL
CERTIFICATION
#0000055539
EXPIRATION DATE:
9/12/2023

NO.	REVISIONS	BY	DATE

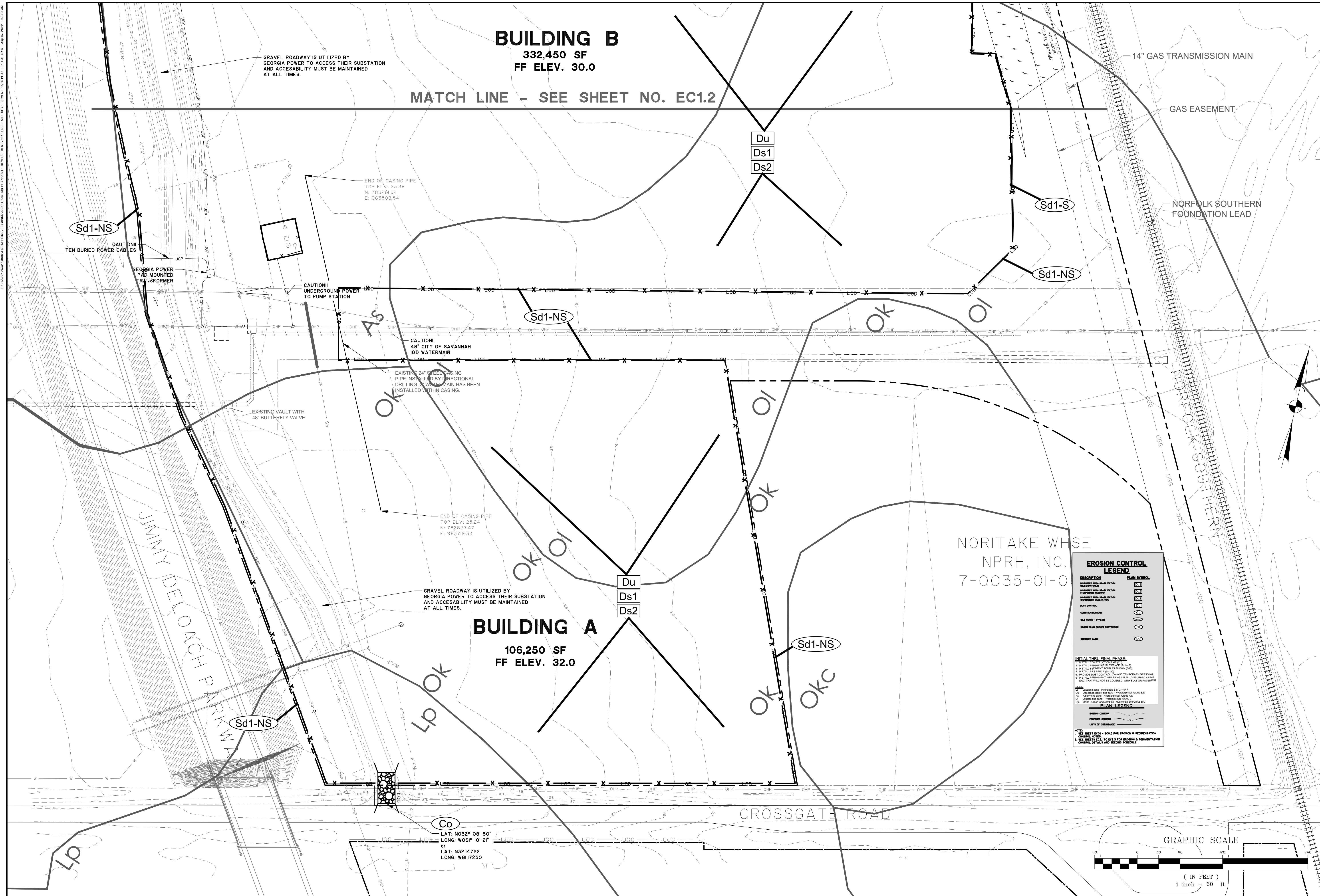
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www.thomasandhutton.com

NFI INDUSTRIES
PORT WENTWORTH, GEORGIA
INITIAL ESPC PLAN
SITE DEVELOPMENT FOR BUILDINGS A & B

JOB NO: J-26327.0010
DATE: 2/14/22
DRAWN: SSF
DESIGNED: SSF
REVIEWED: FIT
APPROVED: FIT
SCALE: 1" = 60'

EC1.1

Attachment: NFI Crossgate Ind PK 7-0035-01-007 5-Site Plan Review Application (Specific) PIN # 7-0035-01-007 Crossgate Road NFI OCT 2022



BUILDING B

332,450 SF
FF ELEV. 30.0

MATCH LINE - SEE SHEET NO. EC1.2

Du
Ds1
Ds2

14" GAS TRANSMISSION MAIN

GAS EASEMENT

NORFOLK SOUTHERN
FOUNDATION LEAD

Sd1-NS

CAUTION!!
TEN BURIED POWER CABLES

GEORGIA POWER
PAD MOUNTED
TRANSFORMER

CAUTION!!
UNDERGROUND POWER
TO PUMP STATION

Sd1-NS

CAUTION!!
48" CITY OF SAVANNAH
IBD WATERMAIN

EXISTING 24" STEEL CASING
PIPE INSTALLED BY DIRECTIONAL
DRILLING. WATER MAIN HAS BEEN
INSTALLED WITHIN CASING.

EXISTING VAULT WITH
48" BUTTERFLY VALVE

END OF CASING PIPE
TOP ELV: 25.24
N: 786925.47
E: 963710.33

GRAVEL ROADWAY IS UTILIZED BY
GEORGIA POWER TO ACCESS THEIR SUBSTATION
AND ACCESSABILITY MUST BE MAINTAINED
AT ALL TIMES.

BUILDING A

106,250 SF
FF ELEV. 32.0

Du
Ds1
Ds2

NORITAKE WHE
NPRH, INC.
7-0035-01-0

Sd1-NS

Sd1-NS

Lp

Co
LAT: N032° 08' 50"
LONG: W081° 10' 21"
or
LAT: N32.14722
LONG: W81.17250

EROSION CONTROL LEGEND

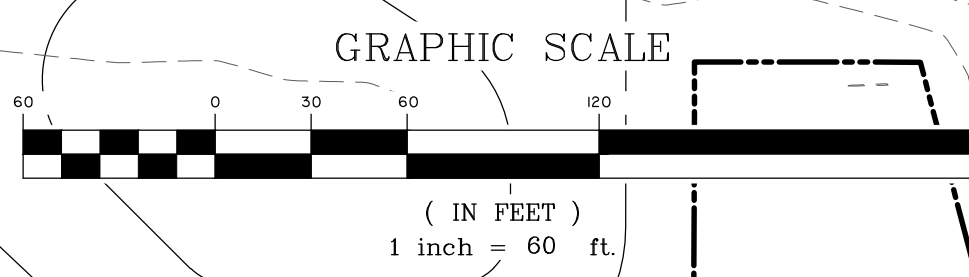
DESCRIPTION	PLAN SYMBOL
DEFURROW AREA (STABILIZATION)	□1
DEFURROW AREA (EROSION CONTROL)	□2
DEFURROW AREA (VEGETATION)	□3
DEFURROW AREA (PERMANENT)	□4
SOIL CONTROL	○
CONSTRUCTION EIT	○
NO. FURROW (SEE EIT)	○
STORM SEWER OUTLET PROTECTION	○
SEDIMENT BARR	○

INITIAL THIRD FINAL PHASE

- INSTALL EROSION CONTROL MEASURES
- INSTALL SEDIMENT POND AS SHOWN (S&S)
- INSTALL S&S FENCE B&S
- PROVIDE S&S CONTROL AND TRANSPORT CRIBS
- INSTALL PERMANENT GRASSING ON ALL DISTURBED AREAS
- POST THE FINAL AS-BUILT CONSTRUCTION WITH PLAN OR AS SHOWN

PLAN LEGEND

NOTE: SEE SHEET ECO - EODS FOR EROSION & REVEGETATION CONTROL DETAILS AND SCHEDULING.





NO.	REVISIONS	DATE

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NFI INDUSTRIES
 PORT WENTWORTH, GEORGIA
 SITE DEVELOPMENT FOR BUILDINGS A & B
EROSION CONTROL DETAILS

JOB NO:	J-26327.0010
DATE:	2/14/22
DRAWN:	SSF
DESIGNED:	SSF
REVIEWED:	FIT
APPROVED:	FIT
SCALE:	NOT TO SCALE

EC2.1

DUST CONTROL

DEFINITION: CONTROLLING SURFACE AND AIR MOVEMENT OF DUST ON LAND-DISTURBING ACTIVITIES.
 PURPOSE: PREVENT THE MOVEMENT OF DUST FROM EXPOSED SOIL SURFACES AND PREVENT THE MOVEMENT OF AIRBORNE SUBSTANCES THAT MAY BE HARMFUL TO HEALTH.

TEMPORARY METHODS	PERMANENT METHODS
- MULCHES - TEMPORARY VEGETATIVE COVER - SPRAY ON ADHESIVES - TILLAGE - IRRIGATION - BARRIERS - CALCIUM CHLORIDE	- PERMANENT VEGETATION - TOPSOILING - STONE COVER

INSTALLATION: APPLY ACCORDING TO APPROVED PLAN, IF SHOWN. MULCH DISTURBED AREAS AND TACKIFY WITH REDSINS SUCH AS ASPHALT, CURASOL OR TERRATAK ACCORDING TO MANUFACTURER'S RECOMMENDATIONS. STABILIZE DISTURBED AREAS WITH TEMPORARY OR PERMANENT VEGETATION. COVER SURFACES WITH CRUSHED STONE OR GRAVEL. APPLY CALCIUM CHLORIDE AT A RATE TO KEEP SURFACES MOIST. APPLY SPRAY-ON ADHESIVES TO MINERAL SOILS (NOT MUCK SOILS AS DESCRIBED IN TABLE 1).

TABLE 1. SPRAY-ON ADHESIVE APPLICATION REQUIREMENTS

ADHESIVE	WATER DILUTION	NOZZLE TYPE	APPLICATION (GAL / ACRE)
ANIONIC ASPHALT EMULSION	7:1 *	COARSE SPRAY	1,200
LATEX EMULSION	12.5:1 *	FINE SPRAY	235
RESIN-IN-WATER EMULSION	4:1 *	FINE SPRAY	300

MAINTENANCE: PROHIBIT TRAFFIC ON SURFACE AFTER SPRAYING. SUPPLEMENT SURFACE COVERINGS AS NEEDED.

Du

DUST CONTROL

NOT TO SCALE

Table 2. Fertilizer Requirements for Temporary Vegetation

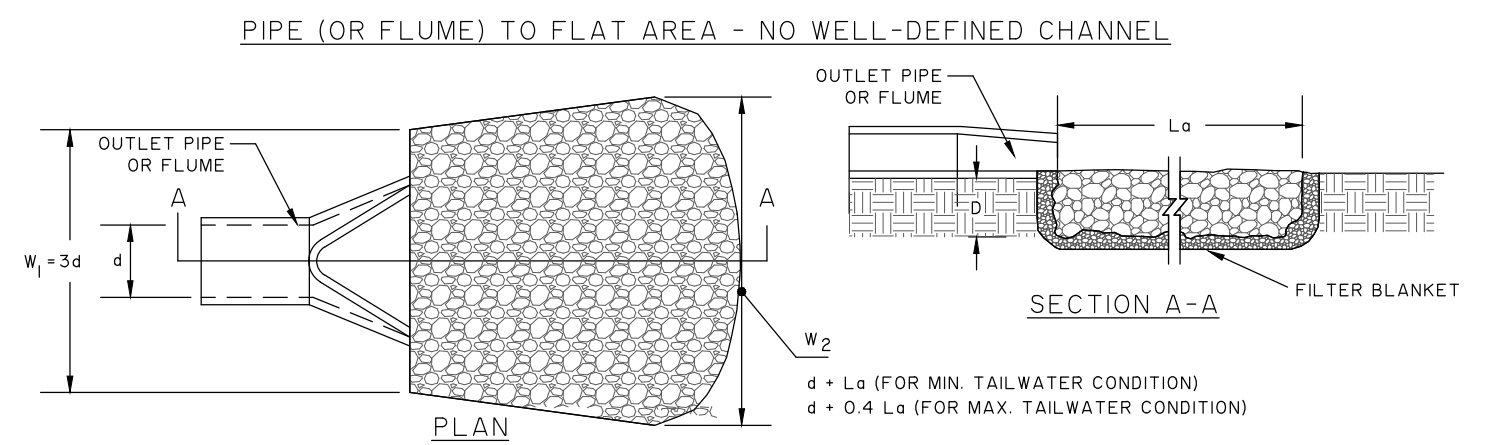
Types of Species	Planting Year	Fertilizer (N-P-K)	Rate (lbs./acre)	N Top Dressing Rate (lbs./acre)
Cool season grasses	First	6-12-12	1500	50-100
	Second	6-12-12	1000	---
	Maintenance	10-10-10	400	30
Cool season grasses & legumes	First	6-12-12	1500	0-50
	Second	0-10-10	1000	---
	Maintenance	0-10-10	400	---
Temporary cover crops seeded alone	First	10-10-10	500	30
Warm season grasses	First	6-12-12	1500	50-100
	Second	6-12-12	800	50-100
	Maintenance	10-10-10	400	30

- Apply agricultural lime at the rate determined by soil test pH.

Table 2. Fertilizer Requirements for Permanent Vegetation

Types of Species	Planting Year	Fertilizer (N-P-K)	Rate (lbs./ acre)	N Top Dressing Rate (lbs./acre)
Cool season grasses	First	6-12-12	1500	50-100
	Second	6-12-12	1000	---
	Maintenance	10-10-10	400	30
Cool grasses and legumes	First	6-12-12	1500	0-50
	Second	0-10-10	1000	---
	Maintenance	0-10-10	400	---
Warm season grasses	First	6-12-12	1500	50-100
	Second	6-12-12	800	50-100
	Maintenance	10-10-10	400	30
Warm season grasses and legumes	First	6-12-12	1500	50
	Second	0-10-10	1000	---
	Maintenance	0-10-10	400	---

- Apply agricultural lime at a rate of 1-2 tons/acre unless soil tests indicate otherwise.



- NOTES:**
- L_p = LENGTH THE RIP-RAP APRON
 - d = OUTLET PIPE DIAMETER
 - d_{50} = AVERAGE RIP RAP STONE DIAMETER
 - d_{MAX} = MAXIMUM RIP RAP STONE DIAMETER = 1.5 TIMES d_{50}
 - D = RIP RAP APRON DEPTH = 1.5 TIMES d_{MAX} BUT NOT LESS THAN 6"
 - W_1 = UPSTREAM RIP RAP APRON WIDTH = $3d$
 - W_2 = DOWNSTREAM RIP RAP APRON WIDTH, SEE DETAIL
 - IN A WELL-DEFINED CHANNEL EXTEND THE APRON UP THE CHANNEL BANKS TO AN ELEVATION OF 6" ABOVE THE MAXIMUM TAILWATER DEPTH OR TO THE TOP OF THE BANK, WHICHEVER IS LESS.
 - A FILTER BLANKET OR FILTER FABRIC SHOULD BE INSTALLED BETWEEN THE RIP-RAP AND SOIL FOUNDATION.
 - INSPECT RIP RAP OUTLET STRUCTURES AFTER HEAVY RAINS TO SEE IF ANY EROSION AROUND OR BELOW THE RIP RAP HAS TAKEN PLACE OR IF STONES HAVE BEEN DISLODGED. IMMEDIATELY MAKE ALL NEEDED REPAIRS TO PREVENT FURTHER DAMAGE.

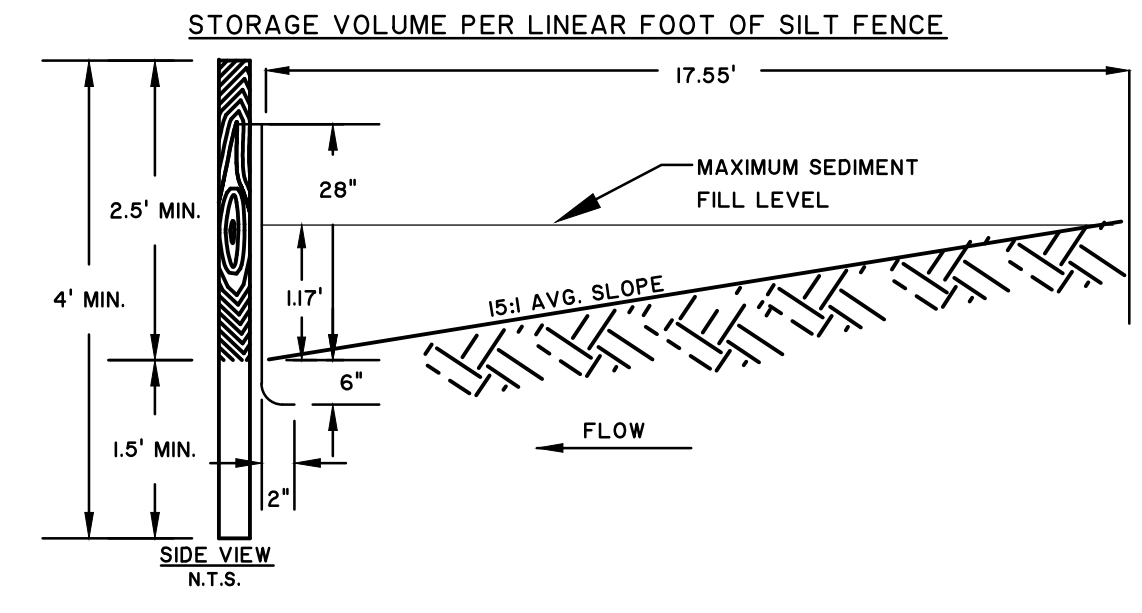
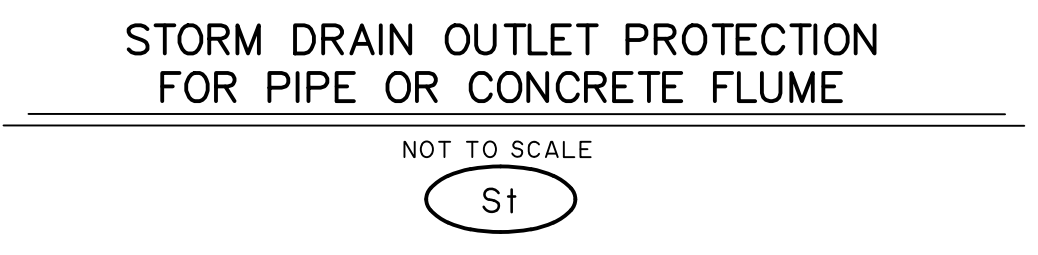


Table 1. Mulching Application Requirements

Material	Rate	Depth
Straw or hay	-	2" to 4"
Wood waste, chips, sawdust, bark	-	2" to 3"
Polyethylene film	Secure with soil, anchors, weights	-
Geotextiles, jute matting, netting, etc.	See manufacturer's recommendations	-

Ds1

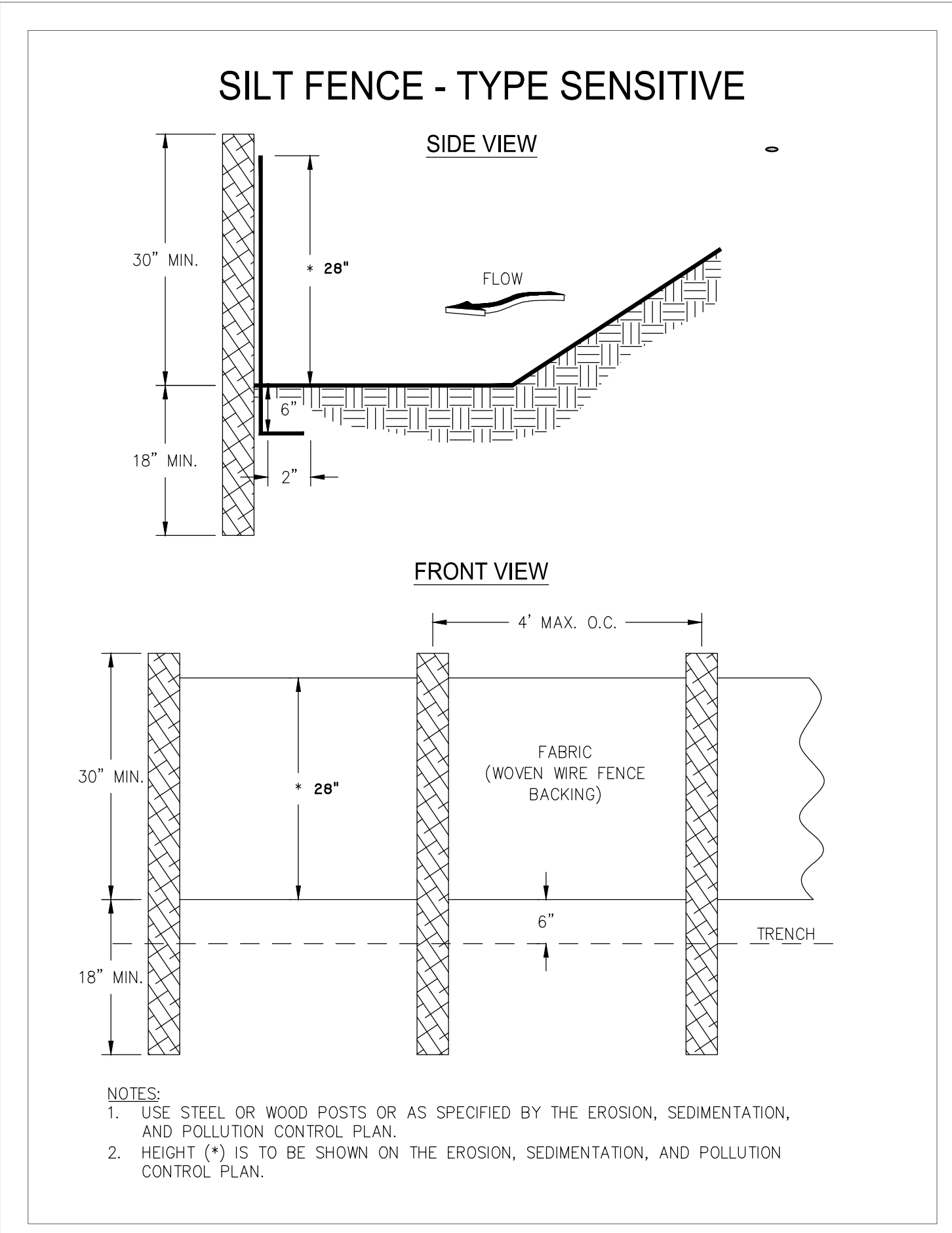
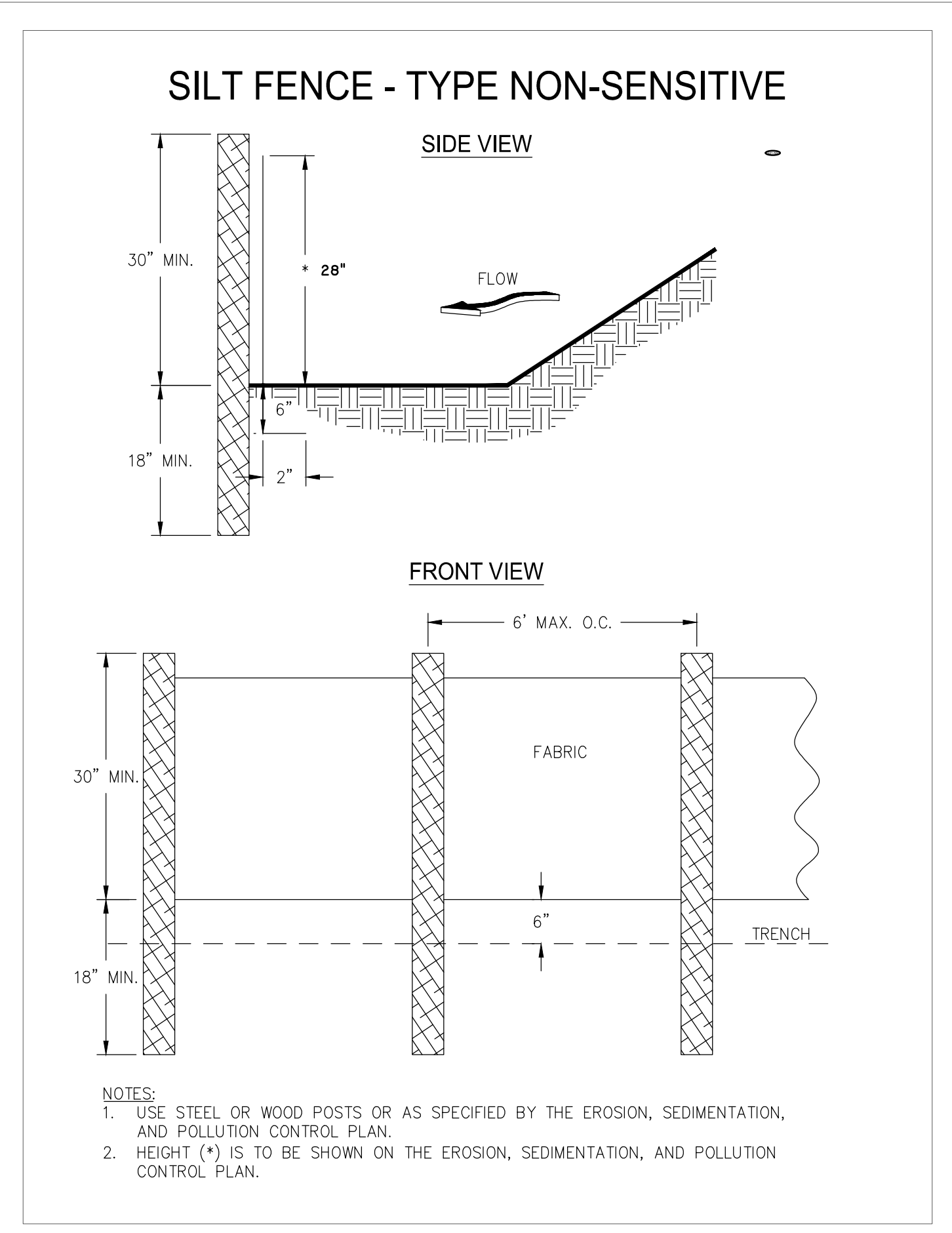
SEEDING RATES FOR TEMPORARY & PERMANENT COVER

MONTH	TEMPORARY COVER	RATE PER ACRE		PERMANENT COVER	RATE PER ACRE	
		SEEDED ALONE	ADDED TO MIX		SEEDED ALONE	ADDED TO MIX
JANUARY	* LESPEDEZA, ANNUAL * RYE * RYEGRASS, ANNUAL * WHEAT	40 lbs. 3 bu. 40 lbs. 3 bu.	10 lbs. .5 bu. .5 bu. -	* BAHIA, PENSACOLA * BERMUDA, UNHULLED * CENTIPEDE, SOD * LESPEDEZA, SEDICEA	60 lbs. 10 lbs. 75 lbs. -	30 lbs. 6 lbs. -
FEBRUARY	* LESPEDEZA, ANNUAL * LOVEGRASS, WEEPING * RYE * RYEGRASS, ANNUAL	40 lbs. 4 lbs. 3 bu. 40 lbs.	10 lbs. 2 lbs. .5 bu. -	* BAHIA, PENSACOLA * CENTIPEDE, SOD * LESPEDEZA, SEDICEA * LOVEGRASS, WEEPING	60 lbs. 10 lbs. 75 lbs. 4 lbs.	30 lbs. 6 lbs. -
MARCH	* LESPEDEZA, ANNUAL * LOVEGRASS, WEEPING * RYEGRASS, ANNUAL * SUDANGRASS	40 lbs. 4 lbs. 40 lbs. 60 lbs.	10 lbs. 2 lbs. -	* BAHIA, PENSACOLA * BERMUDA, UNHULLED * CENTIPEDE, SOD * LESPEDEZA, SEDICEA * LOVEGRASS, WEEPING	60 lbs. 10 lbs. 75 lbs. 75 lbs. 4 lbs.	30 lbs. 6 lbs. -
APRIL	* LOVEGRASS, WEEPING * MILLET, BROWNTOP * MILLET, PEARL * SUDANGRASS	4 lbs. 40 lbs. 50 lbs. 60 lbs.	2 lbs. 10 lbs. -	* BAHIA, PENSACOLA * BERMUDA, UNHULLED * CENTIPEDE, SOD * LESPEDEZA, SEDICEA * LOVEGRASS, WEEPING	60 lbs. 10 lbs. 75 lbs. 75 lbs. 4 lbs.	30 lbs. 6 lbs. -
MAY	* LOVEGRASS, WEEPING * MILLET, BROWNTOP * MILLET, PEARL * SUDANGRASS	4 lbs. 40 lbs. 50 lbs. 60 lbs.	2 lbs. 10 lbs. -	* BAHIA, PENSACOLA * BERMUDA, UNHULLED * CENTIPEDE, SOD * LESPEDEZA, SEDICEA * LOVEGRASS, WEEPING	60 lbs. 10 lbs. 75 lbs. 75 lbs. 4 lbs.	30 lbs. 6 lbs. -
JUNE	* LOVEGRASS, WEEPING * MILLET, BROWNTOP * MILLET, PEARL * SUDANGRASS	4 lbs. 40 lbs. 50 lbs. 60 lbs.	2 lbs. 10 lbs. -	* BAHIA, PENSACOLA * BERMUDA, UNHULLED * CENTIPEDE, SOD * LESPEDEZA, SEDICEA * LOVEGRASS, WEEPING	60 lbs. 10 lbs. 75 lbs. 75 lbs. 4 lbs.	30 lbs. 6 lbs. -

SEEDING RATES FOR TEMPORARY & PERMANENT COVER

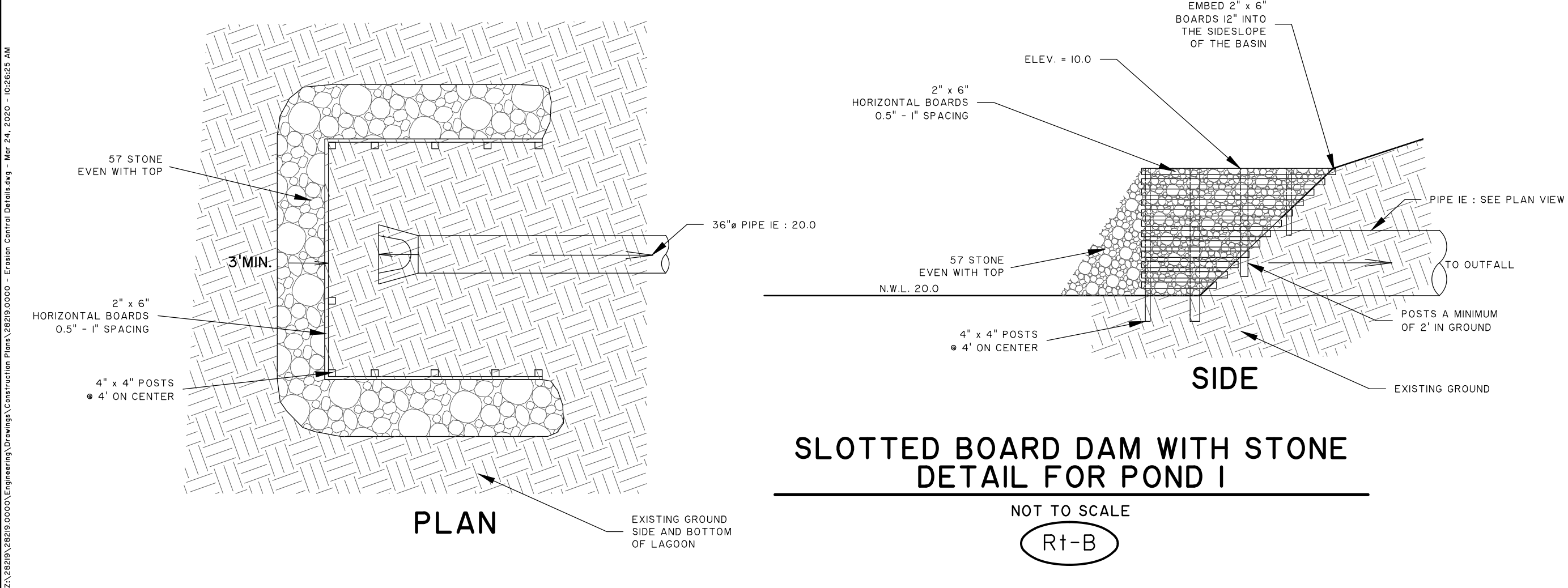
MONTH	TEMPORARY COVER	RATE PER ACRE		PERMANENT COVER	RATE PER ACRE	
		SEEDED ALONE	ADDED TO MIX		SEEDED ALONE	ADDED TO MIX
JULY	* MILLET, BROWNTOP * MILLET, PEARL * SUDANGRASS	40 lbs. 50 lbs. 60 lbs.	10 lbs. -	* BAHIA, PENSACOLA * LESPEDEZA, SEDICEA	60 lbs. 75 lbs.	30 lbs. -
AUGUST	* MILLET, PEARL * RYEGRASS, ANNUAL	50 lbs. 40 lbs.	-	* BAHIA, PENSACOLA * LESPEDEZA, SEDICEA	60 lbs. 75 lbs.	30 lbs. -
SEPTEMBER	* BARLEY * OATS * RYE * RYEGRASS, ANNUAL * WHEAT	3 bu. 4 bu. 3 bu. 40 lbs. 3 bu.	.5 bu. 1 bu. .5 bu. -	* BAHIA, PENSACOLA * LESPEDEZA, SEDICEA	60 lbs. 75 lbs.	30 lbs. -
OCTOBER	* BARLEY * OATS * RYE * RYEGRASS, ANNUAL * WHEAT	3 bu. 4 bu. 3 bu. 40 lbs. 3 bu.	.5 bu. 1 bu. .5 bu. -	* BAHIA, PENSACOLA * BERMUDA, UNHULLED * CENTIPEDE, SOD * LESPEDEZA, SEDICEA	60 lbs. 10 lbs. 75 lbs.	30 lbs. 6 lbs. -
NOVEMBER	* BARLEY * OATS * RYE * RYEGRASS, ANNUAL * WHEAT	3 bu. 4 bu. 3 bu. 40 lbs. 3 bu.	.5 bu. 1 bu. .5 bu. -	* BAHIA, PENSACOLA * BERMUDA, UNHULLED * CENTIPEDE, SOD * LESPEDEZA, SEDICEA	60 lbs. 10 lbs. 75 lbs.	30 lbs. 6 lbs. -
DECEMBER	* BARLEY * OATS * RYE * RYEGRASS, ANNUAL * WHEAT	3 bu. 4 bu. 3 bu. 40 lbs. 3 bu.	.5 bu. 1 bu. .5 bu. -	* BAHIA, PENSACOLA * BERMUDA, UNHULLED * CENTIPEDE, SOD * LESPEDEZA, SEDICEA	60 lbs. 10 lbs. 75 lbs.	30 lbs. 6 lbs. -

- NOTES:**
- ALL PERMANENT GRASS PLANTINGS SHALL BE MULCHED
 - * INDICATES MARGINAL (BUT PERMISSIBLE) PLANTING DATE
 1. UNSCARIFIED
 2. SCARIFIED
 3. CENTIPEDE SOD CAN BE USED AS PERMANENT COVER ANYTIME EXCEPT JUNE THRU OCTOBER



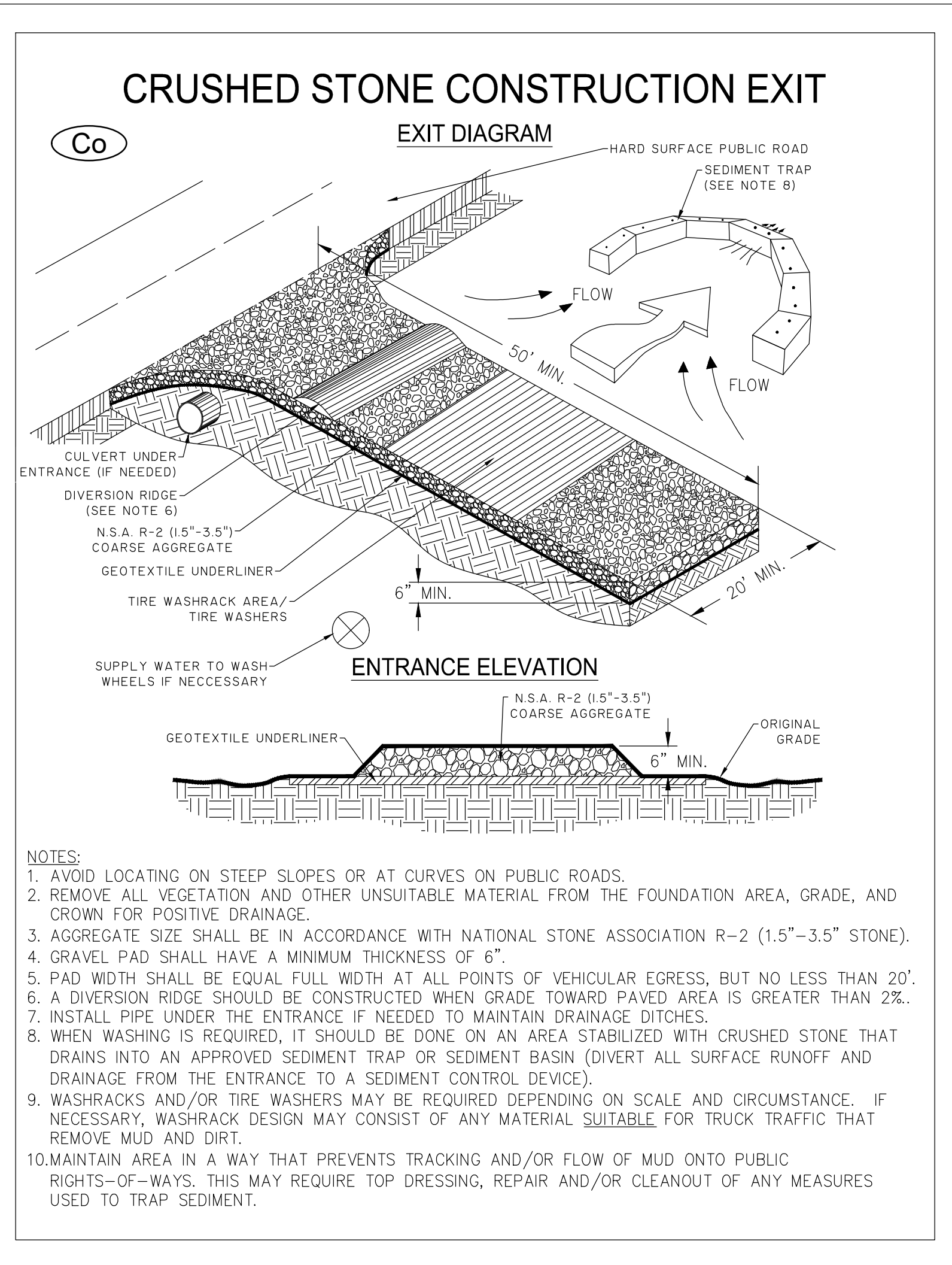
2/18/2022 10:00:00 Engineering\Submittals\Site Plan\2022\2022-01-07 Crossgate Road NFI OCT 2022

Attachment: NFI Crossgate Ind Pk 7-0035-01-007 S-Site Plan Review Application (Specific) PIN # 7-0035-01-007 Crossgate Road NFI OCT 2022

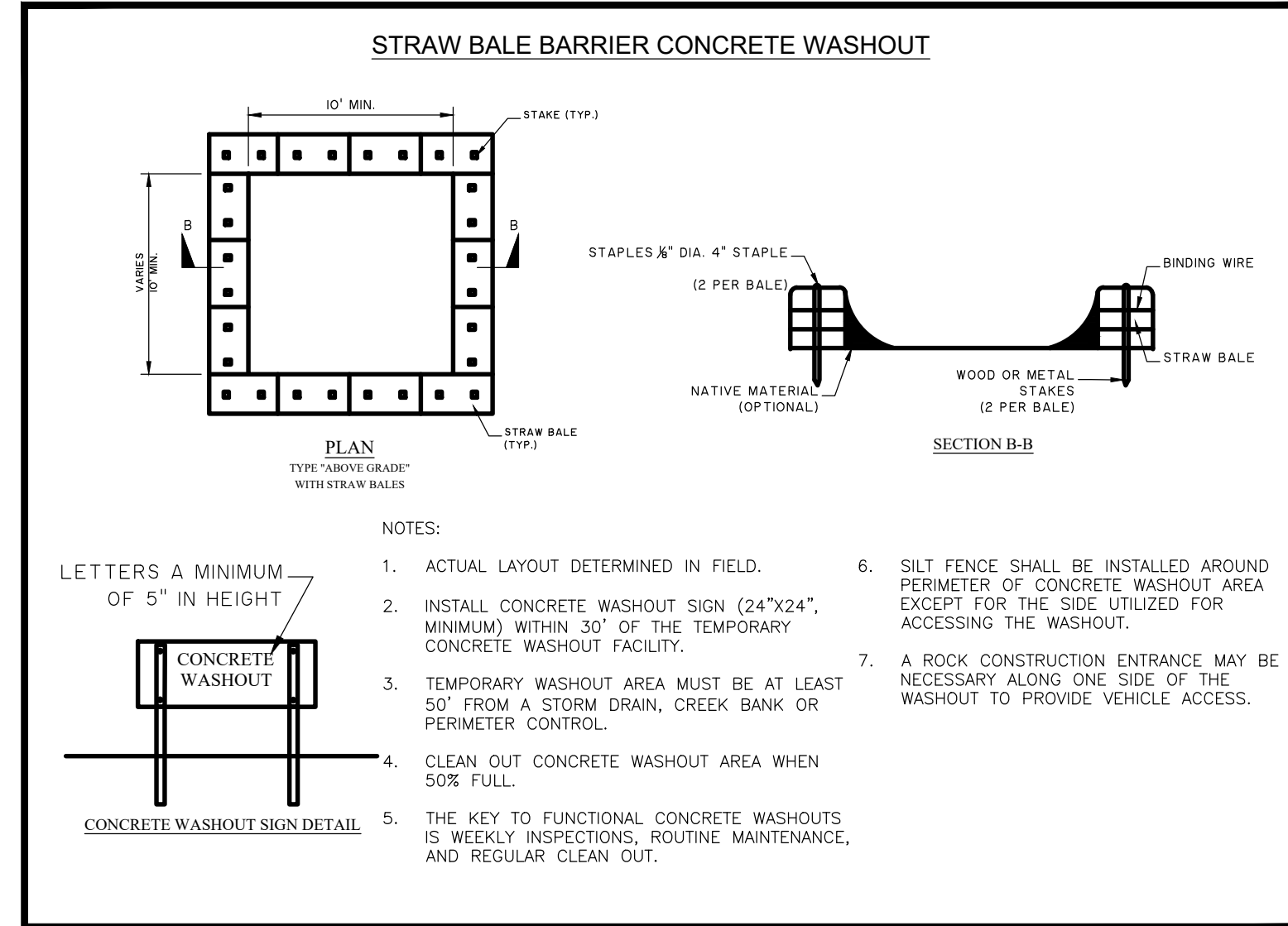


SILT FENCE MAINTENANCE

- Remove the sediment once it has accumulated to one-half the original height of the barrier.
- Replace barrier whenever it has deteriorated to such an extent that the effectiveness of the product is reduced (~ 6 months) or the height of the product is not maintaining 80% of its properly installed height.
- Remove and dispose of all accumulated sediment at the barrier before it is removed.
- Leave in place until all disturbed areas are permanently stabilized.



- NOTES:
- AVOID LOCATING ON STEEP SLOPES OR AT CURVES ON PUBLIC ROADS.
 - REMOVE ALL VEGETATION AND OTHER UNSUITABLE MATERIAL FROM THE FOUNDATION AREA, GRADE, AND CROWN FOR POSITIVE DRAINAGE.
 - AGGREGATE SIZE SHALL BE IN ACCORDANCE WITH NATIONAL STONE ASSOCIATION R-2 (1.5"-3.5" STONE).
 - GRAVEL PAD SHALL HAVE A MINIMUM THICKNESS OF 6".
 - PAD WIDTH SHALL BE EQUAL FULL WIDTH AT ALL POINTS OF VEHICULAR EGRESS, BUT NO LESS THAN 20'.
 - A DIVERSION RIDGE SHOULD BE CONSTRUCTED WHEN GRADE TOWARD PAVED AREA IS GREATER THAN 2%.
 - INSTALL PIPE UNDER THE ENTRANCE IF NEEDED TO MAINTAIN DRAINAGE DITCHES.
 - WHEN WASHING IS REQUIRED, IT SHOULD BE DONE ON AN AREA STABILIZED WITH CRUSHED STONE THAT DRAINS INTO AN APPROVED SEDIMENT TRAP OR SEDIMENT BASIN (DIVERT ALL SURFACE RUNOFF AND DRAINAGE FROM THE ENTRANCE TO A SEDIMENT CONTROL DEVICE).
 - WASHRACKS AND/OR TIRE WASHERS MAY BE REQUIRED DEPENDING ON SCALE AND CIRCUMSTANCE. IF NECESSARY, WASHRACK DESIGN MAY CONSIST OF ANY MATERIAL SUITABLE FOR TRUCK TRAFFIC THAT REMOVE MUD AND DIRT.
 - MAINTAIN AREA IN A WAY THAT PREVENTS TRACKING AND/OR FLOW OF MUD ONTO PUBLIC RIGHTS-OF-WAYS. THIS MAY REQUIRE TOP DRESSING, REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT.



- NOTES:
- ACTUAL LAYOUT DETERMINED IN FIELD.
 - INSTALL CONCRETE WASHOUT SIGN (24"x24", MINIMUM) WITHIN 30' OF THE TEMPORARY CONCRETE WASHOUT FACILITY.
 - TEMPORARY WASHOUT AREA MUST BE AT LEAST 50' FROM A STORM DRAIN, CREEK BANK OR PERIMETER CONTROL.
 - CLEAN OUT CONCRETE WASHOUT AREA WHEN 50% FULL.
 - THE KEY TO FUNCTIONAL CONCRETE WASHOUTS IS WEEKLY INSPECTIONS, ROUTINE MAINTENANCE, AND REGULAR CLEAN OUT.
 - SILT FENCE SHALL BE INSTALLED AROUND PERIMETER OF CONCRETE WASHOUT AREA EXCEPT FOR THE SIDE UTILIZED FOR ACCESSING THE WASHOUT.
 - A ROCK CONSTRUCTION ENTRANCE MAY BE NECESSARY ALONG ONE SIDE OF THE WASHOUT TO PROVIDE VEHICLE ACCESS.

STORAGE CALCULATIONS PROPOSED POND

- REQUIRED STORMWATER STORAGE = 2,379 CY (SEDIMENT STORAGE BELOW N.W.L.)
- REQUIRED SEDIMENT STORAGE = 2,379 CY (67 CY/AC X 35.5 AC. DISTURBED AREA)
- TOTAL REQUIRED STORAGE = 0 + 2,379 = 2,379 CY
- AVAILABLE STORAGE = 5,340 CY
- IS THE AVAILABLE STORAGE (4) GREATER THAN THE TOTAL REQUIRED STORAGE (3) X YES NO
- IF "NO", THE SEDIMENT STORAGE CAPACITY OF THE POND MUST BE INCREASED. CHOOSE THE METHOD TO BE USED:
N/A RAISE THE INVERT OF THE OUTLET STRUCTURE INCHES
N/A UNDERCUT THE POND FEET
 OTHER
- CLEAN-OUT ELEVATION = VARIES FEET (SEE IE) (ELEVATION CORRESPONDING TO 45 CY/AC * 35.5 AC OF DISTURBED AREA)
- IS THE LENGTH-WIDTH RATIO 2:1 OR GREATER? X YES NO
- IF "NO", THE LENGTH OF FLOW MUST BE INCREASED. CHOOSE THE METHOD TO BE USED:
N/A BAFFLES (TYPE OF BAFFLE:)
N/A OTHER

NOTE THE CMP DIAMETER AND HEIGHT IF A HALF-ROUND CMP RETROFIT IS TO BE USED.
 DIAMETER = N/A INCHES HEIGHT = N/A FEET

DEFINITION

Applying plant residues or other suitable materials, produced on the site if possible, to the soil surface.

CONDITIONS

Mulch or temporary grassing shall be applied to all exposed areas within 14 days of disturbance. Mulch can be used as a singular erosion control device for up to six months, but it shall be applied at the appropriate depth, depending on the material used, anchored, and have a continuous 90% cover or greater of the soil surface. Maintenance shall be required to maintain appropriate depth and 90% cover. Temporary vegetation may be employed instead of mulch if the area will remain undisturbed for less than six months. If an area will remain undisturbed for greater than six months, permanent vegetative techniques shall be employed.

SPECIFICATIONS

MULCHING WITHOUT SEEDING

This standard applies to grades or cleared areas where seedings may not have a suitable growing season to produce an erosion retardant cover, but can be stabilized with a mulch cover.

Site Preparation

This standard applies to grades or cleared areas where seedings may not have a suitable growing season to produce an erosion retardant cover, but can be stabilized with a mulch cover.

Mulching Materials

Select one of the following materials and apply at the depth indicated:

- Dry straw or hay shall be applied at a depth of 2 to 4 inches providing complete soil coverage. One advantage of this material is easy application.

- Wood waste (chips, sawdust or bark) shall be applied at a depth of 2 to 3 inches. Organic material from the clearing stage of development should remain on site, be chipped, and applied as mulch. This method of mulching can greatly reduce erosion control costs.
- Cutback asphalt (slow curing) shall be applied at 1200 gallons per acre (or 1/4 gallon per sq.yd.).
- Polyethylene film shall be secured over banks or stockpiled soil material for temporary protection. This material can be salvaged and reused.

Applying Mulch

When mulch is used without seeding, mulch shall be applied to provide full coverage of the exposed area.

- Dry straw or hay mulch and wood chips shall be applied uniformly by hand or by mechanical equipment.
- If the area will eventually be covered with perennial vegetation, 20-30 pounds of nitrogen per acre in addition to the normal amount shall be applied to offset the uptake of nitrogen caused by the decomposition of the organic mulches.
- Cutback asphalt shall be applied uniformly. Care should be taken in areas of pedestrian traffic due to problems of "tracking in" or damage to shoes, clothing, etc.
- Apply polyethylene film on exposed areas.

Anchoring Mulch

1. Straw or hay mulch can be pressed into the soil with a disk harrow with the disk set straight or with a special "packer disk." Disks may be smooth or serrated and should be 20 inches or more in diameter and 8 to 12 inches apart. The edges of the disk should be dull enough not to cut the mulch but to press it into the soil leaving much of it in an erect position. Straw or hay mulch shall be anchored immediately after application. Straw or hay mulch spread with special blower-type equipment may be anchored with emulsified asphalt (Grade AE-5 or SS-1). The asphalt emulsion shall be sprayed onto the mulch as it is ejected from the machine. Use 100 gallons of emulsified asphalt and 100 gallons of water per ton of mulch. Tackifiers and binders can be substituted for emulsified asphalt. Please refer to specification Tackifiers and Binders. Plastic mesh or netting with mesh no larger than one inch by one inch shall be installed according to manufacturer's specifications.

2. Netting of the appropriate size shall be used to anchor wood waste. Openings of the netting shall not be larger than the average size of the wood waste chips.

3. Polyethylene film shall be anchored trenched at the top as well as incrementally as necessary.

Ds1 DISTURBED AREA STABILIZATION (WITH MULCHING ONLY)



GSWCC LEVEL II DESIGN PROFESSIONAL CERTIFICATION #0000055539 EXPIRATION DATE: 9/12/2023

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NFI INDUSTRIES
 PORT WENTWORTH, GEORGIA
 SITE DEVELOPMENT FOR BUILDINGS A & B
 EROSION CONTROL DETAILS

JOB NO:	J-26327.0010
DATE:	2/14/22
DRAWN:	SSF
DESIGNED:	SSF
REVIEWED:	FIT
SCALE:	NOT TO SCALE

EC2.2



GSWCC LEVEL II
DESIGN PROFESSIONAL
CERTIFICATION
#0000055539
EXPIRATION DATE:
9/12/2023

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NFI INDUSTRIES
PORT WENTWORTH, GEORGIA

BUILDING #2

EROSION CONTROL DETAILS

JOB NO:	J-2829.0004
DATE:	04/30/21
DRAWN:	MLM
DESIGNED:	SSJ
REVIEWED:	JOC
APPROVED:	JOC
SCALE:	NOT TO SCALE

EC2.3

DEFINITION

The establishment of temporary vegetative cover with fast growing seedings for seasonal protection on disturbed or denuded areas.

CONDITIONS

Temporary grassing, instead of mulch, can be applied to rough graded areas that will be exposed for less than six months. Temporary vegetative measures should be coordinated with permanent measures to assure economical and effective stabilization. Most types of temporary vegetation are ideal to use as companion crops until the permanent vegetation is established.

SEEDING RATES FOR TEMPORARY SEEDING

SPECIES	RATE Per 1,000 sq.ft.	RATE Per Acre *	PLANTING DATES **
Rye	3.9 pounds	3 bu.	9/1-3/1
Ryegrass	0.9 pound	40 lbs.	8/15-4/1
Annual Lespedeza	0.9 pound	40 lbs.	1/15-3/15
Weeping Lovegrass	0.1 pound	4 lbs.	2/15-6/15
Sudangrass	1.4 pounds	60 lbs.	3/4-8/1
Browntop Millet	0.9 pound	40 lbs.	4/4-7/15
Wheat	4.1 pounds	3 bu.	9/15-2/1

* Unusual site conditions may require heavier seeding rates
** Seeding dates may need to be altered to fit temperature variations and conditions.

DEFINITION

Ds2 DISTURBED AREA STABILIZATION (WITH TEMPORARY SEEDING)

SPECIFICATIONS

Grading and Shaping

Excessive water run-off shall be reduced by properly designed and installed erosion control practices such as closed drains, ditches, dikes, diversions, sediment barriers and others.

No shaping or grading is required if slopes can be stabilized by hand-seeded vegetation or if hydraulic seeding equipment is to be used.

Seedbed Preparation

When a hydraulic seeder is used, seedbed preparation is not required. When using conventional or handseeding, seedbed preparation is not required if the soil material is loose and not sealed by rainfall.

When soil has been sealed by rainfall or consists of smooth cut slopes, the soil shall be pitted, trenched or otherwise scarified to provide a place for seed to lodge and germinate.

Lime and Fertilizer

Agricultural lime is required unless soil tests indicate otherwise. Apply agricultural lime at a rate of one ton per acre. Graded areas require lime application. Soils can be tested to determine if fertilizer is needed. On reasonably fertile soils or soil material, fertilizer is not required. For soils with very low fertility, 500 to 700 pounds of 10-10-10 fertilizer or the equivalent per acre (12-16 lbs./1,000 sq. ft.) shall be applied. Fertilizer should be applied before land preparation and incorporated with a disk, ripper or chisel.

Seeding

Select a grass or grass-legume mixture suitable to the area and season of the year. Seed shall be applied uniformly by hand, cyclone seeder, drill, cultipacker seeder, or hydraulic seeder (slurry including seed and fertilizer). Drill or cultipacker seeders should normally place seed one-quarter to one-half inch deep. Appropriate depth of planting is ten times the seed diameter. Soil should be "raked" lightly to cover seed with soil if seeded by hand.

Mulching

Temporary vegetation can, in most cases, be established without the use of mulch. Mulch without seeding should be considered for short term protection. Refer to Ds1 - Disturbed Area Stabilization (With Mulching Only).

Irrigation

During times of drought, water shall be applied at a rate not causing runoff and erosion. The soil shall be thoroughly wetted to a depth that will insure germination of the seed. Subsequent applications should be made when needed.

DEFINITION

The planting of perennial vegetation such as trees, shrubs, vines, grasses, or legumes on exposed areas for final permanent stabilization. Permanent perennial vegetation shall be used to achieve final stabilization..

CONDITIONS

Permanent perennial vegetation is used to provide a protective cover for exposed areas including cuts, fills, dams, and other denuded areas.

SPECIFICATIONS

Grading and Shaping

Grading and shaping may not be required where hydraulic seeding and fertilizing equipment is to be used. Vertical banks shall be sloped to enable plant establishment.

When conventional seeding and fertilizing are to be done, grade and shape where feasible and practical, so that equipment can be used safely and efficiently during seedbed preparation, seeding, mulching and maintenance of the vegetation.

concentrations of water that will cause excessive soil erosion shall be diverted to a safe outlet. Diversions and other treatment practices shall conform with the appropriate standards and specifications.

Seedbed Preparation

Seedbed preparation may not be required where hydraulic seeding and fertilizing equipment is to be used. When conventional seeding is to be used, seedbed preparation will be done as follows:

Broadcast plantings

- Tillage at a minimum, shall adequately loosen the soil to a depth of 4 to 6 inches, alleviate compaction, incorporate lime and fertilizer, smooth and firm the soil; allow for the proper placement of seed, sprigs, or plants; and allow for the anchoring of straw or hay mulch if a disk is to be used.
- Tillage may be done with any suitable equipment.
- Tillage should be done on the contour where feasible.

Individual Plants

Shrubs, vines and sprigs may be planted with appropriate planters or hand tools. Pine trees shall be planted manually in the subsoil furrow. Each plant shall be set in a manner that will avoid crowding the roots. Nursery stock plants shall be planted at the same depth or slightly deeper than they grew at the nursery. The tips of vines and sprigs must be at or slightly above the ground surface. Where individual holes are dug, fertilizer shall be placed in the bottom of the hole, two inches of soil shall be added and the plant shall be set in the hole.

Ds3

DISTURBED AREA STABILIZATION (WITH PERMANENT VEGETATION)

DEFINITION

The combination of asphalt emulsion and water shall consist of a homogeneous mixture satisfactory for spraying. The mixture shall consist of 100 gallons of grade SS-1h or CSS-1h emulsified asphalt and 100 gallons of water per ton of mulch.

Care shall be taken at all times to protect state waters, the public, adjacent property, pavements, curbs, sidewalks, and all other structures from asphalt discoloration.

- Hay and straw mulch shall be pressed into the soil immediately after the mulch is spread. A special "packer disk" or disk harrow with the disks set straight may be used. The disks may be smooth or serrated and should be 20 inches or more in diameter and 8 to 12 inches apart. The edges of the disks shall be dull enough to press the mulch into the ground without cutting it, leaving much of it in an erect position. Mulch shall not be plowed into the soil.
- Synthetic tackifiers or binders approved by GDOT shall be applied in conjunction with or immediately after the mulch is spread. Synthetic tackifiers shall be mixed and applied according to manufacturer's specifications. Refer to Tb - Tackifiers and Binders.
- Rye or wheat can be included with Fall and Winter plantings to stabilize the mulch. They shall be applied at a rate of one-quarter to one half bushel per acre.
- Plastic mesh or netting with mesh no larger than one inch by one inch may be needed to anchor straw or hay mulch on unstable soils and concentrated flow areas. These materials shall be installed and anchored according to manufacturer's specifications.

Irrigation

Irrigation shall be applied at a rate that will not cause runoff.

SEEDING RATES FOR PERMANENT SEEDING

SPECIES	RATE Per 1,000 sq.ft.	RATE Per Acre *	PLANTING DATES **
BAHIA	1.4 POUNDS	60 LBS.	4/1-12/31
BERMUDA	0.2 POUND	10 LBS.	2/15-7/1
CENTPEDE	BLOCK SOD ONLY	BLOCK SOD ONLY	4/1-7/1
LESPEDEZA	1.7 POUNDS	75 LBS.	1/1-12/31
WEEPING LOVE GRASS	0.1 POUND	4 LBS.	2/1-6/15
SWITCH GRASS	0.9 POUND	40 LBS.	3/15-6/1

* Unusual site conditions may require heavier seeding rates
** Seeding dates may need to be altered to fit temperature variations and conditions.

DEFINITION

Mulch is required for all permanent vegetation applications. Mulch applied to seeded areas shall achieve 75% soil cover. Select the mulching material from the following and apply as indicated:

- Dry straw or dry hay of good quality and free of weed seeds can be used. Dry straw shall be applied at the rate of 2 tons per acre. Dry hay shall be applied at a rate of 2 1/2 tons per acre.
- Wood cellulose mulch or wood pulp fiber shall be used with hydraulic seeding. It shall be applied at the rate of 500 pounds per acre. Drystraw or dry hay shall be applied (at the rate indicated above) after hydraulic seeding.
- One thousand pounds of wood cellulose or wood pulp fiber, which includes a tackifier, shall be used with hydraulic seeding on slopes 3/4:1 or steeper.
- Sericea lespedeza hay containing mature seed shall be applied at a rate of three tons per acre.
- Pine straw or pine bark shall be applied at a thickness of 3 inches for bedding purposes. Other suitable materials in sufficient quantity may be used where ornaments or other ground covers are planted. This is not appropriate for seeded areas.
- When using temporary erosion control blankets or block sod, mulch is not required.
- Bituminous treated roving may be applied on planted areas on slopes, in ditches or dry waterways to prevent erosion. Bituminous treated roving shall be applied within 24 hours after an area has been planted. Application rates and materials must meet Georgia Department of Transportation specifications.

Wood cellulose and wood pulp fibers shall not contain germination or growth inhibiting factors. They shall be evenly dispersed when agitated in water. The fibers shall contain a dye to allow visual metering and aid in uniform application during seeding.

Applying Mulch

Straw or hay mulch will be spread uniformly within 24 hours after seeding and/or planting. The mulch may be spread by blower-type spreading equipment, other spreading equipment or by hand. Mulch shall be applied to cover 75% of the soil surface.

Wood cellulose or wood fiber mulch shall be applied uniformly with hydraulic seeding equipment.

Anchoring Mulch

Anchor straw or hay mulch immediately after application by one of the following methods:

- Emulsified asphalt can be (a) sprayed uniformly onto the mulch as it is ejected from the blower machine or (b) sprayed on the mulch immediately following mulch application when straw or hay is spread by methods other than special blower equipment.

DEFINITION

On slopes too steep for the safe operation of tillage equipment, the soil surface shall be pitted or trenched across the slope with appropriate hand tools to provide two places 6 to 8 inches apart in which seed may lodge and germinate. Hydraulic seeding may also be used.

CONDITIONS

Individual Plants

- Where individual plants are to be set, the soil shall be prepared by excavating holes, opening furrows, or dibble planting.
- For nursery stock plants, holes shall be large enough to accommodate roots without crowding.
- Where pine seedlings are to be planted, subsoil under the row 36 inches deep on the contour four to six months prior to planting. Subsoiling should be done when the soil is dry, preferably in August or September.

Planting

Hydraulic Seeding

Mix the seed (inoculated if needed), fertilizer, and wood cellulose or wood pulp fiber mulch with water and apply in a slurry uniformly over the area to be treated. Apply within one hour after the mixture is made.

Conventional Seeding

Seeding will be done on a freshly prepared and firmed seedbed. For broadcast planting, use a cultipacker seeder, drill, rotary seeder, other mechanical seeder, or hand seeding to distribute the seed uniformly over the area to be treated. Cover the seed lightly with 1/8 to 1/4 inch of soil for small seed and 1/2 to 1 inch for large seed when using a cultipacker or other suitable equipment.

No-Till Seeding

No-till seeding is permissible into annual cover crops when planting is done following maturity of the cover crop or if the temporary cover stand is sparse enough to allow adequate growth of the permanent (perennial) species. No-till seeding shall be done with appropriate no-till seeding equipment. The seed must be uniformly distributed and planted at the proper depth.

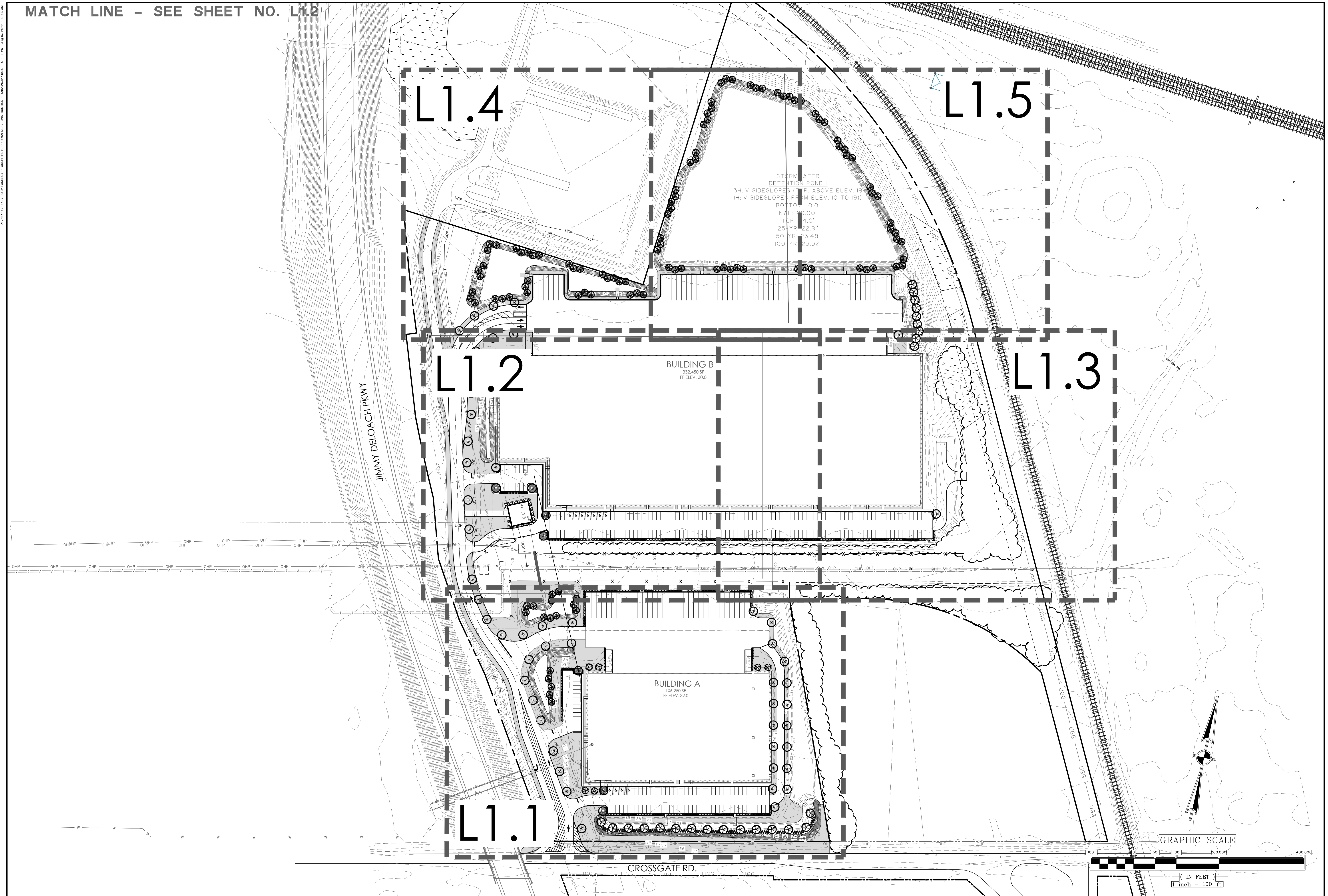
Individual Plants

Shrubs, vines and sprigs may be planted with appropriate planters or hand tools. Pine trees shall be planted manually in the subsoil furrow. Each plant shall be set in a manner that will avoid crowding the roots. Nursery stock plants shall be planted at the same depth or slightly deeper than they grew at the nursery. The tips of vines and sprigs must be at or slightly above the ground surface. Where individual holes are dug, fertilizer shall be placed in the bottom of the hole, two inches of soil shall be added and the plant shall be set in the hole.

Ds2

DISTURBED AREA STABILIZATION (WITH TEMPORARY SEEDING)

MATCH LINE - SEE SHEET NO. L1.2



2/14/2022 10:57:00 AM LANDSCAPE ARCHITECTURE CONSULTING FOR LANDSCAPE ARCHITECTURE

NO.	REVISIONS	BY	DATE

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 Savannah, GA 31405 • 912.234.5300
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NFI INDUSTRIES
 PORT WENTWORTH, GEORGIA

SITE DEVELOPMENT FOR BUILDINGS A & B

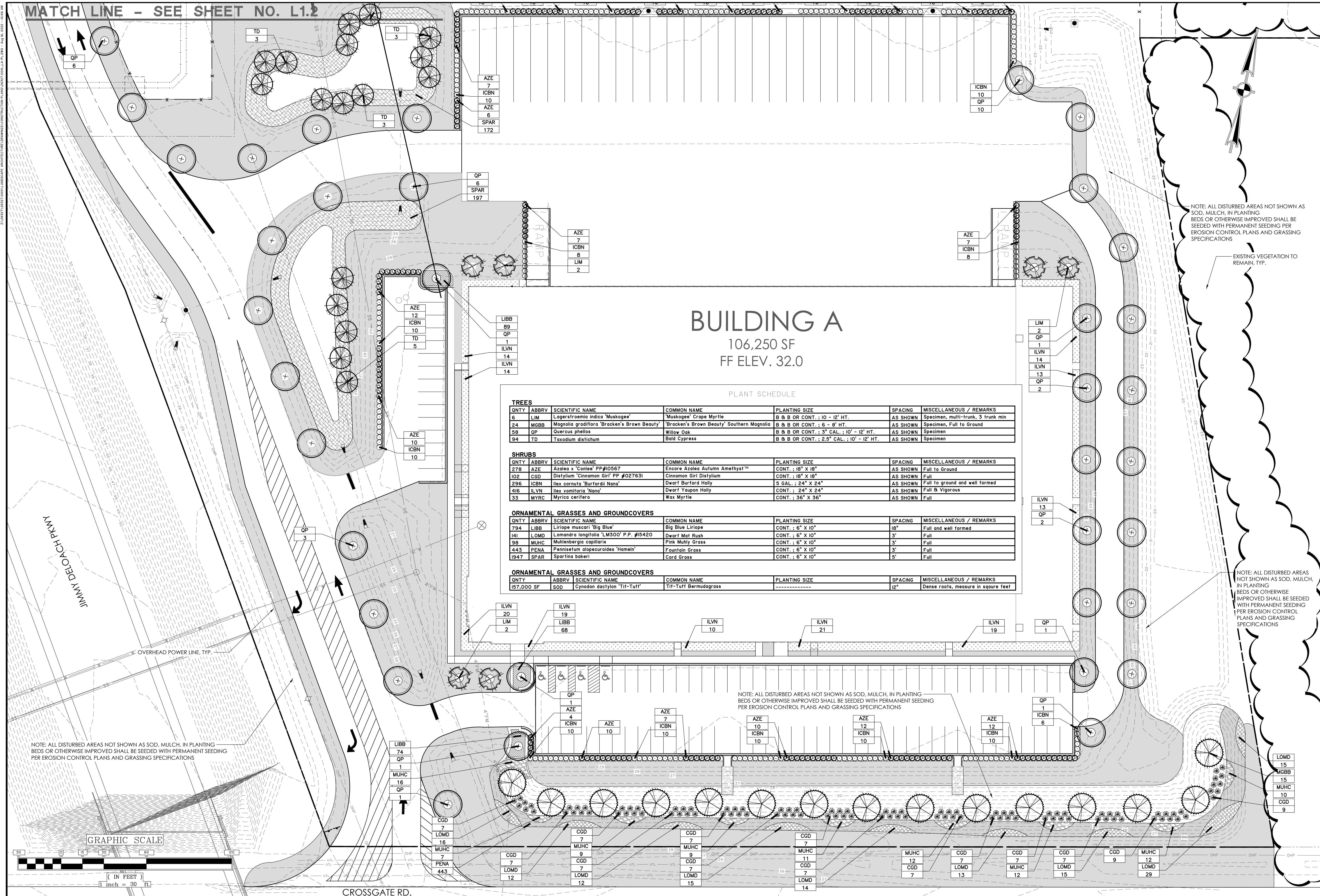
OVERALL LANDSCAPE PLAN

JOB NO: J-26327.0010
 DATE: 2/14/22
 DRAWN: MAR
 DESIGNED: MAR
 REVIEWED: RPT
 APPROVED: RPT
 SCALE: 1" = 100'

L1.0

Attachment: NFI Crossgate Ind PK 7-0035-01-007 5-Site Plan 2022-Site Dev Bldgs A&B (2743 - Site Plan Review Application (Specific) PIN # 7-0035-01-007 Crossgate Road NFI OCT 2022)

MATCH LINE - SEE SHEET NO. L1.2



BUILDING A
 106,250 SF
 FF ELEV. 32.0

PLANT SCHEDULE

TREES						
QNTY	ABBRV	SCIENTIFIC NAME	COMMON NAME	PLANTING SIZE	SPACING	MISCELLANEOUS / REMARKS
6	LIM	Lagerstroemia indica 'Muskogee'	'Muskogee' Crape Myrtle	B & B OR CONT. : 10 - 12' HT.	AS SHOWN	Specimen, multi-trunk, 3 trunk min
24	MGBB	Magnolia grandiflora 'Bracken's Brown Beauty'	'Bracken's Brown Beauty' Southern Magnolia	B & B OR CONT. : 6 - 8' HT.	AS SHOWN	Specimen, Full to Ground
58	QP	Quercus phellos	Willow Oak	B & B OR CONT. : 3" CAL. : 10' - 12' HT.	AS SHOWN	Specimen
94	TD	Taxodium distichum	Bald Cypress	B & B OR CONT. : 2.5" CAL. : 10' - 12' HT.	AS SHOWN	Specimen

SHRUBS						
QNTY	ABBRV	SCIENTIFIC NAME	COMMON NAME	PLANTING SIZE	SPACING	MISCELLANEOUS / REMARKS
278	AZE	Azalea x 'Conlee' PP#10567	Encore Azalea Autumn Amethyst™	CONT. : 18" X 18"	AS SHOWN	Full to Ground
102	CGD	Distylium 'Cinnamon Girl' PP #027631	Cinnamon Girl Distylium	CONT. : 18" X 18"	AS SHOWN	Full
296	ICBN	Ilex cornuta 'Burfordii Nano'	Dwarf Burford Holly	5 GAL. : 24" X 24"	AS SHOWN	Full to ground and well formed
416	ILVN	Ilex vomitoria 'Nano'	Dwarf Yaupon Holly	CONT. : 24" X 24"	AS SHOWN	Full & Vigorous
33	MYRC	Myrica cerifera	Wax Myrtle	CONT. : 36" X 36"	AS SHOWN	Full

ORNAMENTAL GRASSES AND GROUNDCOVERS						
QNTY	ABBRV	SCIENTIFIC NAME	COMMON NAME	PLANTING SIZE	SPACING	MISCELLANEOUS / REMARKS
794	LIBB	Liriope muscari 'Big Blue'	Big Blue Liriope	CONT. : 6" X 10"	18"	Full and well formed
141	LOMD	Lamandra longifolia 'LM300' P.P. #15420	Dwarf Mat Rush	CONT. : 6" X 10"	3'	Full
98	MUHC	Muhlenbergia capillaris	Pink Muhly Grass	CONT. : 6" X 10"	3'	Full
443	PENA	Pennisetum alopecuroides 'Hamen'	Fountain Grass	CONT. : 6" X 10"	3'	Full
1947	SPAR	Spartina bakeri	Card Grass	CONT. : 6" X 10"	5'	Full

ORNAMENTAL GRASSES AND GROUNDCOVERS						
QNTY	ABBRV	SCIENTIFIC NAME	COMMON NAME	PLANTING SIZE	SPACING	MISCELLANEOUS / REMARKS
157,000 SF	SOD	Cynodon dactylon 'Tif-Tuff'	Tif-Tuff Bermudagrass	-----	12"	Dense roots, measure in square feet

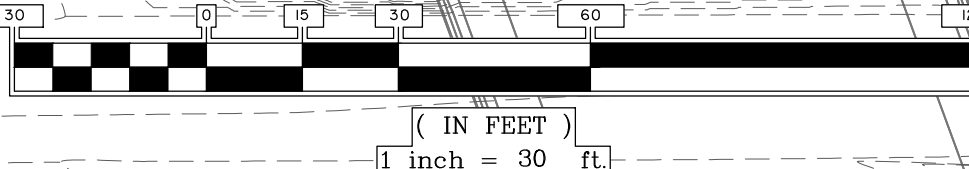
NOTE: ALL DISTURBED AREAS NOT SHOWN AS SOD, MULCH, IN PLANTING BEDS OR OTHERWISE IMPROVED SHALL BE SEEDED WITH PERMANENT SEEDING PER EROSION CONTROL PLANS AND GRASSING SPECIFICATIONS

EXISTING VEGETATION TO REMAIN, TYP.

NOTE: ALL DISTURBED AREAS NOT SHOWN AS SOD, MULCH, IN PLANTING BEDS OR OTHERWISE IMPROVED SHALL BE SEEDED WITH PERMANENT SEEDING PER EROSION CONTROL PLANS AND GRASSING SPECIFICATIONS

NOTE: ALL DISTURBED AREAS NOT SHOWN AS SOD, MULCH, IN PLANTING BEDS OR OTHERWISE IMPROVED SHALL BE SEEDED WITH PERMANENT SEEDING PER EROSION CONTROL PLANS AND GRASSING SPECIFICATIONS

GRAPHIC SCALE



NO.	REVISIONS	BY	DATE

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NFI INDUSTRIES
 PORT WENTWORTH, GEORGIA
 SITE DEVELOPMENT FOR BUILDINGS A & B
LANDSCAPE PLAN

JOB NO: J-26327.0010
 DATE: 2/14/22
 DRAWN: MAR
 DESIGNED: MAR
 REVIEWED: RPT
 APPROVED: RPT
 SCALE: 1" = 30'

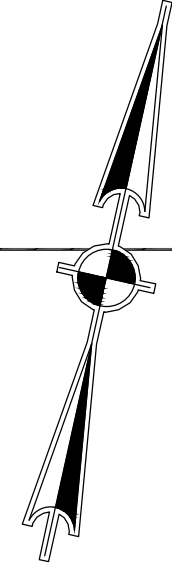
L1.1

MATCH LINE - SEE SHEET NO. L1.4

BUILDING B

332,450 SF
FF ELEV. 30.0

MATCH LINE - SEE SHEET NO. L1.3



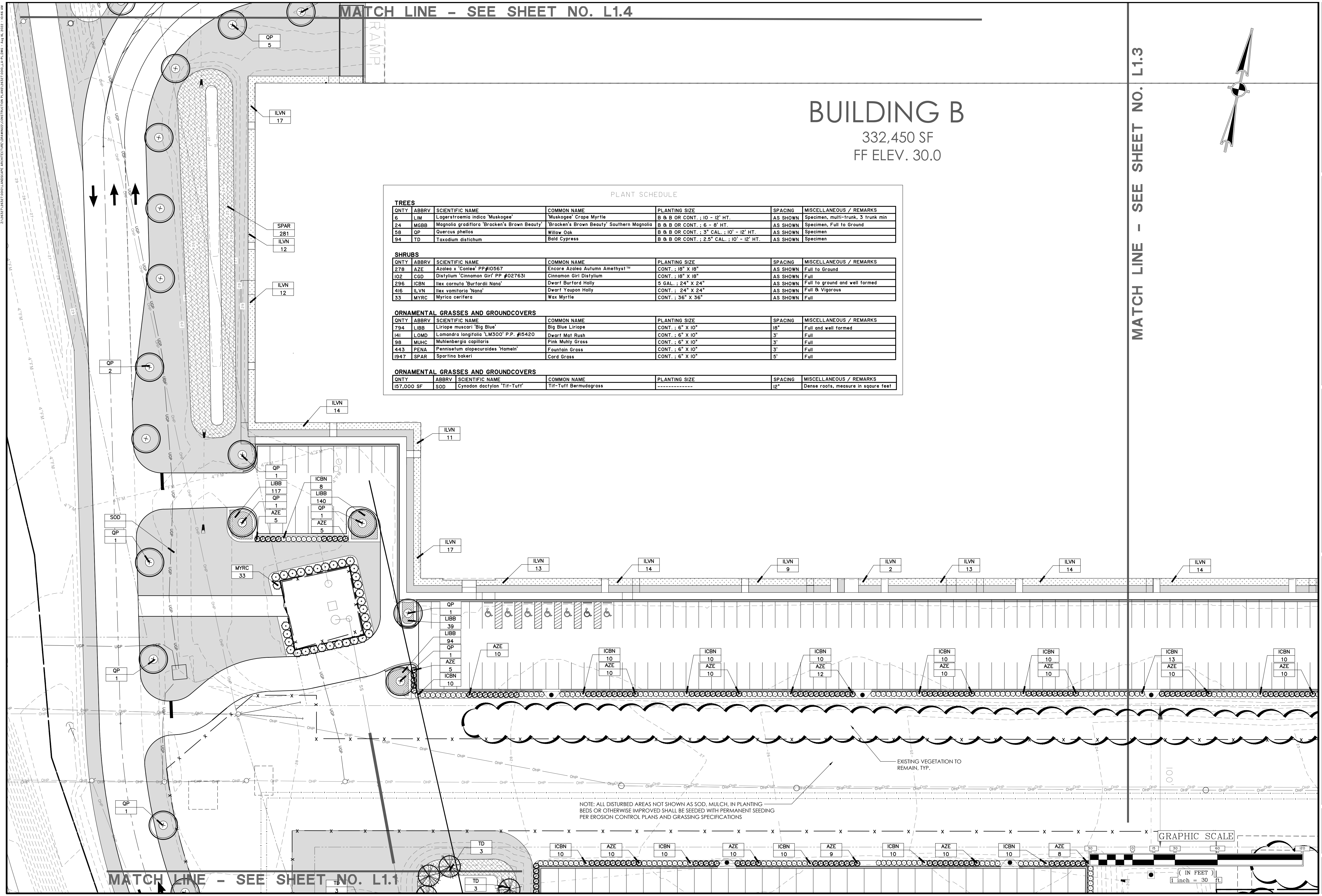
PLANT SCHEDULE

TREES						
QNTY	ABBRV	SCIENTIFIC NAME	COMMON NAME	PLANTING SIZE	SPACING	MISCELLANEOUS / REMARKS
6	LIM	Lagerstroemia indica 'Muskogee'	'Muskogee' Crepe Myrtle	B & B OR CONT. : 10' - 12' HT.	AS SHOWN	Specimen, multi-trunk, 3 trunk min
24	MGBB	Magnolia grandiflora 'Bracken's Brown Beauty'	'Bracken's Brown Beauty' Southern Magnolia	B & B OR CONT. : 6' - 8' HT.	AS SHOWN	Specimen, Full to Ground
58	QP	Quercus phellos	Willow Oak	B & B OR CONT. : 3" CAL. ; 10' - 12' HT.	AS SHOWN	Specimen
94	TD	Taxodium distichum	Bald Cypress	B & B OR CONT. : 2.5" CAL. ; 10' - 12' HT.	AS SHOWN	Specimen

SHRUBS						
QNTY	ABBRV	SCIENTIFIC NAME	COMMON NAME	PLANTING SIZE	SPACING	MISCELLANEOUS / REMARKS
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102	CGD	Distylium 'Cinnamon Girl' PP #027631	Cinnamon Girl Distylium	CONT. : 18" X 18"	AS SHOWN	Full
296	ICBN	Ilex cornuta 'Burfordii Nana'	Dwarf Burford Holly	5 GAL. ; 24" X 24"	AS SHOWN	Full to ground and well formed
416	ILVN	Ilex vomitoria 'Nana'	Dwarf Yaupon Holly	CONT. : 24" X 24"	AS SHOWN	Full & Vigorous
33	MYRC	Myrica cerifera	Wax Myrtle	CONT. : 36" X 36"	AS SHOWN	Full

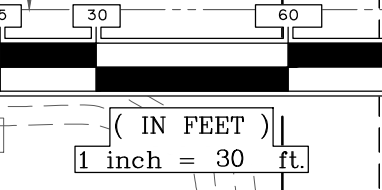
ORNAMENTAL GRASSES AND GROUNDCOVERS						
QNTY	ABBRV	SCIENTIFIC NAME	COMMON NAME	PLANTING SIZE	SPACING	MISCELLANEOUS / REMARKS
794	LIBB	Liriope muscari 'Big Blue'	Big Blue Liriope	CONT. : 6" X 10"	18"	Full and well formed
141	LOMD	Lomandra longifolia 'LM300' P.P. #15420	Dwarf Mat Rush	CONT. : 6" X 10"	3'	Full
98	MUHC	Muhlenbergia capillaris	Pink Muhly Grass	CONT. : 6" X 10"	3'	Full
443	PENA	Pennisetum alopecuroides 'Hamein'	Fountain Grass	CONT. : 6" X 10"	3'	Full
1947	SPAR	Spartina bakeri	Cord Grass	CONT. : 6" X 10"	5'	Full

ORNAMENTAL GRASSES AND GROUNDCOVERS						
QNTY	ABBRV	SCIENTIFIC NAME	COMMON NAME	PLANTING SIZE	SPACING	MISCELLANEOUS / REMARKS
157,000 SF	SOD	Cynodon dactylon 'Tif-Tuff'	Tif-Tuff Bermudagrass	-----	12"	Dense roots, measure in square feet



MATCH LINE - SEE SHEET NO. L1.1

GRAPHIC SCALE



NO.	REVISIONS	BY	DATE

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NFI INDUSTRIES
 PORT WENTWORTH, GEORGIA

SITE DEVELOPMENT FOR BUILDINGS A & B

LANDSCAPE PLAN

JOB NO: J-26327.0010
 DATE: 2/14/22
 DRAWN: MAR
 DESIGNED: MAR
 REVIEWED: RPT
 APPROVED: RPT
 SCALE: 1" = 30'

L1.2

MATCH LINE - SEE SHEET NO. L1.5

MATCH LINE - SEE SHEET NO. L1.2

QP 1
MGBB 2

ILVN 15

ILVN 14
ILVN 14

NOTE: ALL DISTURBED AREAS NOT SHOWN AS SOD, MULCH, IN PLANTING BEDS OR OTHERWISE IMPROVED SHALL BE SEEDED WITH PERMANENT SEEDING PER EROSION CONTROL PLANS AND GRASSING SPECIFICATIONS

EXISTING VEGETATION TO REMAIN, TYP.

GRAPHIC SCALE

(IN FEET)
1 inch = 30 ft.

PLANT SCHEDULE

TREES						
QNTY	ABBRV	SCIENTIFIC NAME	COMMON NAME	PLANTING SIZE	SPACING	MISCELLANEOUS / REMARKS
6	LIM	Lagerflraemia indica 'Muskogee'	'Muskogee' Grape Myrtle	B & B OR CONT. : 10' - 12' HT.	AS SHOWN	Specimen, multi-trunk, 3 trunk min
24	MGBB	Magnolia grandiflora 'Bracken's Brown Beauty'	'Bracken's Brown Beauty' Southern Magnolia	B & B OR CONT. : 6' - 8' HT.	AS SHOWN	Specimen, Full to Ground
58	QP	Quercus phellos	Willow Oak	B & B OR CONT. : 3" CAL. ; 10' - 12' HT.	AS SHOWN	Specimen
94	TD	Taxodium distichum	Bald Cypress	B & B OR CONT. : 2.5" CAL. ; 10' - 12' HT.	AS SHOWN	Specimen
SHRUBS						
QNTY	ABBRV	SCIENTIFIC NAME	COMMON NAME	PLANTING SIZE	SPACING	MISCELLANEOUS / REMARKS
278	AZE	Azalea x 'Conlee' PP#10567	Encore Azalea Autumn Amethyst™	CONT. : 18" X 18"	AS SHOWN	Full to Ground
102	CGD	Distylium 'Cinnamon Girl' PP #027631	Cinnamon Girl Distylium	CONT. : 18" X 18"	AS SHOWN	Full
296	ICBN	Ilex cornuta 'Burfordii Nana'	Dwarf Burford Holly	5 GAL. : 24" X 24"	AS SHOWN	Full to ground and well formed
416	ILVN	Ilex vomitoria 'Nana'	Dwarf Yaupon Holly	CONT. : 24" X 24"	AS SHOWN	Full & Vigorous
33	MYRC	Myrica cerifera	Wax Myrtle	CONT. : 36" X 36"	AS SHOWN	Full
ORNAMENTAL GRASSES AND GROUNDCOVERS						
QNTY	ABBRV	SCIENTIFIC NAME	COMMON NAME	PLANTING SIZE	SPACING	MISCELLANEOUS / REMARKS
794	LIBB	Liriope muscari 'Big Blue'	Big Blue Liriope	CONT. : 6" X 10"	18"	Full and well formed
141	LOMD	Lomandra longifolia 'LM300' P.P. #15420	Dwarf Mat Rush	CONT. : 6" X 10"	3"	Full
98	MUHC	Muhlenbergia capillaris	Pink Muhly Grass	CONT. : 6" X 10"	3"	Full
443	PENA	Pennisetum alopecuroides 'Hamel'	Fountain Grass	CONT. : 6" X 10"	3"	Full
1947	SPAR	Spartina bakeri	Cord Grass	CONT. : 6" X 10"	5"	Full
ORNAMENTAL GRASSES AND GROUNDCOVERS						
QNTY	ABBRV	SCIENTIFIC NAME	COMMON NAME	PLANTING SIZE	SPACING	MISCELLANEOUS / REMARKS
157,000 SF	SOD	Cynodon dactylon 'Tif-Tuff'	Tif-Tuff Bermudagrass		12"	Dense roots, measure in square feet

NOTE: ALL DISTURBED AREAS NOT SHOWN AS SOD, MULCH, IN PLANTING BEDS OR OTHERWISE IMPROVED SHALL BE SEEDED WITH PERMANENT SEEDING PER EROSION CONTROL PLANS AND GRASSING SPECIFICATIONS

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NFI INDUSTRIES
 PORT WENTWORTH, GEORGIA
 SITE DEVELOPMENT FOR BUILDINGS A & B
 LANDSCAPE PLAN

JOB NO:	J-26327.0010
DATE:	2/14/22
DRAWN:	MAR
DESIGNED:	MAR
REVIEWED:	RPT
APPROVED:	RPT
SCALE:	1" = 30'

L1.3

Attachment: NFI Crossgate Ind PK 7-0035-01-007 5-Site Plan 2022-Site Dev Bldgs A&B (2743 - Site Plan Review Application (Specific)) PIN # 7-0035-01-007 Crossgate Road NFI OCT 2022)

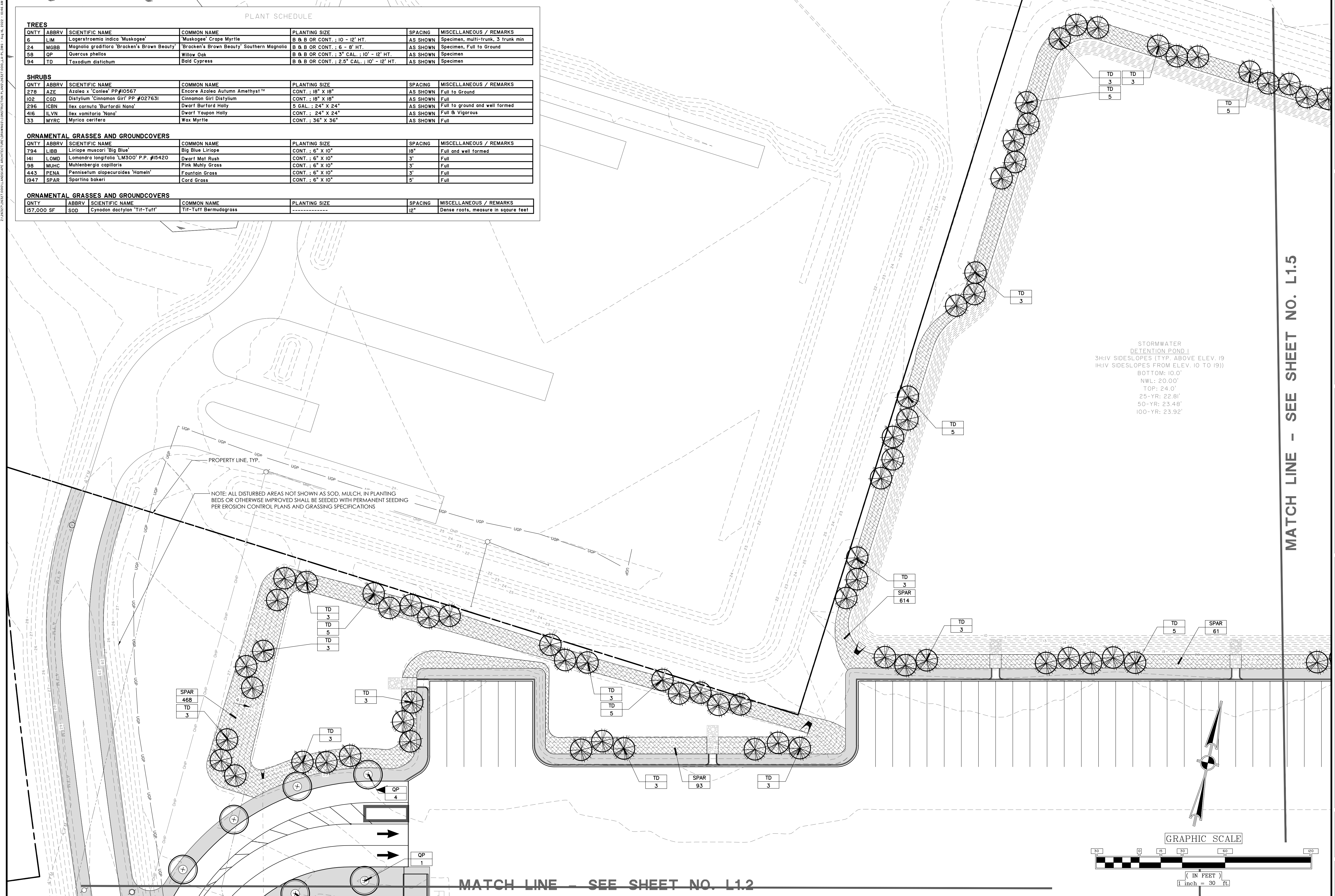
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STORMWATER
DETENTION POND 1
3H:1V SIDESLOPES (TYP. ABOVE ELEV. 19
1H:1V SIDESLOPES FROM ELEV. 10 TO 19))
BOTTOM: 10.0'
NWL: 20.00'
TOP: 24.0'
25-YR: 22.81'
50-YR: 23.48'
100-YR: 23.92'

NOTE: ALL DISTURBED AREAS NOT SHOWN AS SOD, MULCH, IN PLANTING BEDS OR OTHERWISE IMPROVED SHALL BE SEEDED WITH PERMANENT SEEDING PER EROSION CONTROL PLANS AND GRASSING SPECIFICATIONS

MATCH LINE - SEE SHEET NO. L1.5

MATCH LINE - SEE SHEET NO. L1.2

NO.	REVISIONS	BY	DATE

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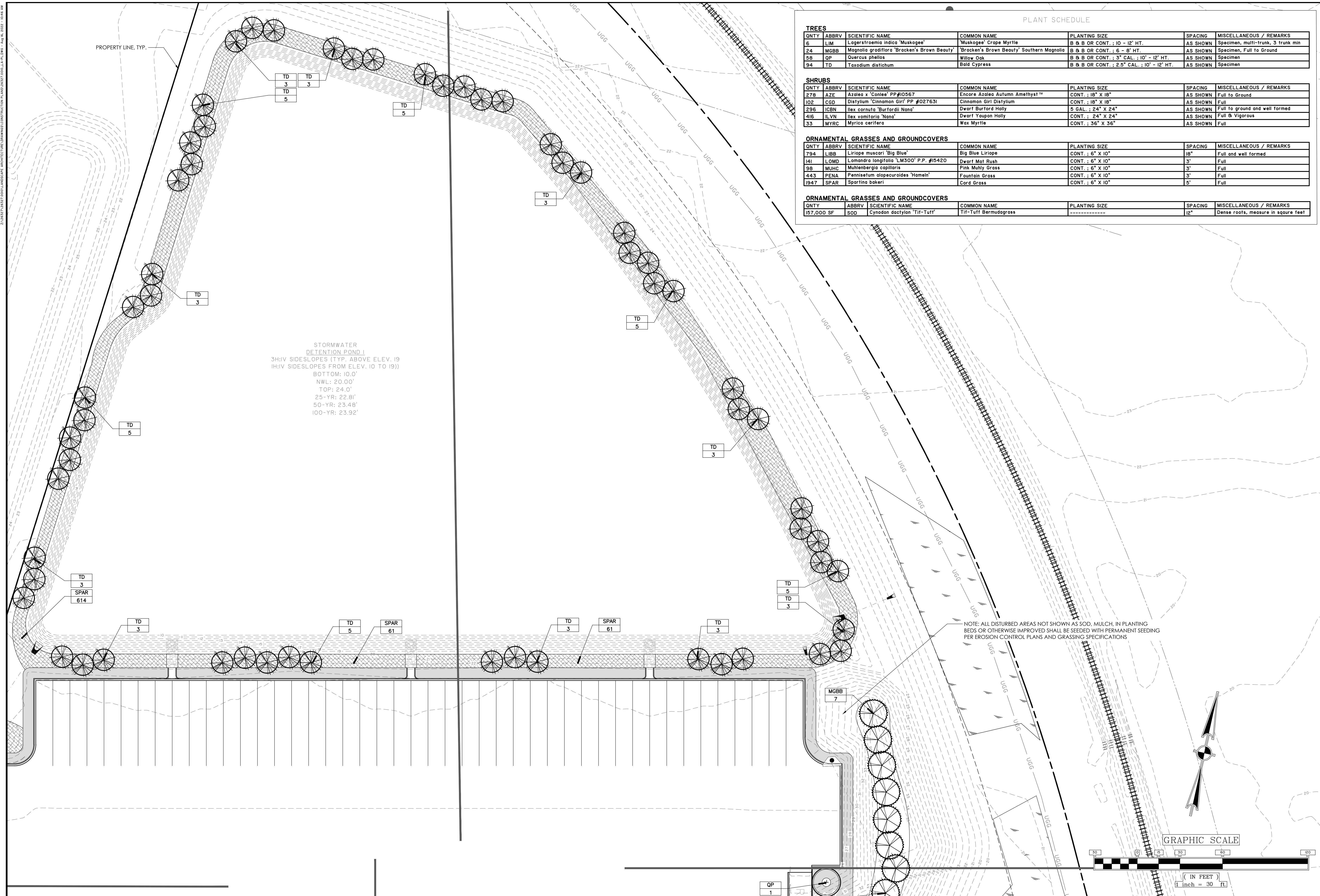
NFI INDUSTRIES
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JOB NO:	J-26327.0010
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L1.4

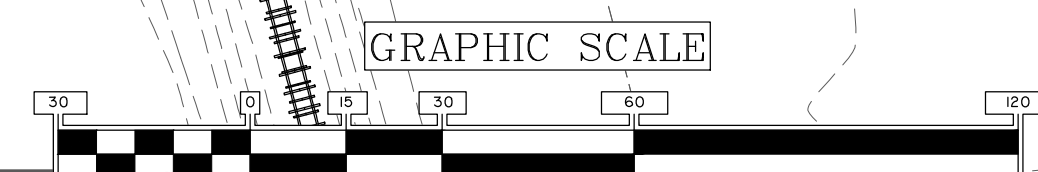
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Attachment: NFI Crossgate Ind PK 7-0035-01-007 5-Site Plan 2022-Site Dev Bldgs A&B (2743 - Site Plan Review Application (Specific) PIN # 7-0035-01-007 Crossgate Road NFI OCT 2022)



STORMWATER
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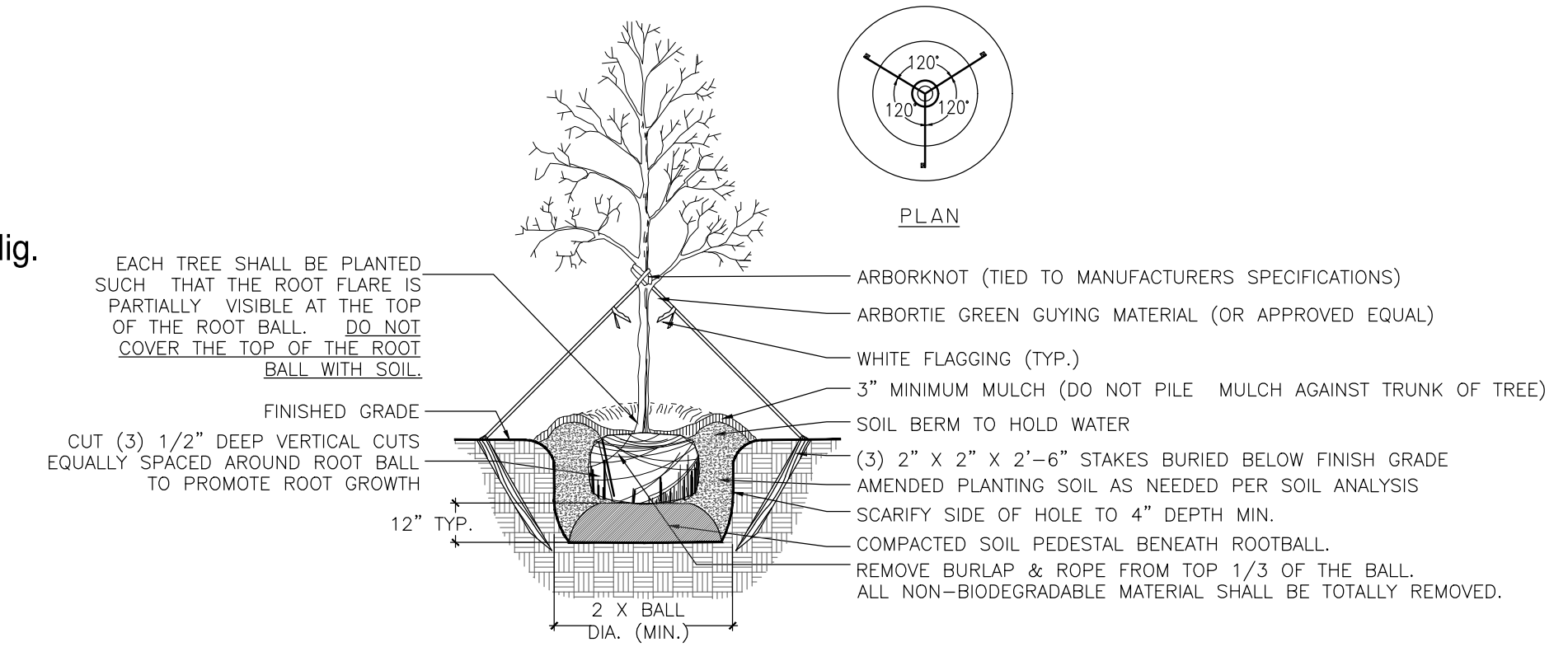
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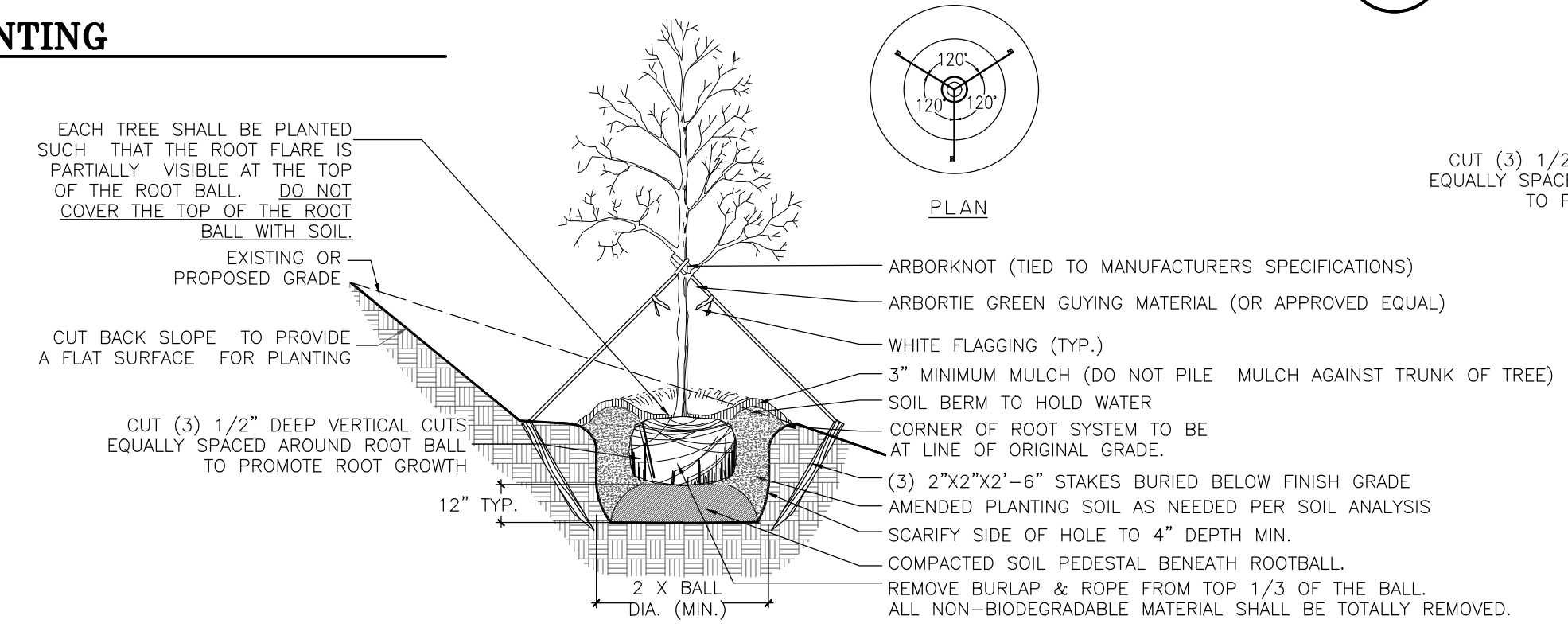


Know what's below.
Call before you dig.



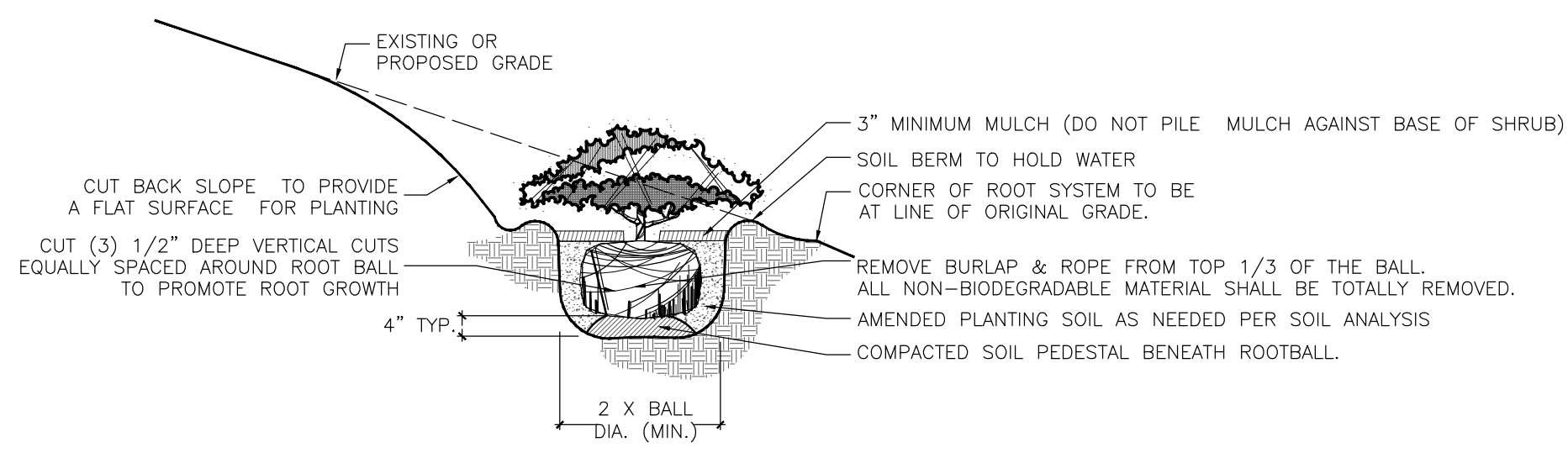
- NOTES:
- 1) SEE LANDSCAPE NOTES FOR THE TYPE OF MULCH MATERIAL TO USE.
 - 2) ONLY GUY TREES WHEN SITE CONDITIONS REQUIRE IT.
 - 3) PLANT ROOT BALL FLUSH WITH FINISHED GRADE UNLESS AREA HAS POOR DRAINAGE, IN WHICH CASE PLANT ROOTBALL 2" ABOVE GRADE.
 - 4) REMOVE ALL BRANCHES THAT ARE DAMAGED, RUBBING, OR CROSSING OTHER BRANCHES.
 - 5) NEVER CUT A CENTRAL LEADER.
 - 6) FINAL TREE STAKING AND PLACEMENT TO BE APPROVED BY OWNER'S REP.
 - 7) CONTRACTOR SHALL ASSURE PERCOLATION OF ALL PLANTING PITS PRIOR TO INSTALLATION.

TREE PLANTING
NOT TO SCALE



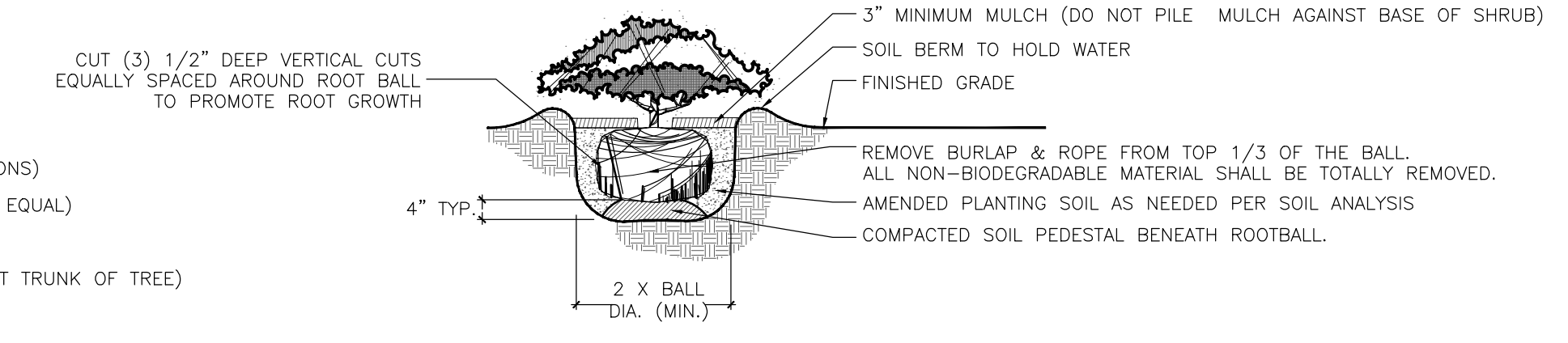
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TREE PLANTING ON A SLOPE
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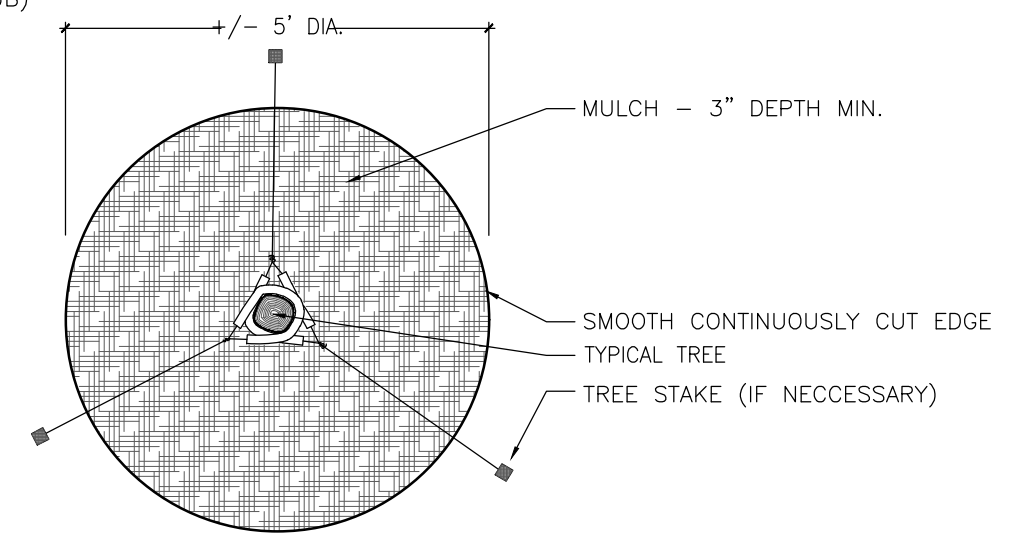
- NOTES:
- 1) SEE LANDSCAPE NOTES FOR THE TYPE OF MULCH MATERIAL TO USE.
 - 2) WHEN GROUNDCOVER AND SHRUBS ARE USED IN MASSES, DO NOT FORM SOIL BERMS ON INDIVIDUAL PLANTS AND ENTIRE PLANTING BED SHALL BE EXCAVATED TO RECEIVE PLANTING SOIL AND PLANT MATERIAL.
 - 3) PLANT ROOT BALL FLUSH WITH FINISHED GRADE UNLESS AREA HAS POOR DRAINAGE, IN WHICH CASE PLANT ROOTBALL 2" ABOVE GRADE. COORDINATE WITH OWNER'S REP. PRIOR TO SETTING ROOTBALL ELEVATIONS.
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SHRUB PLANTING ON A SLOPE
NOT TO SCALE



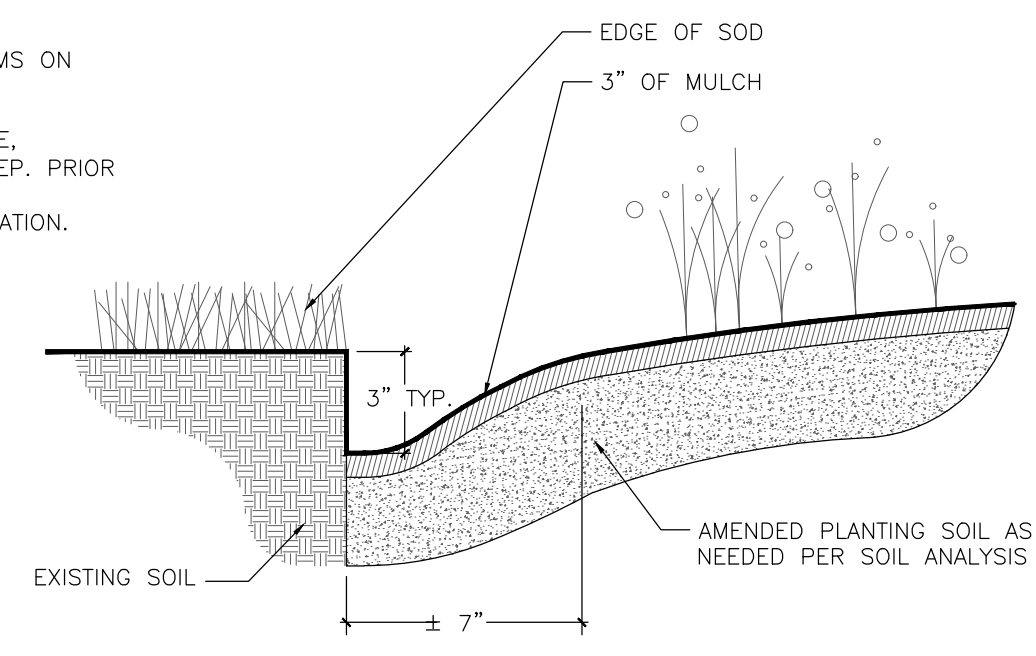
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SHRUB PLANTING
NOT TO SCALE



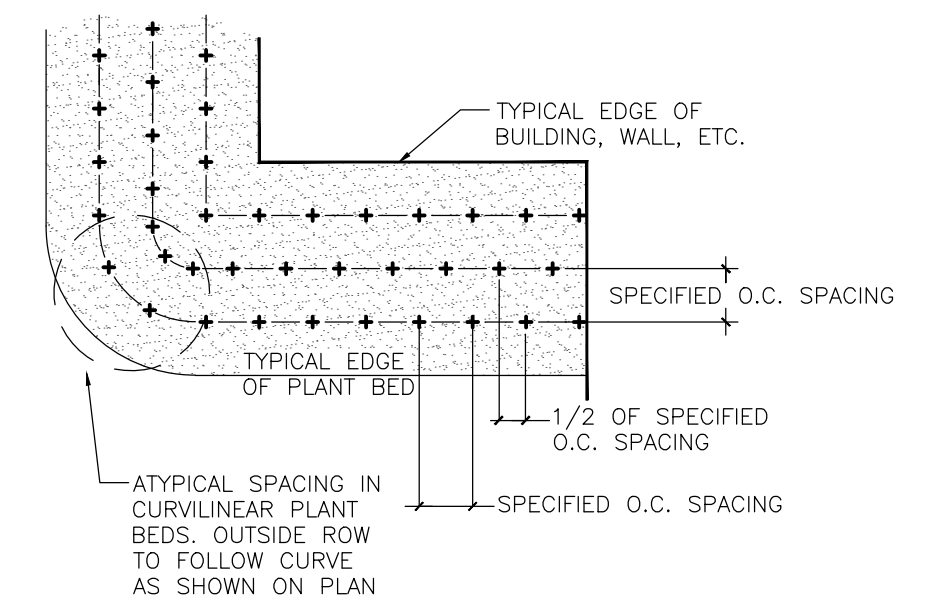
- NOTES:
- 1) SEE LANDSCAPE NOTES FOR THE TYPE OF MULCH MATERIAL TO USE.
 - 2) APPLY MULCH IN A +/- 5' DIAMETER WHERE PROPOSED TREE PLANTINGS OCCUR IN SOD OR SEEDED AREA.

TREE RING
NOT TO SCALE



- NOTES:
- 1) TRENCH EDGE TO BE LOCATED BETWEEN PLANTING BEDS AND ALL LAWN AREAS.

SOD TO PLANT BED EDGE
NOT TO SCALE



- NOTES:
- 1) EXCAVATE ENTIRE BED SPECIFIED FOR GROUNDCOVER PLANTING TO A DEPTH OF 12".

PLANT SPACING DETAIL
NOT TO SCALE

GENERAL PLANTING / IRRIGATION NOTES:

1. REQUIREMENTS FOR THE MEASUREMENTS, BRANCHING, GRADING, QUALITY, BALLING AND BURLAPPING OF PLANTS IN THE PLANT LIST SHOULD FOLLOW OR EXCEED THE STANDARDS CURRENTLY RECOMMENDED BY THE AMERICAN ASSOCIATION OF NURSERYMEN, INC. IN THE AMERICAN STANDARD FOR NURSERY STOCKS (ANS). UNLESS OTHERWISE SPECIFIED, ANY SIZE SPECIFIED SHALL BE CONSIDERED MINIMUM. MINIMUMS FOR HEIGHT, SPREAD, CALIPER, ETC. SHALL TAKE PRECEDENCE OVER A SPECIFIED CONTAINER SIZE. (I.E. - IF 7 GALLON IS REQUIRED, TO PROVIDE A SPECIFIED HEIGHT OR SPREAD THAT IS SPECIFIED AS A 3 GALLON, THEN THE 7 GALLON SHALL BE SHALL BE REQUIRED AND INCLUDED IN THE BASE BID AND SHALL NOT BE CONSIDERED A CHANGE ORDER.)
2. ALL PLANTS SHALL HAVE A WELL FORMED HEAD WITH MINIMUM CALIPER, HEIGHT AND SPREAD OF THE SIDE BRANCHES AS SHOWN ON THE PLANT LIST. TRUNKS SHALL BE UNDAMAGED AND SHAPE SHALL BE TYPICAL OF THE SPECIES.
3. MEASUREMENT OF CONIFER HEIGHT SHALL INCLUDE NOT MORE THAN FIFTY (50) PER CENT OF THIS YEARS' VERTICAL GROWTH (TOP CANDLE).
4. THE LANDSCAPE CONTRACTOR IS HEREBY NOTIFIED OF THE EXISTENCE OF UNDERGROUND UTILITIES WITHIN THE LIMITS OF THE PROJECT AREA. THE CONTRACTOR SHOULD VERIFY THE EXACT LOCATION OF ALL UTILITY LINES PRIOR TO COMMENCEMENT OF DIGGING OPERATIONS. CONTRACTOR RESPONSIBLE FOR LOCATING, PROTECTING, AND REPAIRING ALL DAMAGE TO BUILDINGS, UTILITIES, PAVEMENT, AND CURB & GUTTER. ANY REPAIRS SHALL BE DONE PROMPTLY AT CONTRACTOR'S EXPENSE.
5. THE CONTRACTOR WILL BE RESPONSIBLE FOR STAKING AND LAYOUT OF PLANTINGS ON THIS PROJECT. THE LANDSCAPE ARCHITECT OR OWNER SHALL BE ADVISED WHEN STAKES ARE READY FOR INSPECTION ON VARIOUS PLANTING AREAS. ALL LAYOUT WORK SHALL BE INSPECTED AND APPROVED BY THE LANDSCAPE ARCHITECT AND OWNER PRIOR TO OPENING ANY PLANTING PITS.
6. IT IS THE RESPONSIBILITY OF THE LANDSCAPE CONTRACTOR TO VERIFY THAT EACH EXCAVATED TREE OR SHRUB PIT WILL PERCOLATE (DRAIN) PRIOR TO ADDING TOPSOIL AND INSTALLING TREES OR SHRUBS. THE CONTRACTOR SHALL FILL THE BOTTOM OF HOLES WITH SIX (6) INCHES OF WATER. THIS WATER SHOULD PERCOLATE WITHIN A TWENTY-FOUR (24) HOUR PERIOD. IF WATER DOESN'T PERC, CONTRACTOR SHALL NOTIFY THE OWNER'S REP PRIOR TO INSTALLING PLANTS.
7. SHOULD THE LANDSCAPE CONTRACTOR ENCOUNTER UNSATISFACTORY SURFACE OR SUBSURFACE DRAINAGE CONDITIONS, SOIL DEPTH, LATENT SOILS, HARD PANS, STEAM OR OTHER UTILITY LINES OR OTHER CONDITIONS THAT WILL JEOPARDIZE THE HEALTH AND VIGOR OF THE PLANTS, HE MUST ADVISE THE LANDSCAPE ARCHITECT IN WRITING OF THE CONDITIONS PRIOR TO INSTALLING THE PLANTS. OTHERWISE, THE LANDSCAPE CONTRACTOR WARRANTS THAT THE PLANTING AREAS ARE SUITABLE FOR PROPER GROWTH AND DEVELOPMENT OF THE PLANTS TO BE INSTALLED.
8. THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR CLEANING UP THE SITE AT THE COMPLETION OF THE PROJECT AND SHALL MAINTAIN THE SITE IN A REASONABLY NEAT AND CLEAN STATE THROUGHOUT THE INSTALLATION PROCESS. STREETS AND PAVED AREAS SHALL BE CLEANED REGULARLY TO REMOVE CONSTRUCTION MATERIALS AND OTHER DEBRIS RESULTING FROM WORK OF THE PROJECT.
9. REPLACEMENTS OF DEAD OR UNSATISFACTORY MATERIAL SHALL BE MADE AS SPECIFIED IN THE PLANT LIST. THE OWNER OR LANDSCAPE ARCHITECT SHALL INSPECT REPLACED PLANTS WHEN ALL REPLACEMENTS HAVE BEEN MADE. REPLACEMENTS ARE TO BE ALIVE AND IN A HEALTHY CONDITION WHEN THE REPLACEMENTS ARE COMPLETE. REPLACEMENTS ARE NOT SUBJECT TO AN ADDITIONAL GUARANTEE, BUT THE LANDSCAPE CONTRACTOR SHALL CONSULT WITH THE LANDSCAPE ARCHITECT ON REASON FOR PLANT DECLINE/DEATH AND HOW TO AVOID FUTURE INSTANCES.
10. SHOULD THE CONTRACTOR NOT MAKE REPLACEMENTS IN A SATISFACTORY AND TIMELY FASHION IN ACCORD WITH THE PLANTING NOTES, THE OWNER, AFTER PROPER NOTIFICATION TO THE CONTRACTOR MAY UTILIZE THE FUNDS OF THE RETAINAGE TO HAVE THE REPLACEMENTS MADE IN ACCORDANCE WITH THE SPECIFICATIONS BY ANOTHER CONTRACTOR.
11. NO EXCAVATION OR PLANTING PIT SHALL BE LEFT UNATTENDED OVERNIGHT.
12. PLANT MATERIAL QUANTITIES PROVIDED IN THE PLANT LIST ARE FOR REFERENCE ONLY AND THE CONTRACTOR IS RESPONSIBLE FOR THE ACTUAL PLANT MATERIAL COUNTS. DISCREPANCIES BETWEEN QUANTITIES SHOWN ON THE PLANTING PLAN AND THOSE IN THE PLANT LIST SHALL BE BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT FOR CLARIFICATION. IF CLARIFICATION OF DISCREPANCIES FROM THE LANDSCAPE ARCHITECT IS NOT POSSIBLE, THEN QUANTITIES SHOWN ON THE PLANTING PLAN SHALL TAKE PRECEDENCE.
13. REMOVE BURLAP/STRAPPING AND WIRE BASKET FROM TOP 1/3 OF ROOT BALL ON TREES.
14. REMOVE PAPER, PLASTIC OR METAL AROUND ROOT BALLS OF SHRUBS.

15. DO NOT WRAP TREES.
 16. WATER ALL PLANT MATERIAL IMMEDIATELY AFTER PLANTING.
 17. TREE GUYING MATERIAL SHALL BE 'ARBOR-TIE' OR EQUIVALENT.
 18. ALL PLANT BEDS TO BE MULCHED WITH 3" DEPTH OF PINE STRAW MULCH.
 19. ALL AREAS OF PLANTING, INCLUDING AREAS OF GRASS SEEDING AND SOD, SHALL BE GRADED TO PROVIDE POSITIVE DRAINAGE AND SHALL BE PROVIDED APPROPRIATE SOIL FOR THE PROPOSED PLANTINGS. THE LANDSCAPE CONTRACTOR SHALL ADJUST PH AND / OR SOIL FERTILITY BY UNIFORMLY INCORPORATING REQUIRED SOIL CONDITIONING MATERIALS AT THE RATE AND DEPTH DETERMINED BY THE ANALYSIS OF THE SOIL TEST (AS REQUIRED IN 3.02 AND 3.13 OF THE LANDSCAPING SPECIFICATIONS). EACH SOIL TEST SHALL BE SPECIFIC TO THE PROPOSED PLANT MATERIAL TO BE INSTALLED IN A GIVEN AREA.
 20. ALL EXISTING VEGETATION WITHIN AREAS TO BE PLANTED / SODDED / SEEDED SHALL BE REMOVED PRIOR TO PLANTING / SODDING / SEEDING. ALL AREAS INDICATED TO BE GRASS SEED SHALL BE SEEDED PER GRASSING SPECIFICATIONS FOR PERMANENT STABILIZATION.
 21. CONTRACTOR TO SUPPLY AUTOMATIC IRRIGATION SYSTEMS, COMPLETE AND INSTALLED. SYSTEM TO INCLUDE ALL VALVES, PIPES, HEADS, FITTINGS, RAIN SENSOR, AND CLOCK AND TO PROVIDE 100% COVERAGE OF ALL NEW SODDED AND IMPROVED EXISTING GRASS AREAS, TREES, SHRUBS AND PLANTING BEDS. COORDINATE IRRIGATION WITH OWNER'S REPRESENTATIVE. (CONTRACTOR SHALL PROVIDE SHOP DRAWINGS OF PROPOSED IRRIGATION SYSTEM FOR OWNER ACCEPTANCE)
 22. CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS FOR AUTOMATIC IRRIGATION SYSTEMS. CONTRACTOR SHALL PROVIDE ELECTRIC METER AND SERVICE IN ACCORDANCE WITH STATE AND LOCAL CODES FOR IRRIGATION SYSTEM. LOCATION OF METERS AND CONTROL PANELS FOR IRRIGATION SHALL BE APPROVED BY OWNER'S REP. PRIOR TO INSTALLATION.
 23. WHERE IRRIGATION SYSTEM WILL BE INSTALLED WITH ANY WATER SOURCE OTHER THAN DOMESTIC POTABLE WATER, LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR IRRIGATION WATER TESTING. IRRIGATION WATER SHALL BE TESTED FOR LEVELS OF pH, ALKALINITY AND SOLUBLE SALTS. SUBMIT TEST RESULTS TO OWNER'S REPRESENTATIVE FOR REVIEW PRIOR TO INSTALLATION OR ORDERING OF IRRIGATION EQUIPMENT, PUMPS OR WELL DIGGING.
 24. ALL TREES SHALL BE INSTALLED PER THE REQUIREMENTS OF THE PORT WENTWORTH, GEORGIA APPLICABLE ORDINANCES.
 25. ALL PLANT BEDS TO RECEIVE WEED INHIBITOR OF PREEN OR ACCEPTED ALTERNATE.
 26. FOR SUMMERTIME PLANTINGS, CONTRACTOR TO USE EITHER CONTAINERIZED OR PRE-DUG B & B PLANT MATERIAL.
 27. AS AN ADD ALTERNATE BID, THE CONTRACTOR SHALL PROVIDE "SOIL MOIST TRANSPLANT" (OR ACCEPTED EQUIVALENT) AT THE APPLICATION RATES SHOWN BELOW FOR ALL NEWLY INSTALLED PLANTINGS.
- | Container Size/Amount | Caliper Size/Amount |
|-----------------------|---------------------|
| 1 Gallon/.75 oz. | 1"/3.0 oz. |
| 2 Gallon/1.5 oz. | 2"/6.0 oz. |
| 3 Gallon/1.5 oz. | 3"/9.0 oz. |
| 5 Gallon/2.0 oz. | 4"/12.0 oz. |
| 7 Gallon/3.0 oz. | 5"/15.0 oz. |
| 10 Gallon/3.0 oz. | 6"/18.0 oz. |
| 15 Gallon/5.0 oz. | 7"/21.0 oz. |
| 20 Gallon/7.0 oz. | 8"/24.0 oz. |
| Plant Height/Amount | Box Size/Amount |
| 2'/1.5 oz. | 16"/5.0 oz. |
| 3'/2.0 oz. | 20"/6.0 oz. |
| 4'/3.0 oz. | 24"/9.0 oz. |
| 5'/4.0 oz. | 30"/12.0 oz. |
| 6'/5.0 oz. | 36"/18.0 oz. |
| 7'/6.0 oz. | 42"/27.0 oz. |
| | 60"/30.0 oz. |

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NFI INDUSTRIES
PORT WENTWORTH, GEORGIA
SITE DEVELOPMENT FOR BUILDINGS A & B
LANDSCAPE DETAILS

JOB NO: J-26327.0010
DATE: 2/14/22
DRAWN: MAR
DESIGNED: MAR
REVIEWED: RPT
APPROVED: RPT
SCALE: NTS

L2.1

Attachment: NFI Crossgate Ind PK 7-0035-01-007 5-Site Plan 2022-Site Dev Bldgs A&B (2743 - Site Plan Review Application (Specific) PIN # 7-0035-01-007 Crossgate Road NFI OCT 2022)

LANDSCAPING SPECIFICATION

LANDSCAPING

PART 1 - GENERAL

1.1 DESCRIPTION

- A. The work covered in this section consists of soil preparation, fine grading, lawns, trees, shrubs and ground cover plantings, their protection and maintenance of planted areas until acceptance.

1.2 RELATED WORK

- A. See Civil and Landscape plans and specifications.

1.3 QUALITY ASSURANCE

- A. Qualifications of Workmen: Contractor shall provide at least one person present at all times during execution of work that is thoroughly familiar with the type of materials being installed and proper equipment and methods for their installation and who shall direct all work performed under this section.
- B. Standards: All seed, sod, trees, shrubs, and ground covers shall meet or exceed the specifications of Federal, State, County and / or Municipality laws requiring inspection for disease and insect control.
 - Plants and planting methods shall conform to the latest edition of American Standard for Nursery Stock, American Nursery & Landscape Association, 1000 Vermont Avenue, NW, Suite 300, Washington, DC 20005
 - Plants shall be true and representative of their genus, species, cultivar, or variety. Nursery stock shipped in accordance with the required specifications shall be deemed to be acceptable within the terms of this section if it is typical in size and habit for the species in the region of the country in which it is grown unless the specifications include additional details.
- 3. Prior to ordering any plant material, representative photos of each species shall be provided for review and acceptance.**
- One of each bundle or lot shall be tagged with name and size of the plant in accordance with American Nursery & Landscape Association standards. In all cases, botanical names shall take precedence over common names. Landscape Architect should be consulted in the event questions arise about nomenclature of plants to be used and their availability.

1.4 DELIVERY, STORAGE, AND HANDLING

- A. Deliver grass seed in original containers showing analysis of seed mixture, percentage of pure seed, year of production, net weight, date of packaging and location of packaging. Damaged packages are not acceptable.
- B. Deliver fertilizer in waterproof bags showing weight, chemical analysis, and name of manufacturer.
- C. Deliver sod on pallets.
- D. Handling of plants shall be by lifting the root mass or container and not by lifting plant by trunk or branches. Handling of plants in an improper fashion shall be cause for rejection of plant materials. Care must be taken during all phases of the location and planting procedures not to damage root system, trunk or branches. All plant materials shall be planted as soon after arrival at the site as possible. Contractor is responsible for keeping plants safe from injury by the construction activity and watered to prevent drying out before planting. Balled and burlapped plants shall be "Healed-in" and protected with burlap or other accepted material if they cannot be planted upon delivery. Plants with broken major branches, badly bruised or damaged bark are not acceptable and will be rejected.

1.5 PLANTING DATES

- A. The planting season for trees, shrubs and groundcovers is between October 1st and June 1st of the following year. Do not plant if temperature is below freezing or above 90 degrees. Planting at any other time other than the planting season is the Contractor's option and full responsibility and without additional compensation. Planting may, at the option of the Contractor, be postponed into the following planting season but without additional compensation provided the Owner and local governing jurisdiction have approved.
- C. Planting dates for sod, sprigging or seeding shall be per the grassing specification.

1.6 MEASUREMENT AND PAYMENT

- A. Measurement - The items listed in the proposal shall be considered as sufficient to complete the work in accordance with the plans and specifications. Any portion of the work not listed in bid form, but required to complete the work, shall be deemed to be a part of the item with which it is associated and shall be included in the cost of the unit shown on the bid form.
- B. Payment - Payment for the unit shown on the bid form shall be considered to cover the cost of all labor, material, equipment, and performing all operations necessary to complete the work in place. No payment will be made for any material wasted, used for the convenience of the Contractor, unused or rejected.
 - Trees, Shrubs, and Groundcovers - Will be paid for at the contract unit price for planted/installed and accepted trees, shrubs, and groundcovers.
 - Payment for grassing will be made per the grassing specification.
 - Clearing - Will be paid for at the lump sum price for clearing.

PART 2 - PRODUCTS

2.1 MATERIALS

- A. Contractor shall, at time of delivery, furnish Owner and / or Landscape Architect with invoices of all materials received; in order the quality and source of materials may be reviewed.

2.2 TOPSOIL

- A. TOPSOIL SHALL BE FERTILE, FRIABLE SOIL CONTAINING LESS THAN 5% TOTAL VOLUME OF THE COMBINATION OF SUBSOIL, REFUSE, ROOTS LARGER THAN 1 INCH DIAMETER, HEAVY, STICKY OR STIFF CLAY, STONES LARGER THAN 2 INCHES IN DIAMETER, NOXIOUS SEEDS, STICKS, BRUSH, LITTER, OR ANY SUBSTANCES DELETERIOUS TO PLANT GROWTH. THE PERCENT (%) OF THE ABOVE OBJECTS SHALL BE CONTROLLED BY SOURCE SELECTION NOT BY SCREENING THE SOIL. TOPSOIL SHALL BE SUITABLE FOR THE GERMINATION OF SEEDS AND THE SUPPORT OF VEGETATIVE GROWTH. IMPORTED TOPSOIL SHALL NOT CONTAIN WEED SEEDS IN QUANTITIES THAT CAUSE NOTICEABLE WEED INFESTATIONS IN THE FINAL PLANTING BEDS. IMPORTED TOPSOIL SHALL MEET THE FOLLOWING PHYSICAL AND CHEMICAL CRITERIA:
 - SOIL TEXTURE: USDA LOAM, SANDY CLAY LOAM OR SANDY LOAM WITH CLAY CONTENT BETWEEN 15 AND 25%, AND A COMBINED CLAY/SILT CONTENT OF NO MORE THAN 55%.
 - PH VALUE SHALL BE BETWEEN 5.5 AND 7.0.
 - PERCENT ORGANIC MATTER (OM): 2.0-5.0%, BY DRY WEIGHT.
 - SOLUBLE SALT LEVEL: LESS THAN 2 MMHO/CM.
 - SOIL CHEMISTRY SUITABLE FOR GROWING THE PLANTS SPECIFIED.
- B. IMPORTED TOPSOIL SHALL BE A HARVESTED SOIL FROM FIELDS OR DEVELOPMENT SITES. THE ORGANIC CONTENT AND PARTICLE SIZE DISTRIBUTION SHALL BE THE RESULT OF NATURAL SOIL FORMATION. MANUFACTURED SOILS WHERE COARSE SAND, COMPOSTED ORGANIC MATERIAL OR CHEMICAL ADDITIVES HAS BEEN ADDED TO THE SOIL TO MEET THE REQUIREMENTS OF THIS SPECIFICATION SECTION SHALL NOT BE ACCEPTABLE. RETAINED SOIL PEDS SHALL BE THE SAME COLOR ON THE INSIDE AS IS VISIBLE ON THE OUTSIDE.
- C. IMPORTED TOPSOIL FOR PLANTING SOIL SHALL NOT HAVE BEEN SCREENED AND SHALL RETAIN SOIL PEDS OR CLOUDS LARGER THAN 2 INCHES IN DIAMETER THROUGHOUT THE STOCKPILE AFTER HARVESTING.
- D. STOCKPILED EXISTING TOPSOIL AT THE SITE MEETING THE ABOVE CRITERIA MAY BE ACCEPTABLE.
- E. PROVIDE A ONE GALLON SAMPLE FROM EACH IMPORTED TOPSOIL SOURCE(S) WITH REQUIRED SOIL TESTING RESULTS OF ALL EXISTING TOPSOIL TO BE USED. THE SAMPLE SHALL BE A MIXTURE OF THE RANDOM SAMPLES TAKEN AROUND THE SOURCE STOCKPILE OR FIELD.

2.3 SEED

- A. See grassing specification.

2.4 SPRIG

- A. See grassing specification.

2.5 SOD

- A. See grassing specification.

2.6 PLANT MATERIALS

- A. Provide all plant materials as indicated on the plans. In the event of any discrepancies between quantities of plants indicated on the plant schedule and those indicated on the plan, plan quantities shall govern.
- B. Plants shall be sound, healthy and vigorous, well branched and densely foliated in leaf. They shall be free of disease, insect pests, eggs or larvae, and shall have healthy, well developed root systems. Plants shall be from a nursery within 300 miles north or south of the project location and shall have been grown under climate conditions similar to those in the locality of project. Trees for planting in rows shall be uniform in size and shape.
- B. Plants shall possess a normal balance between height and width. Plants shall be measured when branches are in their normal position. Height and spread dimensions specified refer to the main body of plant and not from branch tip to tip. Plants larger in size than specified may be taken with no change in contract price.
- C. Plants shall be dug with firm natural balls of earth, of diameter not less than recommended by American Standard for Nursery Stock and of sufficient depth to include fibrous and feeding roots. Plants will not be accepted if ball is cracked or broken before or during planting operations.
- D. Trees specified for Street Tree Grade shall conform to standards of the A.N.L.A.:
 - Suitable for planting as street trees.
 - Free of branches to approximately 50% of height from ground.
 - Crown of tree shall be in good balance with the trunk.

2.7 FERTILIZER

- A. Commercial fertilizer shall be slow release 5-10-10 or 4-12-12 (or as recommended by soil test), uniform in composition, free flowing, and suitable for application with appropriate equipment. Deliver to site unopened in manufacturer's standard containers showing weight, analysis and name of manufacturer. If stored on site, protect from the elements.

2.8 PEAT MOSS

- A. Peat moss shall be finely shredded, 90% organic moss peat, brown in color and suitable for horticultural purposes. Peat shall be measured in air dry condition, containing not more than 35% moisture by weight. Ash content shall not exceed 10%.

2.9 MULCH FOR TREES, SHRUBS, AND GROUND COVERS

- A. Mulch for non bio-retention areas shall be as shown on plans.
- B. Mulch for bio-retention areas shall be shredded hardwood.

2.10 STAKING EQUIPMENT

- A. Trees and palms shall be staked as shown in landscape plans.

2.11 WATER

- A. Contractor shall provide water to the project via the installation of a new irrigation system for the area shown on the plans. For bidding purposes, the contractor shall assume drilling a new well with associated pumps and controls as needed for irrigation.

PART 3 - EXECUTION

3.1 FINE GRADING

- A. All areas within limits of construction shall be fine graded to the desired grades. All areas within limits of construction are to be fine graded, free of roots, debris and/or other objectionable material, before planting or grassing commence. Any additional fill material needed to fill low or uneven areas shall be provided by the Contractor. Positive drainage away from structures shall be provided in all plant beds so standing water does not occur. Planting beds shall be raised above adjacent lawn areas to provide good drainage conditions.
- B. Planting and grassed areas, if not loose, shall be loosened to a minimum depth of 3-inches before fertilizer, seed or sod is applied.

3.2 FERTILIZER AND SOIL AMENDMENTS

- A. Contractor shall provide Topsoil Analysis Tests that has been performed by a State Agricultural Experiment Station, Soil and Water Conservation District, State University, or other qualified private testing laboratory, as approved by Landscape Architect.**
- B. Apply fertilizer and soil amendments after fine grading and mix thoroughly into upper 2 inches of soil.**
- C. Fertilizer and other necessary soil amendments shall be applied at the rate recommended by Topsoil Analysis Test.**

3.3 SODDING

- A. See grassing specification.

3.4 SPRIGGING

- A. See grassing specification.

3.5 SEEDING

- A. See grassing specification.

3.6 SEED PROTECTION

- A. See grassing specification.

3.7 LAYOUT OF TREES, SHRUBS, AND GROUND COVERS

- A. All plants shall be placed in the proper location as shown on construction plans, allowing Landscape Architect to review all plant locations prior to actual planting. Landscape Architect may make minor adjustments which shall not be cause for changes to the contract price.

3.8 OBSTRUCTIONS BELOW GROUND

- A. Prior to excavating planting holes, Contractor shall determine the exact location of electrical, phone, or television cables or conduits, water, drainage or sewer lines, and any other subsurface structures and take precautions to protect them. Any damage to underground utilities shall be repaired immediately at the Contractor's expense.
- B. In the event rock, underground construction work, or other obstructions are encountered in any plant hole excavation under this contract, alternate locations may be selected. Where locations cannot be changed, the obstructions shall be removed to a depth of not less than three (3) feet below grade and not less than six (6) inches below bottom of ball or roots when plant is properly set at the required grade. The Contractor shall be responsible for the removal of such rock or other underground obstructions encountered.

3.9 PLANTING HOLES

- A. For trees, shrubs and ground covers the planting hole shall be as shown on planting details in the plans. Do not leave planting holes open overnight. In the event that plant holes are dug and not planted in a timely manner, install four (4) foot high orange safety fencing around all excavated areas.

3.10 PLANTING TREES AND SHRUBS

- A. Shall be same as grown in the nursery and/or container soil level. Adjust bottom soil mix to insure proper planting level with the proposed surrounding grades. Check plants to insure proper vertical alignment.
- B. Fill holes to proper height to receive plant, and thoroughly tamp before setting the plant. Set plant in upright position in the center of the hole, and compact the backfill mixture around the ball or roots. Add soil amendments as required to improve fertility of existing soil and plant growing conditions.
 - When balled or burlapped plants are set, compact topsoil around base of ball to fill all voids. All bindings shall be removed and the top half of burlap removed from around root ball. If burlap is made of natural fibers it can be laid back from the root mass or can be cut away. Remove all burlap if it is made of non-degradable material/fabric. All weeds growing on the root mass shall be removed prior to planting.
 - Containerized plants shall have the container removed prior to planting. Care shall be taken to protect root mass from injury and the root mass intact. If root mass shows evidence of being bound or matted, three vertical 1/2" deep cuts shall be made on alternate sides of the root mass and roots pulled away slightly. This is to untangle roots which have begun to "circle" the root mass and to encourage new root growth. All weeds growing in the root mass shall be removed prior to planting.
 - Roots of bare root plants shall be spread out and topsoil carefully worked in among them. Remove with a clean cut, any broken or frayed roots.

3.11 PLANTING GROUND COVERS

- A. Planting beds shall be thoroughly worked to a depth of twelve (12) inches incorporating fertilizer and other soil improvements at the recommended rate suggest by the soils test. Rake prepared planting bed until level, smooth and free from all soil, lumps, rocks, sticks and other deleterious materials. Bed area should be neatly outlined. Space the plants evenly as indicated on the drawings. Plant only in soil that is moist and friable, and not wet or soggy. In the case of planting in the open on hot days, shorten the time between planting and watering.

3.12 WATERING

- A. Thoroughly water each plant when the hole is 1/3 full, again at 2/3 full and then complete backfilling. Once backfilling is complete, water again, then tamp the soil in place until the surface of the backfill is level with the surrounding area and the plant bears the same relation of finished grade as it bore to existing grade before being dug.
- B. Earth saucers shall be constructed around the perimeter of planting holes of all trees and all single planted shrubs. Earth saucers shall be minimum 3" high and compacted to retain water. Earth saucers shall not be installed in areas where the subsoil is very poorly drained or around mass shrub / groundcover plantings.
- C. All trees and shrubs to be hand watered on a regular basis as necessary during the warranty period.

3.13 SOIL MIX

- A. Shall be per existing soils on site with recommended amendments from soils test.

3.14 STAKING OF TALL PLANTS

- A. Shall be done only if site / environment conditions make it required. If required, trees and palms shall be staked as indicated on the plans.

3.15 MULCHING

- A. All plants shall be mulched with an evenly thick layer of clean mulch immediately after planting. Mass plant beds shall be completely mulched to the limits of the bed as shown on the plans. Limit of mulching for individual trees and shrubs shall be slightly beyond the saucer berm. The areas mulched shall be tidy and clean in appearance.

3.16 PRUNING

- A. Remove dead, broken or bruised branches after planting using clean, sharp tools.

3.17 WEEDING

- A. All planted areas shall be kept free from weeds and undesirable grasses until final acceptance by the Owner. See General notes on plans for additional information.

3.18 INSECT AND DISEASE CONTROL

- A. All plant materials shall be disease or insect free upon arrival to the site, however, should any plants show signs of insect or disease infestations, Contractor shall identify nature of infestation and submit to Landscape Architect a proposed method of control. Contractor shall treat all infested plants at its expense. Should the infestation be wide spread and uncontrollable, plants affected shall be removed from site, fresh plants brought in and all other plants treated to prevent infestation of remaining plants at Contractor's expense.

3.19 CLEAN UP

- A. Contractor is responsible for removing all trash, debris, rubbish and all other materials associated with the construction from site on a daily basis. All tags, flags, and labels will be removed from plants and trees. The site shall be left broom clean and tidy. Clean up of the site is a prerequisite to final acceptance by the Owner.

PART 4 - MAINTENANCE AND WARRANTY

4.1 MAINTENANCE

- A. Protect all plantings (grass, plants and trees) until accepted by Owner. All damage, regardless of cause, shall be immediately repaired and plants replaced if necessary. Erect temporary fences, barricades, signs and other protection as needed to prevent trampling. Contractor is not responsible for replacement of damaged or missing plants and plant materials due to vandalism or other acts beyond the control of the Contractor if proper barriers or other safeguards have been maintained.
- B. Maintenance shall include but is not limited to watering, weeding, cultivating, removal of dead material, mulch reapplication, resetting plants to proper grades or upright position, lawn mowing, fertilizing, and other necessary operations.
- C. The Contractor shall repair immediately any areas damaged as a result of construction operations or erosion.
- E. The Contractor shall maintain all proposed plantings until final acceptance is issued by the Owner.
- F. At the end of the maintenance period, all plants shall be in a healthy growing condition. During the maintenance period, should the appearance of any plant indicate weakness and probability of dying, immediately replace without additional cost to the Owner. Replacements required because of vandalism or other causes beyond the control of the Contractor are not part of this contract.

4.2 WARRANTY

- A. All shrubs, ground cover, and trees shall be guaranteed by the Contractor to be alive and healthy for a one year period after substantial completion is issued by the Owner. A final inspection with the Owner shall be conducted at the end of the warranty period to determine if any plants will be required to be replaced.
- B. Any lawn, plant, or tree which is dead or not showing satisfactory growth shall be replaced at Contractor's expense at the end of warranty period. All replacements shall be of original quality and of a size equal to adjacent plants or trees of the same kind.

END OF SECTION

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