



CITY OF PORT WENTWORTH

PLANNING COMMISSION

JUNE 12, 2023

Council Meeting Room

Regular Meeting

7:00 PM

7224 GA HIGHWAY 21
PORT WENTWORTH, GA 31407

1. CALL MEETING TO ORDER

2. PRAYER AND PLEDGE OF ALLEGIANCE

3. ROLL CALL - SECRETARY

4. APPROVAL OF AGENDA

5. ADOPTION OF MINUTES

A. Planning Commission - Regular Meeting - May 8, 2023 3:30 PM

6. ZONING MAP AMENDMENTS (REZONING)

7. ZONING TEXT AMENDMENTS (ORDINANCES)

8. SITE PLAN/SUBDIVISION APPROVAL

A. Site Plan Review Application submitted by Patrick Warner, Coleman Company Inc., on behalf of Inter Metro Properties GA, LLC, for PIN #'s 70003 01001, 70003 01002, 70003 01011, 70003 01010, 700003 01009, 70003 01012, 70003 01013, 70003 01005, 70003 01014, 70002 01003, 70002 01002, 70002 01002A, 70002 01001, 70002 01001A, 70001 04008, 70001 04009 & 70001 04010 (230 Flonell Avenue) for a General Development Site Plan to allow for the expansion of an existing trailer yard, a new warehouse & associated infrastructure in a P-I-2 (Planned Industrial) Zoning District

➤Public Hearing
➤Action

B. Site Plan Review Application has been submitted by Patrick Warner, Coleman Company Ins., on behalf of Inter Metro Properties GA, LLC PIN #'s 70003 01001, 70003 01002, 70003 01005, 70003 01009, 70003 01010, 70003 01011, 70003 01012, 70003 01013, & 70003 01014 (230 Flonell Avenue) for a Specific Development Site Plan to allow the expansion of an existing trailer yard & associated infrastructure in a P-I-2 (Planned Industrial) Zoning District

➤Public Hearing
➤Action

9. NEW BUSINESS

10. ADJOURNMENT



CITY OF PORT WENTWORTH

PLANNING COMMISSION

MAY 8, 2023

Council Meeting Room

Regular Meeting

3:30 PM

7224 GA HIGHWAY 21
PORT WENTWORTH, GA 31407

1. CALL MEETING TO ORDER

Chairman Stewart called the meeting to order.

2. PRAYER AND PLEDGE OF ALLEGIANCE

Chairman Stewart led the Prayer and Pledge of Allegiance.

3. ROLL CALL - SECRETARY

Attendee Name	Title	Status	Arrived
Lance Moore	Planning Commissioner	Present	
Omar Senati-Martinez	Planning Commissioner	Present	
Abby Brown	Planning Commissioner	Present	
Jason Stewart	Chairman	Present	
John Holland	Planning Commissioner	Present	
Christopher Gray	Planning Commissioner	Absent	
Nishant Randerwala	Planning Commissioner	Present	
Charlene Middleton	Planning Commissioner	Present	
Sean Register	Planning Commissioner	Absent	
Melanie Ellis	Building Inspector	Present	

4. APPROVAL OF AGENDA

- Approval of Agenda

RESULT: ADOPTED [UNANIMOUS]
MOVER: John Holland, Planning Commissioner
SECONDER: Abby Brown, Planning Commissioner
AYES: Moore, Senati-Martinez, Brown, Holland, Randerwala, Middleton
ABSENT: Gray, Register

5. ADOPTION OF MINUTES

- Planning Commission - Regular Meeting - Apr 10, 2023 3:30 PM

Minutes Acceptance: Minutes of May 8, 2023 3:30 PM (ADOPTION OF MINUTES)

RESULT: **ACCEPTED [UNANIMOUS]**
MOVER: Abby Brown, Planning Commissioner
SECONDER: John Holland, Planning Commissioner
AYES: Moore, Senati-Martinez, Brown, Holland, Randerwala,
 Middleton
ABSENT: Gray, Register

6. ZONING MAP AMENDMENTS (REZONING)

7. ZONING TEXT AMENDMENTS (ORDINANCES)

8. SITE PLAN/SUBDIVISION APPROVAL

- A. Site Plan Review Application submitted by Forestar (USA) Real Estate Group Inc., for PIN # 7-0906-04-042 (Lakeside Blvd.) for a Specific Development Site Plan to allow a Single-Family Subdivision Development (Rice Hope Lakeside Phase 24) in a M-P-O (Master Plan Overlay) Zoning District

The applicant, Jason Bryant, was present. Mr. Bryant gave a brief overview of the project and offered to answer any questions the Commission may have.

Public Hearing:
-Avril Roy-Smith - Roseberry Cir - stated concerns with traffic and too many rentals.

After the public hearing was closed, after several minutes of discussion, Chairman Stewart asked Mrs. Ellis if this project complies with the zoning ordinance, and Mrs. Ellis stated yes. Commissioner Senati made a motion to approve the application with the following conditions: 1. Make sure utility crossings are at least 18 inches apart and if not possible use DIP and GAB to install the pipe. 2. Install the water main above the storm pipe when possible. (Minimum water main coverage is 3 feet). 3. Remove the dirt berm from the top of the water main. Landscape is not allowed on top of utilities. We would like to see the continuation of the trail if possible. Commissioner Moore seconded the motion to approve with conditions. The vote was unanimous.

RESULT: **APPROVED [UNANIMOUS]**
MOVER: Omar Senati-Martinez, Planning Commissioner
SECONDER: Lance Moore, Planning Commissioner
AYES: Moore, Senati-Martinez, Brown, Holland, Randerwala,
 Middleton
ABSENT: Gray, Register

9. NEW BUSINESS

10. ADJOURNMENT

- A. Adjournment

Minutes Acceptance: Minutes of May 8, 2023 3:30 PM (ADOPTION OF MINUTES)

RESULT: **ADOPTED [UNANIMOUS]**
MOVER: John Holland, Planning Commissioner
SECONDER: Omar Senati-Martinez, Planning Commissioner
AYES: Moore, Senati-Martinez, Brown, Holland, Randerwala,
 Middleton
ABSENT: Gray, Register

Chairman

The foregoing minutes are true and correct and approved by me on this _____ day of _____, 2023.

Secretary

Minutes Acceptance: Minutes of May 8, 2023 3:30 PM (ADOPTION OF MINUTES)



Planning Commission
305 South Coastal Highway
Port Wentworth, GA 31407

Meeting: 06/12/23 07:00 PM
Department: Development Services
Category: Planning/Zoning Item
Prepared By: Stephanie Cook
Department Head: Melanie Ellis

SCHEDULED

AGENDA ITEM (ID # 2829)

DOC ID: 2829

Site Plan Review Application submitted by Patrick Warner, Coleman Company Inc., on behalf of Inter Metro Properties GA, LLC, for PIN #'s 70003 01001, 70003 01002, 70003 01011, 70003 01010, 700003 01009, 70003 01012, 70003 01013, 70003 01005, 70003 01014, 70002 01003, 70002 01002, 70002 01002A, 70002 01001, 70002 01001A, 70001 04008, 70001 04009 & 70001 04010 (230 Flonell Avenue) for a General Development Site Plan to allow for the expansion of an existing trailer yard, a new warehouse & associated infrastructure in a P-I-2 (Planned Industrial) Zoning District

Issue/Item: Site Plan Review Application has been submitted by Patrick Warner, Coleman Company Inc., on behalf of Inter Metro Properties GA, LLC, for PIN #'s 70003 01001, 70003 01002, 70003 01011, 70003 01010, 700003 01009, 70003 01012, 70003 01013, 70003 01005, 70003 01014, 70002 01003, 70002 01002, 70002 01002A, 70002 01001, 70002 01001A, 70001 04008, 70001 04009 & 70001 04010 (230 Flonell Avenue) for a General Development Site Plan to allow for the expansion of an existing trailer yard, a new warehouse & associated infrastructure in a P-I-2 (Planned Industrial) Zoning District

Background: The subject property is located off 230 Flonell Avenue in Port Wentworth, GA. The existing site is currently a trailer storage yard developed P-I-2 zoned property on a 70-acre parcel.

Facts and Findings: The general development plan for this property is for an expansion to the existing trailer storage yard area, a new warehouse & associated infrastructure. The plan is to alter & expand the existing trailer storage yard area & add additional trailer storage to the site along with the building of a warehouse and additional personnel parking. The property is located majority in Flood Zone AE 100 & partially in Zone X. There are known Corps of Engineers determined wetlands located within 200 ft of the property. A DRI was reviewed for this project by the Georgia Department of Community Affairs. This project is located in Council District 2. The parcel is located in the Industrial Park character area as defined in the 2021-2041 City of Port Wentworth Comprehensive Plan.

Funding: N/A

Recommendation: The Planning Commission will hear this application on Monday, June 12, 2023 at 7:00 PM.

ATTACHMENTS:

- Flonell Ave Logistics Yard 7-0003-01-001 G-Site Plan 2023-App (PDF)
- Flonell Ave Logistics Yard 7-0003-01-001 G-Site Plan 2023-Adj Prop (PDF)
- Flonell Ave Logistics Yard 7-0003-01-001 G-Site Plan 2023-Timeline (DOCX)

- Flonnel Ave Logistics Yard 7-0003-01-001 G-Site Plan 2023-Overview (PDF)
- Master Plan for Full Project (PDF)
- Flonnel Ave Logistics Yard 7-0003-01-001 G-Site Plan 2023-DRI Final Report (PDF)

City of Port Wentworth
7224 Highway 21 Port Wentworth Georgia 31407 912-999-2084

Site Plan Review Application

Site Plan Application is required for all new construction in a "P" or "MPO" zone as defined in the Zoning Ordinance of the City of Port Wentworth.

Site Plan Type (Check One): General / Concept Specific Development

Site Plan Address: 230 Flonell Avenue

PIN #(s): 70003 01001, 70003 01002, 70003 01011, 70003 01010, 70003 01009, 70003 01012, 70003 01013, 70003 01005, 70003 01014, 70002 01003, 70002 01002, 70002 01002A, 70002 01001, 70002 01001A, 70001 04008, 70001 04009, 70001 04010

Zoning: P-I-2 Estimated Cost of Construction: \$ 25,000,000

Type of Construction: Expanding Existing Traller Yard, New Warehouse, and Associated Infrastructure

Project Name: Flonell Avenue Logistics Yard & Warehouse

Applicant's Name: Coleman Company Inc. - Patrick Warner

Mailing Address: 1480 Chatham Parkway, Suite 100
Savannah, GA 31405

Phone #: 912-200-3041 Email: pwarner@cci-sav.com

Owner's Name (if Different form Applicant): Inter Metro Properties GA, LLC

Mailing Address: PO Box 651 Basking Ridge NJ 07920

Phone #: 912-667-0406 Email: JMcVeigh@fedway.com

I hereby acknowledge that the above information is true and correct.

Paul Warner
Applicant's Signature

1-6-2023
Date

Joe McVeigh
Owner's Signature (if Different form Applicant)

06 JAN 2023
Date

Please see page 2 for required submittal checklist

City of Port Wentworth
 7224 Highway 21 • Port Wentworth • Georgia • 31407 • 912-999-2084

Site Plan Review Application Submittal Checklist

Documentation below is required for a complete submittal.

- Signed and Completed Application
- 3 Full size sets of site plan civil drawings or concept plan (depending on type of site plan)
- 15 half size (11" X 17") sets of site plan civil drawings or concept plan (depending on type of site plan)
- 2 copies of hydrology reports (if applicable)
- Names, mailing address, and PIN number of all property owners within 250 feet of all property lines
- 1 8 ½" X 11" of site plan civil drawings or concept plan (depending on type of site plan)
- PDF of entire submittal on a flash drive or download link ONLY (NO CD'S)
- Other Engineering details or reports may be required once submittal has been received
- Site plan review fee check
 - No Land Disturbance- \$206.00 Site Plan Fee + \$50.00 Admin Fee = Total \$256.00
 - With Land Disturbance - \$836.00 Site Plan Fee + \$50.00 Admin Fee = Total \$886.00

Additional Fee Statement: If engineer review cost to the City exceeds the site plan review fee that is paid at the time of initial application submittal, you may be required to pay additional review cost.

I have read and agree to the above additional fee statement


 Applicant's Signature

1-6-2023
 Date

Names, mailing addresses & PIN number of all property owners within 250 feet of all property lines:

Robert & Sybil Cannon
324 Flonnel Ave
Pt Wentworth GA 31407
70003 01006

Brown Louise Eason
6598 Hwy 21
Pt Wentworth GA 31407
70001 04002

Bell William R Ind & Trustee
6620 Hwy 21
Pt Wentworth GA 31407
70001 04006

Royal Rachel S & Ronald Anthony
6500 Hwy 21
Pt Wentworth GA 31407-8550
70002 01004

Royal Rachel S
6500 Hwy 21
Pt Wentworth GA 31407-8550
70002 01004B

Chatham County
124 Bull St Room 240
Savannah GA 31401-3230
70003 01008

Georgia Ports Authority
PO Box 2406
Savannah GA 31402-2406
70003 01007

Atlanta Gas Light Co
241 Ralph McGill Blvd NE Bin #10081
Atlanta GA 30308
70002 02003

Project Timeline

Project Number: 230048

Project Name: Flonnel Ave Logistics Yard 7-0003-01-001 G-Site Plan 2023

Applicant / Engineer: Coleman Co., Inc – Patrick Warner

Owner: Inter Metro Properties GA, LLC.

City Review Engineer: N/A

- 01/11/2023 – Application received; Missing project overview and DRI initial form.
- 01/18/2023 – sent email to Patrick Warner that we needed a project overview. [M.E]
- 01/19/2023 – sent email to Patrick Warner that we needed the DRI initial form filled out. [M.E]
- 01/20/2023 – received project overview. [M.E]
- 01/30/2023 – received DRI initial form. [M.E]
- 01/30/2023 – entered information for the initial DRI form to the GA DCA website. DRI #3911 [M.E]
- 01/31/2023 – sent DRI additional Form blank to Patrick (Coleman) to complete. [M.E.]
- 2/14/2023 – entered DRI additional form to DCA website. [M.E]
- 2/15/2023 -sent email to Patrick for additional information required by DCA for the DRI review. [M.E.]
- 3/3/2023 – received additional information for DRI review from Patrick. Sent to DCA. [M.E.]
- 3/20/23 – the full DRI report was received from the Georgia Department of Community Affairs.
- 5/9/23 – email received from Phillip McCorkle asking that the general site plan and specific site plan application be heard at the same meeting.
- 5/15/23 – public hearing notice letters mailed.
- 5/19/23 – public hearing notice published in the Savannah Morning News.



January 20, 2023

Ms. Melanie Ellis, CPT

City of Port Wentworth Development Services

7224 GA-21

Port Wentworth, Georgia, 31407

RE: Flonnel Avenue

CCI Project #: 22-730.000

Dear Ms. Ellis:

Please find attached the submittal package for Flonnel Avenue Logistics Yard GDP. The subject property is located off 230 Flonnel Avenue in Port Wentworth, Georgia. This submittal consists of the general development plans for expansion to the existing trailer storage yard area.

The existing site is currently a developed P-I-2 zoned property on a 70-acre parcel. The plan is to alter and expand the existing trailer storage yard area and add additional trailer storage to the site. The subject property is located a majority in flood zone AE 100 and partially in zone X and therefore is located in a special flood hazard area. There are known corps of engineers determined wetlands located within 200ft of this property. Storm water management will consist of routing the water from the site through several best management practices in our opinion before discharging into tidal waters located north of the site. Sedimentation and erosion control measures will consist of silt fencing, construction exit and both temporary and permanent stabilization. The receiving-waters for this project is the existing marsh which flows into the St. Augustine Creek which ultimately drains to the Savannah.

Changes to the previously approved GDP (dated May 9, 2019) are as follows: The warehouse location has been slightly adjusted and has increased from 627,000 SF to 638,400 SF. More personnel parking has been provided at the proposed warehouse. There are also changes to the trailer storage yard, including a new trailer storage yard area, that was not part of the original submittal. This submittal also includes new ponds in the trailer storage yard area and the warehouse area for floodplain mitigation and water quality.

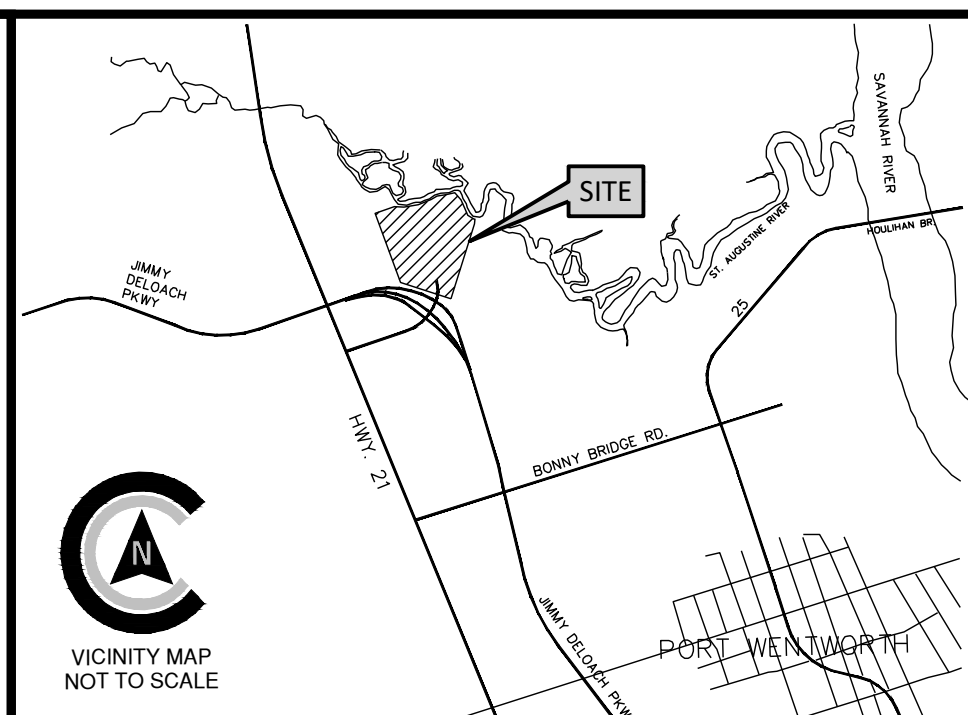
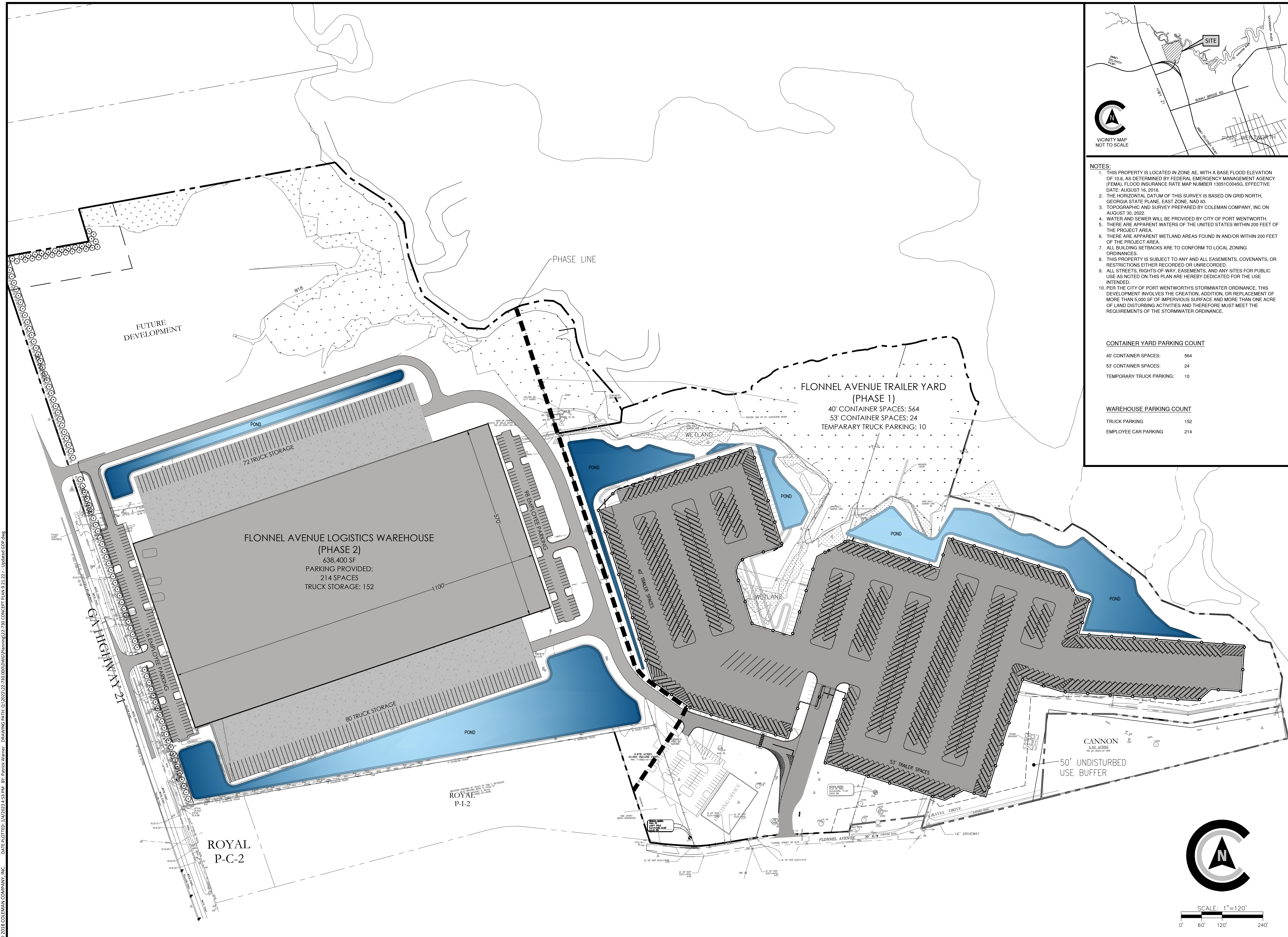
Should you have any questions or require additional information, please do not hesitate to contact us.

Thank You,

Coleman Company, Inc.

Patrick Warner, PE

pwarn@cci-sav.com



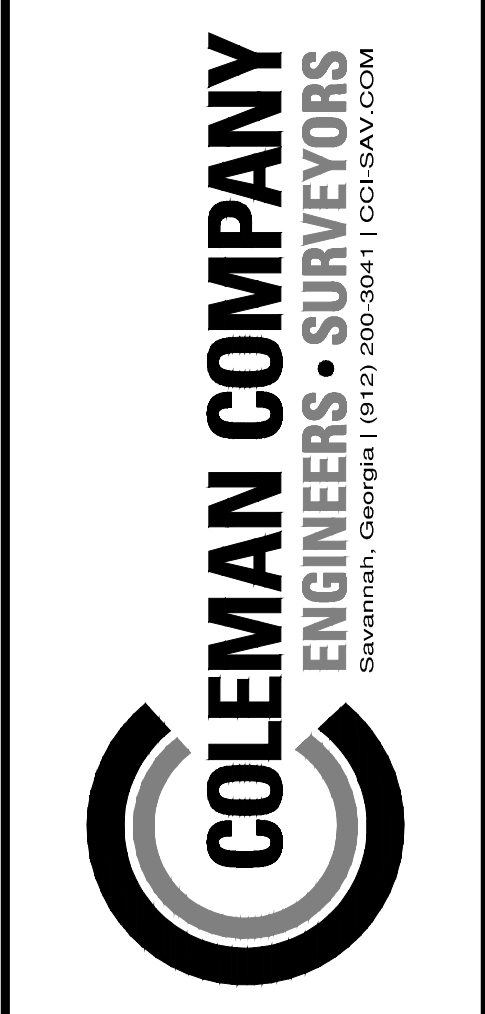
- NOTES:**
1. THIS PROPERTY IS LOCATED IN ZONE AE, WITH A BASE FLOOD ELEVATION OF 10.8, AS DETERMINED BY FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA), FLOOD INSURANCE RATE MAP NUMBER 13051C0045G, EFFECTIVE DATE: AUGUST 16, 2018.
 2. THE HORIZONTAL DATUM OF THIS SURVEY IS BASED ON GRID NORTH, GEORGIA STATE PLANE, EAST ZONE, NAD 83.
 3. TOPOGRAPHIC AND SURVEY PREPARED BY COLEMAN COMPANY, INC ON AUGUST 30, 2022.
 4. WATER AND SEWER WILL BE PROVIDED BY CITY OF PORT WENTWORTH.
 5. THERE ARE APPARENT WATERS OF THE UNITED STATES WITHIN 200 FEET OF THE PROJECT AREA.
 6. THERE ARE APPARENT WETLAND AREAS FOUND IN AND/OR WITHIN 200 FEET OF THE PROJECT AREA.
 7. ALL BUILDING SETBACKS ARE TO CONFORM TO LOCAL ZONING ORDINANCES.
 8. THIS PROPERTY IS SUBJECT TO ANY AND ALL EASEMENTS, COVENANTS, OR RESTRICTIONS EITHER RECORDED OR UNRECORDED.
 9. ALL STREETS, RIGHTS-OF-WAY, EASEMENTS, AND ANY SITES FOR PUBLIC USE AS NOTED ON THIS PLAN ARE HEREBY DEDICATED FOR THE USE INTENDED.
 10. PER THE CITY OF PORT WENTWORTH'S STORMWATER ORDINANCE, THIS DEVELOPMENT INVOLVES THE CREATION, ADDITION, OR REPLACEMENT OF MORE THAN 5,000 SF OF IMPERVIOUS SURFACE AND MORE THAN ONE ACRE OF LAND DISTURBING ACTIVITIES AND THEREFORE MUST MEET THE REQUIREMENTS OF THE STORMWATER ORDINANCE.

CONTAINER YARD PARKING COUNT

40' CONTAINER SPACES:	564
53' CONTAINER SPACES:	24
TEMPORARY TRUCK PARKING:	10

WAREHOUSE PARKING COUNT

TRUCK PARKING	152
EMPLOYEE CAR PARKING	214



NOT FOR CONSTRUCTION

SITE PLAN IS CONCEPTUAL IN NATURE AND SUBJECT TO CHANGE UPON FINAL SURVEY AND JURISDICTIONAL INVESTIGATION

REVISIONS:

CONCEPTUAL PLAN

FLONNEL AVENUE LOGISTICS FACILITY CONTAINER YARD

LOCATED IN PT. WENTWORTH, GEORGIA

JOB NUMBER: 22-730.000
 DATE: 01/04/23
 DRAWN BY: JWR
 CHECKED BY: GJC
 SCALE: AS NOTED

CONCEPTUAL PLAN

SHEET:
CP1.0

© 2018 COLEMAN COMPANY, INC. DATE PLOTTED: 1/10/2023 4:53 PM BY: Patrick Wynn. DRAWING PATH: C:\2023\12\23\000\DWG\Printing\22-730 CONCEPT PLAN 8.11.21 - Updated GDR.dwg

Attachment: Master Plan for Full Project (2829) - Site Plan Review Application (General) Flonnel Ave Logistics Yard 7-0003-01-001 June 2023

***DEVELOPMENT OF REGIONAL IMPACT
REPORT***

**Prepared for
City of Port Wentworth, Georgia
DRI #3911
Flonnel Avenue Logistics Facility
Container Yard
March 22, 2023**



*Prepared by:
Coastal Regional Commission
1181 Coastal Dr. SW
Darien, GA*

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1. APPLICATION INFORMATION

1.1 Jurisdiction

City of Port Wentworth, Georgia DRI # 3911

Flonnel Avenue Logistics Facility Container
Yard

1.2

Applicant/Developer

Inter-Metro Properties of Georgia, LLC
912-667-0406
jmcveigh@fedway.com

2. PROJECT DESCRIPTION

2.1 Summary

DRI#3911 is a proposed industrial development with the initial action being requested by Port Wentworth for permits, and the connection of sewer and water. The proposed development is the expansion of an existing trailer yard, with a new warehouse facility, and associated infrastructure. The project size is 67.7 acres with trailer yard expansion of 401,115 SF and future 638,400 SF warehouse, parking provided: 214 spaces, truck storage: 152. The estimated completion of the overall project is July 2025.

3. PARCEL DATA

3.1 Size of Property

Approximately 67.7 acres

3.2 General Location

The parcel numbers of property the proposed project will be developed on: 70003 01001 (17.16 acres), 70003 01002 (8.32 acres), 70003 01011 (5.41 acres), 70003 01010 (1.24 acres), 70003 01009 (1.21 acres), 70003 01012 (4.46 acres), 70003 01013(3.07 acres), 70003 01005 (2.88 acres), and 70003 01014 (2.64 acres). The current zoning is P-I-2 (Planned Industrial Heavy) which is the appropriate zoning for the proposed development.

4. LAND USE INFORMATION

4.1 Site Map

The site plan for use of the property is attached.

4.2 Built Features

Expansion of Existing Trailer Yard.

4.3 Future Development Map Designation (Character Area)

The Character Areas Map from the City of Port Wentworth's comprehensive plan designates the project site as the Industrial Park.

4.4 Zoning District

The current zoning of the proposed project area is P-I-2 which is Planned Industrial Heavy. No zoning changes will be required for the development of the proposed project.

5. CONSISTENCY AND COMPATIBILITY ANALYSIS

5.1 Consistency with the Comprehensive Plan

Both the current Zoning Map and the Character Areas Map from the City of Port Wentworth's comprehensive plan, are conducive with the development of the proposed project.

6. CONSISTENCY WITH REGIONAL PLAN OF COASTAL GEORGIA

6.1 Regional Development Map and Defining Narrative

The Regional Development Map illustrates the desired future land use patterns from the regions' Areas Requiring Special Attention and the regions' Projected Development Patterns using the following categories:

- | | |
|-----------------|---------------|
| a. Conservation | c. Developed |
| b. Rural | d. Developing |

The Regional Future Development Map illustrates the area as Rural. This category is for areas that are not expected to urbanize or require urban services in the next 20 years.

6.2 Guiding Principles of the Regional Plan

Guiding Principles identify those overarching values which are to be utilized and evaluated for all decisions within the region. This section provides the analysis of the consistency between the proposed DRI and the Guiding Principles in the Regional Plan.

6.3 Guiding Principles for Water and Wastewater

Seven guiding principles are identified in the Regional Plan for water and wastewater:

1. Require the use of green building strategies to minimize water demand.
2. Promote the use of a standardized protocol to forecast water needs to meet reasonable future water needs throughout region.
3. Promote use of purple pipe and grey water techniques and use of surface water in addition to groundwater where appropriate.
4. Promote water conservation through use of a tiered rate system.
5. Promote the use of the best available technology, dependent on soil type, for wastewater treatment.
6. Large areas of Coastal Georgia are beyond the reach of urban wastewater infrastructure, or centralized wastewater treatment facilities. To ensure sustainable communities, require proper siting, design, construction, use, and maintenance of decentralized wastewater treatment, or ISTS (Individual Sewage Treatment Systems).
7. Pursue regional coordination in provision of water and wastewater facilities.

6.4 Guiding Principles for Stormwater Management

Five guiding principles are identified in the Regional Plan for Stormwater Management:

1. Encourage development practices and sitings that do not significantly impact wetlands and habitat areas or allow for the preservation and conservation of wetlands and habitat areas through appropriate land use practices.
2. Promote the use of coast-specific quality growth principles and programs, such as the Green Growth Guidelines, Earthcraft Coastal Communities and the Coastal Supplement to the Georgia Stormwater Management Manual, to guide site planning and development.
3. Minimize impervious coverage wherever possible. The level of impervious cover in a development, rather than population density, is the best predictor of whether development will affect the quality of water resource.
4. Develop stormwater programs across the region.
5. Pursue State-level funding for regional water quality monitoring activities due to the statewide importance of coastal waters and estuaries.

6.5 Guiding Principles for Transportation

Seven guiding principles are identified in the Regional Plan for Transportation:

1. Provide the forum and the support to coordinate regional multi-modal transportation, including rail, airports, and public transportation, and also the planning and development of street connectivity and transit-oriented developments.
2. Promote the establishment of regional transportation compact(s) to provide a forum for local governments and MPO's to communicate and discuss transportation issues and decisions in the Coastal Region. These compacts do not replace the existing federal and State processes mandated in law, but provide a forum to communicate issues, ideas and discussions.
3. Promote coordination among agencies and jurisdictions in development of a region-wide, multi-modal transportation network, including transit, where applicable.
4. Encourage the coordination of transportation network improvements and land use planning.
5. Promote coordinated public infrastructure and school location planning with land use planning.
6. Maintain a human scale environment with context sensitive design practices.
7. Work to establish dedicated revenue source(s) for transportation improvements.

6.6 Guiding Principles for Historic and Cultural Resources

Eleven guiding principles are identified in the Regional Plan for Historic and Cultural Resources:

1. Encourage local governments to examine proposed development areas prior to development approval and require mitigation to significant resources.

2. Encourage development practices and sitings that do not significantly impact cultural and historical areas.
3. Maintain viewsheds of significant cultural and historic assets.
4. Maintain a range of landscapes and environments that provide diversity of habitats, species, resources and opportunities for recreation, commerce, community enjoyment and cultural practices.
5. Designate culturally and/or archaeological and/or historically significant resource management areas for potential acquisition and/or protection.
6. Educate residents and visitors regarding the statewide importance of this region's cultural and historic resources.
7. Encourage utilization and cooperation of museums, universities, foundations, non-government organizations, professional associations, and private firms to advise and monitor management.
8. Promote the establishment of partnerships for the development and utilization of incentives to restore, remediate or reuse cultural resources as appropriate.
9. Compile the traditional lore and knowledge of local people and integrate their understandings and practices into planning and development.
10. Encourage coordination among agencies and jurisdictions in developing and funding heritage conservation land uses and ensuring public access to publicly held and supported conservation areas.
11. Promote designation of Main Street and Better Home Town Communities.

6.7 Guiding Principles for Natural Resources

Twenty guiding principles are identified in the Regional Plan for Natural Resources:

1. Promote the protection, restoration, enhancement and management of natural resources.
2. Continue the traditional use of land and water (such as farming, forestry, fishing, etc.) as feasible, provided that any significant impacts on resources can be prevented or effectively mitigated.
3. Protect and enhance Coastal Georgia's water resources, including surface water, groundwater, and wetlands and ground water recharge areas.
4. Protect and enhance water quality, quantity and flow regimes.
5. Commit to investing in the protection of natural resources before any restoration and/or remediation is needed.
6. Encourage the restoration and protection of wetlands to provide flooding, storm and habitat protection.
7. Maintain viewsheds of significant natural resources.
8. Enhance access to natural resources for recreation, public education, and tourist attractions as appropriate within the protection mission.
9. Encourage utilization of universities, foundations, and non-government organizations to advise, monitor, and enhance management.

10. Promote the establishment of partnerships and funding mechanisms for the development and utilization of incentives to restore, rehabilitate, protect or reuse natural resources as appropriate.
11. Encourage development practices and sitings that do not significantly impact environmentally sensitive areas.
12. Promote low impact design practices that protect natural resources.
13. Promote to local governments a program of monitoring installation and impacts of individual and community docks along the coast.
14. Promote the monitoring of cumulative impacts of waterfront development along the coast.
15. Maintain a range of landscapes and environments that provide diversity of habitats, species, resources and opportunities for recreation, commerce, community enjoyment and cultural practices.
16. Encourage the development and use of a method to place a value on ecosystem services.
17. Promote the identification of innovative funding sources and development of ecosystem services markets (e.g. carbon, storm buffers, traditional land and water uses).
18. Promote the Adopt-a-Wetland program in areas that can be used as reference sites and that are within projected development areas.
19. Encourage coordination among agencies and jurisdictions in developing and funding conservation land uses and ensuring public access to publicly held and supported conservation areas.
20. Encourage coordination among agencies in studying the impacts of climate change and sea level rising.

6.8 Guiding Principles for Regional Growth Management

Twenty-three guiding principles are identified in the Regional Plan for Growth Management:

1. Encourage development that enhances the desired character of each of the region's cities and towns.
2. Avoid establishment of new land uses which may be incompatible with existing adjacent land uses.
3. Protect our military installations from land use changes that jeopardize their mission through creation or implementation of Joint Land Use Studies (JLUS).
4. Promote growth in those areas that can be efficiently served by infrastructure, such as water, wastewater and transportation.
5. Encourage infill development as an alternative to expansion.
6. Focus new development in compact nodes that can be served by public or community infrastructure providers.
7. Maintain and enhance the scenic character of our rural highways and county roads.
8. Encourage clustered developments, particularly in areas that are suitable and proposed for development, that maximize open spaces, protect natural, cultural and historic resources, preserve wildlife habitat, and include green, low impact development strategies.

9. Encourage local governments to allow green, low impact developments as an alternative to traditional development standards and develop incentives encouraging their use.
10. Limit development in sensitive areas located near marshes and waterways, to low impact development that maintains our coastal character, while recognizing and protecting the sensitive environment.
11. Strongly encourage that new developments have minimal impacts on vital wetlands, coastal hammocks, marshes, and waterways.
12. Discourage lot-by-lot water and wastewater treatment systems for multiple lot developments.
13. Promote green building techniques to maximize energy efficiency and water conservation and minimize post construction impacts on the environment.
14. Encourage the development of a “transfer of development rights” (TDR) program.
15. Encourage development and compliance with minimum uniform land use and development standards for all local governments to adopt within the region.
16. Encourage coordination among agencies and jurisdictions in land use planning, regulation, review and permitting.
17. Promote affordable housing options.
18. Encourage the placement of new schools near existing infrastructure.
19. Partner with state, federal, non-governmental organizations and local governments to provide guidance on critical natural areas, land conservation efforts, and land use practices within each jurisdiction. Provide assistance in all outreach efforts forthcoming from this initiative.
20. Pursue opportunities for continuing education as it relates to regional issues.
21. Encourage enactment of impact fees to defray costs of new development.
22. Consider planning and/or managing a catastrophic event.
23. Promote reduction, reuse and recycle practices.

6.9 Guiding Principles on Business and Industry

Fourteen guiding principles are identified in the Regional Plan for Business and Industry.

1. Promote strategic distributions of business and industry across the region consistent with natural, cultural, historic and industrial resource strategies and encourage partnerships and collaboration between economic development agencies.
2. Investigate ways to share costs and benefits across jurisdictional lines for both regional marketing and project support.
3. Incorporate community plans for the strategic use of land for manufacturing, distribution, etc., while recognizing and respecting natural resources and the unique differences between communities.
4. Coordinate with the Georgia Ports Authority (GPA) to identify their needs and identify mechanisms for the economic development industry

- to strengthen the GPA and its presence in logistics, distribution, and workforce development.
5. Leverage and incorporate the region's military installations (Fort Stewart Army Base, Hunter Army Airfield and Kings Bay Naval Base) and the Federal Law Enforcement Training Center to recruit economic development projects.
 6. Incorporate Herty Advanced Materials Development Center's experience and position as a development center for the commercialization of materials and create incentives to retain a portion of pilot plant opportunities as new Georgia industries and to assist development authorities in increasing recruitment win rates.
 7. Promote the historic nature, natural beauty and successful past and present performance of Coastal Georgia as a location site for film and clean high-tech industry and as a recruitment tool for opportunities.
 8. Incorporate the Center of Innovation's (COI) statewide logistics plan into a regional strategy to assist in the recruitment of companies and leverage as support for industry.
 9. Coordinate federal, State and local economic development funding programs and initiatives that affect the coast.
 10. Enhance workforce development by collaborating with business, industry, and planning of educational entities that provide necessary workforce skills.
 11. Increase existing industry retention and expansion rates.
 12. Promote downtown revitalization efforts to enhance job creation and location of business and offices within downtown areas.
 13. Incorporate current and future needs for housing, infrastructure, and natural resource protection into economic development initiatives.
 14. Encourage international economic developments that support strategic industry sectors.
 15. Enhance economic development and tourism opportunities by increasing cross functional communication.

6.10 Guiding Principles for Agricultural Lands

Ten guiding principles are identified in the Regional Plan for Agricultural Lands.

1. Strongly discourage the conversion of prime farmland to urban uses as it represents a loss to the region's landscape.
2. Wise use and protection of basic soil and water resources helps to achieve practical water quality goals and maintain viable agriculture.
3. Viable agriculture is the backbone of a functioning network of agriculture, open space, and natural areas and a range of strategies should be used to ensure the value of agricultural land.
4. Promote learning about culinary traditions and culture.
5. Encourage agricultural biodiversity.
6. Promote local food traditions and provide opportunity for education of where food comes and how our food choices affect the rest of the world.
7. Promote connecting producers of foods with consumers through events and farmers markets.

8. Promote biodiversity through educational events and public outreach, promoting consumption of seasonal and local foods.
9. Promote community gardens within urban settings.
10. Encourage regional tasting events of local foods, music, talks, forums, workshops, and exhibitions in favor of local agricultural products.

6.11 Guiding Principles for Communities for a Lifetime - Livable Communities

Twelve guiding principles are identified in the Regional Plan for Communities for a Lifetime/Livable Communities:

1. The CRC promotes the concept of Lifelong Communities – places where people of all ages and abilities have access to the public landscape and services which enable them to live healthy and independent lives.
2. For a Lifelong Community to be truly successful it must be a complete community. Complete communities include the direct characteristics that at a minimum meet the needs of the user population, but also provided for a greater civic good by including elements that are beneficial to the environment, sensitive to a broad population and embrace economic/financially feasible regimes.
3. The region will encourage and promote the underlying issues that must be included in a Lifelong Community. The seven (7) basic tenets of a Lifelong Community are:
 - a. Connectivity – the physical connection of streets, pedestrian networks and public spaces that promote ease of access, a direct coexistence with the existing urban fabric and barrier free mobility for all.
 - b. Pedestrian access and transit – focuses on the access to public or privately supported methods of mass transit-oriented forms of mobility and focuses on pedestrian forms of mobility as a primary or equal method of transportation when compared to conventional vehicular modes.
 - c. Neighborhood retail and services – proximity to vital and relevant supporting uses and services are necessary for a successful Lifelong Community. Mixture of uses, walkable streets and services oriented to a range of population needs is the context of this issue.
 - d. Social interaction – social interaction with the full range of the population is a proven requirement of lifelong communities. Pedestrian accessible streets and dwellings, a full stratum of dwelling types, community programming elements and careful placement of improvements are key components in creating a socially vibrant community.
 - e. Dwelling types – a range of dwelling types within a walkable range is crucial to meet the social, economic and physical goals of a lifelong community. Creative architectural and planning solutions, a strong but flexible regulatory framework and policies that promote efficient and sustainable methods of construction are among the crucial requirements of this issue.

- f. Healthy living – accessibility to fitness, education, cultural and health maintenance programming elements are vital to a successful lifelong community and are the primary concerns of this issue.
 - g. Environmental and Sustainable Solutions – the creation of a complete community includes provisions for the appropriate preservation of natural and cultural resources. Promotion of sustainable construction techniques, preservation of natural and cultural resources, innovative methods of power generation and integrated food production are among some of primary components related to successfully executing this issue.
4. The region will determine its “aging readiness” to provide programs, policies and services that address the needs of older adults.
 5. The region will determine its “aging readiness” to ensure that communities are “livable” for persons of all ages.
 6. The region will harness the talent and experience of older adults
 7. To determine “age readiness,” local comprehensive plans should review:
 - a. Demographics;
 - b. Quantity, quality, and type of existing housing stock;
 - c. Land use patterns; and
 - d. Quantity, quality, and type of recreational needs.
 8. Comprehensive plans will promote development patterns and design features to meet the needs of seniors.
 9. Comprehensive plans and ordinances will promote Universal Design/Accessible Building Standards for buildings as well as recreational areas.
 10. Comprehensive plans will include goals and objectives that specifically address the aging population.
 11. Consider seniors and the elderly when reviewing site plans for new construction and/or renovations.
 12. The region will ensure comprehensive plans permit basic services within walking distance recognizing it is a great convenience for all residents but an absolute necessity for an aging population.

6.12 Guiding Principles for Coastal Vulnerability and Resilience

Three guiding principles are identified in the Regional Plan for Coastal Vulnerability and Resilience.

1. The region believes that a community’s resilience is measured by its sustained ability to prepare for, respond to, and fully bounce back from crises.
2. The regions strength is in our community’s resilience and in understanding the region’s vulnerabilities, and in taking positive collective actions to limit the impact of a disruptive crisis, and recovering rapidly from disasters.
3. The region believes in collaborating with a wide range of community resilience experts, community leaders and private sector partners to work together to increase collective capacities to respond to adversity with increased resources, competence, and connectedness to one another.

7. REGIONAL RESOURCE PLAN AND RIR

7.1 The Regional Resource Plan

The Regional Resource Plan (RIR) identifies Cultural and Historic and Natural Resources of regional importance. The Regional Resource Plan provides recommended best development practices, protective measures and policies for local governments to use within one mile of a regionally important resource. The project site includes wetlands and flood plains. Per the developer/applicant: Jurisdictional wetland impacts will be minimal and will be permitted through the Army Corps of Engineers. Flood plain impacts will be mitigated on-site, if necessary.

7.2 Area Requiring Special Attention

The Areas Requiring Special Attention map designates the site as an area of significant natural resources. This designations is where Regionally Important Resources (green infrastructure, groundwater recharge areas, wetlands, priority forests, floodplains, and conservation areas) are likely to be threatened by development. Proper provisions, permits, and requirements must be met while constructing the development to ensure the preservation of environmentally sensitive areas.

7.3 Natural Resources

Green Infrastructure

The U.S. Environmental Protection Agency defines Green Infrastructure as management approaches and technologies that utilize enhance and/or mimic the natural hydrologic cycle processes of infiltration, evapotranspiration and reuse. This management approach attempts to keep stormwater onsite. It incorporates vegetation and natural resources as much as possible in development and redevelopment.

Green Infrastructure has a number of benefits, including reduced runoff, groundwater recharge, higher air quality, better aesthetics, reduces costs, lowers impacts on climate change, and provides environmental benefits that surpass improved water quality.

Coastal Georgia's Green Infrastructure network is defined as a natural life support system of parks and preserves, woodlands and wildlife areas, wetlands and waterways, greenways, cultural, historic and recreational sites and other natural areas all with conservation value. A potential impact as a result of premature or poorly planned conversion of land to other uses is the failure to adequately protect and conserve natural resources such as wetlands, flood plains, native vegetation, lakes, streams, rivers, natural groundwater aquifer recharge areas, and other significant natural systems. The river corridors, floodplains and tributary streams are considered to be critical green infrastructure components, as they supply key social, economic and environmental benefits for local communities and provide important habitats for wildlife.

Green infrastructure planning provides an alternative to what is common practice in many communities: conserving land on a piecemeal basis without the benefit of a large framework plan that allows a comprehensive approach to land conservation. Areas of protected open space should follow natural features for recreation and conservation purposes, including greenways that link ecological, cultural and recreational amenities.

Green Infrastructure shall be considered first in the planning process and in reviewing comprehensive plans, zoning, development review processes and performance standards.

Principles for green infrastructure include identifying what is to be protected in advance of development; providing for linkage between natural areas; and designing a system that operates at different functional scales, across political jurisdictions, and through diverse landscapes. Additional principles include sound scientific and land use planning practices, providing funding upfront as a primary public investment (for example, through a dedicated tax or other funding mechanism), emphasizing the benefits to people and nature, and using the green infrastructure as the planning framework for conservation and development. The concept of green infrastructure planning is based on a strategic approach to ensuring environmental assets of natural and cultural value are integrated with land development, growth management and built infrastructure planning at the earliest stage.

Greenspace or greenway land needs to be set aside for pedestrian, equestrian, and bicycle connections between schools, churches, recreation areas, city centers, residential neighborhoods, and commercial areas. Open-space, parks, trails, greenways, and natural undeveloped land are not individual but an integrated and organized system. Green infrastructure is as an interconnected system. Key physical, natural, ecological, landscape, historical, access and recreational assets contribute to the functionality of the green infrastructure network. The green infrastructure network weaves together a network of recreational and nature areas. Properly planned greenways provide efficient pedestrian linkages that can serve as alternative transportation to and from work, to services and other daily destinations. Greenway linkages serve as outdoor recreation for biking, walking, and jogging. Green infrastructure encourages the creation of transportation corridors and connections, which can foster ecotourism, tourism and outdoor recreation.

7.4 Wetlands-Green Infrastructure

According to the developer, the project site contains floodplains and wetlands. Jurisdictional wetland impacts will be minimal and will be permitted through the Army Corps of Engineers. Flood plain impacts will be mitigated on-site, if necessary. The Green Infrastructure Regional Map shows the development site to contain large areas of "core" infrastructure and portions of the site contain land designated as "corridor". These are areas of high conservation value and ecological quality that form the heart of the ecological network. They may contain rare or important habitats or have the conditions to support them. Protection of environmental, natural, and cultural resources is a regional goal. It is recommended that the developer identify the most efficient solutions that will negate or limit the impact on the areas of significant natural resources and green infrastructure that lie within the development site.

8. COMPREHENSIVE ECONOMIC DEVELOPMENT STRATEGY (CEDSD)

8.1 Population and Employment Trends

County	2000	2015	2020	2030
Chatham	232,048	275,057	286,869	307,472

Source: U.S. Census; Georgia Office of Planning and Budget

The county's population is expected to grow from its 2000 level of 232,048 to 307,472 by 2030, according to the US Census and the Governor's Office of Planning and Budget. The Coastal Region's population in 2030 is projected to be 962,956, which is an increase from the 2000 level of 558,350.

Chatham County, is a growing county in the region and had a 2019 population estimate of 289,430 according to the US Census. The Census population of Chatham County in 2000 was 232,048.

The Coastal Georgia region supported 312,400 jobs in 2000, and is expected to support 435,050 jobs in 2030. Chatham County is located in the Savannah, Georgia Metropolitan Statistical Area (MSA). The Savannah MSA unemployment rate in September 2020 was 6.7 percent.

9. CRC Resources

9.1 Coastal Stormwater Supplement

The CRC applauds Chatham County for adopting the CSS Ordinance and/or ensuring the Coastal Stormwater Supplement (CSS) is implemented for stormwater management.

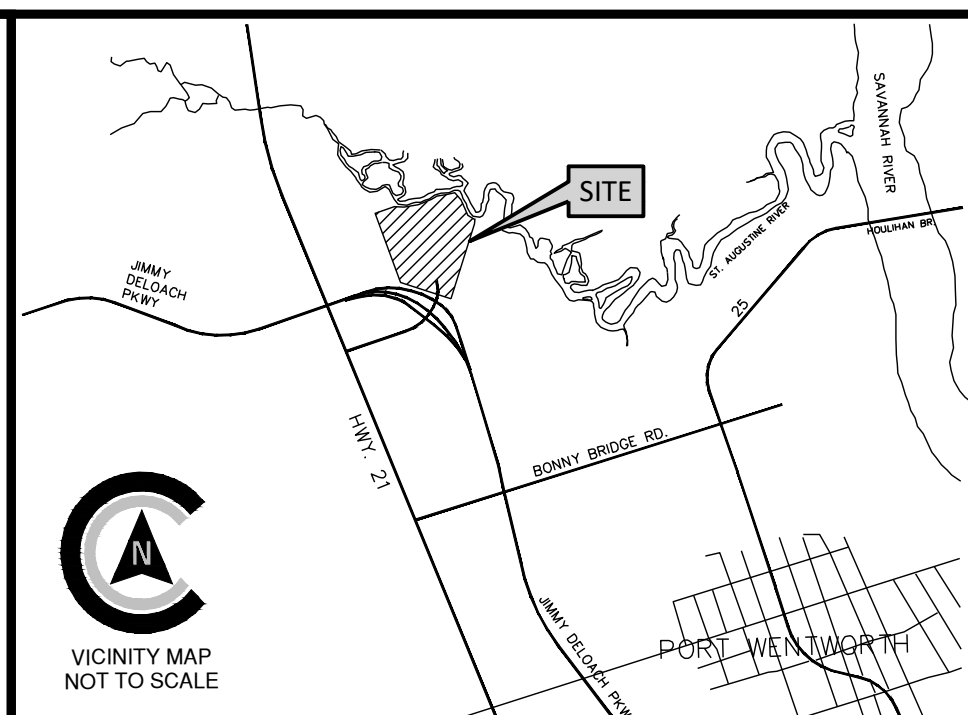
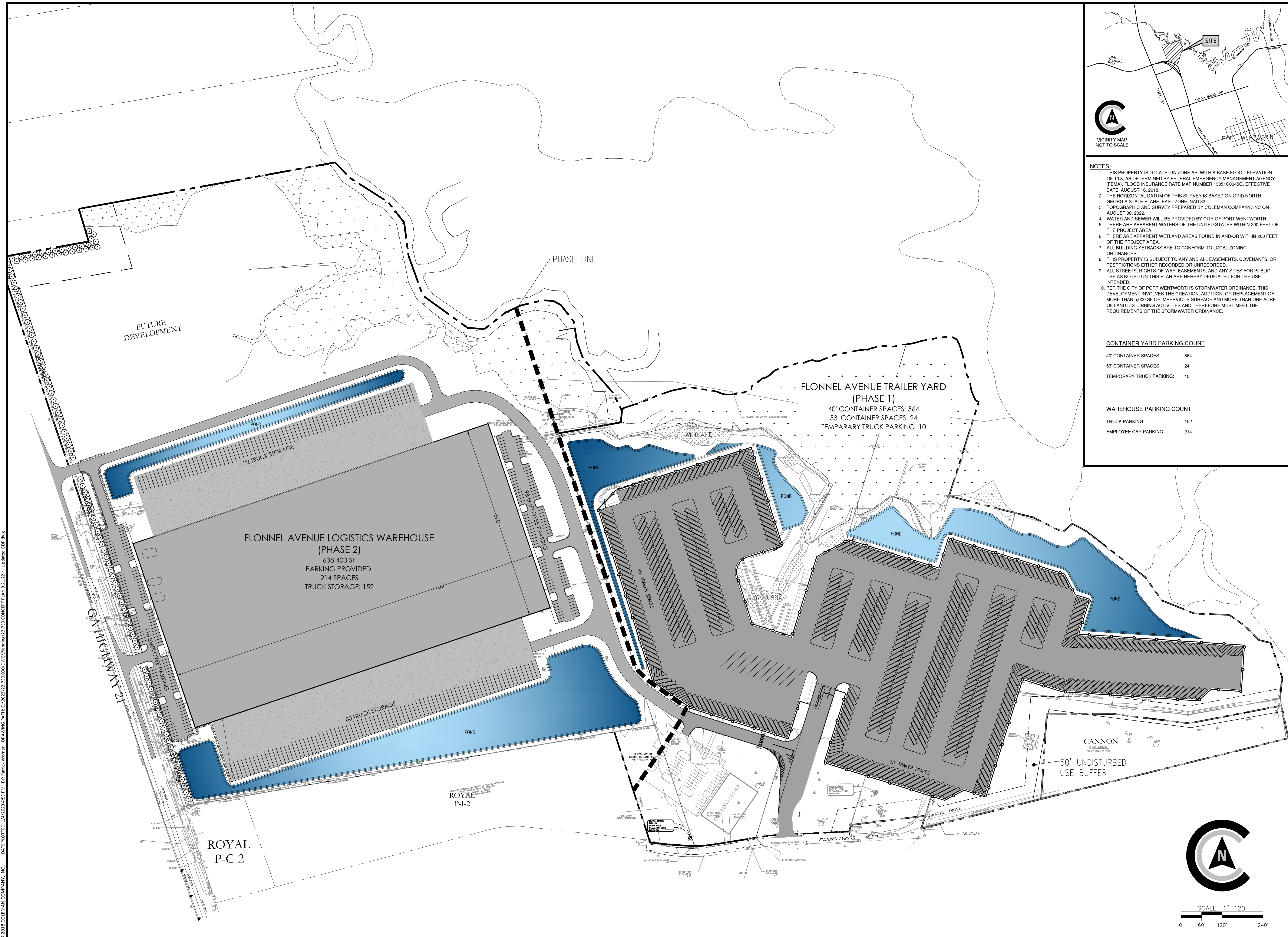
9.2 Regional Design Guidelines

The CRC recommends that Chatham County and the City of Port Wentworth ensure that new development creates an environment that contributes to the region's character. The *Georgia Coastal Regional Character Design Guidelines* for the development are appropriate to implement quality growth.

The 'Character Region' for this area is *Rural Ridge* and may utilize the 'Character Area Key' for *Commercial*.

For technical assistance contact Karen Saunders, Grant Specialist at ksaunds@crc.ga.gov.

**SITE PLAN
PROVIDED BY THE APPLICANT**



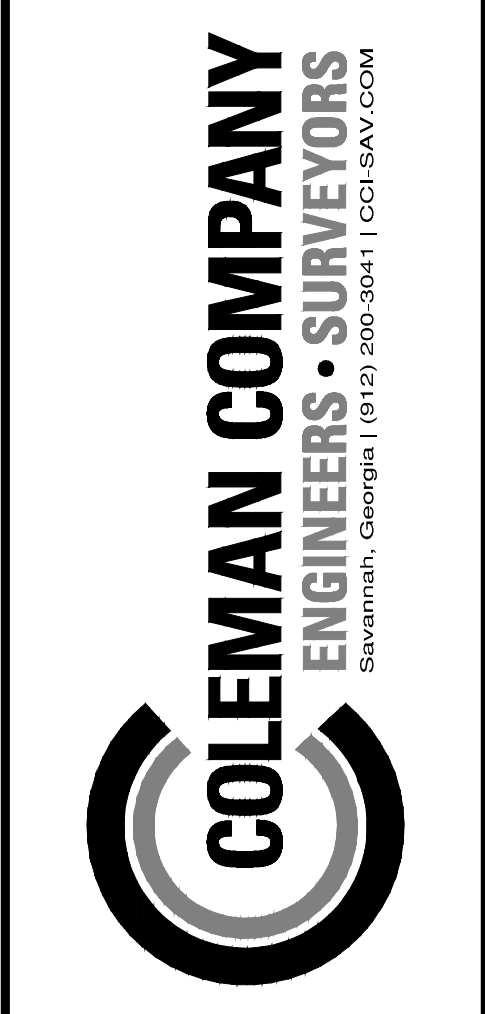
- NOTES:**
1. THIS PROPERTY IS LOCATED IN ZONE AE, WITH A BASE FLOOD ELEVATION OF 10.8, AS DETERMINED BY FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA), FLOOD INSURANCE RATE MAP NUMBER 13051C0045G, EFFECTIVE DATE: AUGUST 16, 2018.
 2. THE HORIZONTAL DATUM OF THIS SURVEY IS BASED ON GRID NORTH, GEORGIA STATE PLANE, EAST ZONE, NAD 83.
 3. TOPOGRAPHIC AND SURVEY PREPARED BY COLEMAN COMPANY, INC ON AUGUST 30, 2022.
 4. WATER AND SEWER WILL BE PROVIDED BY CITY OF PORT WENTWORTH.
 5. THERE ARE APPARENT WATERS OF THE UNITED STATES WITHIN 200 FEET OF THE PROJECT AREA.
 6. THERE ARE APPARENT WETLAND AREAS FOUND IN AND/OR WITHIN 200 FEET OF THE PROJECT AREA.
 7. ALL BUILDING SETBACKS ARE TO CONFORM TO LOCAL ZONING ORDINANCES.
 8. THIS PROPERTY IS SUBJECT TO ANY AND ALL EASEMENTS, COVENANTS, OR RESTRICTIONS EITHER RECORDED OR UNRECORDED.
 9. ALL STREETS, RIGHTS-OF-WAY, EASEMENTS, AND ANY SITES FOR PUBLIC USE AS NOTED ON THIS PLAN ARE HEREBY DEDICATED FOR THE USE INTENDED.
 10. PER THE CITY OF PORT WENTWORTH'S STORMWATER ORDINANCE, THIS DEVELOPMENT INVOLVES THE CREATION, ADDITION, OR REPLACEMENT OF MORE THAN 5,000 SF OF IMPERVIOUS SURFACE AND MORE THAN ONE ACRE OF LAND DISTURBING ACTIVITIES AND THEREFORE MUST MEET THE REQUIREMENTS OF THE STORMWATER ORDINANCE.

CONTAINER YARD PARKING COUNT

40' CONTAINER SPACES:	564
53' CONTAINER SPACES:	24
TEMPORARY TRUCK PARKING:	10

WAREHOUSE PARKING COUNT

TRUCK PARKING	152
EMPLOYEE CAR PARKING	214



NOT FOR CONSTRUCTION

SITE PLAN IS CONCEPTUAL IN NATURE AND SUBJECT TO CHANGE UPON FINAL SURVEY AND JURISDICTIONAL INVESTIGATION

REVISIONS:

CONCEPTUAL PLAN

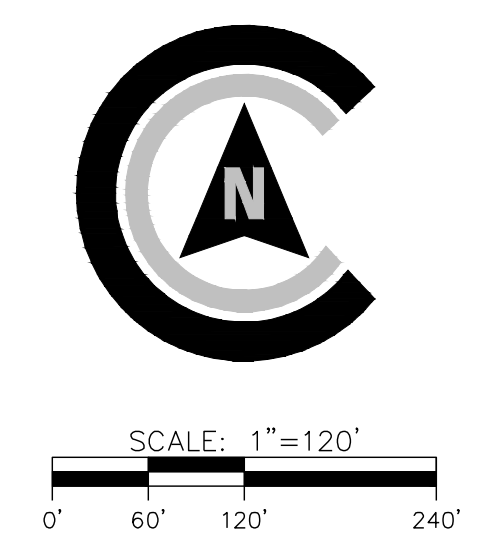
FLONNEL AVENUE LOGISTICS FACILITY CONTAINER YARD

LOCATED IN PT. WENTWORTH, GEORGIA

JOB NUMBER: 22-730.000
 DATE: 01/04/23
 DRAWN BY: JWR
 CHECKED BY: GJC
 SCALE: AS NOTED

CONCEPTUAL PLAN

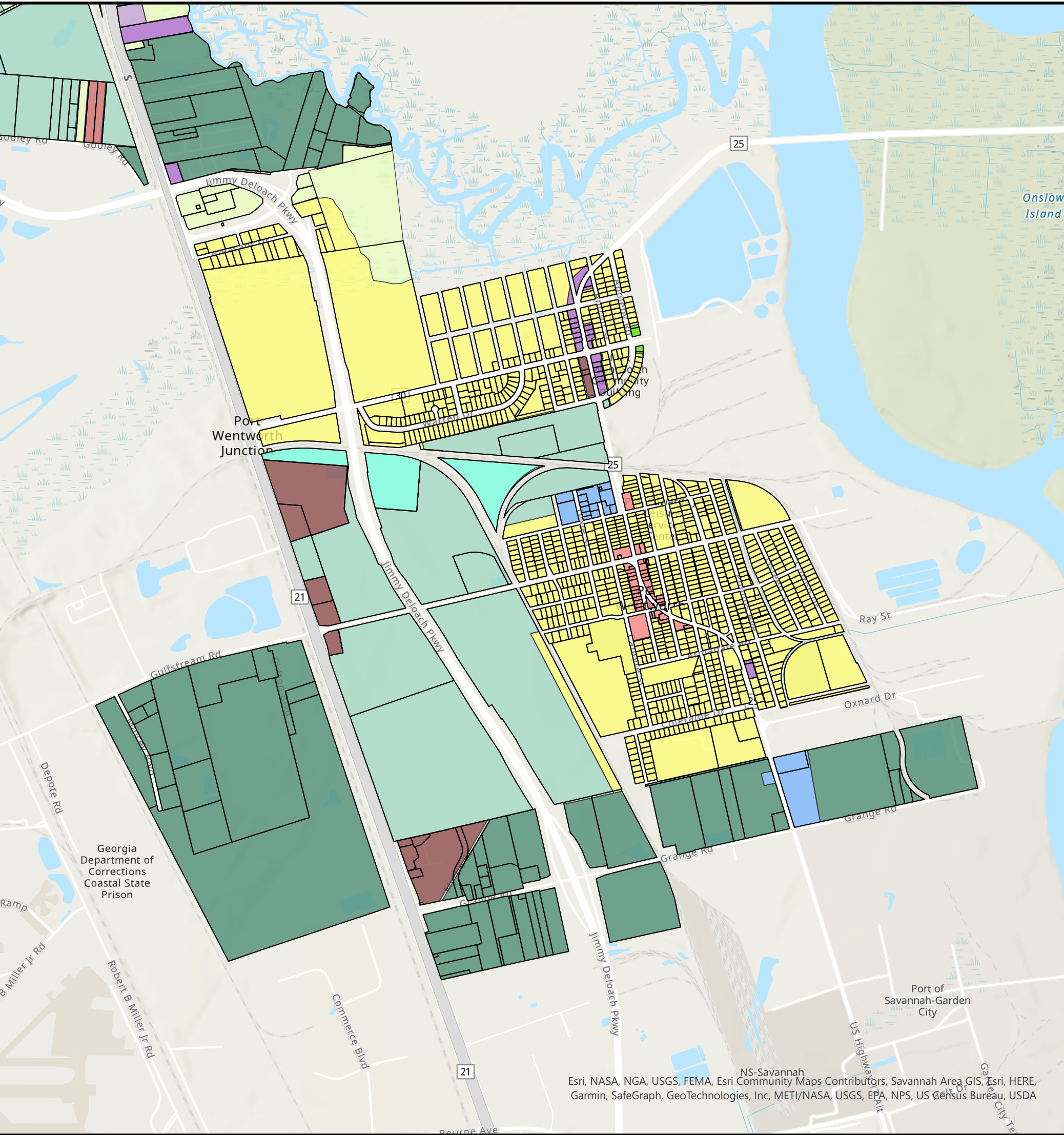
SHEET:
CP1.0



© 2018 COLEMAN COMPANY, INC. DATE PLOTTED: 1/10/2023 4:53 PM BY: Patrick Wynn. DRAWING PATH: C:\2023\12-27\0000\DWG\Printing\22-730-000\CONCEPT PLAN 8.1.1.21 - Updated CDP.dwg

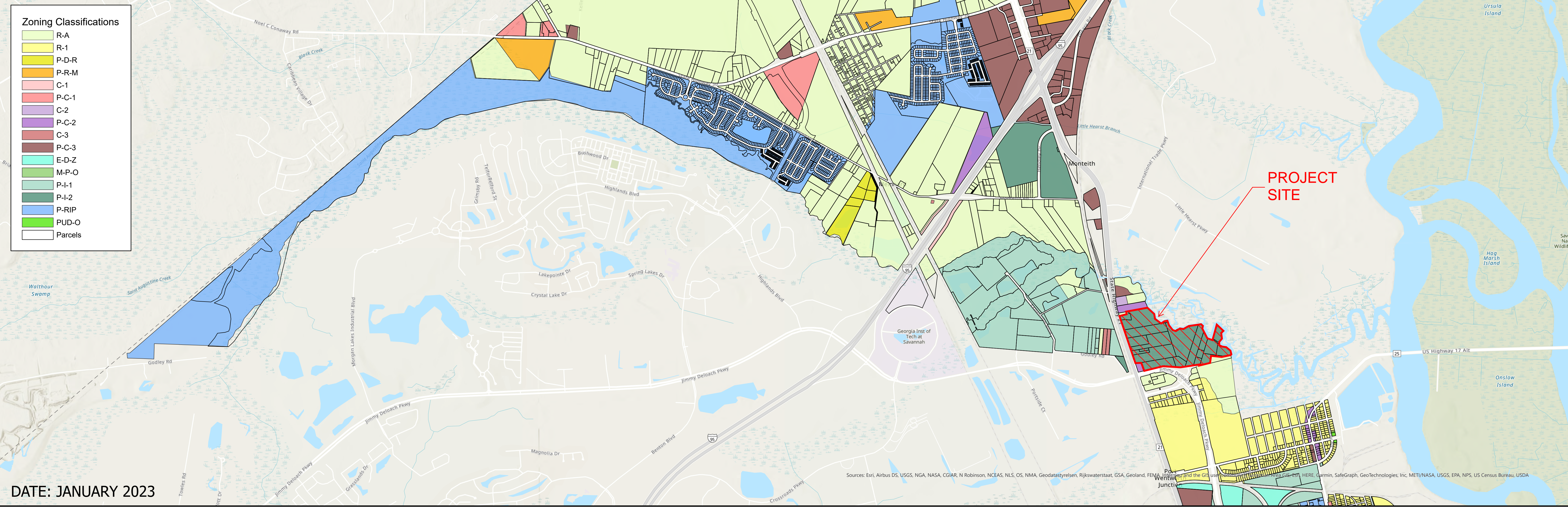
PORT WENTWORTH ZONING MAP & CHARACTER AREAS MAP

CITY OF PORT WENTWORTH ZONING MAP



Zoning Classifications

[Light Green]	R-A
[Yellow]	R-1
[Orange]	P-D-R
[Light Orange]	P-R-M
[Light Red]	C-1
[Red]	P-C-1
[Purple]	C-2
[Dark Purple]	P-C-2
[Dark Red]	C-3
[Brown]	P-C-3
[Light Green]	E-D-Z
[Light Green]	M-P-O
[Light Green]	P-I-1
[Light Green]	P-I-2
[Light Blue]	P-RIP
[Light Blue]	PUD-O
[Black Outline]	Parcels

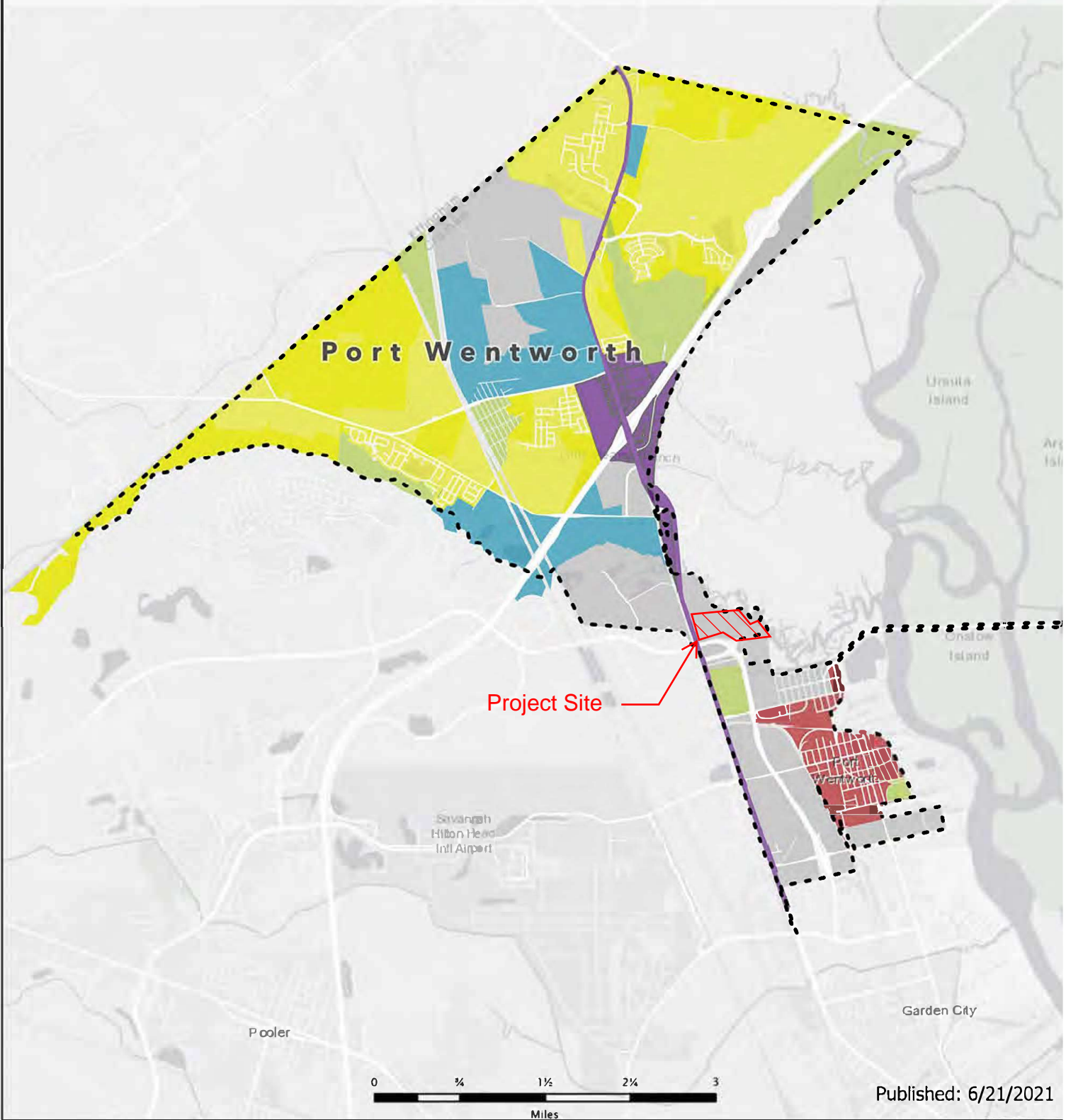


DATE: JANUARY 2023



Sources: Esri, Airbus DS, USGS, NGA, NASA, CGIAR, N Robinson, NCEAS, NLS, OS, NMA, Geodatasystemen, Rijkswaterstaat, GSA, Geoland, FEMA, Interpol, Esri, HERE, Garmin, SafeGraph, GeoTechnologies, Inc, METI/NASA, USGS, EPA, NPS, US Census Bureau, USDA





Character Areas

City of Port Wentworth Comp Plan



Character Areas

-  Highway Commercial Interchange Area
-  Industrial Park

-  Open Space
-  Rural Neighborhood
-  Suburban
-  Traditional Village



DRI Review Information

Current Zoning: P-I-2

Proposed Re-Zoning: N/A (Site is zoned P-I-2)

Parcel Numbers of property the proposed project will be developed on:

70003 01001, 70003 01002, 70003 01011, 70003 01010, 70003 01009, 70003 01012, 70003 01013,
70003 01005, 70003 01014

Development of Regional Impact Future Land Use Map

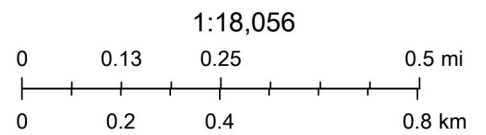


3/6/2023, 8:25:39 AM

- Counties
- Developing
- Cities
- Rural

Future Development

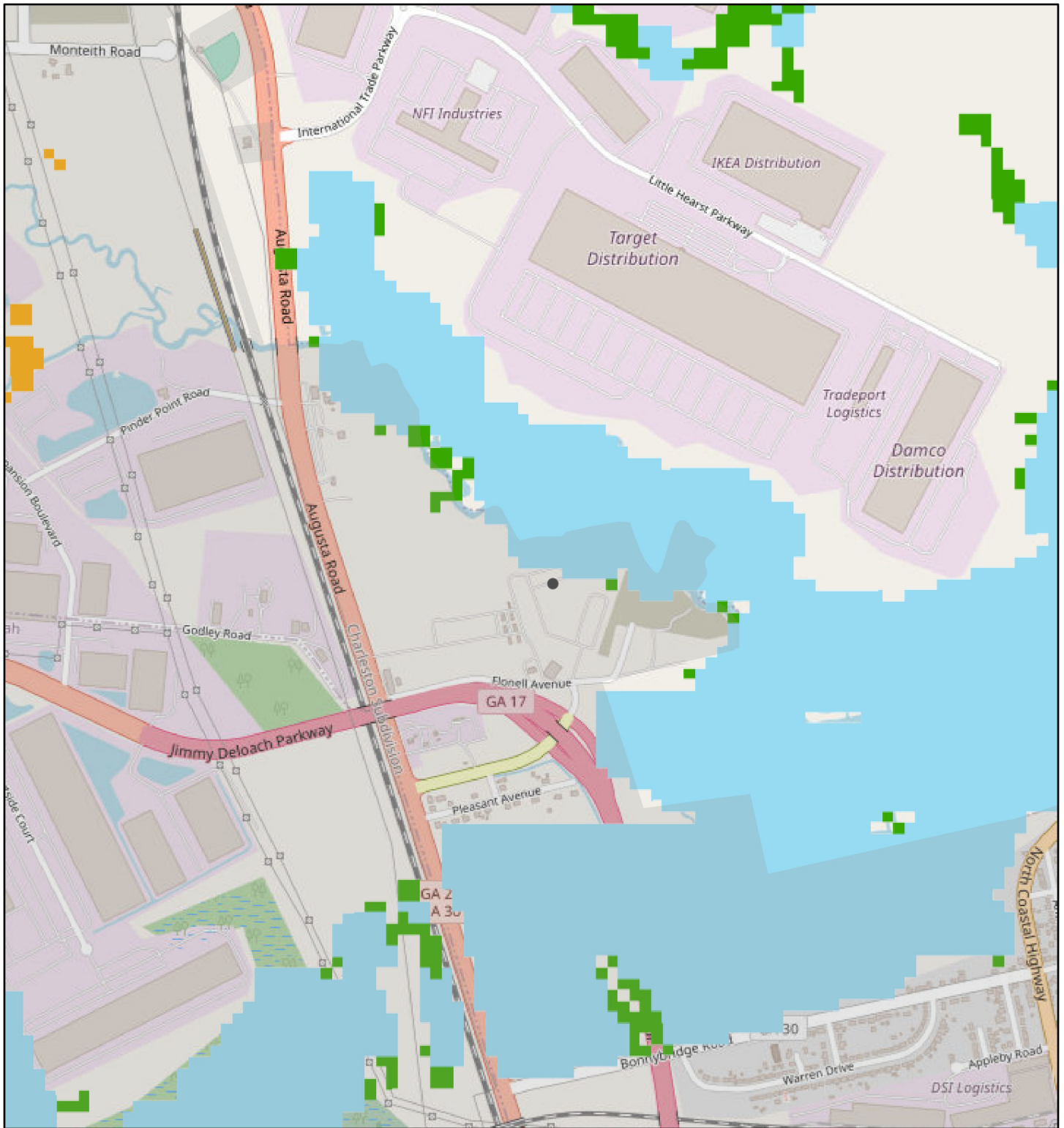
- Developed



Map data © OpenStreetMap contributors, CC-BY-SA

Attachment: Flonnel Ave Logistics Yard 7-0003-01-001 G-Site Plan 2023-DRI Final Report (2829 : Site Plan Review Application (General) Flonnel

Development of Regional Impact Green Infrastructure Map



3/6/2023, 8:27:37 AM

1:18,056

Green Infrastructure Class

Sites

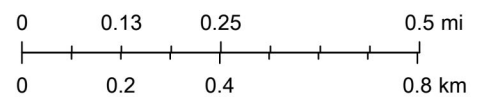
Core

Counties

Corridor

Cities

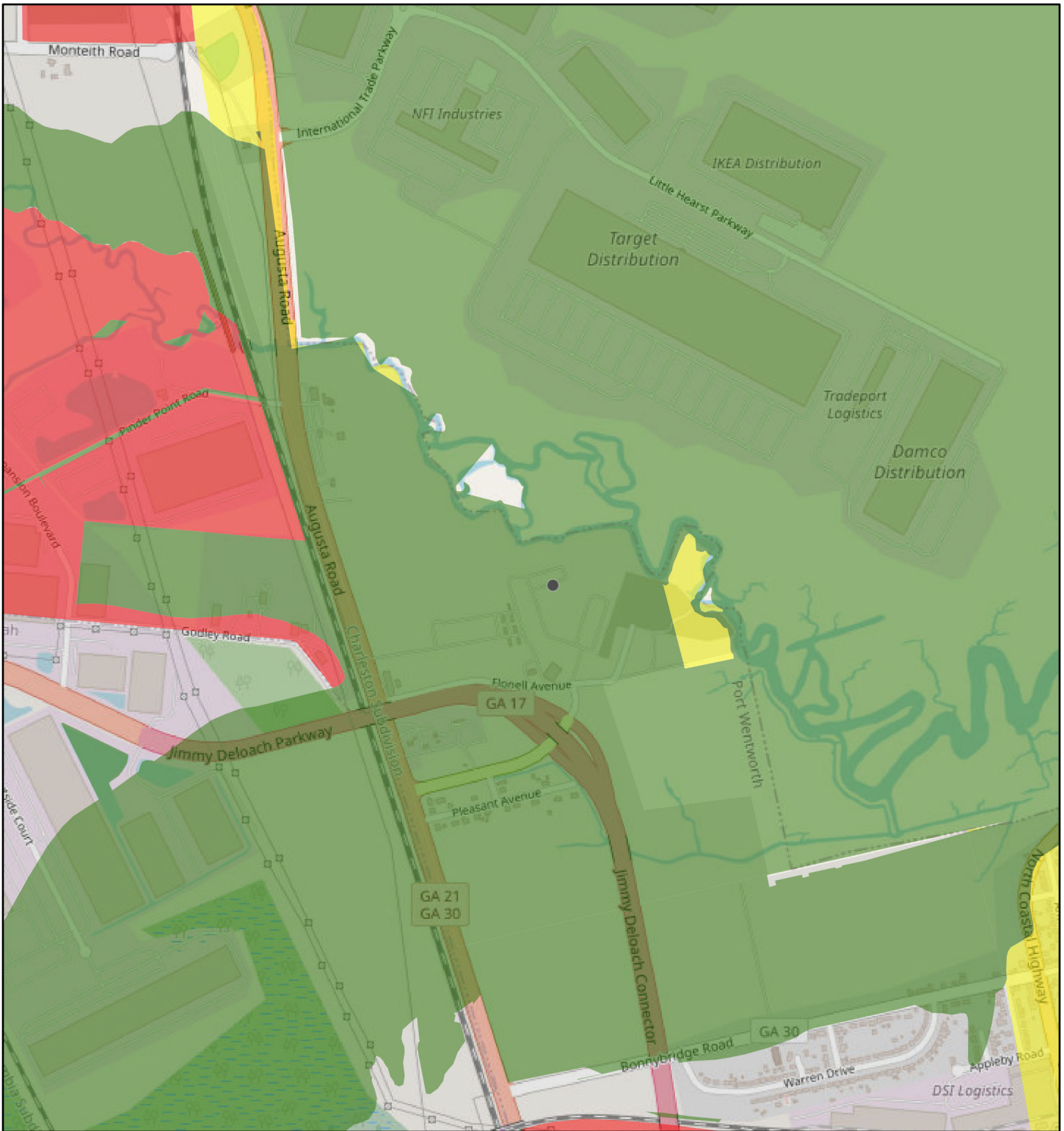
Multi-Use Buffer Areas



CRC, Georgia Forestry, Map data © OpenStreetMap contributors, CC-BY-SA

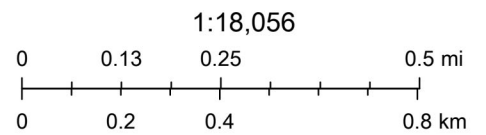
Attachment: Flonell Ave Logistics Yard 7-0003-01-001 G-Site Plan 2023-DRI Final Report (2829 : Site Plan Review Application (General) Flonell

Development of Regional Impact ARSAMap



3/6/2023, 8:23:50 AM

- ARSA - Areas Requiring Special Attention
- Areas in Need of Infrastructure
- Areas of Rapid Development
- Areas of Significant Infill
- Areas of Significant Natural Resources
- Counties
- Cities



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Attachment: Flonnel Ave Logistics Yard 7-0003-01-001 G-Site Plan 2023-DRI Final Report (2829 : Site Plan Review Application (General) Flonnel

PUBLIC COMMENTS

Karen Saunders

From: Cornelia Reed <CReed@Savannahga.Gov>
Sent: Monday, March 20, 2023 2:56 PM
To: Karen Saunders
Cc: Bridget Lidy; James Laplander; Brion Ehret; Laura Walker; Ronald Feldner
Subject: City of Savannah Response for DRI #3911 - City of Port Wentworth

Hello Karen. The City of Savannah has the following response for this DRI project copied below. Thank you

Water Resources Department: *The developer should coordinate their water supply needs with the City of Port Wentworth who should obtain input from the City of Savannah who serves as the primary water supplier for the region which includes Port Wentworth.*

Jim Laplander, PE

Director Water and Sewer Planning and Engineering Division
 20 Interchange Drive, Savannah, GA 31415
 Office: 912.651.6573, Fax 912.650-7839, Mobile: (912) 658-6973
jlaplander@savannahga.gov

Thank you Karen. May you have a great week.

With best regard

Cornelia M. Reed, M.A.

Program Coordinator
 Planning and Urban Design Department
 Physical Location Address Change
 Office Moved Effective 9/13/2021
 20 Interchange Drive, Administration Building
 Savannah, GA 31415
 P.O. Box 1027, Savannah, GA 31402
creed@savannahga.gov
 Office: 912.525-3100, ext. 1161
 Department: 912-525-2783



From: Cornelia Reed <CReed@Savannahga.Gov>
Sent: Monday, March 6, 2023 2:03 PM
To: herntona@thempc.org; wangw@thempc.org; Cheryl Mason <CMason@Savannahga.Gov>; Eric Chin <EChin@Savannahga.Gov>; Martha Davidson <MDavidson@Savannahga.Gov>; Frederick Anderson <fanderson@Savannahga.Gov>; Thomas Bolton <tbolton@Savannahga.Gov>; Michele Strickland <MStrickland@Savannahga.Gov>; Peter Ghilarducci <PGhilarducci@Savannahga.Gov>; William Buckley <William.Buckley@Savannahga.Gov>; Marcus Lotson <lotsonm@thempc.org>; Leah Michalak <michalakl@thempc.org>; Thomas Cawthon <TCawthon@Savannahga.Gov>; Brian Brainerd <BBrainerd@Savannahga.Gov>; Jackie Jackson <jacksonj@thempc.org>; Brion Ehret <BEhret@Savannahga.Gov>; Tammy Faughey <TFaughey@Savannahga.Gov>; Pamela Everett <everettp@thempc.org>; Barry Lewis <BLewis01@Savannahga.Gov>; Quhannah Andrews <QAndrews@Savannahga.Gov>; Martha Davidson <MDavidson@Savannahga.Gov>; moranok@thempc.org; Laura Walker <LWalker@Savannahga.Gov>; John Anagnost <John.Anagnost@Savannahga.Gov>; Kenneth Cullens <Kenneth.Cullens@Savannahga.Gov>

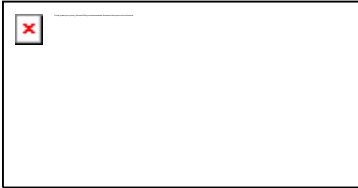
Cc: Martin Fretty <MFretty@Savannahga.Gov>; Stephen Henry <SHenry@Savannahga.Gov>; Gordon Denney <GDenney@Savannahga.Gov>; Julie McLean <JMcLean@Savannahga.Gov>; Bridget Lidy <blidy@Savannahga.Gov>; David Keating <DKeating@Savannahga.Gov>; James Laplander <JLaplander@Savannahga.Gov>; Melanie Wilson <wilsonm@thempc.org>; Cornelia Reed <CReed@Savannahga.Gov>; Ronald Feldner <Ronald.Feldner@Savannahga.Gov>

Subject: Time-Sensitive Request for Review on or before Noon, Monday, March 20th for DRI #3911 - City of Port Wentworth

Hello All. We received the below request from the Coastal Regional Commission for review regarding project in Port Wentworth (see site plan(s) and other related links providing specific development information below). The City Manager’s office has requested that applicable city departments review this request, including the project map, and other documentation provided in the links below and **provide your feedback to me on or before noon, Monday, March 20th**, regarding any concerns, objections, and/or any conditions related to this proposed development project that **may** affect Savannah utilities, property, and/or any other city operations.

No response is needed when your department does not have comments/no objection(s). And, although project location may not be located in Savannah, please note that we are required to forward for review all project notices received by the Coastal Regional Commission.

Please feel free to forward this message to anyone you may believe would need to review this request for comment and ensure they forward input to me by the deadline. Please pardon the inconvenience if you no longer review these requests.



Review Requested for DRI #3911 Flonnel Avenue Logistics Facility Container Yard

DRI 3911: Flonnel Avenue Logistics Facility Container Yard

DRI#3911 is a proposed industrial development with the initial action being requested by Port Wentworth for permits, and the connection of sewer and water. The proposed development is the expansion of an existing trailer yard, with a new warehouse facility, and associated infrastructure. The project size is 67.7 acres with trailer yard expansion of 401,115 SF and future 638,400 SF warehouse, parking provided: 214 spaces, truck storage: 152. The parcel numbers of property the proposed project will be developed on: 70003 01001 (17.16 acres), 70003 01002 (8.32 acres), 70003 01011 (5.41 acres), 70003 01010 (1.24 acres), 70003 01009 (1.21 acres), 70003 01012 (4.46 acres), 70003 01013(3.07 acres), 70003 01005 (2.88 acres), and 70003 01014 (2.64 acres). The current zoning is P-I-2 (Planned Industrial Heavy) which is the appropriate zoning for the proposed development. The estimated completion of the overall project is July 2025.

Economic Development

The estimated value of the project at build out is \$29,800,000, and the amount of annual local tax revenue likely to be generated by the proposed development is estimated to be \$292,082. The developer indicates that the regional workforce is sufficient to serve this development, and that the development will not displace any existing uses.

Water Supply

The water supply provider for this site will be the City of Port Wentworth. The estimated water supply is +/-0.0078 MGD. Current water capacity is sufficient for the estimated demand of water to be generated by the project. However, a water line extension will be required. Approximately .28 miles of additional water main will be constructed to serve this development.

Wastewater Disposal

The Wastewater treatment provider for the proposed development site will be the City of Port Wentworth. The estimated sewage flow to be generated by the project is +/-0.0078 MGD. Current wastewater capacity is sufficient to serve this project. A sewer line extension will be required: Approximately .28 miles of additional sewer line extension will be required to serve this project.

Transportation

The estimated traffic volume expected to be generated by the proposed development is broken up into peak hour vehicle trips per day: Daily=1,556 trips with 191 AM peak trips and 209 PM peak trips. A traffic study has not been performed, however, a traffic study is going to be conducted before the warehouse is scheduled to be built to identify any potential needed improvements, which will be coordinated with the City of Port Wentworth and GDOT. The yard expansion is scheduled to increase volumes by less than 100 peak trips, and traffic memorandum has been provided to the City.

Solid Waste Disposal

The annual amount of solid waste to be generated is approximately 540 tons annually. Current landfill capacity is sufficient to serve this project and no hazardous waste will be generated by the development.

Stormwater Management

Approximately 69% of the project site is expected to be impervious surface once the development has been constructed. The project must meet the City of Port Wentworth's Stormwater Ordinance's requirements. The following measures are proposed for mitigating the project's impact on stormwater management: Detention ponds, outfall control structures, grass channels, undisturbed pervious surfaces, and state water buffers will be used for stormwater mitigation.

Environmental Quality

Wetlands and Floodplains are likely to be impacted by the development. Jurisdictional wetland impacts will be minimal and will be permitted through the Army Corps of Engineers. Flood plain impacts will be mitigated on-site, if necessary.

Local Planning Considerations

The current zoning of the proposed project area is P-I-2 which is Planned Industrial Heavy. No zoning changes will be required for the development of the proposed project. Both the [current Zoning Map](#) and the [Character Areas Map](#) from the City of Port Wentworth's comprehensive plan, are conducive with the development of the proposed project.

Regional Planning Considerations

The Coastal Regional Commission utilizes a DRI Regional Mapping tool for the Development of Regional Impacts review process. The Regional [Areas of Significant Natural Resources Map](#) indicates the project site of the proposed development to be an Area of Significant Natural Resources. This designations is where Regionally Important Resources (green infrastructure, groundwater recharge areas, wetlands, priority forests, floodplains, and conservation areas) are likely to be

threatened by development. Proper provisions, permits, and requirements must be met while constructing the development to ensure the preservation of environmentally sensitive areas. The Regional [Future Development Land Use Map](#) designates most of the project site as rural. This means that it is an area not expected to be urbanized or require urban services. A portion of the site is designated Developed meaning urban development patterns, water & sewer services are currently provided. The [Green Infrastructure Regional Map](#) shows the development site to contain large areas of "core" infrastructure and portions of the site contain land designated as "corridor". These are areas of high conservation value and ecological quality that form the heart of the ecological network. They may contain rare or important habitats or have the conditions to support them. Protection of environmental, natural, and cultural resources is a regional goal. It is recommended that the developer identify the most efficient solutions that will negate or limit the impact on the areas of significant natural resources and green infrastructure that lie within the development site. For more detail information concerning desired regional growth, you may refer to [The Regional Plan of Coastal Georgia](#).

For more information on this development, please see the information forms [here](#) and [here](#). Also enclosed in this email are: [the Character Area Use Map](#) from Port Wentworth's comprehensive plan, [the zoning map of the project site](#), [the Regional Development Maps of the project area](#), and [the conceptual site plan](#).

With best regard

Cornelia M. Reed, M.A.

Program Coordinator
 Planning and Urban Design Department
 Physical Location Address Change
 Office Moved Effective 9/13/2021
 20 Interchange Drive, Administration Building
 Savannah, GA 31415
 P.O. Box 1027, Savannah, GA 31402
creed@savannahga.gov
 Office: 912.525-3100, ext. 1161
 Department: 912-525-2783





Planning Commission
305 South Coastal Highway
Port Wentworth, GA 31407

Meeting: 06/12/23 07:00 PM
Department: Development Services
Category: Planning/Zoning Item
Prepared By: Stephanie Cook
Department Head: Melanie Ellis

SCHEDULED

AGENDA ITEM (ID # 2830)

DOC ID: 2830

Site Plan Review Application has been submitted by Patrick Warner, Coleman Company Ins., on behalf of Inter Metro Properties GA, LLC PIN #'s 70003 01001, 70003 01002, 70003 01005, 70003 01009, 70003 01010, 70003 01011, 70003 01012, 70003 01013, & 70003 01014 (230 Flonell Avenue) for a Specific Development Site Plan to allow the expansion of an existing trailer yard & associated infrastructure in a P-I-2 (Planned Industrial) Zoning District

Issue/Item: Site Plan Review Application has been submitted by Patrick Warner, Coleman Company Ins., on behalf of Inter Metro Properties GA, LLC PIN #'s 70003 01001, 70003 01002, 70003 01005, 70003 01009, 70003 01010, 70003 01011, 70003 01012, 70003 01013, & 70003 01014 (230 Flonell Avenue) for a Specific Development Site Plan to allow the expansion of an existing trailer yard & associated infrastructure in a P-I-2 (Planned Industrial) Zoning District

Background: The subject property is located off 230 Flonell Avenue in Port Wentworth, GA. The existing site is currently a trailer storage yard developed P-I-2 zoned property on a 70-acre parcel.

Facts and Findings: The specific development plan for this site is to allow for the expansion of an existing trailer yard & associated infrastructure in a P-I-2 (Planned Industrial) Zoning District. The plan is to alter & expand the existing trailer storage yard area & add additional trailer storage to the site. The property is located majority in Flood Zone AE 100 & partially in Zone X. There are known Corps of Engineers determined wetlands located within 200 ft of the property. This application received Engineer Concurrence by the City Engineer's May 9, 2023. This project is located in Council District 2. The parcel is located in the Industrial Park character area as defined in the 2021-2041 City of Port Wentworth Comprehensive Plan.

Funding: N/A

Recommendation: The Planning Commission will hear this application on Monday, June 12, 2023 at 7:00 PM.

ATTACHMENTS:

- Flonell Ave Logistics Yard 7-0003-01-001 S-Site Plan 2023-Application (PDF)
- Flonell Ave Logistics Yard 7-0003-01-001 S-Site Plan 2023-PIN Email. (PDF)
- Flonell Ave Logistics Yard 7-0003-01-001 S-Site Plan 2023-Adj Prop Owners (PDF)
- Flonell Ave Logistics Yard 7-0003-01-001 S-Site Plan 2023-Timeline (DOCX)
- 25412.0036 - Flonell Ave Logistics - 5th Review by T&H (FINAL) 05.09.23 (PDF)
- Flonell Ave Logistics Yard 7-0003-01-001 S-Site Plan 2023-traffic memo 3.3.23 (PDF)
- Flonell Ave Logistics Yard 7-0003-01-001 S-Site Plan 2023-Civil Plans 5.4.23 (PDF)

City of Port Wentworth
7224 Highway 21 Port Wentworth Georgia 31407 912-999-2084

Site Plan Review Application

Site Plan Application is required for all new construction in a "P" or "MPO" zone as defined in the Zoning Ordinance of the City of Port Wentworth.

Site Plan Type (Check One): General / Concept Specific Development
Site Plan Address: 230 Flonell Avenue
PIN #(s): 230 Flonell Avenue
Zoning: P-I-2 Estimated Cost of Construction: \$ 10,000,000
Type of Construction: Expanding Existing Trailer Yard and Associated Infrastructure
Project Name: Flonell Avenue Logistics Yard

Applicant's Name: Coleman Company Inc. - Patrick Warner
Mailing Address: 1480 Chatham Parkway, Suite 100
Savannah, GA 31405
Phone #: 912-200-3041 Email: pwarner@cci-sav.com

Owner's Name (if Different form Applicant): Inter Metro Properties GA, LLC
Mailing Address: PO Box 651 Basking Ridge NJ 07920
Phone #: 912-667-0406 Email: JMcVeigh@fedway.com

I hereby acknowledge that the above information is true and correct.

Patrick Warner
Applicant's Signature

12-20-2022
Date

Joe McVeigh
Owner's Signature (if Different form Applicant)

20 DEC 2022
Date

Please see page 2 for required submittal checklist

Attachment: Flonell Ave Logistics Yard 7-0003-01-001 S-Site Plan 2023-Application (2830 : Site Plan Review Application (Specific) Flonell Ave

City of Port Wentworth
 7224 Highway 21 ▪ Port Wentworth ▪ Georgia ▪ 31407 ▪ 912-999-2084

Site Plan Review Application Submittal Checklist

Documentation below is required for a complete submittal.

- Signed and Completed Application
- 3 Full size sets of site plan civil drawings or concept plan (depending on type of site plan)
- 15 half size (11" X 17") sets of site plan civil drawings or concept plan (depending on type of site plan)
- 2 copies of hydrology reports (if applicable)
- Names, mailing address, and PIN number of all property owners within 250 feet of all property lines
- 1 8 ½" X 11" of site plan civil drawings or concept plan (depending on type of site plan)
- PDF of entire submittal on a flash drive or download link ONLY (NO CD'S)
- Other Engineering details or reports may be required once submittal has been received
- Site plan review fee check
 - o No Land Disturbance- \$206.00 Site Plan Fee + \$50.00 Admin Fee = Total \$256.00
 - o With Land Disturbance - \$836.00 Site Plan Fee + \$50.00 Admin Fee = Total \$886.00

Additional Fee Statement: If engineer review cost to the City exceeds the site plan review fee that is paid at the time of initial application submittal, you may be required to pay additional review cost.

I have read and agree to the above additional fee statement



Applicant's Signature

12-20-2022

Date

From: [Patrick Warner](#)
To: [Stephanie Cook](#)
Cc: [Melanie Ellis](#)
Subject: RE: CoPW Contact for Flannel Ave.
Date: Wednesday, January 4, 2023 4:57:50 PM
Attachments: [image002.png](#)
[Updated GDP.pdf](#)

70003 01001, 70003 01002, 70003 01011, 70003 01010, 70003 01009, 70003 01012, 70003 01013, 70003 01005, 70003 01014

Above are the pins. Some of them are out of order, but they're all there.

Also, I'm including an update of the site GDP that I believe was turned in back in October that reflects the current construction plans for phase 1 of this project (Phase 2 still remains the same as it's a future phase tbd).

Let me know if you need anything else.

Patrick

PATRICK J. WARNER, P.E.
 o 912-200-3041 c 330-606-3793
PWarner@cci-sav.com
 Please send ALL invoices to AP@CCI-SAV.com

From: Stephanie Cook <scook@cityofportwentworth.com>
Sent: Wednesday, January 4, 2023 4:06 PM
To: Patrick Warner <pwarner@cci-sav.com>
Cc: Melanie Ellis <mellis@cityofportwentworth.com>
Subject: Re: CoPW Contact for Flannel Ave.

No problem. Thanks for the response.

Get [Outlook for iOS](#)

From: Patrick Warner <pwarner@cci-sav.com>
Sent: Wednesday, January 4, 2023 4:04:13 PM
To: Stephanie Cook <scook@cityofportwentworth.com>
Cc: Melanie Ellis <mellis@cityofportwentworth.com>
Subject: RE: CoPW Contact for Flannel Ave.

Stephanie, sorry about that. I just looked at the application and noticed I put the Address down twice instead of the pins. I'm compiling the pins now.

Patrick

PATRICK J. WARNER, P.E.

Names, mailing addresses & PIN number of all property owners within 250 feet of all property lines:

Robert & Sybil Cannon
324 Flonnel Ave
Pt Wentworth GA 31407
70003 01006

Brown Louise Eason
6598 Hwy 21
Pt Wentworth GA 31407
70001 04002

Bell William R Ind & Trustee
6620 Hwy 21
Pt Wentworth GA 31407
70001 04006

Royal Rachel S & Ronald Anthony
6500 Hwy 21
Pt Wentworth GA 31407-8550
70002 01004

Royal Rachel S
6500 Hwy 21
Pt Wentworth GA 31407-8550
70002 01004B

Chatham County
124 Bull St Room 240
Savannah GA 31401-3230
70003 01008

Georgia Ports Authority
PO Box 2406
Savannah GA 31402-2406
70003 01007

Atlanta Gas Light Co
241 Ralph McGill Blvd NE Bin #10081
Atlanta GA 30308
70002 02003

Project Timeline

Project Number: 220656

Project Name: Flonnel Ave Logistics Yard 7-0003-01-001 S-Site Plan 2023

Applicant / Engineer: Coleman Co. Inc.-Patrick Warner

Owner: Inter Metro Properties GA, LLC

City Review Engineer: Thomas & Hutton

- 12/22/2022 – Application received: Incomplete
- 12/27/2022 - Email sent to Patrick Warner requesting PIN #'s
- 01/04/2023 – Follow-up email sent to Patrick Warner regarding PIN #'s
- 01/04/2023 – Email received from Patrick Warner with PIN #'s
- 01/05/2023 – Application Complete
- 01/05/2023 – Updated GPD received
- 1/04/2023 – sent to Thomas & Hutton for review.
- 1/18/2023 – received 1st comment letter from T&H. Coleman Company copied.
- 3/3/2023 – received 1st resubmittal from Coleman Company. T&H Copied. [ME]
- 3/15/2023 – Received 2nd Comment letter from T&H
- 04/03/2023 – Received 3rd submittal from Coleman Company. T&H copied.
- 04/13/2023 – Received 3rd comment letter from T&H. Coleman Copied.
- 04/18/2023 – Received 4th submittal from Coleman Company
- 05/02/2023 – received 4th comment letter from T&H. Coleman copied.
- 05/04/2023 – Received 5th submittal from Coleman Company. T&H copied.
- 05/09/2023 – Received 5th comment letter from T&H – Final (SC)
- 5/15/23 – public hearing notice letters mailed.
- 5/19/23 – public hearing notice published in the Savannah Morning News.



50 PARK OF COMMERCE WAY
 SAVANNAH, GA 31405 | 912.234.5300
 WWW.THOMASANDHUTTON.COM

May 9, 2023

Mr. Jason Stewart
 Assistant City Manager
 City of Port Wentworth
 7224 GA Highway 21
 Port Wentworth, GA 31407

Re: Flonnel Ave. Logistics Facility Container Yard
 City of Port Wentworth, Georgia
 Site Plan Review
 25412.0036

Dear Mr. Stewart:

This site plan review was completed based on our interpretation of the latest City of Port Wentworth zoning ordinance and development regulations. Thomas & Hutton's review was performed in an effort to assess if the application package for the proposed improvements is in general conformance with City of Port Wentworth regulations. Our review shall not be interpreted as a detailed technical analysis of the design or for verification of technical sufficiency for elements of design. Under no circumstances shall our review and comments related to the site plans relieve the Applicant's Design Professional of their professional obligations and professional standards of care. As such, the design submitted by the Applicant's Design Professional shall be the sole responsibility of the Applicant's Design Professional. Thomas & Hutton shall not accept any responsibility for any liability due to design and construction, in whole or in part, for any aspect of the design and construction of design documents.

We have reviewed the submittal package for conformance with City of Port Wentworth regulations of the following:

1. Please provide complete signed and sealed site development plans.
 - **Applicant addressed.**
2. The previously submitted cut and fill volumes demonstrating that the cumulative effect of the proposed development will not increase the water surface elevation of the base flood more than one foot at any point within the community appear to include the cut volume below the pond's normal water level. The intent of the exhibit is to demonstrate available floodplain storage remains the same as pre-developed conditions when compared to post-developed conditions. Volumes should not include areas having normal water elevations (groundwater or pond) that prohibit the storage of flood waters. Please provide a revised analysis and adjust grading as required to mitigate floodplain fills.
 - **Applicant addressed.**
3. The approved General Development Plan for the facility shows that a 70-foot buffer and 20-foot berm is to be constructed between the proposed site development and the adjacent property owned by the Cannon family (PIN 70003 01006). The

Mr. Jason Stewart
 Assistant City Manager
 City of Port Wentworth
 May 9, 2023
 Page 2

applicant appears to have discussed this requirement with the Cannon family and has submitted a letter stating that the Cannon family finds a 50-foot-wide buffer and 6-foot-tall fence instead of the required buffer and berm acceptable. They have also stated that the material/aesthetic of the privacy fence is to be determined at a later time between the two entities. Since the original General Development Plan was recommended for approval by Planning Commission and subsequently approved by City Council, the buffer and berm revisions will need to be resubmitted to Planning Commission, and then City Council, for approval prior to issuance of a development permit.

- **Applicant stated that they are planning to discuss this item before Planning Commission and City Council.**

The Applicant's latest submittal received on May 5th, 2023, addressed comments 1-2 above. Upon the resolution of Comment 3, all prior site plan comments appear to have been satisfied and be in general conformance with the City of Port Wentworth's zoning ordinance and development regulations with the exception of the following. The City of Port Wentworth retains the right to issue a development permit at their discretion prior to the below comment being addressed. However, the following comment must be addressed prior to project closeout:

4. A performance bond should be provided prior to any building and/or grading permit for any land development activity requiring a permanent stormwater management system per section 7-80(h) of the City of Port Wentworth Code of Ordinances.

The Applicant should address item 3 prior to proceeding with the City's development permit process. If the City chooses to proceed with the issuance of a development permit prior to the resolution of item 4, the City may include these conditions with the development permit. Please call us with any questions or comments at (912) 234-5300.

Sincerely,

THOMAS & HUTTON



Jessica L. Routt, P.E.

JLR/wr



TECHNICAL MEMORANDUM – TRAFFIC ASSESSMENT

Date: February 01, 2023

Re: Flonnel Avenue Logistics Facility Container Yard

A trucking facility expansion with storage equaling 271,000 sf is proposed for the vacant land on Flonnel Avenue in Port Wentworth, Georgia. This technical memorandum presents a preliminary assessment of the proposed development from a traffic standpoint with respect to the issues that may arise at Flonnel Avenue & Sonny Dixon Interchange in accordance with Appendix B, Article V of the City of Port Wentworth Code of Ordinances.

Assumptions

Trip Generations were prepared using the ITE TripGen Web Application with the data source being the Trip Generation Manual, 10th Edition & Supplement. Since these sources do not have a specific Land Use Code & Group for Trailer Storage Facility, the Land Use code of 150 – Warehousing was used to model the trip generation from this site. The warehousing code is a standard for this area, and in our opinion a conservative estimate for trip generations from a trailer storage facility.

Trip Generation

- The proposed Gross Square Footage of the Development is shown in the attached exhibit and is equal to 271,000 sf.
- This value square footage value equates to a GFA of 271, which when modeled in the trip generation software is expected to generate 466 trips during an average weekday, 58 trips during the AM peak hour, and 62 trips during the PM peak hour.

LAND USE CODE	DESCRIPTION & SIZE	DAILY			AM PEAK HOUR			PM PEAK HOUR		
		IN	OUT	TOTAL	IN	OUT	TOTAL	IN	OUT	TOTAL
150 – ITE	TRAILER STORAGE (271,000SF)	233	233	466	38	20	58	15	47	62

Conclusions

The traffic from this proposed development is expected to add 62 trips at maximum during peak hours at the intersection of Flonnel Avenue & The Sonny Dixon Interchange. In nearby jurisdictions, 100 trips or more during peak hours would warrant further studies, because the maximum for this site is 62 trips, we do not believe any further study is needed. In our opinion this results in minimal impact to the level of service at the intersection of Flonnel Avenue & The Sonny Dixon Interchange. The study intersection should be monitored in the future as additional development, regional traffic growth, and other roadway changes occur in the area.

**APPENDIX A
SITE EXHIBIT FOR GFA DETERMINATION**

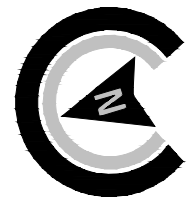
TRUCK FACILITY "WAREHOUSE"
271,00 SF WAREHOUSE
(TRUCK PARKING EXPANSION)
271 GFA

PROPOSED TRAILER
PARKING STALL EXPANSION

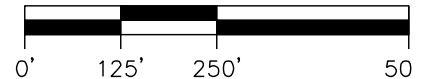
PROPOSED TRAILER
PARKING STALL EXPANSION

PROPOSED TRAILER
PARKING STALL EXPANSION

EXISTING TRAILER PARKING STALLS



SCALE: 1" = 250'



SHEET:
EXH
1.0

JOB NUMBER: 22-730
DATE: 02/01/2023
DRAWN BY: CLM
CHECKED BY: PJW
SCALE: AS NOTED

FLONNEL AVENUE LOGISTICS FACILITY
CONTAINER YARD
TECHNICAL MEMORANDUM

© 2022 COLEMAN COMPANY, INC. DATE PLOTTED: 2/1/2023 3:28 PM BY: Carson Melling Drawing Path: C:\2022\22-730\000\DWG\Civil\Archives\TRAFFIC EXHIBIT.dwg

**APPENDIX B
TRIP GENERATION SOFTWARE OUTPUTS**

Warehousing (150)

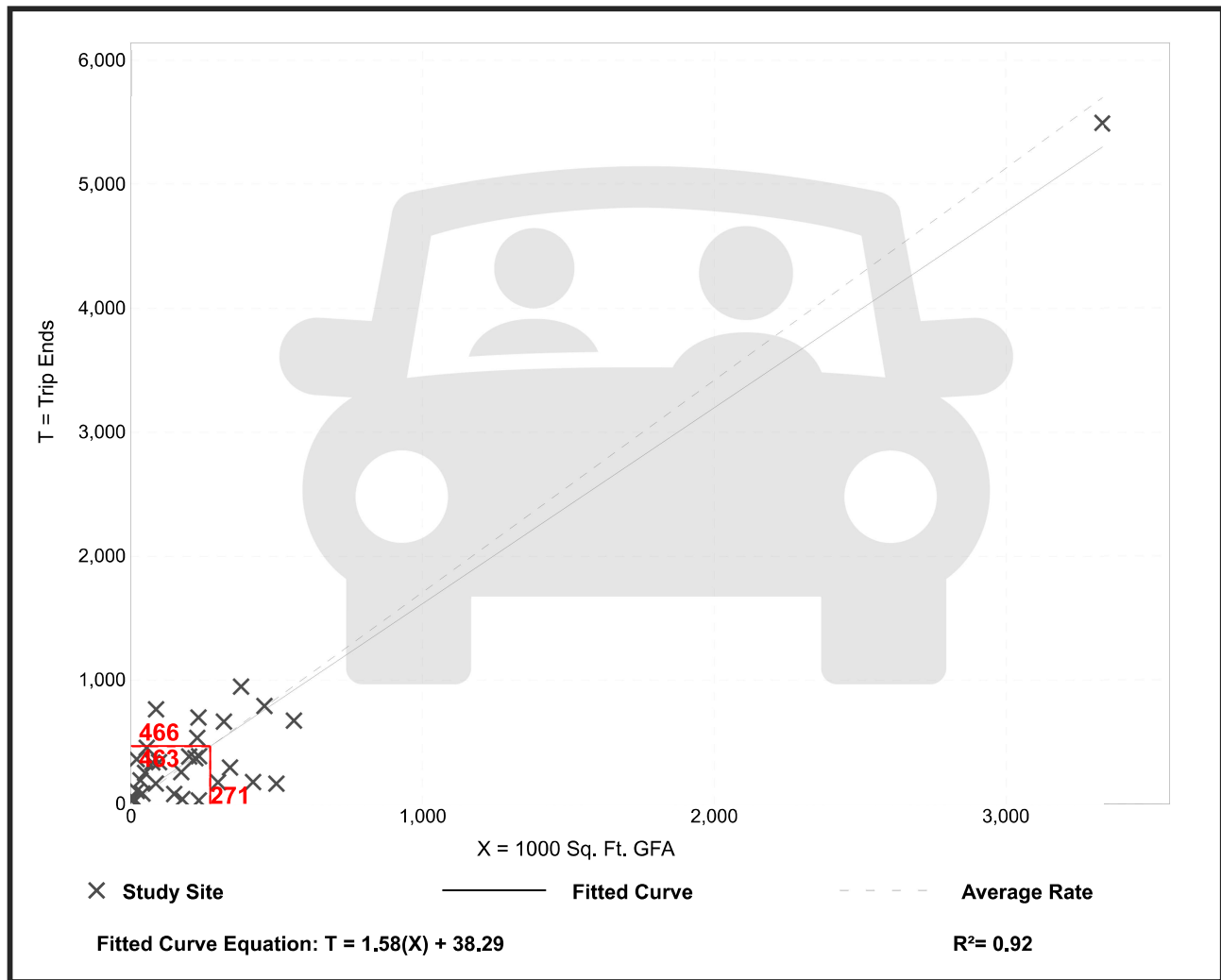
Vehicle Trip Ends vs: 1000 Sq. Ft. GFA
On a: Weekday

Setting/Location: General Urban/Suburban
Number of Studies: 31
Avg. 1000 Sq. Ft. GFA: 292
Directional Distribution: 50% entering, 50% exiting

Vehicle Trip Generation per 1000 Sq. Ft. GFA

Average Rate	Range of Rates	Standard Deviation
1.71	0.15 - 16.93	1.48

Data Plot and Equation



Trip Gen Manual, 11th Edition

Institute of Transportation Engineers

Attachment: Flonnel Ave Logistics Yard 7-0003-01-001 S-Site Plan 2023-traffic memo 3.3.23 (2830 : Site Plan Review Application (Specific)

Warehousing (150)

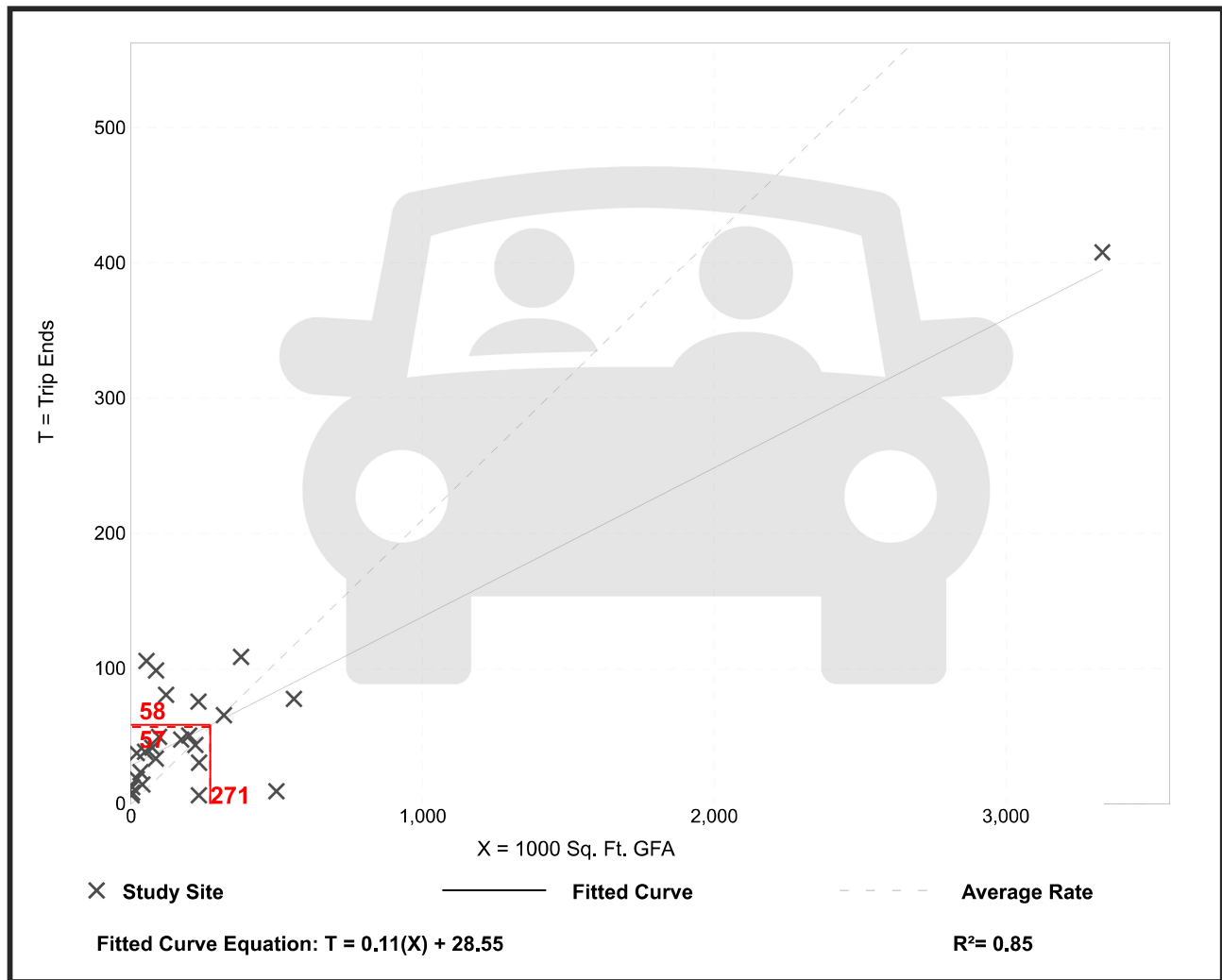
Vehicle Trip Ends vs: 1000 Sq. Ft. GFA
On a: Weekday,
AM Peak Hour of Generator

Setting/Location: General Urban/Suburban
 Number of Studies: 25
 Avg. 1000 Sq. Ft. GFA: 284
 Directional Distribution: 66% entering, 34% exiting

Vehicle Trip Generation per 1000 Sq. Ft. GFA

Average Rate	Range of Rates	Standard Deviation
0.21	0.02 - 2.08	0.26

Data Plot and Equation



Warehousing (150)

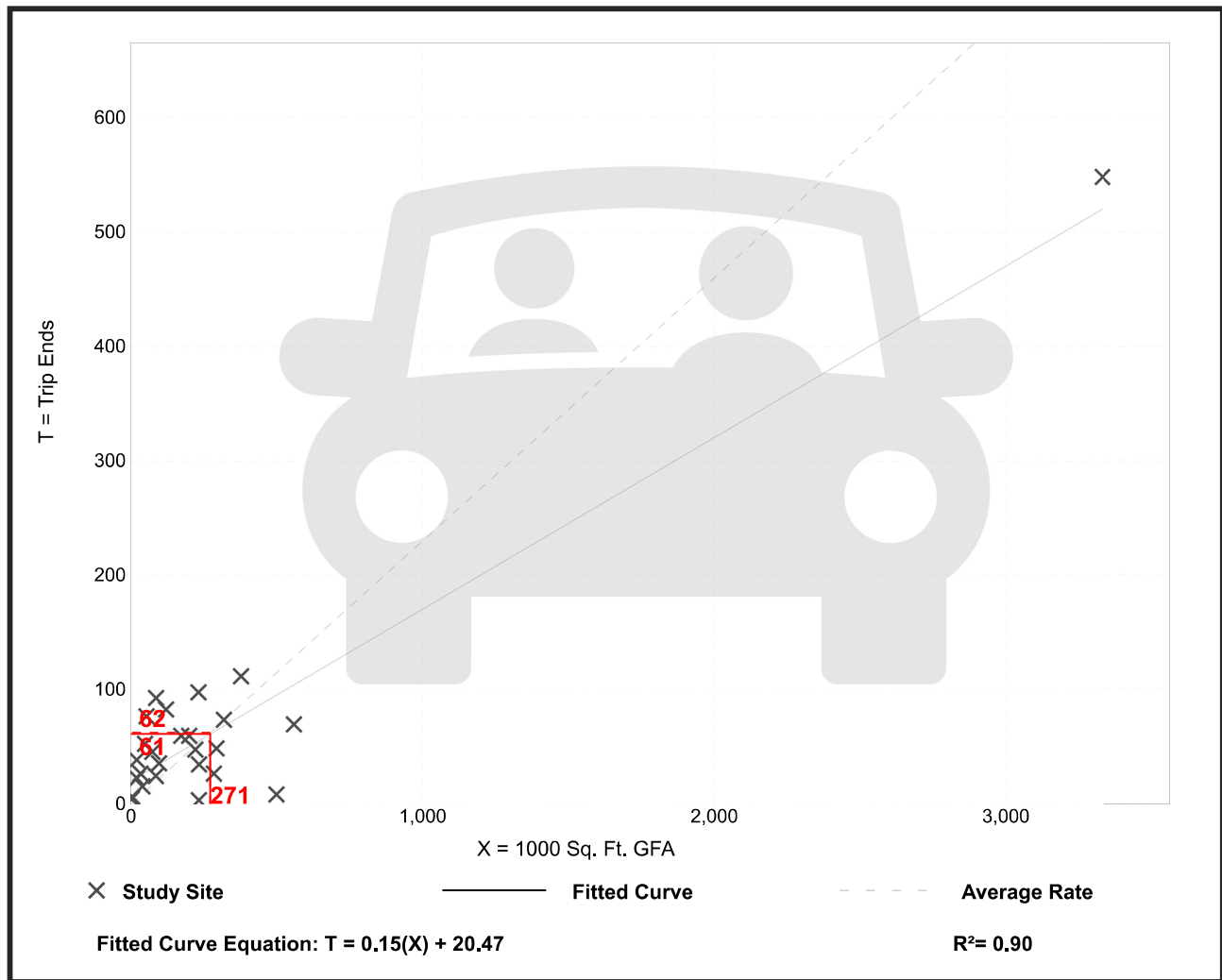
Vehicle Trip Ends vs: 1000 Sq. Ft. GFA
On a: Weekday,
PM Peak Hour of Generator

Setting/Location: General Urban/Suburban
 Number of Studies: 27
 Avg. 1000 Sq. Ft. GFA: 284
 Directional Distribution: 24% entering, 76% exiting

Vehicle Trip Generation per 1000 Sq. Ft. GFA

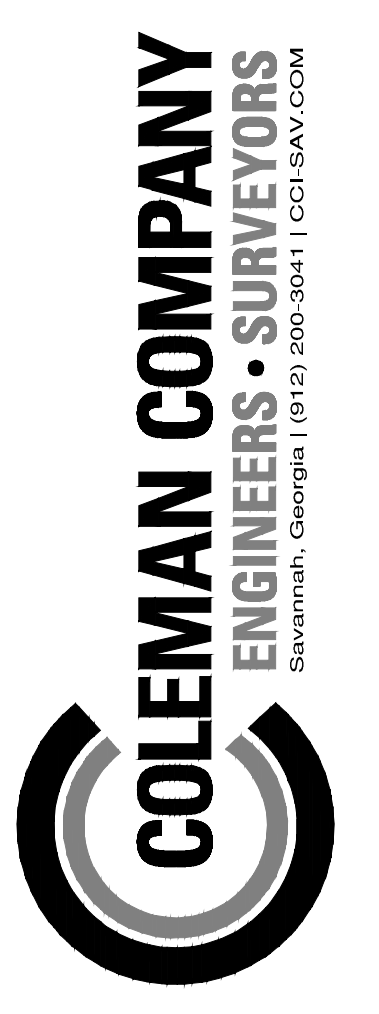
Average Rate	Range of Rates	Standard Deviation
0.23	0.02 - 1.80	0.23

Data Plot and Equation



CONSTRUCTION PLANS FOR FLONNEL AVENUE LOGISTICS FACILITY CONTAINER YARD

PREPARED FOR
INTER-METRO PROPERTIES OF GEORGIA, LLC



RELEASED FOR CONSTRUCTION

REVISIONS:

CIVIL CONSTRUCTION PLANS FOR
FLONNEL AVENUE LOGISTICS FACILITY
CONTAINER YARD
LOCATED IN PORT WENTWORTH, GEORGIA
PREPARED FOR INTER-METRO PROPERTIES OF GEORGIA, LLC

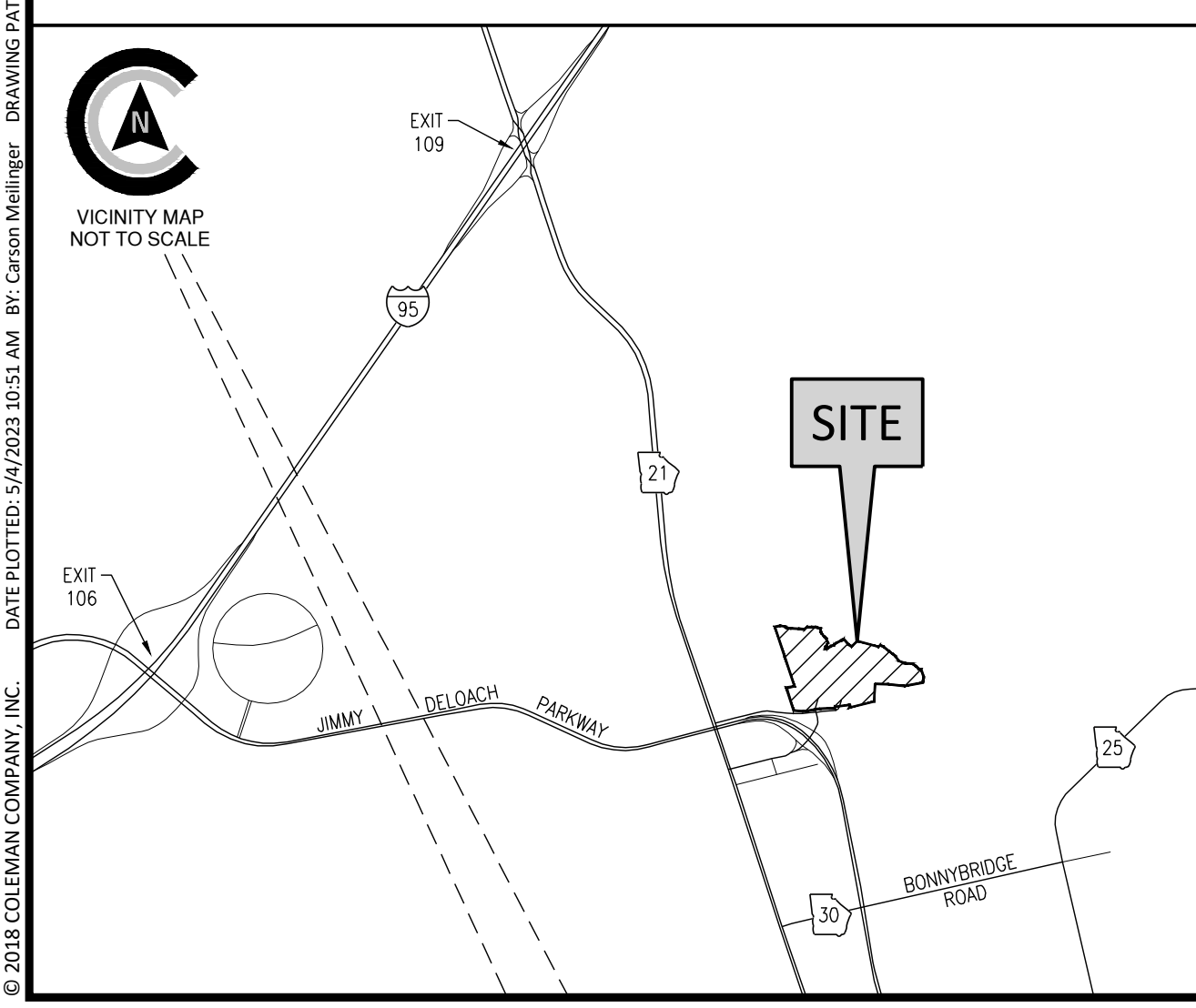
JOB NUMBER: 22-730.000
DATE: 05/04/23
DRAWN BY: MEL
CHECKED BY: PJW
SCALE: AS NOTED

COVER

SHEET:
COV

© 2018 COLEMAN COMPANY, INC. DATE PLOTTED: 5/6/2023 10:51 AM BY: Carson Mulligan DRAWING PATH: G:\2023\23-730\000\DWG\CIVIL\23-730-015.dwg

VICINITY MAP (N.T.S.)



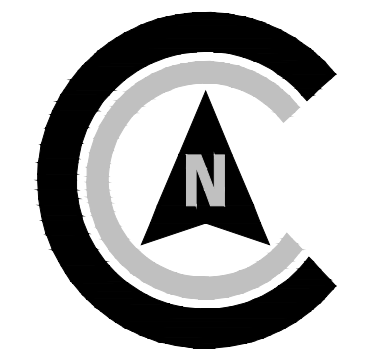
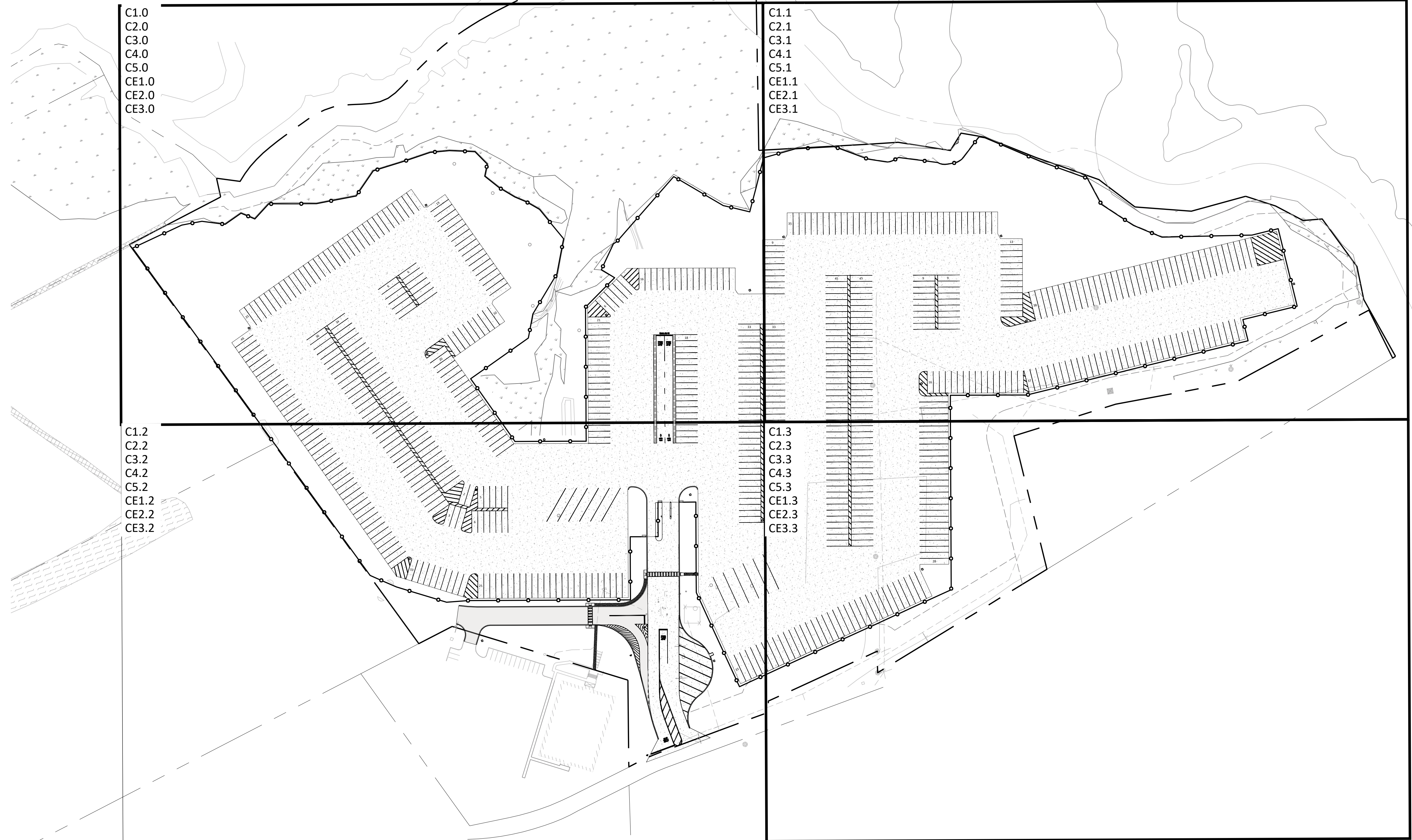
REVISIONS

PROJECT SITE DATA

PROJECT ADDRESS:	230 FLONNEL AVENUE
PROJECT CITY, STATE:	PORT WENTWORTH, GEORGIA
OWNER/REPRESENTATIVE:	INTER-METRO PROPERTIES OF GEORGIA, LLC
PROPERTY AREA:	40.33 ACRES
DISTURBED AREA:	30.70 ACRES
ZONING:	P-I-2
VERTICAL DATUM:	NAVD 88
HORIZONTAL DATUM:	NAD 83
FLOOD ZONE:	AE
WATER & SEWER PROVIDER:	N/A
PINS:	70003 01001, 70003 01002, 70003 01005, 70003 01009, 70003 01010, 70003 01011, 70003 01012, 70003 01013
SURVEY PREPARED BY:	COLEMAN COMPANY, INC.
GEOTECHNICAL BY:	TERRACON
ARCHITECT:	N/A
CONSTRUCTION EXIT LOCATION:	N32.165154, W81.178541

SHEET INDEX

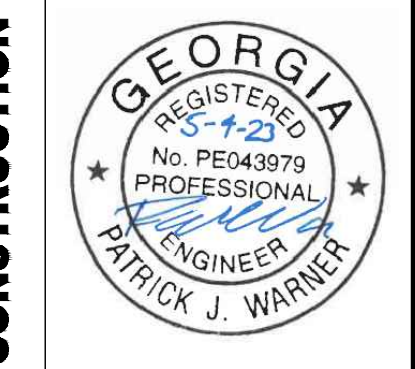
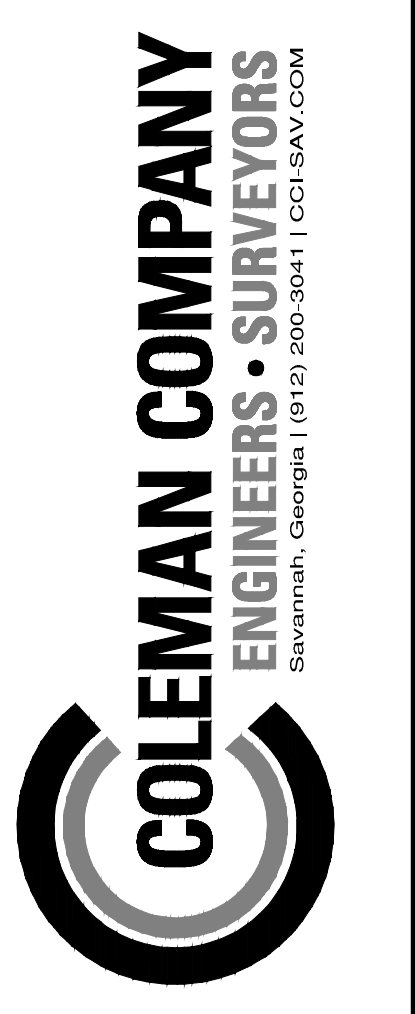
Sheet Number	Sheet Title
COV	COVER
C0.0	SHEET LEGEND
C0.1	CONSTRUCTION NOTES
C1.0 - C1.3	EXISTING CONDITIONS
C2.0 - C2.3	DEMOLITION PLAN
C3.0 - C1.3	STAKING PLAN
C3.4	ENLARGED STAKING PLAN
C4.0 - C4.3	GRADING PLAN
C4.4 - C4.7	PAVING PLAN
C5.0 - C5.3	DRAINAGE PLAN
C6.0 - C6.1	PROFILES
D1.0 - D1.3	CONSTRUCTION DETAILS
CE1.0 - CE-1.3	INITIAL ES&PC PLAN
CE2.0 - CE2.3	INTERM ES&PC PLAN
CE3.0 - CE3.3	FINAL ES&PC PLAN
CE4.0 - CE4.1	EROSION CONTROL DETAILS
CE5.0 - CE5.1	NPDES PERMIT NOTES
L1.0	EXISTING CONDITIONS
L2.0 - L3.0	LANDSCAPE PLAN
E3.0-E3.3	LIGHTING PLAN



SCALE: 1"=100'
 0' 50' 100' 200'



Know what's below.
 Call before you dig.



RELEASED FOR CONSTRUCTION

REVISIONS:

CIVIL CONSTRUCTION PLANS FOR
FLONNEL AVENUE LOGISTICS FACILITY
CONTAINER YARD
 LOCATED IN PORT WENTWORTH, GEORGIA
 PREPARED FOR INTER-METRO PROPERTIES OF GEORGIA, LLC

JOB NUMBER: 22-730.000
 DATE: 05/04/23
 DRAWN BY: MEL
 CHECKED BY: PJW
 SCALE: AS NOTED

SHEET LEGEND

SHEET:
C0.0

GENERAL NOTES:

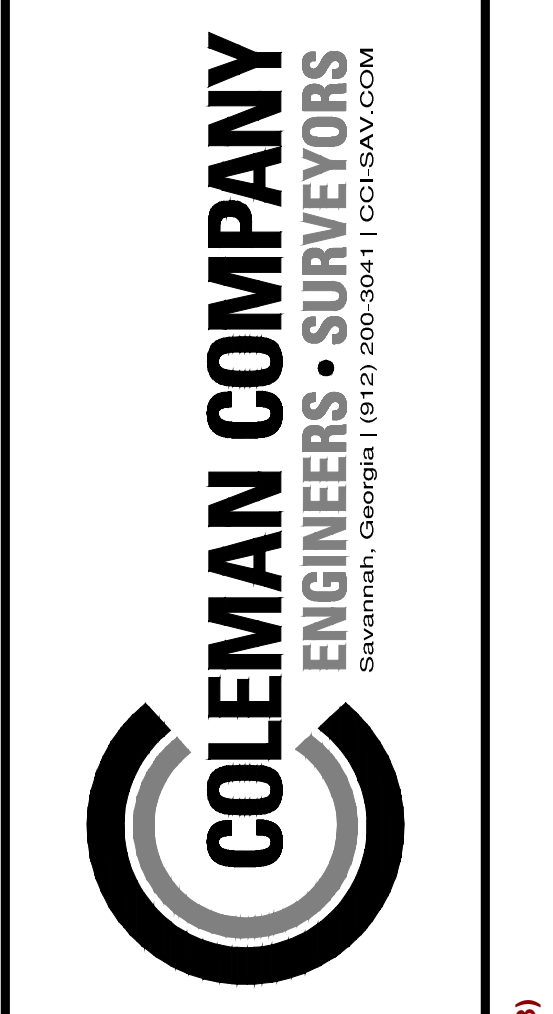
- CONTRACTOR WILL BE REQUIRED TO ATTEND A PRE-CONSTRUCTION CONFERENCE WITH THE GOVERNMENTAL AGENCY IN CHARGE OF THE PROJECT.
- CONTRACTOR WILL BE RESPONSIBLE FOR OBTAINING ALL REQUIRED PERMITS AND INSPECTIONS AS REQUIRED FOR APPROVAL OF THE WORK WITH THE GOVERNMENTAL AGENCY WITH JURISDICTION.
- CONTRACTOR WILL BE RESPONSIBLE FOR COST OF AND COORDINATION WITH LOCAL UTILITY COMPANIES OR AGENCIES FOR RELOCATION OF, OR CONNECTION TO, ALL EXISTING UTILITIES INCLUDING POWER AND TELEPHONE POLES AND WIRES.
- ALL ELEVATIONS ARE BASED ON MEAN SEA LEVEL DATUM, NAVD 88.
- A MINIMUM SHOULDER WIDTH OF 4 FEET WITH A MINIMUM TRANSVERSE SLOPE OF 5% WILL BE PROVIDED ADJACENT TO CURBS AND WALKS. ALL WALKS SHALL HAVE A MINIMUM SLOPE OF 2%.
- MAXIMUM EARTH SLOPES WILL BE 3:1. GRADE FROM SHOULDER EDGE TO RIGHT-OF-WAY AT 1% MINIMUM.
- REMOVAL AND REPLACEMENT OF UNSUITABLE SUBGRADE MATERIAL WILL BE PAID FOR ON A CUBIC YARD BASIS IN PLACE MEASUREMENT, AT SUCH AUTHORIZED PRICE PER CUBIC YARD, AS AUTHORIZED BY THE ENGINEER.
- PROVIDE 1/2" EXPANSION JOINT IN NEW WALKS FOR DEPTH OF CONCRETE, WITH BITUMINOUS SEAL FOR TOP 1" INCH MINIMUM DEPTH AT ABUTMENTS WITH BUILDINGS OR OTHER CONCRETE STRUCTURES.
- SAW-CUT CONTRACTION JOINTS WILL BE PROVIDED IN ACCORDANCE WITH DETAILS, CUT TO BE 1/4" DEPTH OF CONCRETE MINIMUM.
- ALL DIMENSIONS ARE TO EXTERIOR FACE OF BUILDING, EDGE OF SURFACE COURSE OR FACE OF CURBING UNLESS OTHERWISE NOTED.
- ALL ANGLES ARE 90 DEGREES UNLESS OTHERWISE NOTED.
- THE CONTRACTOR SHALL KEEP ACCURATE RECORDS FOR "AS BUILT" PURPOSES AND PROVIDE THIS INFORMATION TO THE ENGINEER AT THE COMPLETION OF THE PROJECT. IF THE CONTRACTOR FAILS TO FURNISH THIS INFORMATION, THE ENGINEER WILL OBTAIN THE NECESSARY INFORMATION AND CHARGE THE CONTRACTOR FOR THE SERVICES. THE ENGINEER WILL CHECK INFORMATION PROVIDED BY THE CONTRACTOR FOR ACCURACY. AS BUILT INFORMATION INCLUDES, BUT IS NOT LIMITED TO, THE FOLLOWING: ALL UTILITIES INCLUDING INVERTS, TOP ELEVATIONS, PIPE LENGTHS AND TYPE OF CONSTRUCTION MATERIAL; SPOT ELEVATIONS ON FORCE MAINS AND WATER LINES; THE DISTANCE OF THE CENTERLINE OF UTILITIES FROM A PERMANENT STRUCTURE. ALL VALVE MANHOLES AND VALVE BOXES SHALL BE LOCATED WITH RESPECT TO A PERMANENT STRUCTURE. GRADES SHALL BE CONFIRMED IN ROADS AND PARKING AREAS AS WELL AS SWALES TO SHOW DIRECTION OF STORMWATER FLOW. THE FINISHED FLOOR ELEVATION SHALL BE SHOWN ON ALL BUILDINGS. IF THE LANDSCAPING IS CHANGED IN ANY WAY AN AS BUILT OF THE LANDSCAPE PLAN IS TO BE SUBMITTED TO THE ENGINEER.
- ALL NEW DISTURBED AREAS WILL BE GRASSED BY SEEDING OR SPRIGGING IN ACCORDANCE WITH CURRENT VERSION OF THE MANUAL FOR EROSION & SEDIMENT CONTROL IN GEORGIA, AND AS DIRECTED BY THE ENGINEER.
- CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING AND MAINTAINING ALL EROSION AND SEDIMENT CONTROL MEASURES IN ACCORDANCE WITH STATE AND LOCAL REQUIREMENTS.
- CONTRACTOR SHALL PROVIDE DUST CONTROL OF ALL DISTURBED AREAS BY THE USE OF WATER AND FAST GROWING, TEMPORARY VEGETATION ON ALL STOCKPILED SOILS.
- CONTRACTOR WILL PROVIDE A CONSTRUCTION SCHEDULE INCLUDING ALL EROSION AND SEDIMENT CONTROL MEASURES.
- CONTRACTOR SHALL PROVIDE CRUSHED STONE 6" THICK, 50' MIN. LONG BY 20' MIN. WIDE AT ALL CONSTRUCTION EXITS TO MINIMIZE TRANSPORT OF SOIL FROM SITE BY VEHICLE WHEELS.
- ALL EXISTING INLETS AND DITCHES SUBJECT TO STORM WATER RUNOFF FROM THE SITE AND ALL NEW INLETS SHALL BE PROVIDED WITH HAY BALES SILT CARRIERS TO MINIMIZE SOIL TRANSPORT OFF SITE BY STORM WATERS.
- ALL MATERIAL AND INSTALLATION PRACTICES ASSOCIATED WITH THE CONSTRUCTION OF THIS PROJECT SHALL MEET THE CURRENT REQUIREMENTS OF THE CITY OF POOLER AND CHATHAM COUNTY DEVELOPMENT REGULATIONS AND SPECIFICATIONS.
- TESTING - PROVIDE ALL TESTING AS REQUIRED IN THE SPECIFICATIONS. PROVIDE ENGINEER WITH COPY DIRECT FROM TESTING LAB.
- CONTRACTOR SHALL MAINTAIN SITE ON A DAILY BASIS TO PROVIDE FOR POSITIVE DRAINAGE. CONTRACTOR, AT HIS COST, SHALL GRADE SITE AND PROVIDE NECESSARY TEMPORARY DRAINAGE SWALES TO INSURE STORM WATER DOES NOT POND ON SITE.
- ANY DETENTION BASINS SHALL BE CONSTRUCTED IN CONJUNCTION WITH CLEARING AND GRADING TO HELP PREVENT THE LOSS OF SEDIMENT FROM THE SITE. THE CONTRACTOR SHALL CLEAN OUT ANY SEDIMENT DEPOSITED IN THE BASINS DURING THE CONSTRUCTION PERIOD SO THAT THE SPECIFIED WATER DEPTH AT NORMAL POOL IS MAINTAINED. THE CONTRACTOR MAY OVER EXCAVATE THE BASINS TO ACCOMPLISH THIS, IF DESIRED, AT HIS OWN EXPENSE AND WITH THE CONCURRENCE OF THE ENGINEER.
- PRIOR TO CONSTRUCTION, ALL BUILDING AREAS, PLUS 10 FEET ON EACH SIDE AND ALL AREAS TO BE PAVED, SHALL BE STRIPPED OF ALL VEGETATION, TOP SOIL AND ROOT SYSTEMS.
- SITE DRAINAGE SHALL BE ESTABLISHED TO PREVENT ANY PONDED WATER CONDITIONS WITHIN THE CONSTRUCTION AREA AND TO FACILITATE THE RAPID RUN-OFF OF STORM WATER.
- ANY STUMP HOLES OR OTHER DEPRESSIONS SHALL BE CLEARED OF LOOSE MATERIAL AND DEBRIS AND SHALL THEN BE BACKFILLED WITH APPROVED FILL. THE BACKFILL SHALL BE PLACED IN SIX INCH MAXIMUM LIFTS AND COMPACTED TO 95% DENSITY IN ACCORDANCE WITH ASTM-D-1557.
- ANY UTILITIES THAT UNDERLIE THE SITE SHALL BE RELOCATED AND THE TRENCHES BACKFILLED WITH APPROVED SOIL. THE BACKFILL SHOULD BE PLACED IN SIX INCH MAXIMUM LIFTS AND COMPACTED TO 95% DENSITY IN ACCORDANCE WITH ASTM-D-1557.
- THE SUBGRADE SHALL BE PROOFROLLED WITH A LOADED DUMP TRUCK TO LOCATE UNSTABLE OR SOFT AREAS. THESE AREAS SHALL THEN BE INVESTIGATED TO DETERMINE THE CAUSE OF THE INSTABILITY. IF DUE TO UNSUITABLE SOIL, SUCH AS HIGHLY ORGANIC SOILS OR SOFT CLAYS, THE AREA SHALL BE UNDERCUT TO A FIRM SOIL AND REPLACED WITH APPROVED FILL COMPACTED IN SIX INCH LIFTS TO A MINIMUM DENSITY OF 95% IN ACCORDANCE WITH ASTM-D-1557. IF THE INSTABILITY IS DUE TO EXCESS MOISTURE IN OTHERWISE SUITABLE SOIL, THE AREA SHALL BE DRAINED AND COMPACTED TO 95% DENSITY. ANY FILL REQUIRED TO LEVEL OR RAISE THE SITE SHOULD BE PLACED IN 6" THICK LOOSE LIFTS AND COMPACTED TO 95% DENSITY IN ACCORDANCE WITH ASTM-D-1557.
- ALL OF THE FILL FOR THIS PROJECT SHALL CONSIST OF A CLEAN, FREE DRAINING SAND WITH A MAXIMUM OF 15% FINES. THE FILL SHALL BE FREE OF OBJECTIONABLE ROOTS, CLAY LUMPS AND DEBRIS.
- MOISTURE CONTENT SHALL BE AT OR BELOW OPTIMUM.
- ALL WATER USED FOR CONSTRUCTION SHALL BE METERED THROUGH AN APPROVED BACKFLOW PREVENTION DEVICE AND FIRE HYDRANT METER OBTAINED FROM THE CITY OF PORT WENTWORTH CONVEYANCE AND DISTRIBUTION DEPARTMENT.
- IT SHALL BE THE RESPONSIBILITY OF THE DEVELOPER TO FOLLOW THE COMPREHENSIVE MONITORING PLAN PREPARED FOR THE DEVELOPER BY COLEMAN COMPANY, INC.
- ALL TAPS ON A MAIN FOR SERVICE LATERALS SHALL BE MADE WITH AN ALL STAINLESS STEEL DOUBLE STRAP EPOXY COATED TAPPING SADDLE. THE SIZE OF THE SADDLE SHALL BE WATER MAIN DIAMETER C-900 + 1" c.c. THREAD".
- ALL FIRE HYDRANTS AND VALVES SHALL BE MANUFACTURED BY AMERICAN, DARLING, MUELLER OR M&H.
- 50 L.F. OF 6" UNDERDRAIN AND ROCK SHALL BE INSTALLED FROM EACH SIDE OF EACH GRATE INLET. CONTRACTOR SHALL VERIFY THE STATIC WATER ELEVATION OF THE PROPOSED EXISTING DRAINAGE SYSTEM EACH ROADSIDE INLET IS A COMPONENT OF AND NOT INSTALL THE UNDERDRAIN BELOW THAT STATIC ELEVATION.
- ANY AND ALL UTILITY CROSSINGS FOR WATER MAINS BETWEEN STORM OR SEWER PIPING SHOULD BE ACCOMPLISHED BY USING OF 45° BENDS BOTH DOWN AND UP.
- ALL KNOWN UTILITY FACILITIES ARE SHOWN SCHEMATICALLY ON THE PLANS AND ARE NOT NECESSARILY ACCURATE AS TO PLAN OR ELEVATION. UTILITY FACILITIES SUCH AS SERVICE LINES OR UNKNOWN FACILITIES NOT SHOWN ON THE PLANS WILL NOT BELIEVE THE CONTRACTOR OF HIS RESPONSIBILITIES, EXCEPT AS NOTED BELOW. THE CONTRACTOR WILL NOT BE RESPONSIBLE FOR THE COST OF REPAIRS TO DAMAGED UTILITY FACILITIES OTHER THAN SERVICE LINES FROM STREET MAINS TO ADJUTING PROPERTY WHEN SUCH FACILITIES ARE NOT SHOWN ON THE PLANS AND THEIR EXISTENCE IS UNKNOWN TO THE CONTRACTOR PRIOR TO THE DAMAGES OCCURRING PROVIDING THE ENGINEER DETERMINES THE CONTRACTOR HAS OTHERWISE FULLY COMPLIED WITH THE SPECIFICATIONS.
- CONTRACTOR(S) SHALL VERIFY THE LOCATION OF ALL UNDERGROUND UTILITIES. CONTRACTOR(S) ARE RESPONSIBLE FOR LOCATING, PROTECTING, REPAIRING, AND REPLACING ANY AND ALL UNDERGROUND UTILITIES DURING ALL PHASES OF CONSTRUCTION. COLEMAN COMPANY, INC. HAS MADE A DILIGENT EFFORT TO LOCATE ALL ABOVE AND BELOW GROUND UTILITIES BUT CANNOT GUARANTEE THAT ALL PRESENT UTILITIES HAVE BEEN IDENTIFIED. CONTRACTOR SHALL CALL UTILITY PROTECTION CENTER (1-800-282-7411) AT LEAST SEVENTY TWO (72) HOURS PRIOR TO DIGGING AND SHALL NOT BEGIN DIGGING UNTIL ALL UNDERGROUND UTILITY LOCATIONS ARE COMPLETE.
- ALL DEMOLITION DEBRIS SHALL BE PROPERLY DISPOSED AT THE CONTRACTOR'S EXPENSE.
- A CONTINUOUS RUN OF PLASTICIZED METALLIC TAPE SHALL BE INSTALLED ABOVE THE TOP OF PVC PIPE USED FOR GRAVITY SEWER AND FORCE MAINS AT APPROXIMATELY 30" BELOW FINISHED GRADE. THE TAPE SHALL BE SUITABLE FOR DETECTION WITH METAL PIPE LOCATION EQUIPMENT, COLOR CODED AND LABELED TO IDENTIFY CONTENTS OF THE PIPE AND BRIGHTLY COLORED TO CONTRAST WITH THE SOIL. IN ADDITION TO THE TAPE, A CONTINUOUS RUN OF TRACER WIRE SHALL BE ATTACHED TO THE PIPE AND CONNECTED TO MANHOLE RINGS. ON PIPE RUNS GREATER THAN 500', THE TRACER WIRE SHALL BE ATTACHED TO A 2" GALVANIZED PIPE WITH A 180 DEGREE BEND AT THE TOP, EXTENDING 36" ABOVE GRADE FOR CONNECTION TO LOCATOR EQUIPMENT. THE MAXIMUM DISTANCE BETWEEN 2" PIPE STUBS SHALL BE 500'.
- ALL SANITARY SEWER LATERALS SHALL BE PROPERLY MARKED AT THE POINT WHERE LATERALS TERMINATE WITH PVC PIPE PAINTED GREEN. ADDITIONAL MARKINGS SHALL BE STAMPED IN THE CURB OR MARKED ON THE EDGE OF PAVING WITH AN APPROVED PERMANENT MARKER CAPABLE OF BEING LOCATED BY A MAGNETIC LOCATOR, SUCH AS A NAIL WITH CAP, IF NO CURB PRESENT. LATERALS SHALL BE MARKED WITH MARKING TAPE AND TRACER WIRE AS DESCRIBED ABOVE.
- A CONTINUOUS RUN OF PLASTICIZED METALLIC TAPE SHALL BE INSTALLED ABOVE THE TOP OF PVC PIPE USED FOR WATER MAINS AT APPROXIMATELY 18" TO 24" BELOW FINISHED GRADE. THE TAPE SHALL BE SUITABLE FOR DETECTION WITH METAL PIPE LOCATION EQUIPMENT, COLOR CODED AND LABELED TO IDENTIFY CONTENTS OF THE PIPE AND BRIGHTLY COLORED TO CONTRAST WITH THE SOIL. IN ADDITION TO THE TAPE, A CONTINUOUS RUN OF TRACER WIRE SHALL BE ATTACHED TO THE PIPE AND CONNECTED TO CURB STOPS AND BROUGHT TO TOP OF VALVE. ON PIPE RUNS GREATER THAN 500', THE TRACER WIRE SHALL BE ATTACHED TO A 2" GALVANIZED PIPE WITH A 180 DEGREE BEND AT THE TOP, EXTENDING 36" ABOVE GRADE FOR CONNECTION TO LOCATOR EQUIPMENT. THE MAXIMUM DISTANCE BETWEEN 2" PIPE STUBS SHALL BE 500'.
- ALL WATER SERVICES SHALL BE PROPERLY MARKED ABOVE GROUND WITH PVC PIPE PAINTED BLUE. ADDITIONAL MARKINGS SHALL BE STAMPED IN THE CURB OR MARKED ON THE EDGE OF PAVING WITH AN APPROVED PERMANENT MARKER CAPABLE OF BEING LOCATED BY A MAGNETIC LOCATOR, SUCH AS A NAIL WITH CAP, IF NO CURB PRESENT. SERVICES SHALL BE MARKED WITH MARKING TAPE AND TRACER WIRE AS DESCRIBED ABOVE.
- TRACER WIRE SHALL BE REQUIRED ON ALL STORM PIPE.
- THE CONTRACTOR SHALL HAVE APPROVED PLANS ON SITE AT ALL TIMES DURING LAND DISTURBING ACTIVITIES.

- THE CONTRACTOR SHALL HAVE A CERTIFIED EROSION AND SEDIMENTATION CONTROL INSPECTOR ON SITE AT ALL TIMES DURING LAND DISTURBING ACTIVITIES.
- ALL CONSTRUCTION MATERIALS AND WORKMANSHIP SHALL BE IN ACCORDANCE WITH THE CITY OF PORT WENTWORTH AND CHATHAM COUNTIES LATEST CONSTRUCTION SPECIFICATIONS AND DETAILS.
- ALL CURB AND GUTTER TO BE 18" STANDARD PITCH CURB UNLESS OTHERWISE NOTED.
- FOR CITY WATER AND SEWER LINE LOCATIONS, CONTACT THE UTILITIES PROTECTION CENTER (1-800-282-7411) A MINIMUM OF SEVENTY-TWO (72) HOURS PRIOR TO DIGGING.
- THE CONTRACTOR SHALL BECOME FAMILIAR WITH THE REPORT OF GEOTECHNICAL ENGINEERING REPORT PREPARED FOR THIS PROJECT BY WHITAKER LABORATORY INC. A COPY CAN BE OBTAINED, AT CONTRACTOR'S EXPENSE, EITHER DIRECTLY FROM WHITAKER OR FROM THE ENGINEER.
- STORM SEWER SPECIFICATIONS FOR MANHOLE COVER IN STREET:
 - GENERAL: ALL CASTINGS SHALL BE MANUFACTURED IN THE UNITED STATES OF AMERICA BY NEENAH FOUNDRY COMPANY, U.S. FOUNDRY & MANUFACTURING CORPORATION, EAST JORDAN IRON WORKS, INC. OR APPROVED EQUAL. THEY SHALL BE OF UNIFORM QUALITY, FREE FROM SAND HOLS, SHRINKAGE, CRACKS, COLD SHUTS OR OTHER DEFECTS. CASTINGS SHALL BE SMOOTH AND WELL CLEANED BY SHOT BLASTING.
 - MATERIALS: GRAY IRON CASTINGS SHALL BE MANUFACTURED FROM IRON CONFORMING TO ASTM A48 CLASS 35B AND ASTM A48 CLASS 30. DUCTILE IRON CASTINGS SHALL BE MANUFACTURED TRUE TO PATTERN AND COMPONENT PARTS SHALL FIT TOGETHER PROPERLY. ROUND MANHOLE FRAMES, COVERS AND GRATES SHALL HAVE MACHINED BEARING SURFACES TO PREVENT RUCKING. TOLERANCES SHALL BE ACCEPTED FOUNDRY STANDARDS AS OUTLINED IN THE IRON CASTINGS HANDBOOK PUBLISHED BY THE AMERICAN FOUNDRYMEN'S SOCIETY, INC. CASTINGS WEIGHT SHALL NOT VARY MORE THAN 5% ABOVE OR BELOW THOSE VALUES REPRESENTED BY THE MANUFACTURER.
 - MARKINGS: ALL CASTINGS SHALL BE CLEARLY MARKED WITH THE MANUFACTURER'S NAME, COMPANY LOGO AND "MADE IN USA" IN CAST LETTERS. ADDITIONALLY, THE TOP OR TRAFFIC SIDE OF ALL CASTINGS SHALL BE CLEARLY MARKED "STORM" AND "CITY OF PORT WENTWORTH" IN FLUSH CAST LETTERS AND THE TOP OR TRAFFIC SIDE OF ALL CASTINGS DESIGNED TO COLLECT WATER, (CASTINGS, GRATES, ETC.) SHALL BE CLEARLY MARKED "DRAINS TO RIVER - DO NOT DUMP" OR SIMILAR VERBIAGE THAT ACHIEVES THE SAME MEANING.
- INTERNATIONAL FIRE CODE, 2012 EDITION:
 - SECTION 3310 ACCESS FOR FIRE FIGHTING
 - 3310.1 REQUIRED ACCESS. APPROVED VEHICLE ACCESS FOR FIRE FIGHTING SHALL BE PROVIDED TO ALL CONSTRUCTION OR DEMOLITION SITES. VEHICLE ACCESS SHALL BE PROVIDED TO WITHIN 100 FEET (30.5 METERS) OF TEMPORARY OR PERMANENT FIRE DEPARTMENT CONNECTIONS. VEHICLE ACCESS SHALL BE PROVIDED BY EITHER TEMPORARY OR PERMANENT ROADS, CAPABLE OF SUPPORTING VEHICLE LOADING UNDER ALL WEATHER CONDITIONS. VEHICLE ACCESS SHALL BE MAINTAINED UNTIL PERMANENT FIRE APPARATUS ACCESS ROADS ARE AVAILABLE.
 - SECTION 3312 WATER SUPPLY FOR FIRE PROTECTION
 - 3312.1 WHEN REQUIRED, AN APPROVED WATER SUPPLY FOR FIRE PROTECTION, EITHER TEMPORARY OR PERMANENT, SHALL BE MADE AVAILABLE AS SOON AS COMBUSTIBLE MATERIAL ARRIVES ON THE SITE.
- IN THE CASE OF ANY CONFLICT OF THESE CONSTRUCTION DOCUMENTS AND THE CITY OF PORT WENTWORTH CODED ORDINANCES, STANDARDS, SPECIFICATIONS, OR DETAILS, THE CITY OF PORT WENTWORTH STANDARDS ARE TO TAKE PRECEDENCE.

- SITE INFORMATION:**
- PARENT PIN: 70003 01001, 70003 01002, 70003 01005, 70003 01009, 70003 01010, 70003 01011, 70003 01012, 70003 01013
- ZONING DISTRICT: P-1-2
FLOOD ZONE: AE
SIZE: 40.33 ACRES
- PROPOSED LAND USE:
THIS SITE WILL BE USED AS A CONCRETE TRAILER YARD (ALL WHEELED SPACES) WITH IMPROVED SECURITY. THE EXISTING CONDITIONS FOR A PORTION OF THIS SITE IS AN EXISTING GRAVEL TRAILER YARD. THE OTHER PORTION OF THIS SITE HAS BEEN CLEARED AND ROUGHLY GRADED.
- ADA NOTES:**
- ACCESSIBLE ROUTE - EXTERIOR:
 - MINIMUM CLEAR WIDTH IS 3'. IF ACCESSIBLE ROUTE HAS LESS THAN 5' CLEAR WIDTH, THEN PASSING SPACES AT LEAST 5'x5' SHALL BE LOCATED EVERY 200' OR LESS (INTERSECTING SIDEWALKS MEET THIS REQUIREMENT). LONGITUDINAL (RUNNING) SLOPE MAY NOT EXCEED 5% UNLESS RAMP IS INSTALLED (RAMPS MAY NOT EXCEED 8.33%). CROSS SLOPE MAY NOT EXCEED 2%. GAPS IN ROUTE MAY NOT EXCEED 1/2" IN WIDTH.
 - FINISHED SURFACE HEIGHT DIFFERENCE REQUIREMENTS:
 - A. 0 TO 1/4": NO REQUIREMENTS
 - B. 1/4" TO 1/2": BEVEL WITH 1:2 SLOPE
 - C. LARGER THAN 1/2": CONFORM TO REQUIREMENTS FOR RAMP
 - RAMPS:
 - MAX RAMP SLOPE 8.33% (1:12)
 - RAMPS STEEPER THAN 8.33% ARE NOT ACCEPTABLE
 - MAX RISE FOR ANY RAMP RUN IS 30" (AT 8.33% SLOPE, MAXIMUM RUN OF RAMP IS 30')
 - MAX CROSS SLOPE OF RAMP 2% (1:50)
 - A. LANDINGS:
 - RAMPS SHALL HAVE LEVEL LANDINGS AT BOTTOM AND TOP OF EACH RAMP.
 - LANDINGS SHALL BE AT LEAST AS WIDE AS RAMP LEADING TO IT.
 - LANDING LENGTH SHALL BE MINIMUM 6' CLEAR.
 - IF RAMPS CHANGE DIRECTION AT LANDING, MINIMUM LANDING SIZE SHALL BE 5'x5'.
 - ALL LANDINGS ARE TO BE NO MORE THAN 2% SLOPE IN ANY DIRECTION.
 - B. HANDRAILS:
 - HANDRAILS ARE REQUIRED ON BOTH SIDES (MIN. 36" CLEAR BETWEEN HANDRAILS) WHEN RAMP RISE IS GREATER THAN 6".
 - PROVIDE MINIMUM 12" LONG HANDRAIL EXTENSIONS AT TOP AND BOTTOM LANDINGS.
 - PROVIDE MINIMUM 2" HIGH EDGE PROTECTION OR RAIL WITH LESS THAN 4" CLEAR TO RAMP IF RAMP HAS DROP-OFFS.
 - ROUTES BETWEEN BUILDINGS WITH ONLY DWELLING UNITS DO NOT HAVE TO HAVE HANDRAILS.
 - STAIRS ARE NOT ALLOWED AS PART OF ACCESSIBLE ROUTE BUT IF ADJACENT TO ROUTE OR PART OF TENANT THEY SPACE MUST MEET REQUIREMENTS FOR STAIR RAILS.
 - CURB RAMPS:
 - MAX SLOPE OF CURB RAMP 8.33%
 - MAX SLOPE OF SIDE FLARES 10%
 - MAX SLOPE OF ADJOINING GUTTERS, ROAD SURFACE, OR ACCESSIBLE ROUTE 5%.
 - MIN WIDTH 36" (NOT INCLUDING SIDE FLARES).
 - DETECTABLE WARNING IS REQUIRED ON CURB RAMPS IN PUBLIC RIGHT OF WAYS, AND SHALL BE 24" MINIMUM IN THE DIRECTION OF TRAVEL AND EXTEND THE FULL WIDTH OF THE CURB RAMP OR FLUSH SURFACE. DETECTABLE WARNINGS SHALL BE LOCATED SO THE EDGE NEAREST THE CURB LINE IS 6" TO 8" FROM THE CURB LINE.
 - PAVEMENT MARKINGS:
 - AS REQUIRED BY LOCAL JURISDICTIONAL AUTHORITY (RECOMMENDED CROSSWALK MARKING TO DESIGNATE ACCESSIBLE PEDESTRIAN ROUTE)
 - PARKING SPACES:
 - MINIMUM 8' WIDE ACCESSIBLE PARKING SPACE
 - MINIMUM 5' WIDE ACCESS AISLE AT STANDARD SPACES
 - MINIMUM 8' WIDE ACCESS AISLE AT VAN ACCESSIBLE SPACES
 - MAXIMUM 2% (1:50) SLOPE IN ANY DIRECTION
 - SIGNAGE:
 - ACCESSIBLE PARKING SPACES SHALL BE DESIGNATED AS RESERVED BY A SIGN SHOWING THE SYMBOL OF ACCESSIBILITY. VAN ACCESSIBLE SPACES SHALL HAVE AN ADDITIONAL SIGN "VAN ACCESSIBLE" MOUNTED BELOW THE SYMBOL. SUCH SIGNS SHALL BE LOCATED SO THEY CANNOT BE OBLSCURED BY A VEHICLE PARKED IN THE SPACE (SIGNAGE TO BE INSTALLED AT A MINIMUM HEIGHT OF 7' TO BOTTOM OF VAN ACCESSIBLE DESIGNATION, AND 7' MINIMUM TO THE BOTTOM OF ALL OTHER SIGN FACES).
 - ACCESSIBLE ROUTES:
 - MUST COMPLY WITH ADA, THE FAIR HOUSING ACT AND ICC/ANSI A117.1-2003

EROSION CONTROL NOTES:

- EROSION CONTROL IS THE RESPONSIBILITY OF THE CONTRACTOR. THE CONTRACTOR SHALL UTILIZE BEST MANAGEMENT PRACTICES (BMP) DURING ALL PHASES OF CONSTRUCTION AND SHALL INSTALL & MAINTAIN ALL EROSION CONTROL MEASURES ON THE SITE AT ALL TIMES IN ACCORDANCE WITH THESE PLANS AND THE "MANUAL FOR EROSION AND SEDIMENT CONTROL IN GEORGIA".
 - NARRATIVE DESCRIPTION:
 - LOCATION: 230 FLONNEL AVENUE PORT WENTWORTH, GEORGIA
 - PIN: 70003 01001, 70003 01002, 70003 01005, 70003 01009, 70003 01010, 70003 01011, 70003 01012, 70003 01013
 - NATURE OF WORK: EXPANDING EXISTING TRAILER YARD
 - SIZE:
 - TOTAL PROPERTY ACREAGE: 40.33
 - DISTURBED ACREAGE: 39.79
 - ZONING CLASSIFICATION: P-1-2
 - MAXIMUM BUILDING HEIGHT: N/A
 - PHASES: THE WORK WILL BE PERFORMED IN ONE PHASE.
 - THERE ARE APPARENT WATERS OF THE UNITED STATES WITHIN 200 FEET OF THE PROJECT SITE.
 - THERE ARE APPARENT WETLANDS PRESENT ON THE PROPERTY.
 - ALL SUITABLE TOPSOIL WILL BE STOCKPILED BY THE CONTRACTOR AND SPREAD IN PROPOSED VEGETATIVE AREAS PRIOR TO LANDSCAPE INSTALLATION.
 - THE SOILS ON SITE ARE: ALBANY FINE SAND (As), CAPE FEAR SOILS (C₁), OCILLA COMPLEX (O₁), Ogeechee LOAMY FINE SAND (O₂), Ogeechee-URBAN LAND COMPLEX (O₃), PELHAM LOAMY SAND (P₁), AND TIDAL MARSH, FRESH (Tm₁).
 - THIS SITE IS CURRENTLY DEVELOPED AS A GRAVEL TRAILER YARD IN ONE PORTION. THE REST OF THE PROPOSED SITE HAS BEEN CLEARED AND ROUGH GRADED.
 - MAINTENANCE OF ALL SOIL EROSION AND SEDIMENT CONTROL PRACTICES, WHETHER TEMPORARY OR PERMANENT, SHALL BE AT ALL TIMES THE RESPONSIBILITY OF THE OWNER.
 - THE CONTRACTOR SHALL ENSURE THAT STRUCTURAL EROSION CONTROL MEASURES ARE INSPECTED DAILY. ANY DEFICIENCIES, INCLUDING SEDIMENT ACCUMULATION AND REMOVAL, OBSERVED SHALL BE CORRECTED BY THE END OF THAT DAY'S WORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING A DAILY INSPECTION LOG AND NOTIFYING THE OWNER AND ENGINEER OF ANY DEFICIENCIES IDENTIFIED IN THE EROSION CONTROL MEASURES. EROSION CONTROL MEASURES SHALL REMAIN IN PLACE UNTIL DISTURBED AREAS ARE STABILIZED.
 - THE ESCAPE OF SEDIMENT FROM THE SITE SHALL BE PREVENTED BY THE INSTALLATION OF EROSION CONTROL MEASURES AND PRACTICES PRIOR TO, OR CONCURRENT WITH, LAND DISTURBING ACTIVITIES.
 - EROSION CONTROL MEASURES WILL BE MAINTAINED AT ALL TIMES. IF FULL IMPLEMENTATION OF THE APPROVED PLAN DOES NOT PROVIDE FOR EFFECTIVE EROSION CONTROL, ADDITIONAL EROSION AND SEDIMENT CONTROL WILL BE IMPLEMENTED TO CONTROL OR TREAT THE SEDIMENT SOURCE.
 - ANY DISTURBED AREA LEFT EXPOSED FOR A PERIOD OF GREATER THAN 14 DAYS SHALL BE STABILIZED WITH MULCH OR TEMPORARY SEEDING.
 - ACCORDING TO THE FLOOD INSURANCE RATE MAPS, AS PREPARED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY, THIS PROJECT SITE DOES APPEAR TO LIE IN AN FLOOD HAZARD AREA AS DEPICTED ON FIRM PANEL NO. 130510049G EFFECTIVE DATE: AUGUST 15, 2016.
 - CONTACT INFORMATION:
 - CIVIL ENGINEER: PATRICK WARNER, PE
 - REGISTERED PROFESSIONAL ENGINEER: COLEMAN COMPANY, INC.
 - 1480 CHATHAM PKWY.
 - SAVANNAH, GA 31405
 - P: 912.200.3041
 - F: 912.200.3056
 - OWNER/REPRESENTATIVE CONTACT:
 - INTER METRO PROPERTIES OF GEORGIA, LLC
 - ATTN: MR. JOE McVEIGH
 - 20 NORTH AVENUE EAST
 - ELEZABETH, NJ 07201
 - jmcveigh@ledway.com
 - THE INITIAL RECEIVING WATER FOR THIS PROJECT IS WETLANDS AS A TRIBUTARY FOR ST AUGUSTINE CREEK. FINAL RECEIVING WATERS ST AUGUSTINE CREEK.
 - ANY ON-SITE FUEL STORAGE TANK MUST BE PROTECTED FROM LEAKS, SPILLS, AND RUPTURE AS PER APPLICABLE CODES.
 - SILT FENCE MUST BE INSPECTED DAILY FOR FAILURES AND CLEANED OUT WHEN SILT REACHES 1/2 THE FENCE HEIGHT.
 - ALL TEMPORARY Bmps FOR EROSION & SEDIMENT CONTROL SHALL BE REMOVED ONCE FINAL STABILIZATION IS ACHIEVED.
- | | AREA | IMPERVIOUS | CN | Q25 |
|------------------|---------|------------|----|--------------------------|
| PRE-DEVELOPMENT | 30.70ac | 10.00ac | 86 | (±)71.12 cfs Tc=15.0min. |
| POST-DEVELOPMENT | 30.70ac | 20.35ac | 93 | (±)77.27 cfs Tc=15.0min. |



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REVISIONS:

CIVIL CONSTRUCTION PLANS FOR
FLONNEL AVENUE LOGISTICS FACILITY
CONTAINER YARD
LOCATED IN PORT WENTWORTH, GEORGIA
PREPARED FOR INTER-METRO PROPERTIES OF GEORGIA, LLC

JOB NUMBER: 22-730.000
DATE: 05/04/23
DRAWN BY: MEL
CHECKED BY: PJW
SCALE: AS NOTED

CONSTRUCTION NOTES

SHEET: C0.1

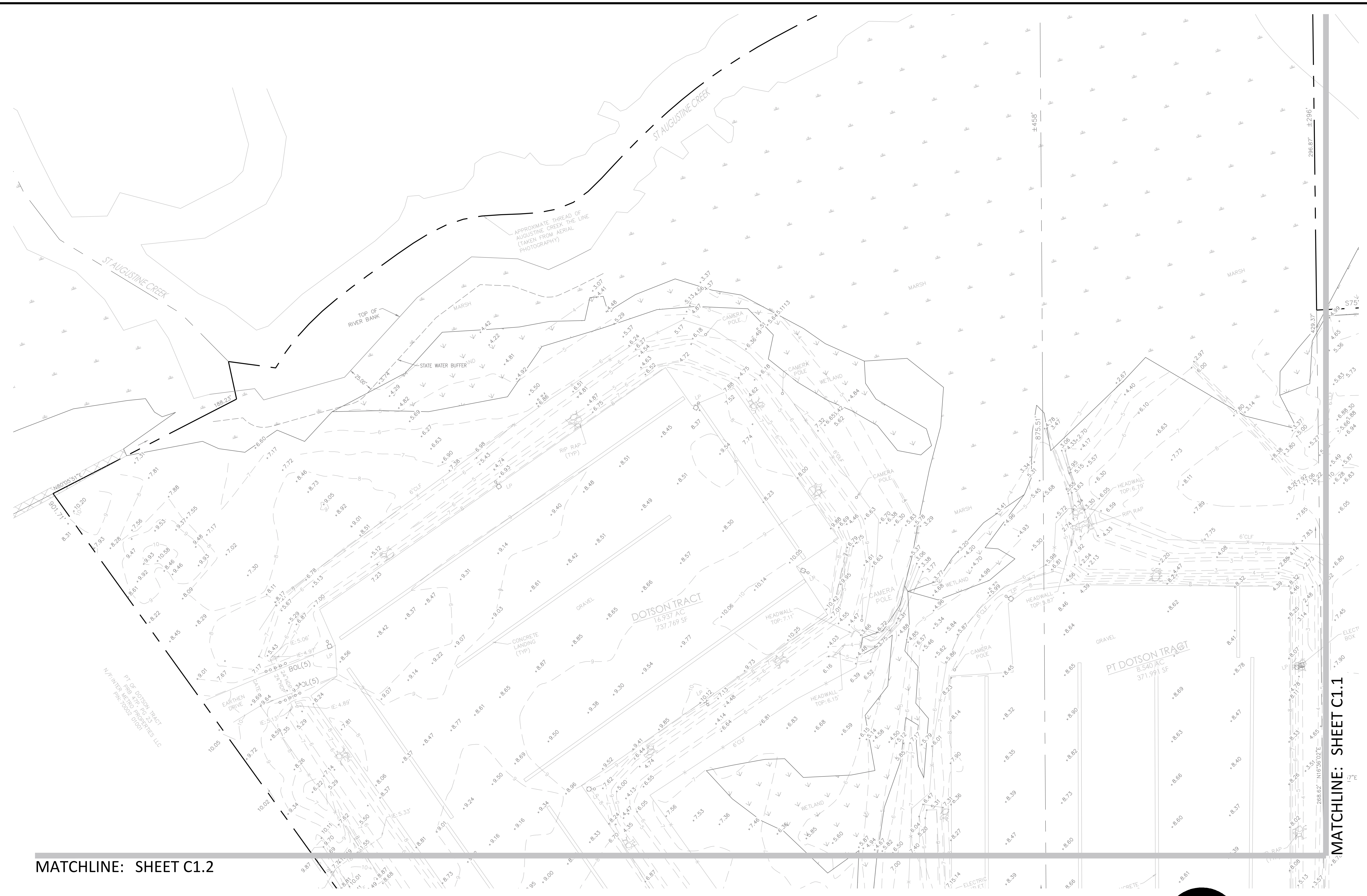


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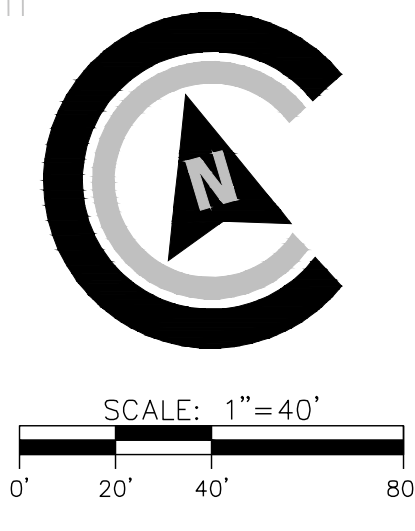
Attachment: Flommel Ave Logistics Yard 7-0003-01-001 S-Site Plan -2023-Civil Plans 5.4.23 (2830) - Site Plan Review Application (Specific) Flommel Ave Logistics Yard 7-0003-01-001 June 2023

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MATCHLINE: SHEET C1.2

MATCHLINE: SHEET C1.1



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REGISTERED PROFESSIONAL ENGINEER
No. PE42979
PATRICK J. WARNER

REVISIONS:

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CONTAINER YARD
LOCATED IN PORT WENTWORTH, GEORGIA
PREPARED FOR INTER-METRO PROPERTIES OF GEORGIA, LLC

JOB NUMBER: 22-730.000
DATE: 05/04/23
DRAWN BY: MEL
CHECKED BY: PJW
SCALE: AS NOTED

EXISTING CONDITIONS

SHEET:
C1.0

Attachment: Flonnel Ave Logistics Yard 7-0003-01-001 S-Site Plan 2023-Civil Plans 5.4.23 (2530) : Site Plan Review Application (Specific) Flonnel Ave Logistics Yard 7-0003-01-001 June 2023

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MATCHLINE: SHEET C1.0

MATCHLINE: SHEET C1.3

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REGISTERED PROFESSIONAL ENGINEER
PATRICK J. WARNER
No. PE242979

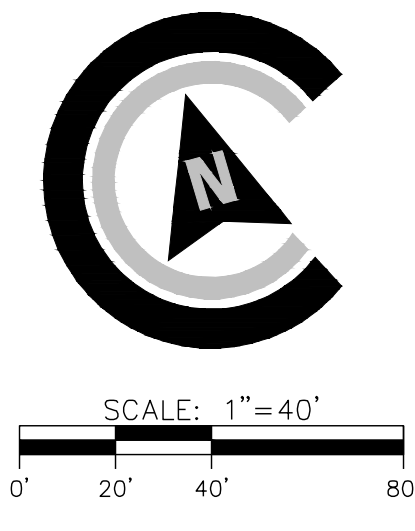
REVISIONS:

CIVIL CONSTRUCTION PLANS FOR
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CONTAINER YARD
LOCATED IN PORT WENTWORTH, GEORGIA
PREPARED FOR INTER-METRO PROPERTIES OF GEORGIA, LLC

JOB NUMBER: 22-730.000
DATE: 05/04/23
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SCALE: AS NOTED

EXISTING CONDITIONS

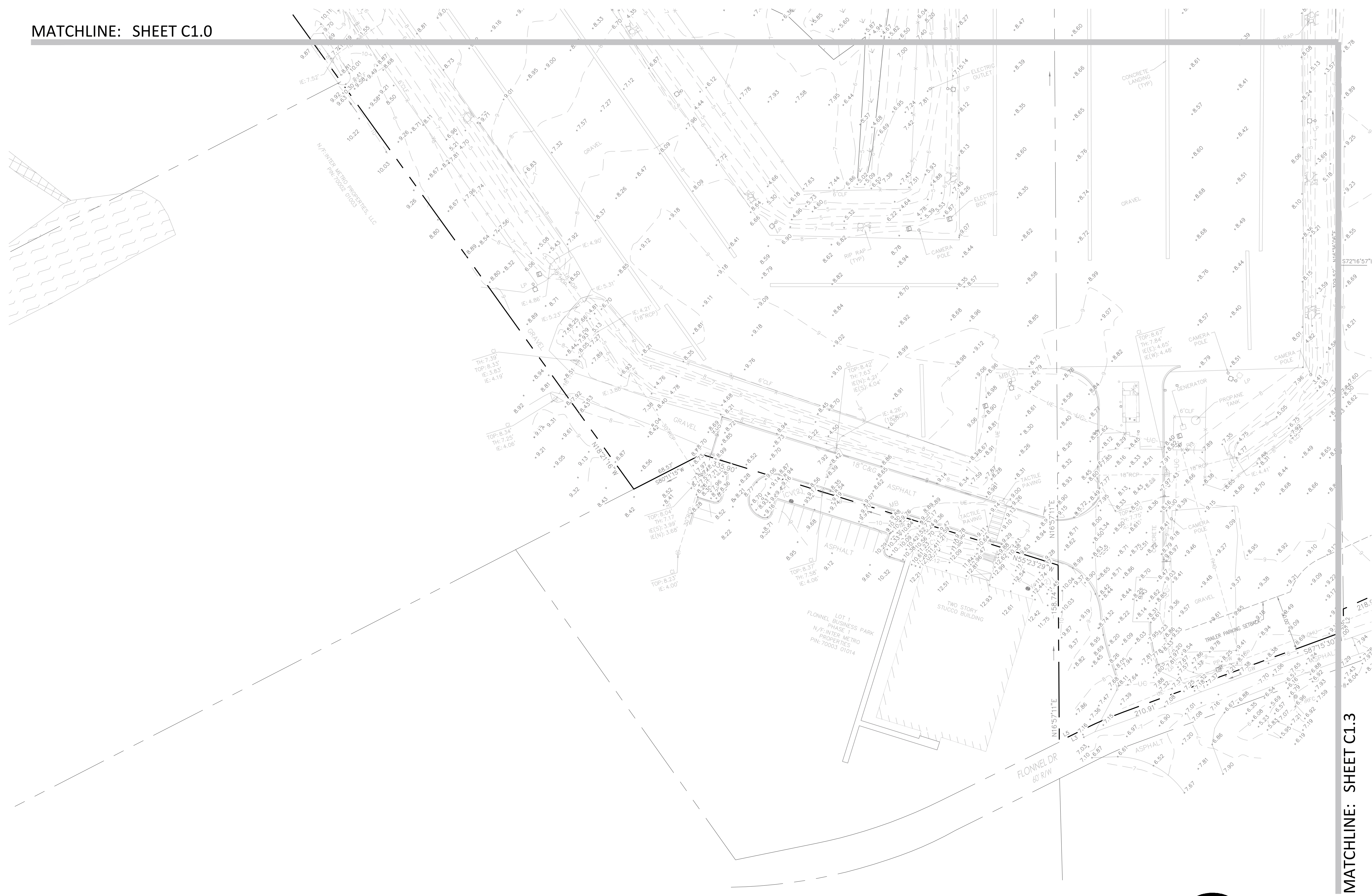
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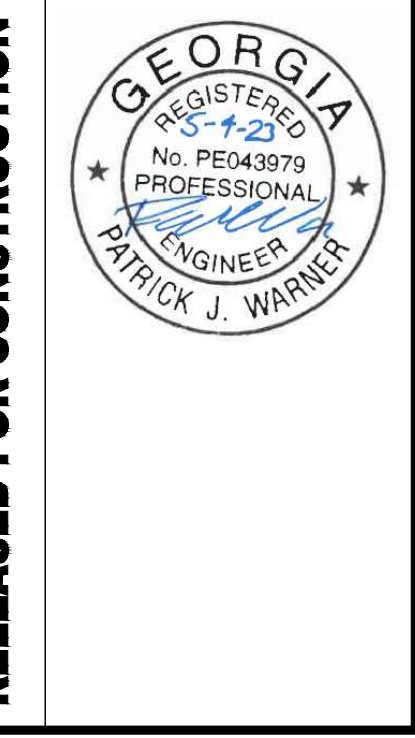
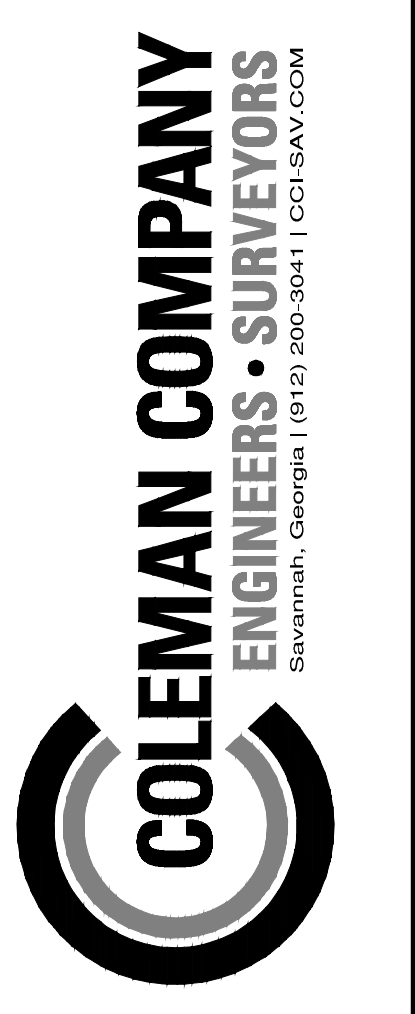
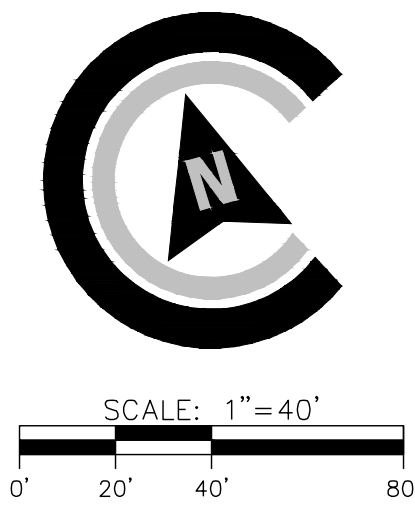
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MATCHLINE: SHEET C1.0



MATCHLINE: SHEET C1.3

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 SCALE: AS NOTED

EXISTING CONDITIONS

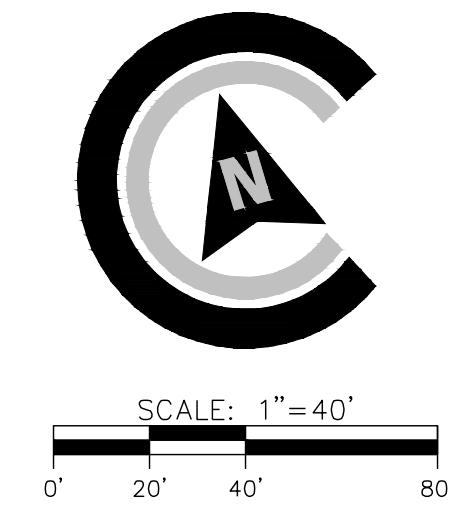
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C1.2

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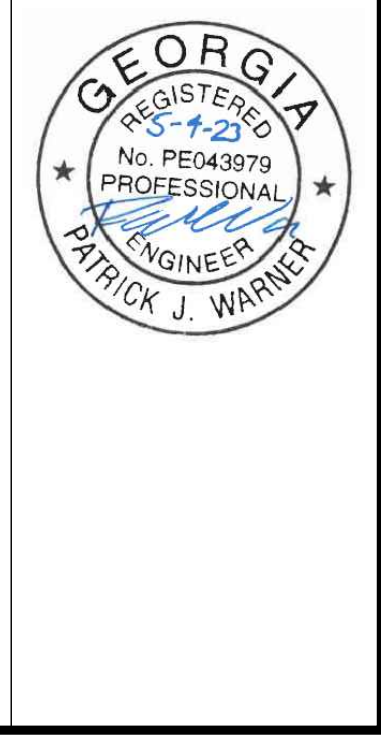
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MATCHLINE: SHEET C1.2

MATCHLINE: SHEET C1.1



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CIVIL CONSTRUCTION PLANS FOR
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JOB NUMBER: 22-730.000
 DATE: 05/04/23
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EXISTING CONDITIONS

SHEET:
C1.3

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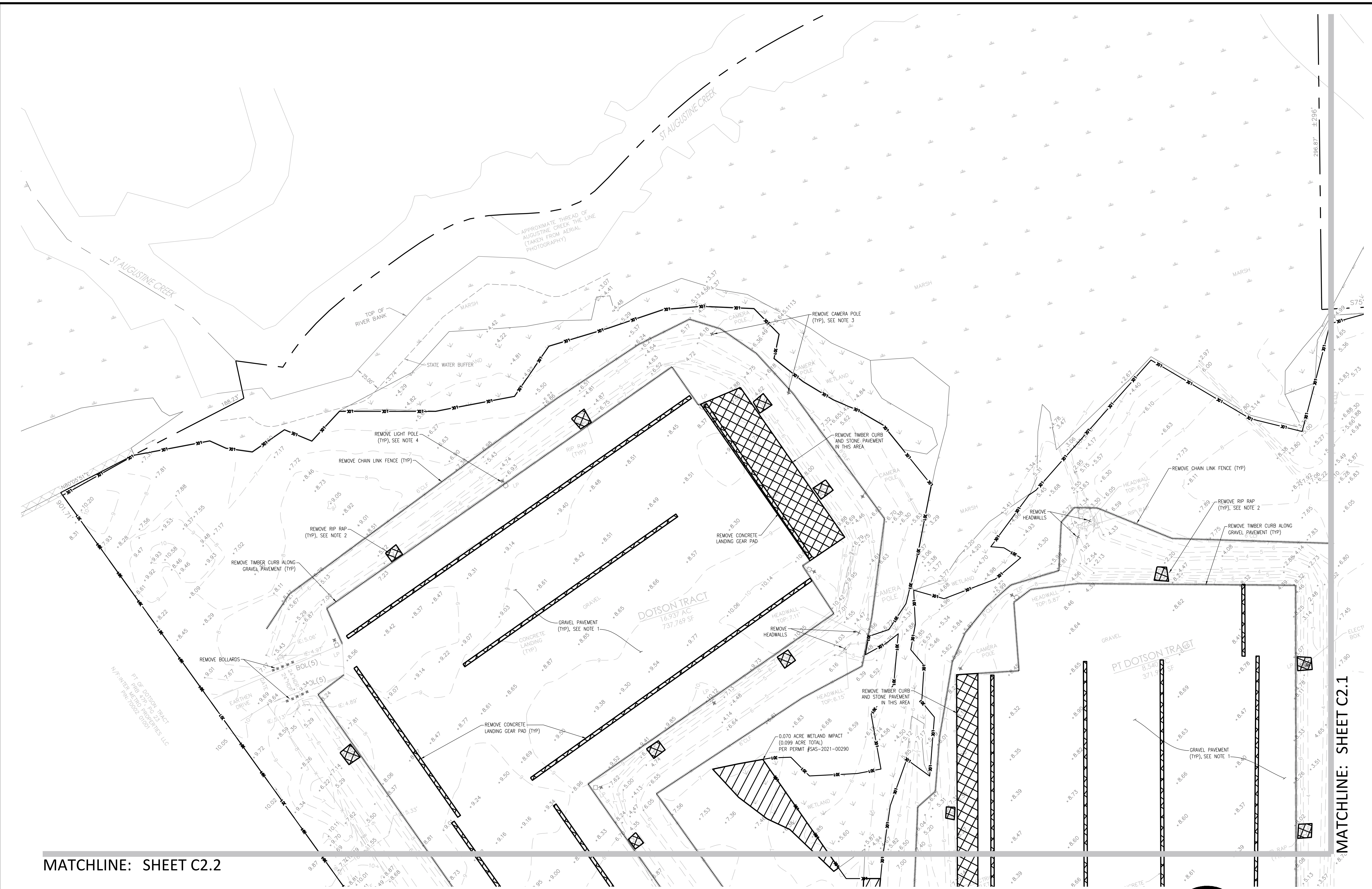
REVISIONS:

CIVIL CONSTRUCTION PLANS FOR
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 LOCATED IN PORT WENTWORTH, GEORGIA
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JOB NUMBER: 22-730.000
 DATE: 05/04/23
 DRAWN BY: MEL
 CHECKED BY: PJW
 SCALE: AS NOTED

DEMOLITION PLAN

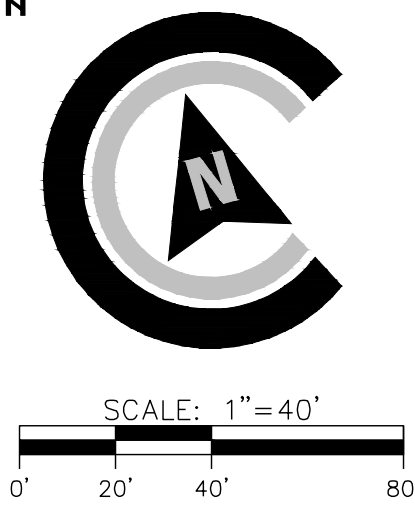
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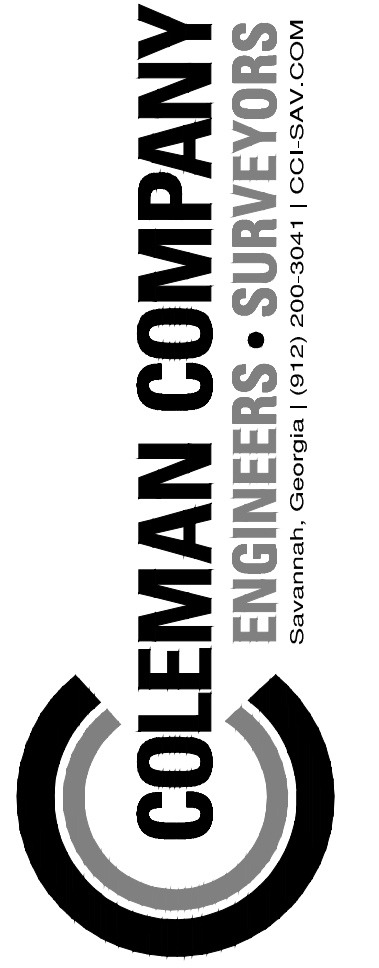


MATCHLINE: SHEET C2.2

MATCHLINE: SHEET C2.1

- DEMOLITION NOTES:**
- REFER TO GEOLOGICAL REPORT FOR GRAVEL PAVEMENT REMOVAL OR AS REUSE AS GRAVEL BASE FOR NEW PAVEMENT.
 - REMOVE RIP RAP FROM THESE LOCATIONS AND STOCKPILE FOR REUSE AS NEW RIP RAP AS REQUIRED.
 - TAKE CARE WITH REMOVAL OF CAMERAS AND POLES. COORDINATE WITH THE OWNER FOR RE-USE AND RELOCATION.
 - TAKE CARE WITH REMOVAL OF LIGHT POLES. COORDINATE WITH THE OWNER FOR RE-USE AND RELOCATION.
- DEMOLITION NOTE:**
 THE CONTRACTOR IS TO COORDINATE ANY REMOVAL OF POWER POLES AND OVERHEAD UTILITY LINES WITH GEORGIA POWER. SERVICE TO ADJACENT PROPERTY OWNER IS NOT TO BE INTERRUPTED.





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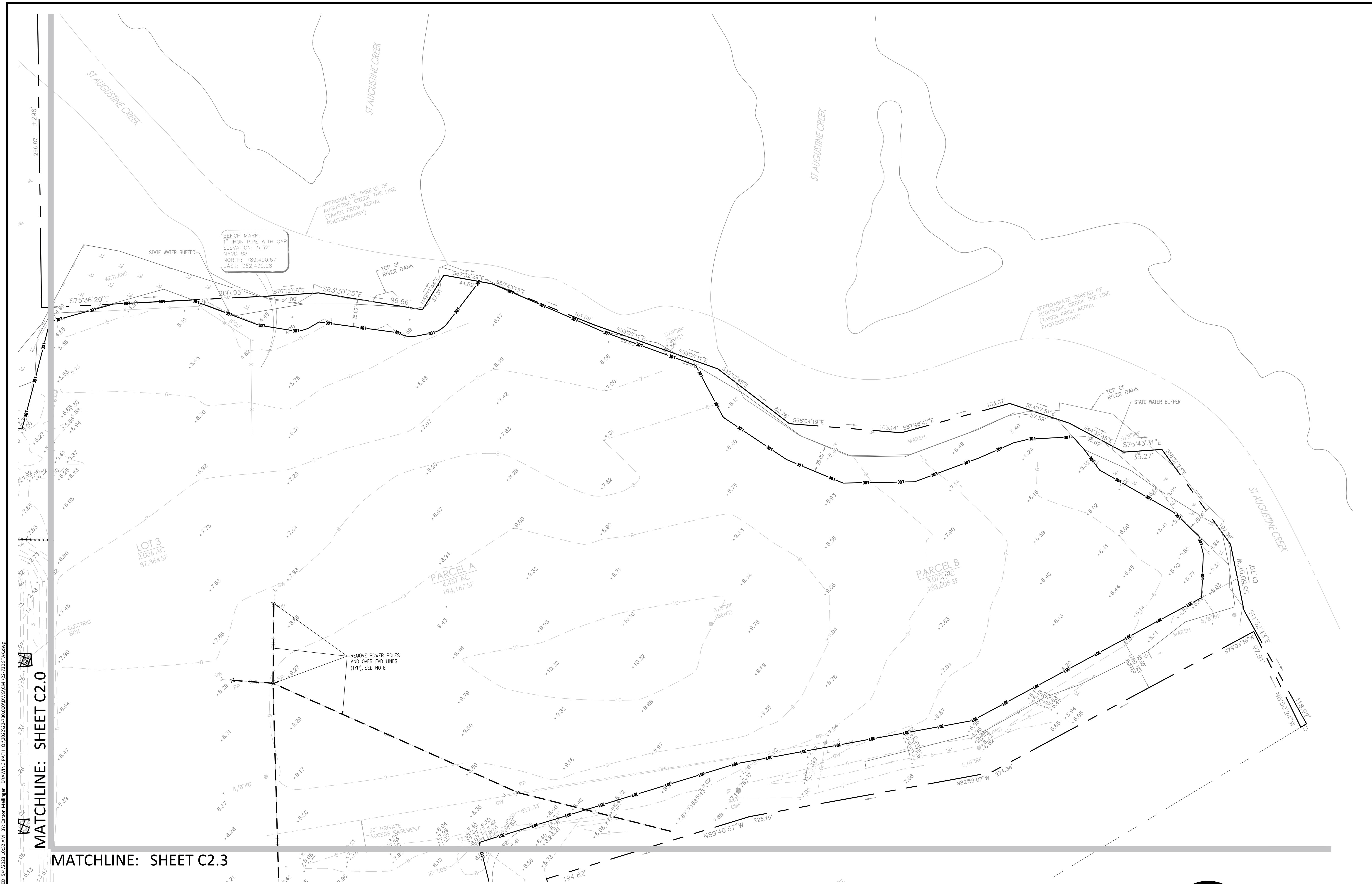
CIVIL CONSTRUCTION PLANS FOR
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JOB NUMBER: 22-730.000
 DATE: 05/04/23
 DRAWN BY: MEL
 CHECKED BY: PJW
 SCALE: AS NOTED

DEMOLITION PLAN

SHEET:
C2.1

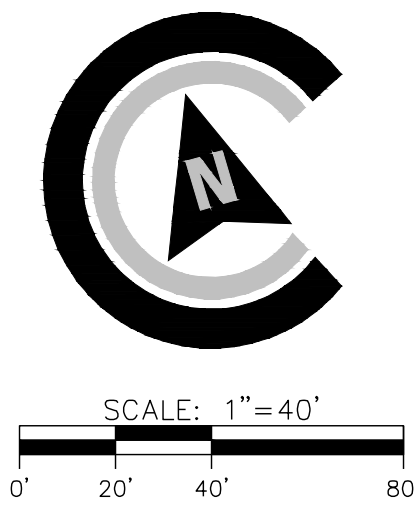
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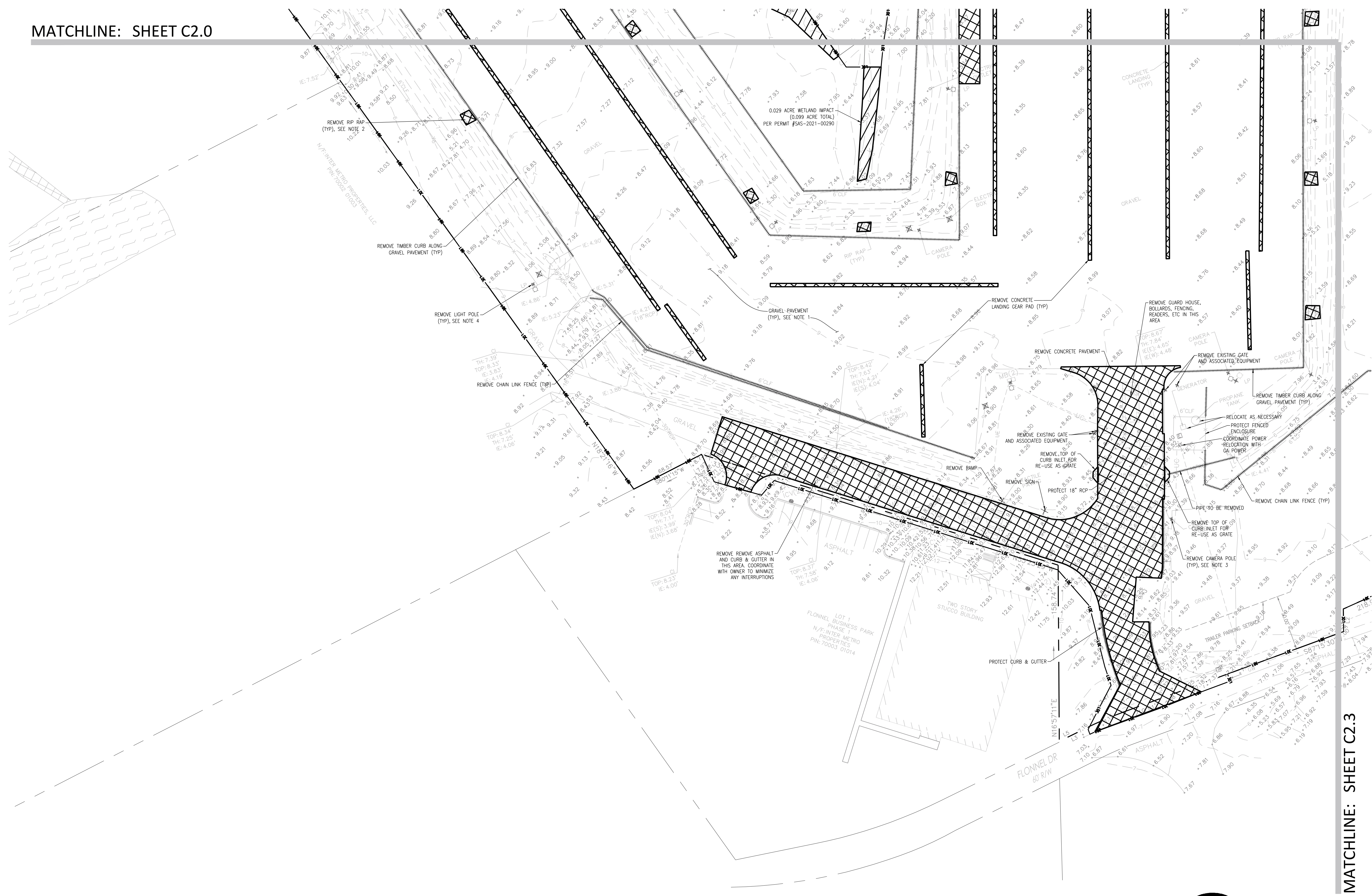
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- DEMOLITION NOTES:**
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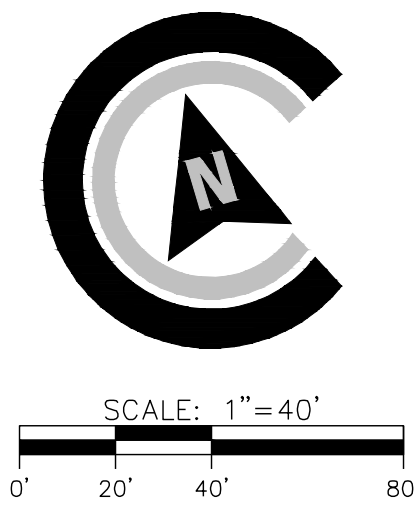
MATCHLINE: SHEET C2.0



MATCHLINE: SHEET C2.3

- DEMOLITION NOTES:**
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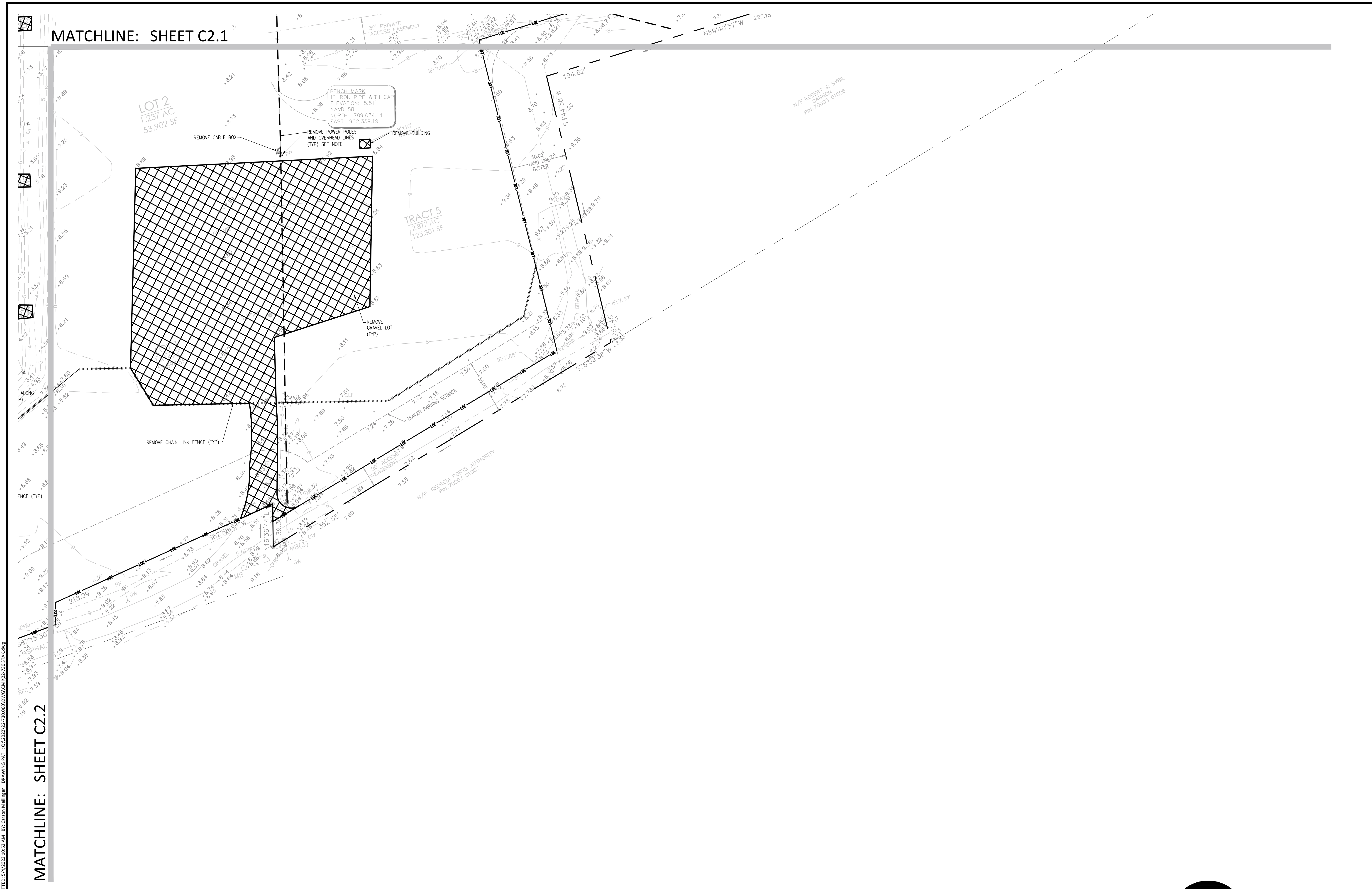
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CIVIL CONSTRUCTION PLANS FOR
FLONNEL AVENUE LOGISTICS FACILITY
CONTAINER YARD
 LOCATED IN PORT WENTWORTH, GEORGIA
 PREPARED FOR INTER-METRO PROPERTIES OF GEORGIA, LLC

JOB NUMBER: 22-730.000
 DATE: 05/04/23
 DRAWN BY: MEL
 CHECKED BY: PJW
 SCALE: AS NOTED

DEMOLITION PLAN

SHEET:
C2.2

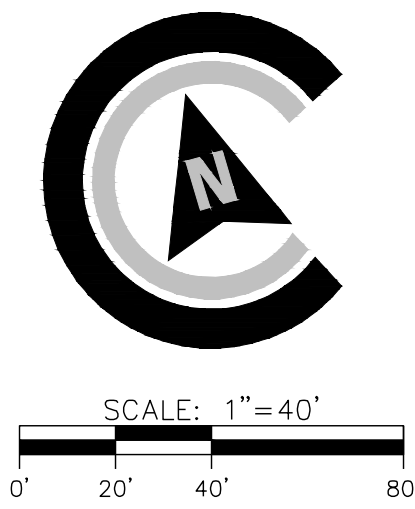


MATCHLINE: SHEET C2.1

MATCHLINE: SHEET C2.2

- DEMOLITION NOTES:**
1. REFER TO GEOLOGICAL REPORT FOR GRAVEL PAVEMENT REMOVAL OR AS REUSE AS GRAVEL BASE FOR NEW PAVEMENT.
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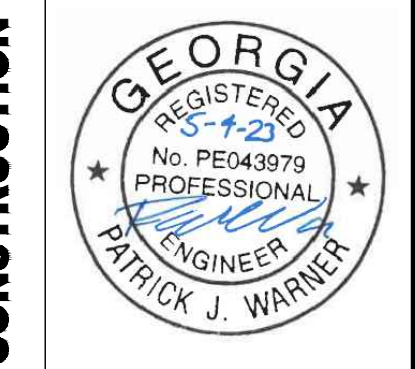
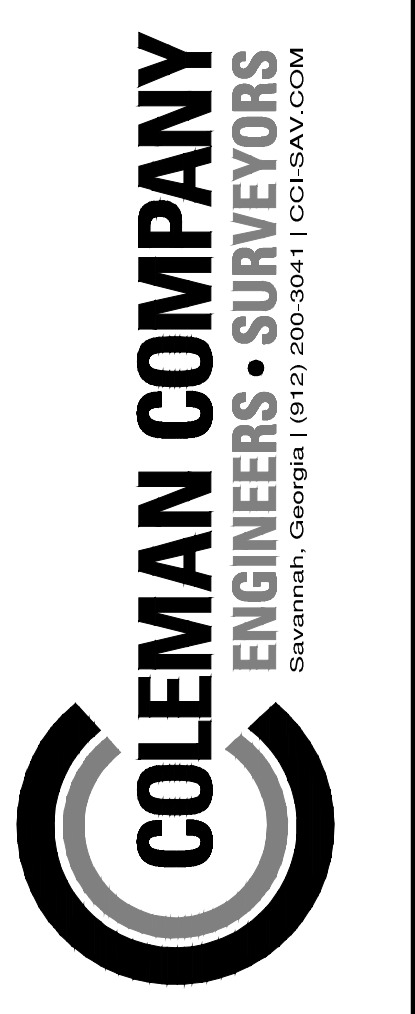
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 CONTAINER YARD
 LOCATED IN PORT WENTWORTH, GEORGIA
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DEMOLITION PLAN

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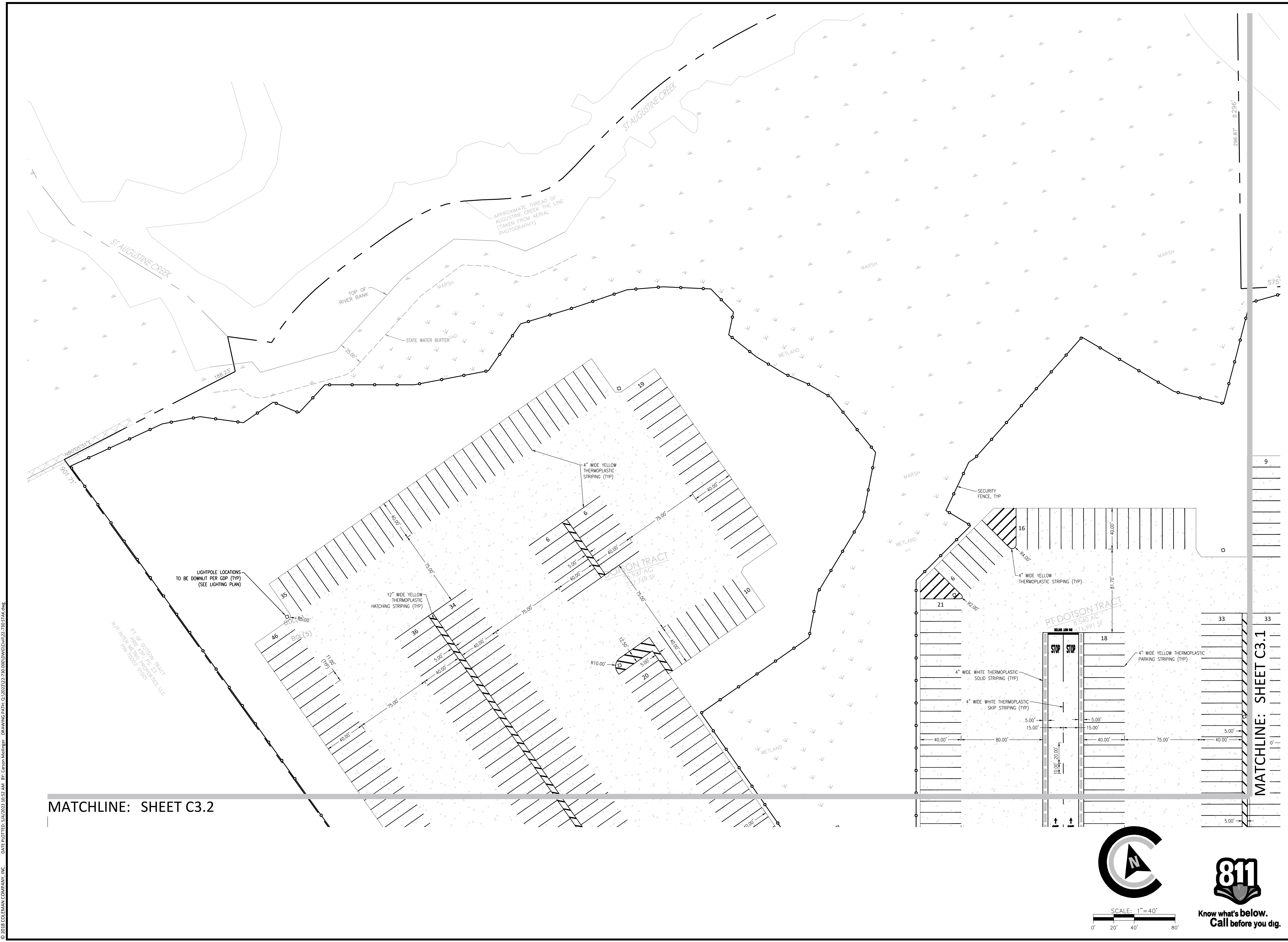
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 DATE: 05/04/23
 DRAWN BY: MEL
 CHECKED BY: PJW
 SCALE: AS NOTED

STAKING PLAN

SHEET:
C3.0

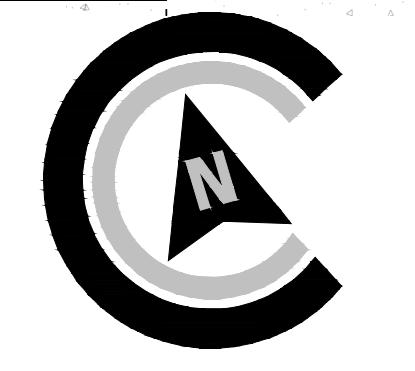


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PT. OF DOTSON TRACT
 1/4 SEC 24, T26, R23
 INTER-METRO PROPERTIES, LLC
 PIN: 10022, 0101

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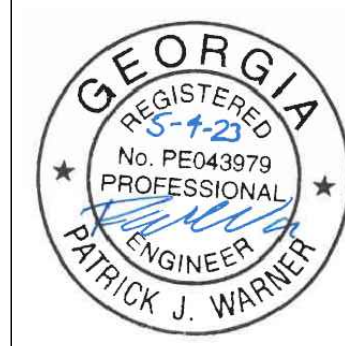
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SCALE: 1" = 40'
 0' 20' 40' 80'



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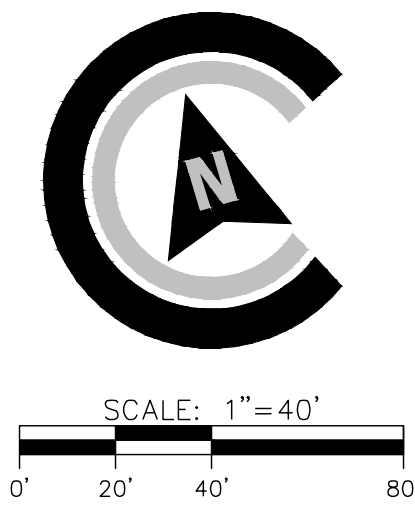
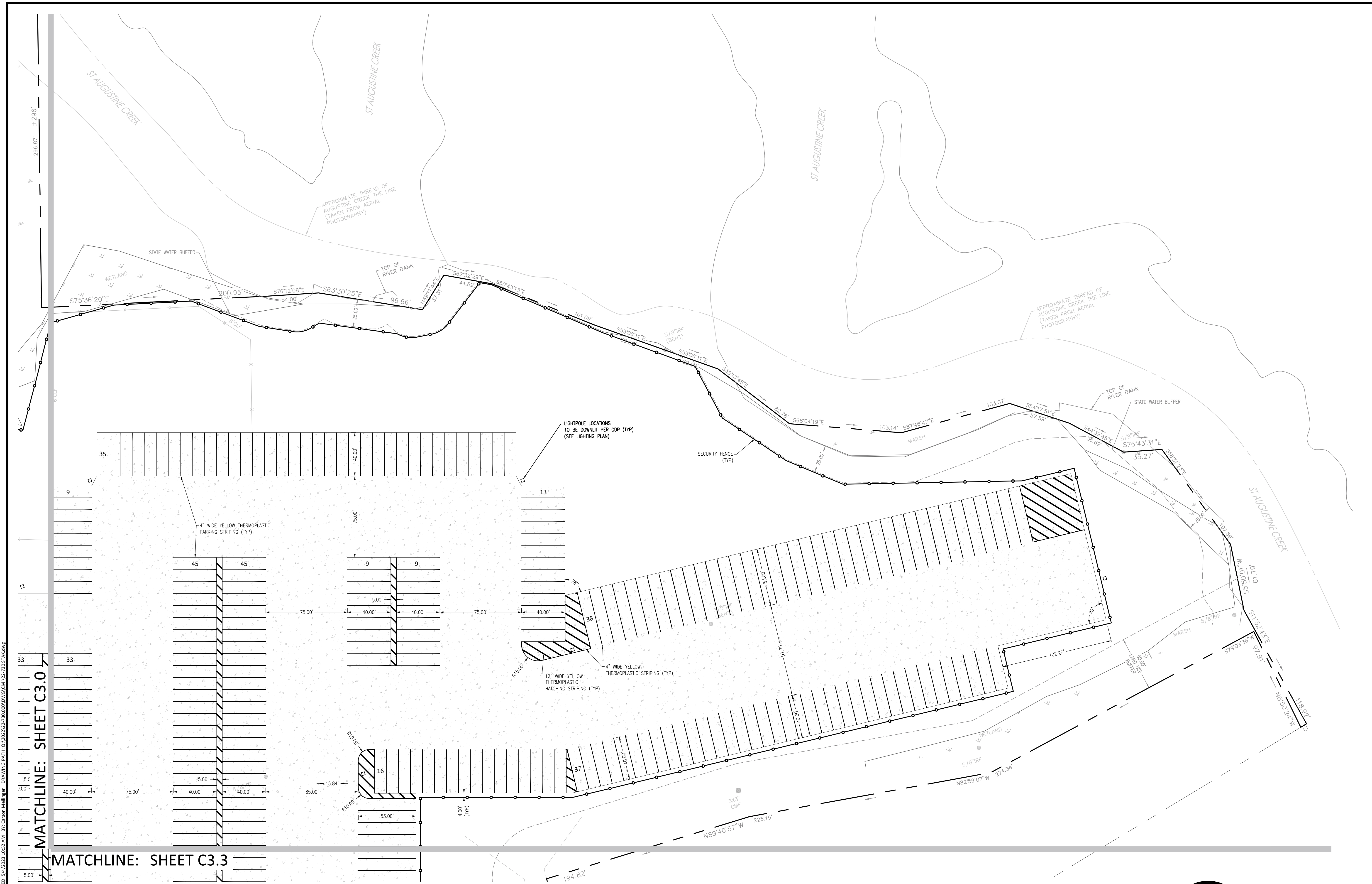
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STAKING PLAN

SHEET:
C3.1



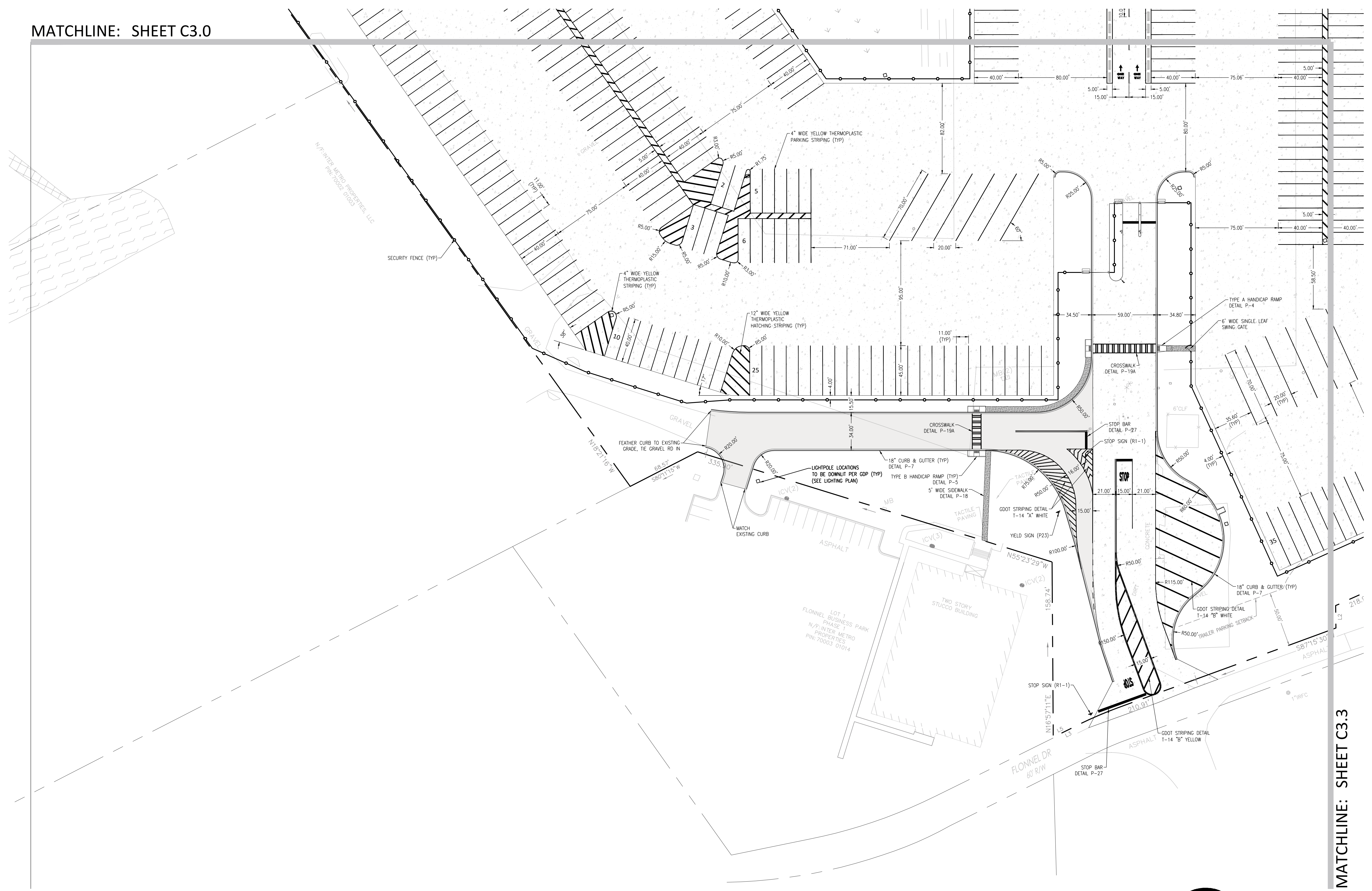
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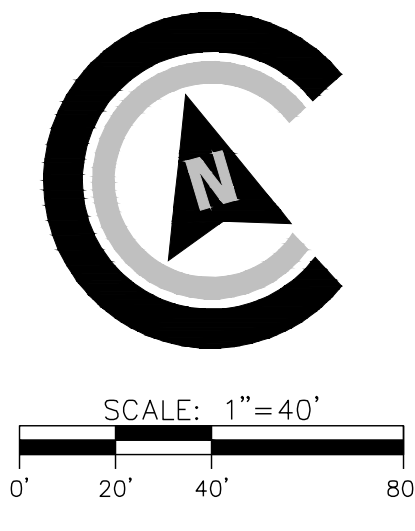
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MATCHLINE: SHEET C3.3

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REGISTERED PROFESSIONAL ENGINEER
No. PE242979
PATRICK J. WARNER

REVISIONS:

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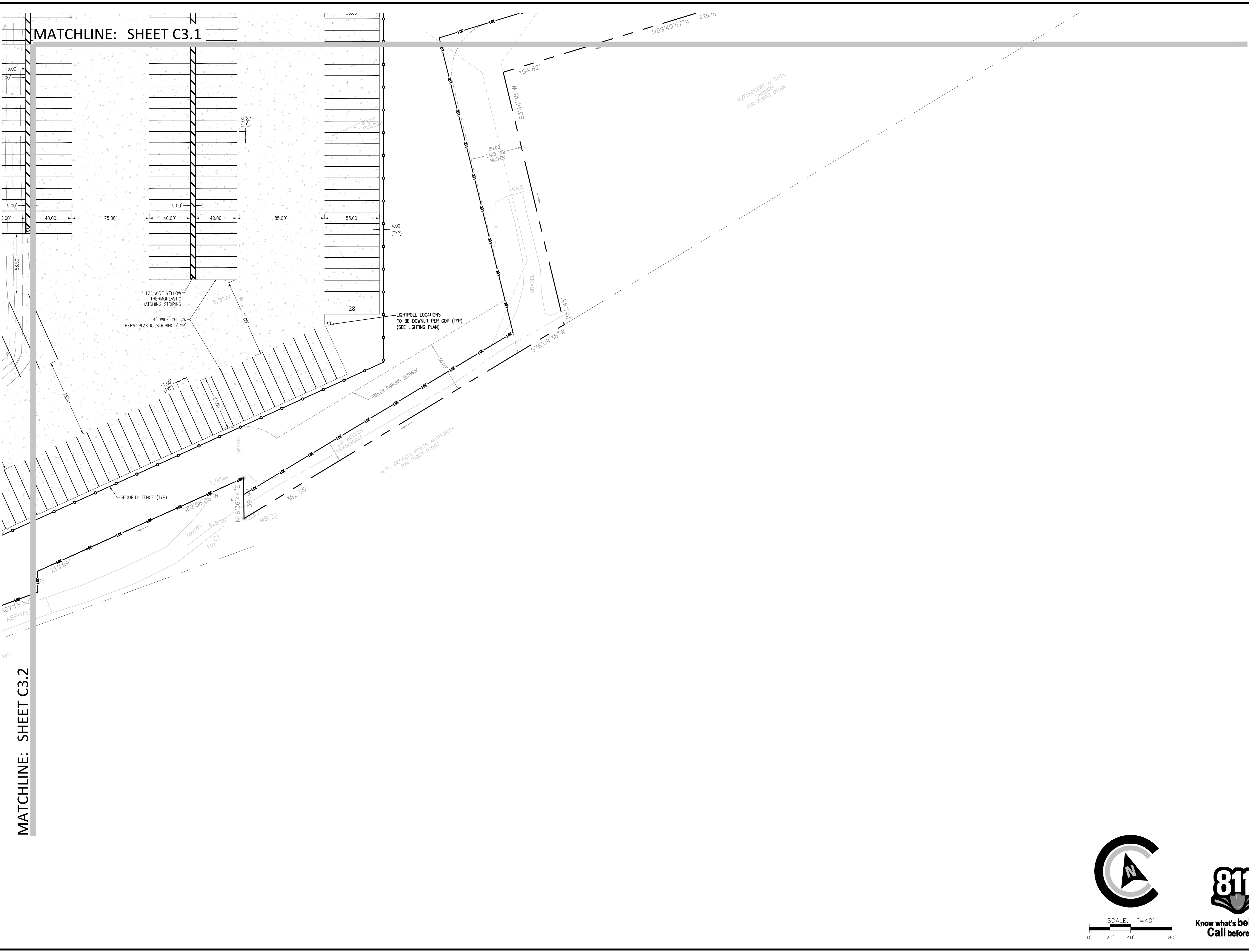
JOB NUMBER: 22-730.000
DATE: 05/04/23
DRAWN BY: MEL
CHECKED BY: PJW
SCALE: AS NOTED

STAKING PLAN

SHEET:
C3.2

Attachment: Flonnel Ave Logistics Yard 7-0003-01-001 S-Site Plan 2023-Civil Plans 5.4.23 (2830) : Site Plan Review Application (Specific) Flonnel Ave Logistics Yard 7-0003-01-001 June 2023

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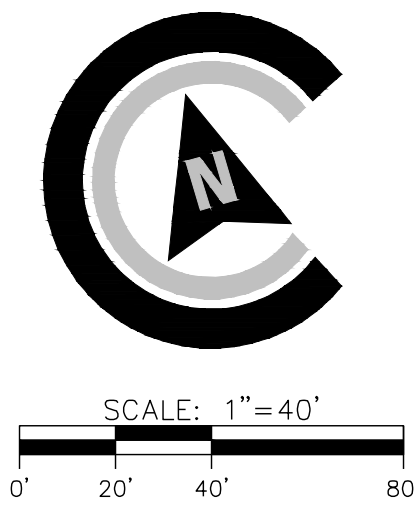
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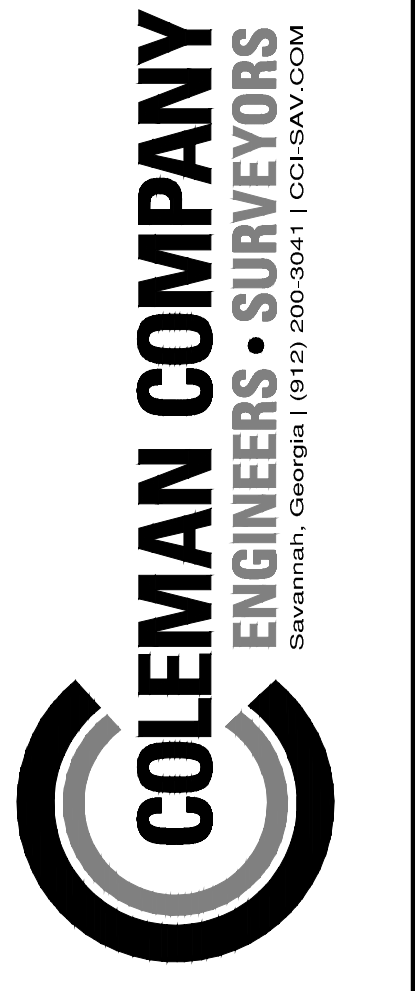
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SCALE: AS NOTED

STAKING PLAN

SHEET:
C3.3



Attachment: Flonnel Ave Logistics Yard 7-0003-01-001 S-Site Plan 2023-Civil Plans 5.4.23 (2530) : Site Plan Review Application (Specific) Flonnel Ave Logistics Yard 7-0003-01-001 June 2023



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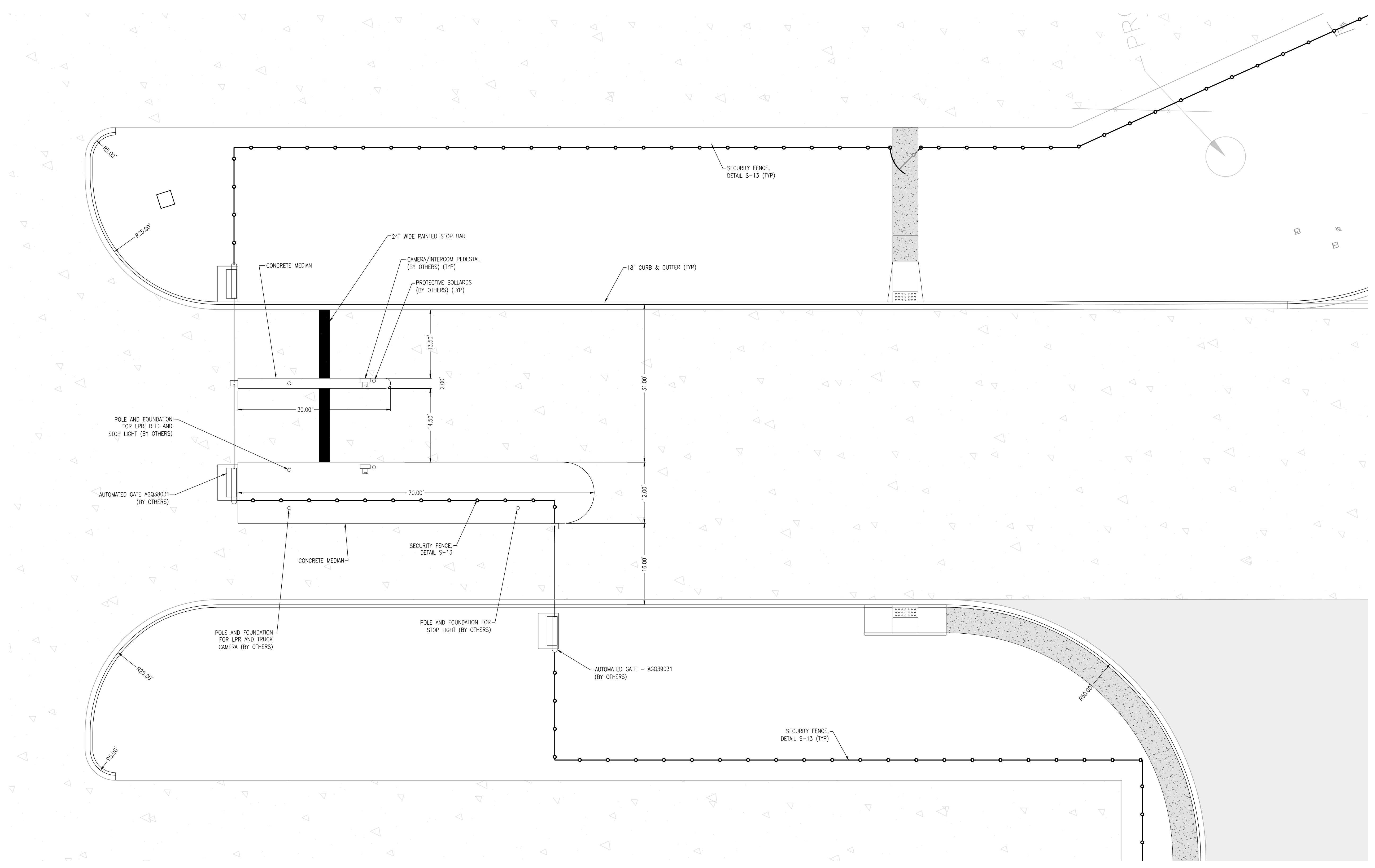
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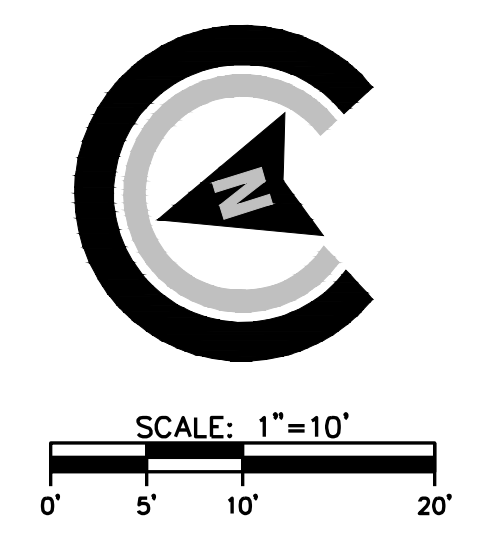
ENLARGED STAKING PLAN

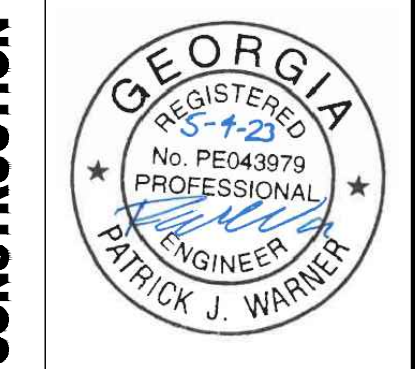
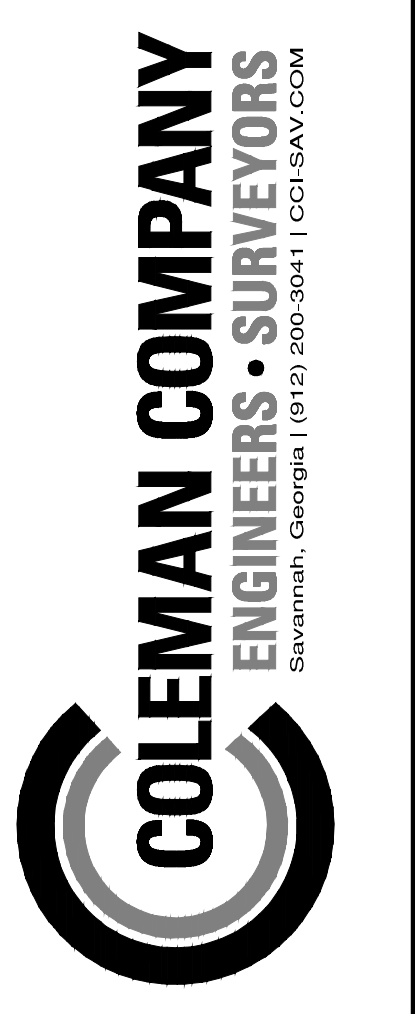
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Attachment: Flonnel Ave Logistics Yard 7-0003-01-001 S-Site Plan -2023-Civil Plans 5.4.23 (2530) : Site Plan Review Application (Specific) Flonnel Ave Logistics Yard 7-0003-01-001 June 2023)



ENTRANCE PLAN 1" = 10'





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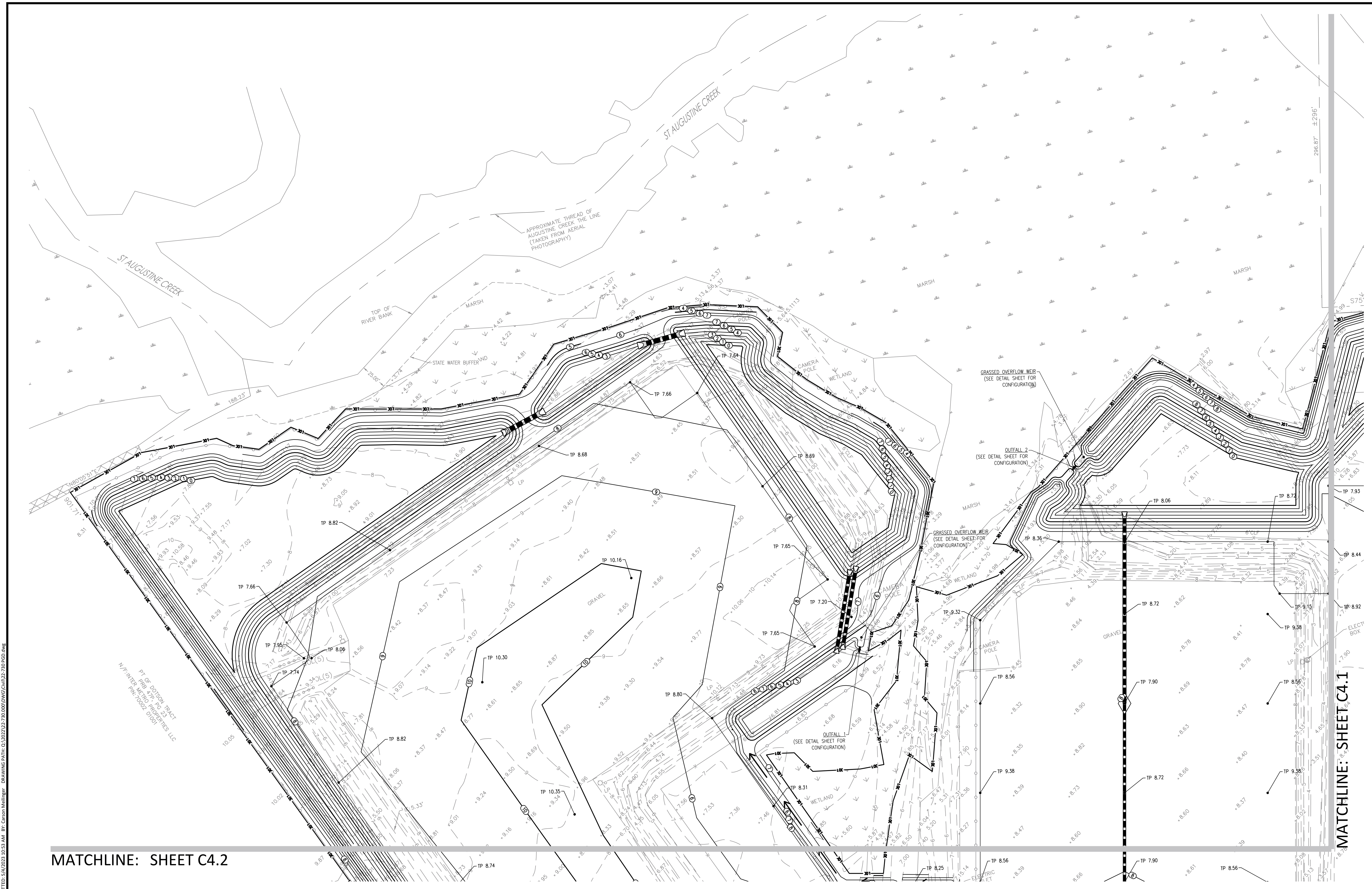
CIVIL CONSTRUCTION PLANS FOR
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JOB NUMBER: 22-730
 DATE: 05/04/23
 DRAWN BY: MEL
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 SCALE: AS NOTED

GRADING PLAN

SHEET:

C4.0

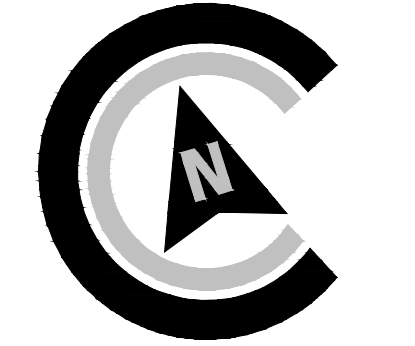


MATCHLINE: SHEET C4.2

MATCHLINE: SHEET C4.1

TP	TOP OF PAVEMENT
FC	FINISHED GRADE
TOC	TOP OF CURB
FR	STRUCTURE FRAME

DETENTION POND 1		DETENTION POND 2	
TOB:	7.50'	TOB:	7.50'
NWL:	3.50'	NWL:	3.50'
WOL:	4.00'	WOL:	4.00'
WO VOLUME:	171,826 CF	WO VOLUME:	254,608 CF
25-YR:	5.63' - 285,359 CF	25-YR:	6.42' - 442,078 CF
100-YR:	5.86' - 302,845 CF	100-YR:	6.73' - 471,157 CF



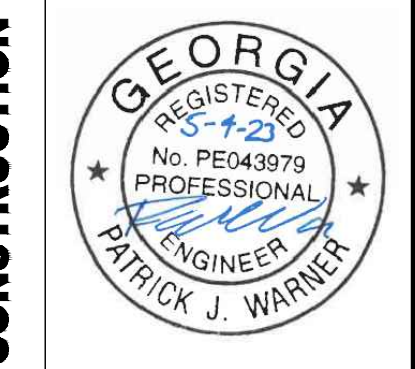
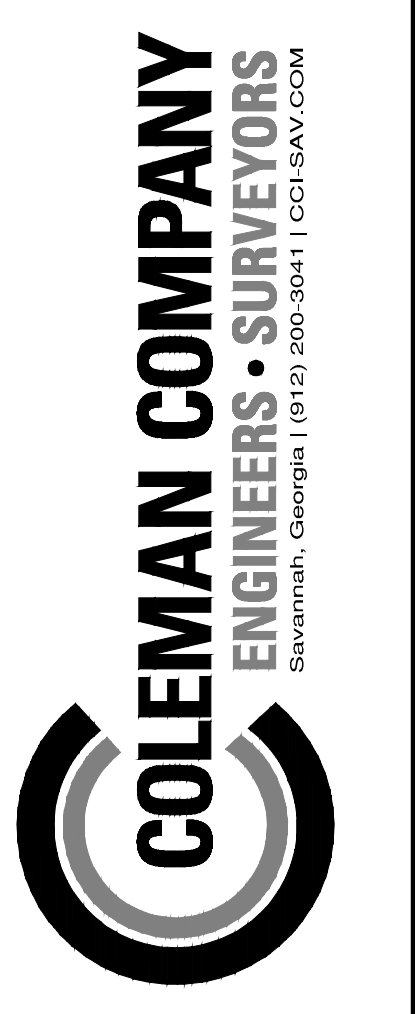
SCALE: 1"=40'



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Attachment: Flonnel Ave Logistics Yard 7-0003-01-001 S-Site Plan 2023-Civil Plans 5.4.23 (2530) : Site Plan Review Application (Specific) Flonnel Ave Logistics Yard 7-0003-01-001 June 2023



RELEASED FOR CONSTRUCTION

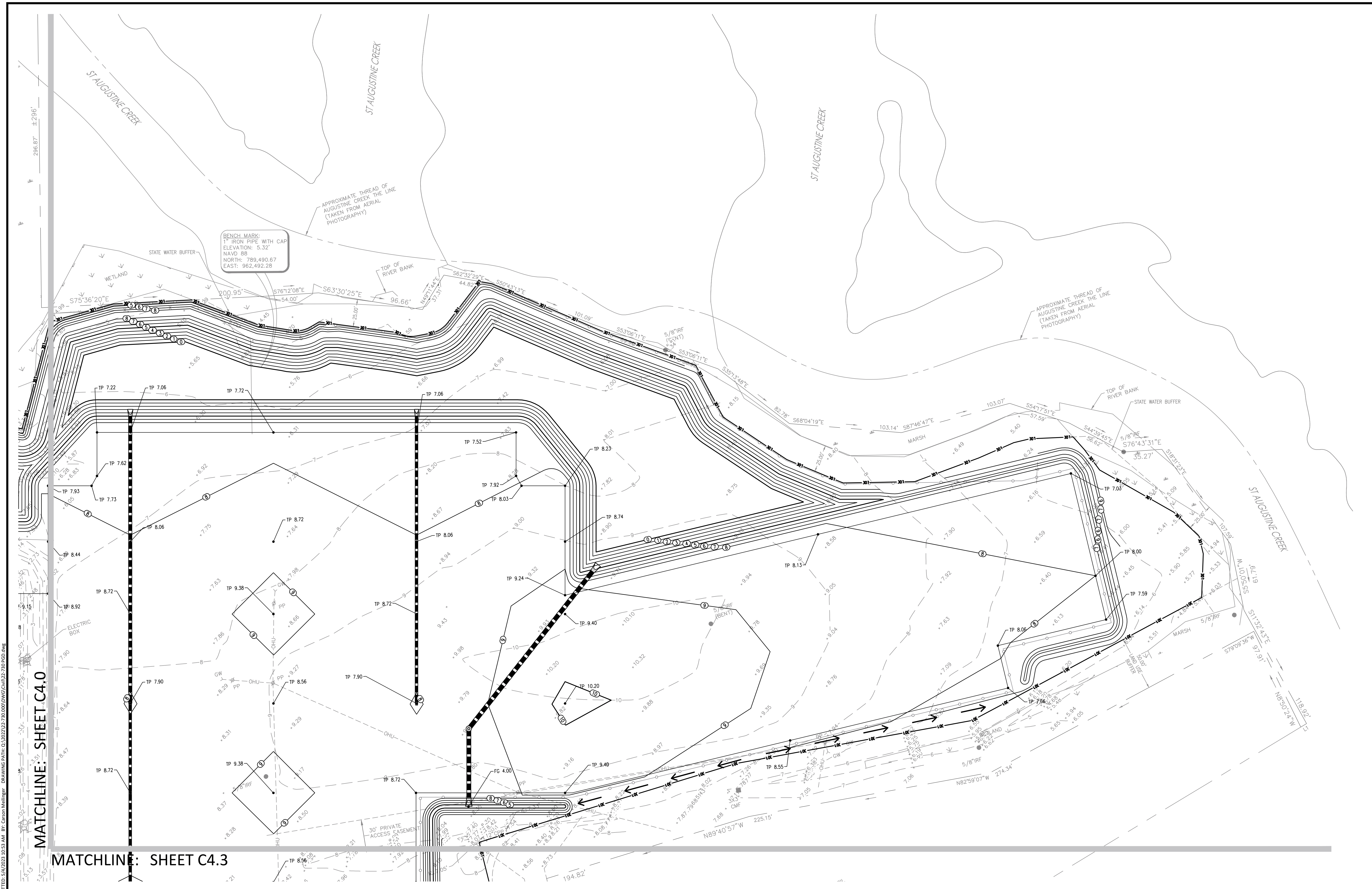
REVISIONS:

CIVIL CONSTRUCTION PLANS FOR
FLONNEL AVENUE LOGISTICS YARD
 LOCATED IN PORT WENTWORTH, GEORGIA
 PREPARED FOR INTER-METRO PROPERTIES OF GEORGIA, LLC

JOB NUMBER: 22-730
 DATE: 05/04/23
 DRAWN BY: MEL
 CHECKED BY: PJW
 SCALE: AS NOTED

GRADING PLAN

SHEET: C4.1



BENCH MARK
 1" IRON PIPE WITH CAP
 ELEVATION: 5.32'
 NAVD 88
 NORTH: 789,490.67
 EAST: 962,492.28

MATCHLINE: SHEET C4.0

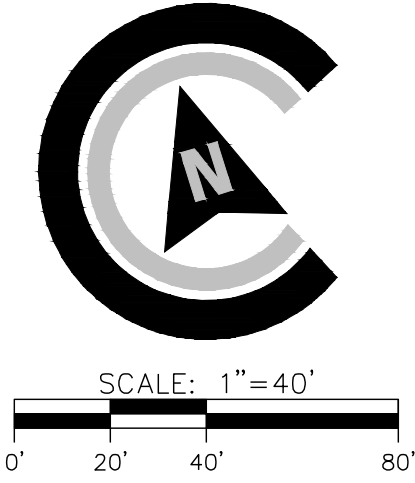
MATCHLINE: SHEET C4.3

GRADING LEGEND

TP	TOP OF PAVEMENT
FC	FINISHED GRADE
TOC	TOP OF CURB
FR	STRUCTURE FRAME

POND & SWALE DATA

DETENTION POND_1		DETENTION POND_2	
TOB: 7.50'	NWL: 3.50'	TOB: 7.50'	NWL: 3.50'
WOL: 4.00'	WOL: 4.00'	WOL: 4.00'	WOL: 4.00'
WO VOLUME: 171,826 CF	25-YR: 5.63' - 285,359 CF	WO VOLUME: 254,608 CF	25-YR: 6.42' - 442,078 CF
100-YR: 5.86' - 302,845 CF		100-YR: 6.73' - 471,157 CF	



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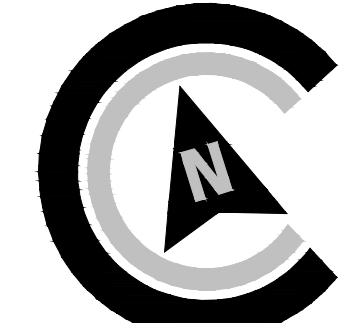
Attachment: Flonnel Ave Logistics Yard 7-0003-01-001 S-Site Plan -2023-Civil Plans 5.4.23 (2530) : Site Plan Review Application (Specific) Flonnel Ave Logistics Yard 7-0003-01-001 June 2023

MATCHLINE: SHEET C4.0



MATCHLINE: SHEET C4.3

GRADING LEGEND	
TP	TOP OF PAVEMENT
FC	FINISHED GRADE
TOC	TOP OF CURB
FR	STRUCTURE FRAME



SCALE: 1"=40'



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REVISIONS:

CIVIL CONSTRUCTION PLANS FOR
FLONNEL AVENUE LOGISTICS YARD
 LOCATED IN PORT WENTWORTH, GEORGIA
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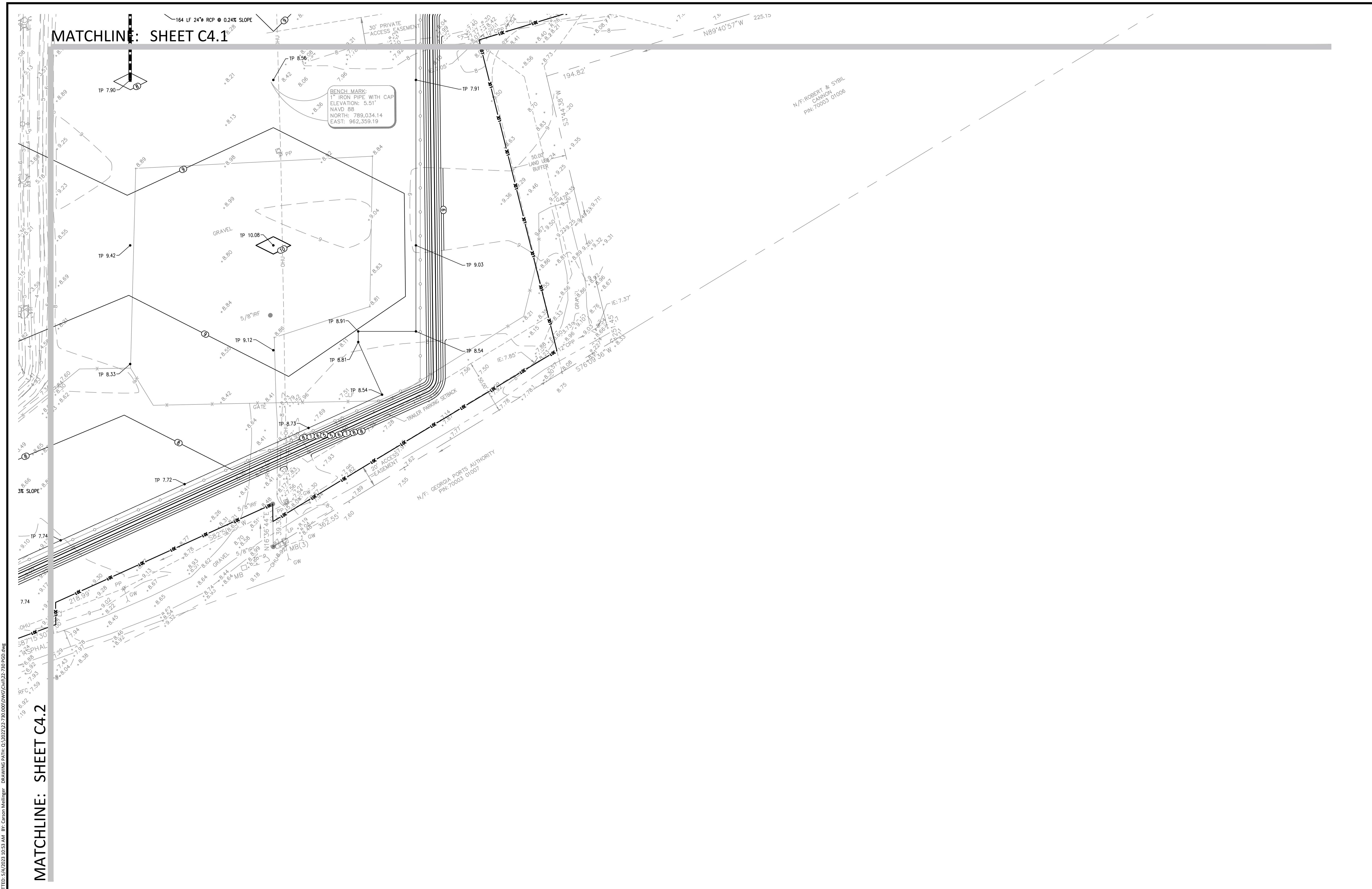
JOB NUMBER: 22-730
 DATE: 05/04/23
 DRAWN BY: MEL
 CHECKED BY: PJW
 SCALE: AS NOTED

GRADING PLAN

SHEET:
C4.2

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Attachment: Flonnel Ave Logistics Yard 7-0003-01-001 S-Site Plan 2023-Civil Plans 5.4.23 (2530) : Site Plan Review Application (Specific) Flonnel Ave Logistics Yard 7-0003-01-001 June 2023

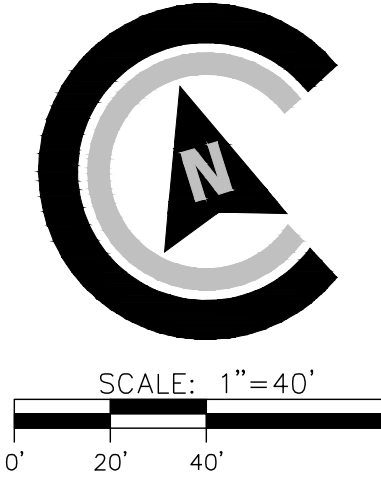


MATCHLINE: SHEET C4.1

MATCHLINE: SHEET C4.2

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GRADING LEGEND	
TP	TOP OF PAVEMENT
FC	FINISHED GRADE
TOC	TOP OF CURB
FR	STRUCTURE FRAME



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FLONNEL AVENUE LOGISTICS YARD
LOCATED IN PORT WENTWORTH, GEORGIA
PREPARED FOR INTER-METRO PROPERTIES OF GEORGIA, LLC

JOB NUMBER: 22-730
DATE: 05/04/23
DRAWN BY: MEL
CHECKED BY: PJW
SCALE: AS NOTED

GRADING PLAN

SHEET:
C4.3

Attachment: Flonnel Ave Logistics Yard 7-0003-01-001 S-Site Plan -2023-Civil Plans 5.4.23 (2530) : Site Plan Review Application (Specific) Flonnel Ave Logistics Yard 7-0003-01-001 June 2023

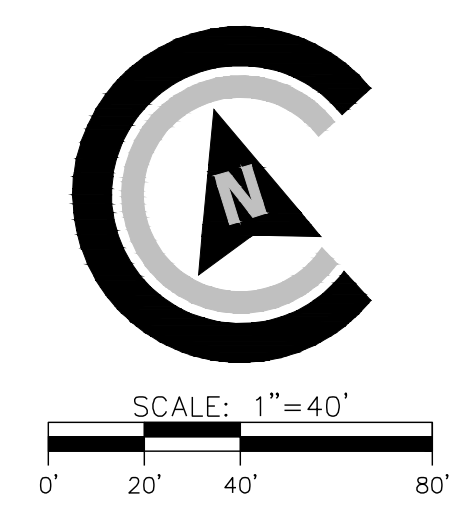
© 2018 COLEMAN COMPANY, INC. DATE PLOTTED: 5/6/2023 10:53 AM BY: Carson Mullins DRAWING PATH: G:\2023\23-250\DWG\CIVIL\23-250-C4.4.dwg



PAVING LEGEND	
	HEAVY DUTY CONCRETE
	HEAVY DUTY ASPHALT

MATCHLINE: SHEET C4.6

MATCHLINE: SHEET C4.5



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REGISTERED PROFESSIONAL ENGINEER
PATRICK J. WARNER
No. PE 242979

REVISIONS:

CIVIL CONSTRUCTION PLANS FOR
FLONNEL AVENUE LOGISTICS YARD
LOCATED IN PORT WENTWORTH, GEORGIA
PREPARED FOR INTER-METRO PROPERTIES OF GEORGIA, LLC

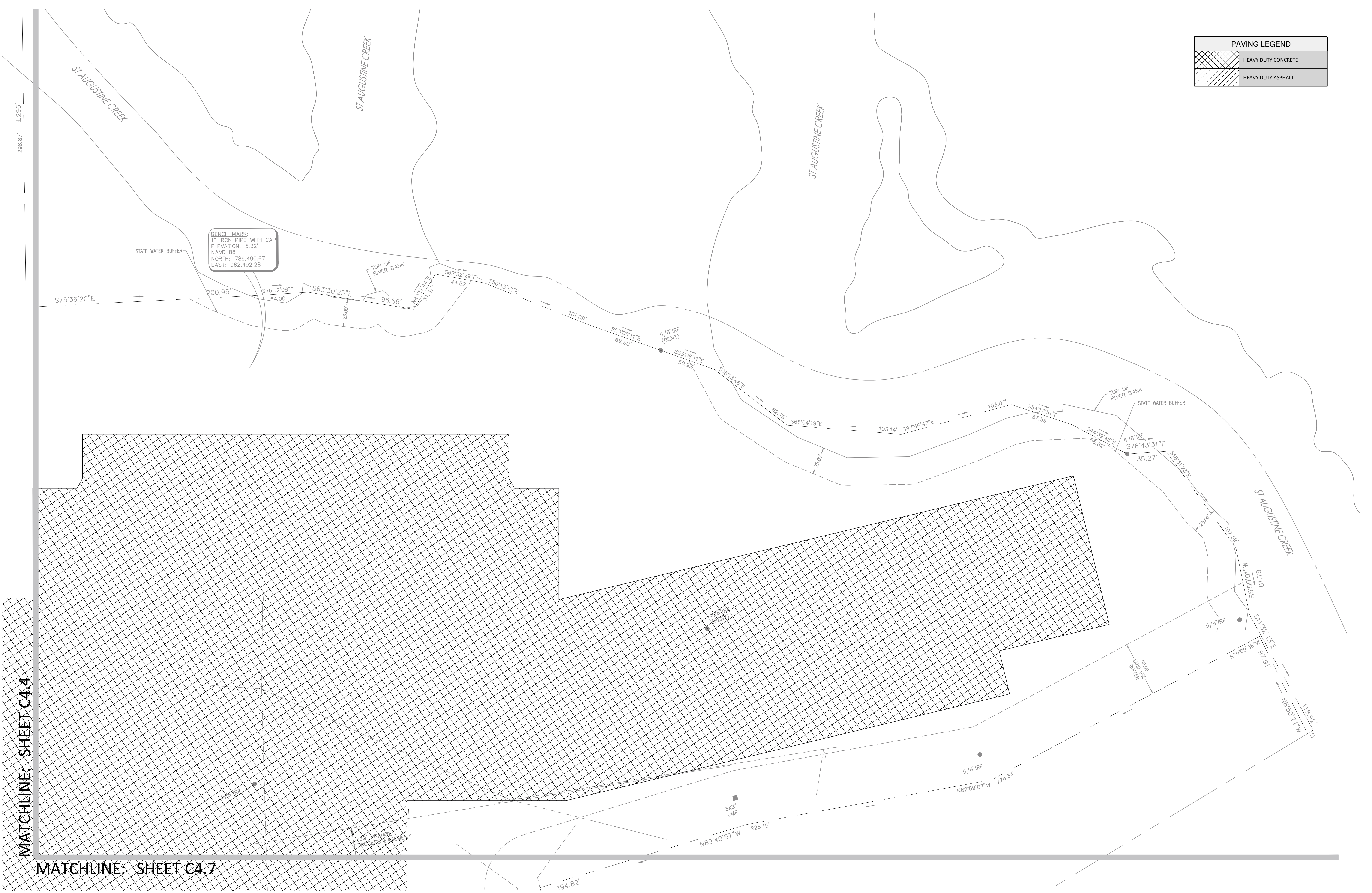
JOB NUMBER: 22-730
DATE: 05/04/23
DRAWN BY: MEL
CHECKED BY: PJW
SCALE: AS NOTED

PAVING PLAN

SHEET:
C4.4

Attachment: Flornel Ave Logistics Yard 7-0003-01-001 S-Site Plan 2023-Civil Plans 5.4.23 (2630 : Site Plan Review Application (Specific) Flornel Ave Logistics Yard 7-0003-01-001 June 2023)

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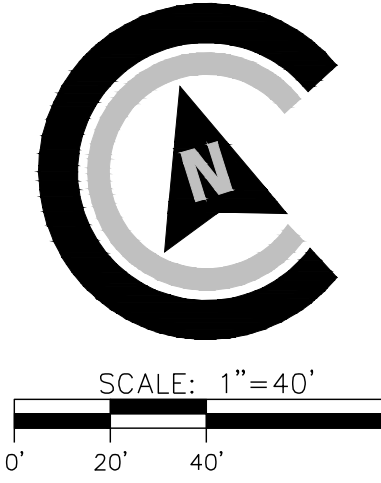


PAVING LEGEND	
	HEAVY DUTY CONCRETE
	HEAVY DUTY ASPHALT

BENCH MARK
1" IRON PIPE WITH CAP
ELEVATION: 5.32'
NAVD 88
NORTH: 789,490.67
EAST: 962,492.28

MATCHLINE: SHEET C4.4

MATCHLINE: SHEET C4.7



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REVISIONS:

CIVIL CONSTRUCTION PLANS FOR
FLONNEL AVENUE LOGISTICS YARD
LOCATED IN PORT WENTWORTH, GEORGIA
PREPARED FOR INTER-METRO PROPERTIES OF GEORGIA, LLC

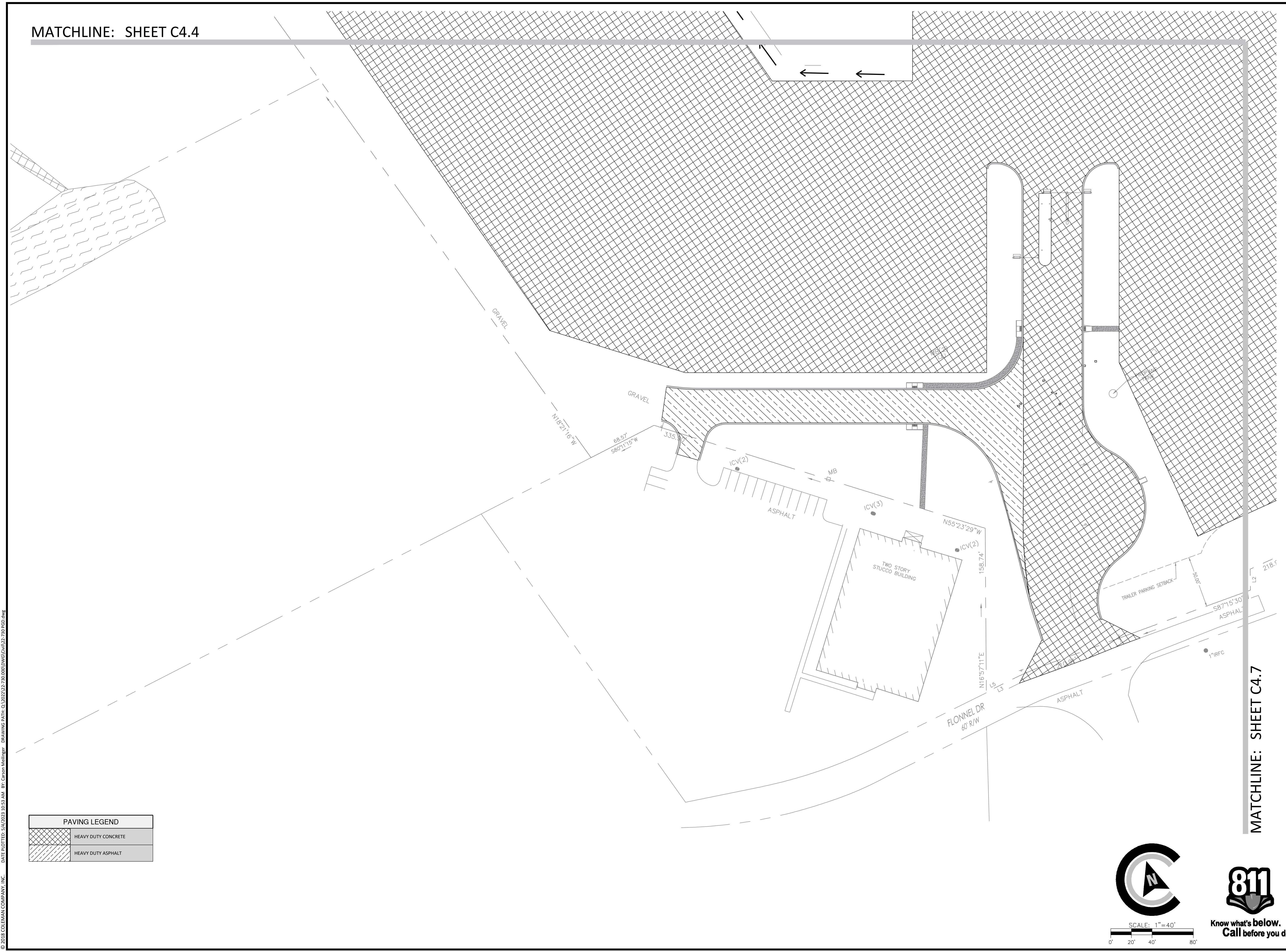
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DATE: 05/04/23
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SCALE: AS NOTED

PAVING PLAN

SHEET:
C4.5

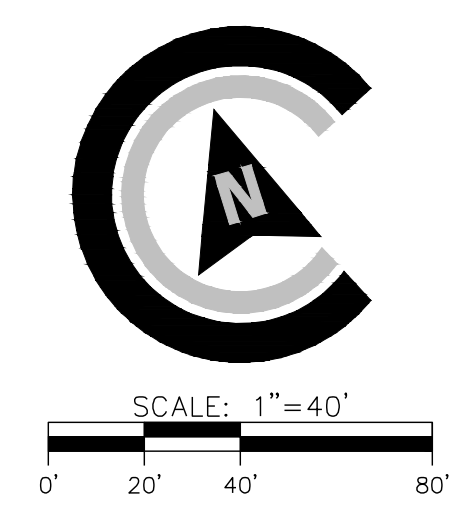
Attachment: Flannel Ave Logistics Yard 7-0003-01-001 S-Site Plan 2023-Civil Plans 5.4.23 (2530) : Site Plan Review Application (Specific) Flannel Ave Logistics Yard 7-0003-01-001 June 2023

MATCHLINE: SHEET C4.4



MATCHLINE: SHEET C4.7

PAVING LEGEND	
	HEAVY DUTY CONCRETE
	HEAVY DUTY ASPHALT



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REVISIONS:

CIVIL CONSTRUCTION PLANS FOR
FLONNEL AVENUE LOGISTICS YARD
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 PREPARED FOR INTER-METRO PROPERTIES OF GEORGIA, LLC

JOB NUMBER: 22-730
 DATE: 05/04/23
 DRAWN BY: MEL
 CHECKED BY: PJW
 SCALE: AS NOTED

PAVING PLAN

SHEET:
C4.6

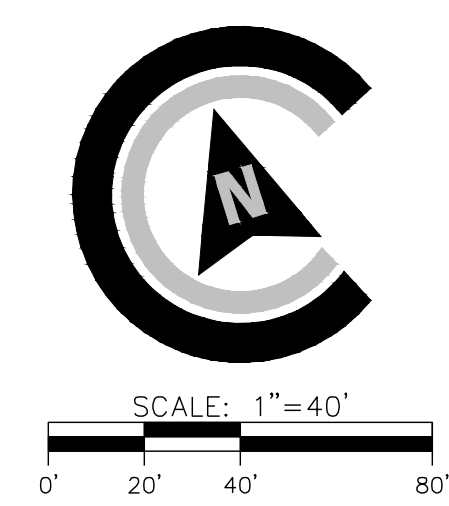
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MATCHLINE: SHEET C4.5

MATCHLINE: SHEET C4.6



PAVING LEGEND	
	HEAVY DUTY CONCRETE
	HEAVY DUTY ASPHALT



RELEASED FOR CONSTRUCTION

REVISIONS:

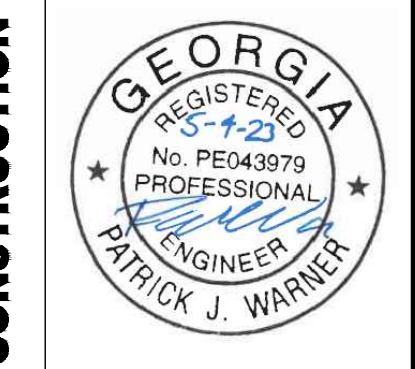
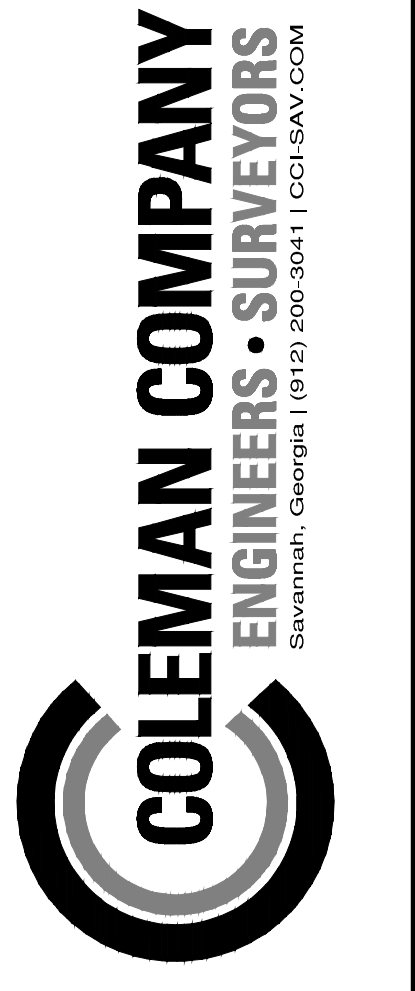
CIVIL CONSTRUCTION PLANS FOR
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JOB NUMBER: 22-730
 DATE: 05/04/23
 DRAWN BY: MEL
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 SCALE: AS NOTED

PAVING PLAN

SHEET:
C4.7

Attachment: Flonnel Ave Logistics Yard 7-0003-01-001 S-Site Plan 2023-Civil Plans 5.4.23 (2630 : Site Plan Review Application (Specific) Flonnel Ave Logistics Yard 7-0003-01-001 - June 2023)



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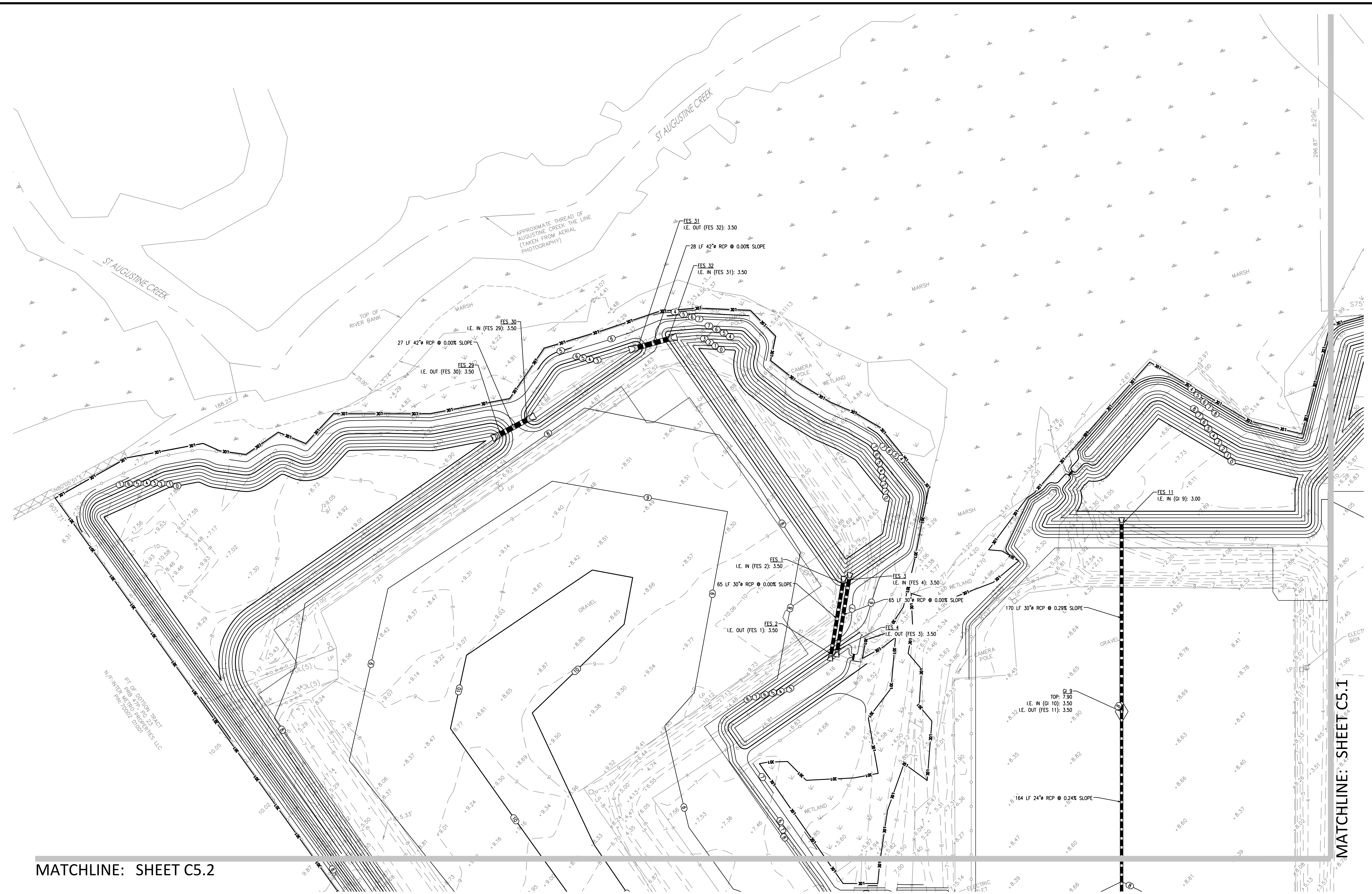
REVISIONS:

CIVIL CONSTRUCTION PLANS FOR
FLONNEL AVENUE LOGISTICS YARD
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JOB NUMBER: 22-730
 DATE: 05/04/23
 DRAWN BY: MEL
 CHECKED BY: PJW
 SCALE: AS NOTED

DRAINAGE PLAN

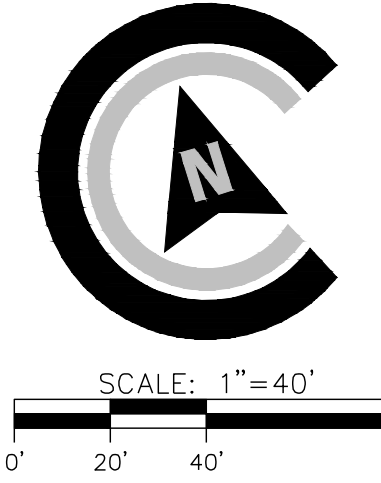
SHEET:
C5.0

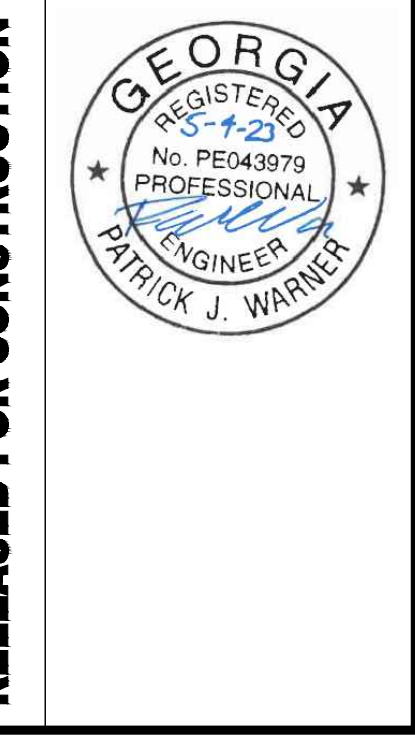
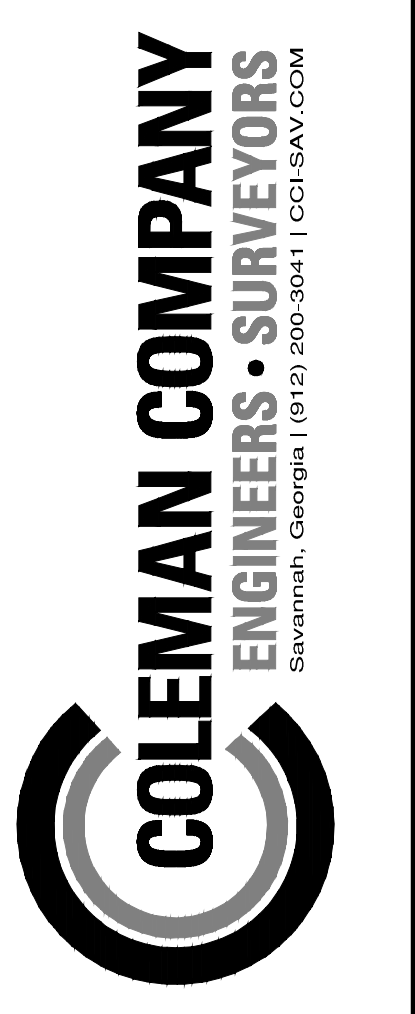


MATCHLINE: SHEET C5.2

MATCHLINE: SHEET C5.1

DRAINAGE LEGEND	
	CURB INLET TYPE A
	CURB INLET TYPE B (LEFT)
	CURB INLET TYPE B (RIGHT)
	CURB INLET TYPE A
	FES
	HOODED GATE INLET
	HIGH WALL
	JUNCTION BOX
	OCS 4'
	OCS 5'
	OCS 6'
	RI





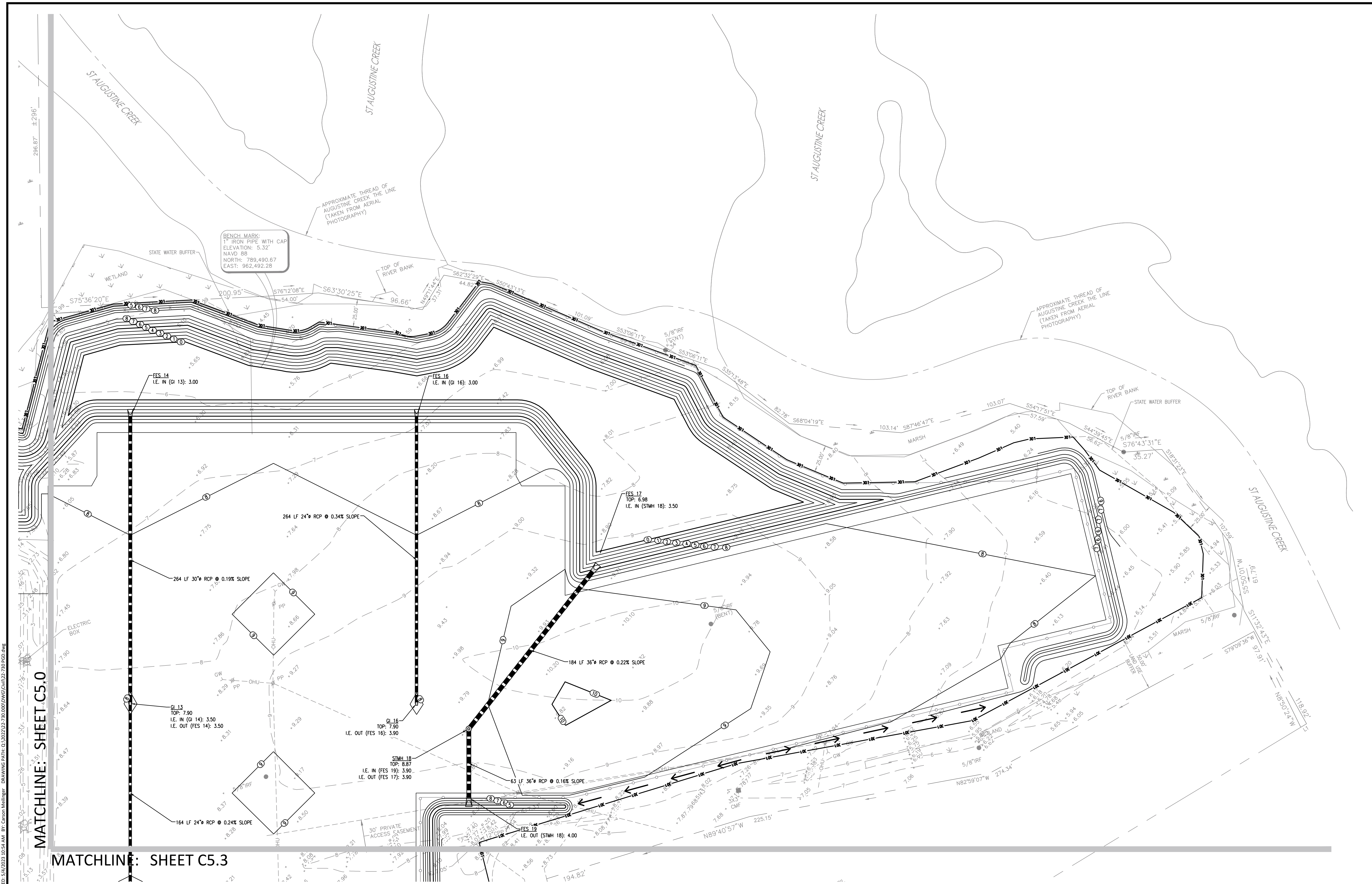
REVISIONS:

CIVIL CONSTRUCTION PLANS FOR
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JOB NUMBER: 22-730
 DATE: 05/04/23
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 SCALE: AS NOTED

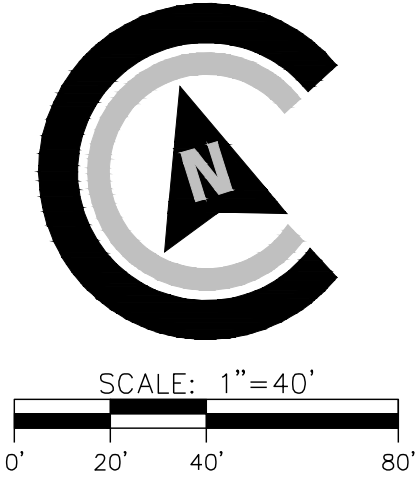
DRAINAGE PLAN

SHEET:
C5.1



DRAINAGE LEGEND

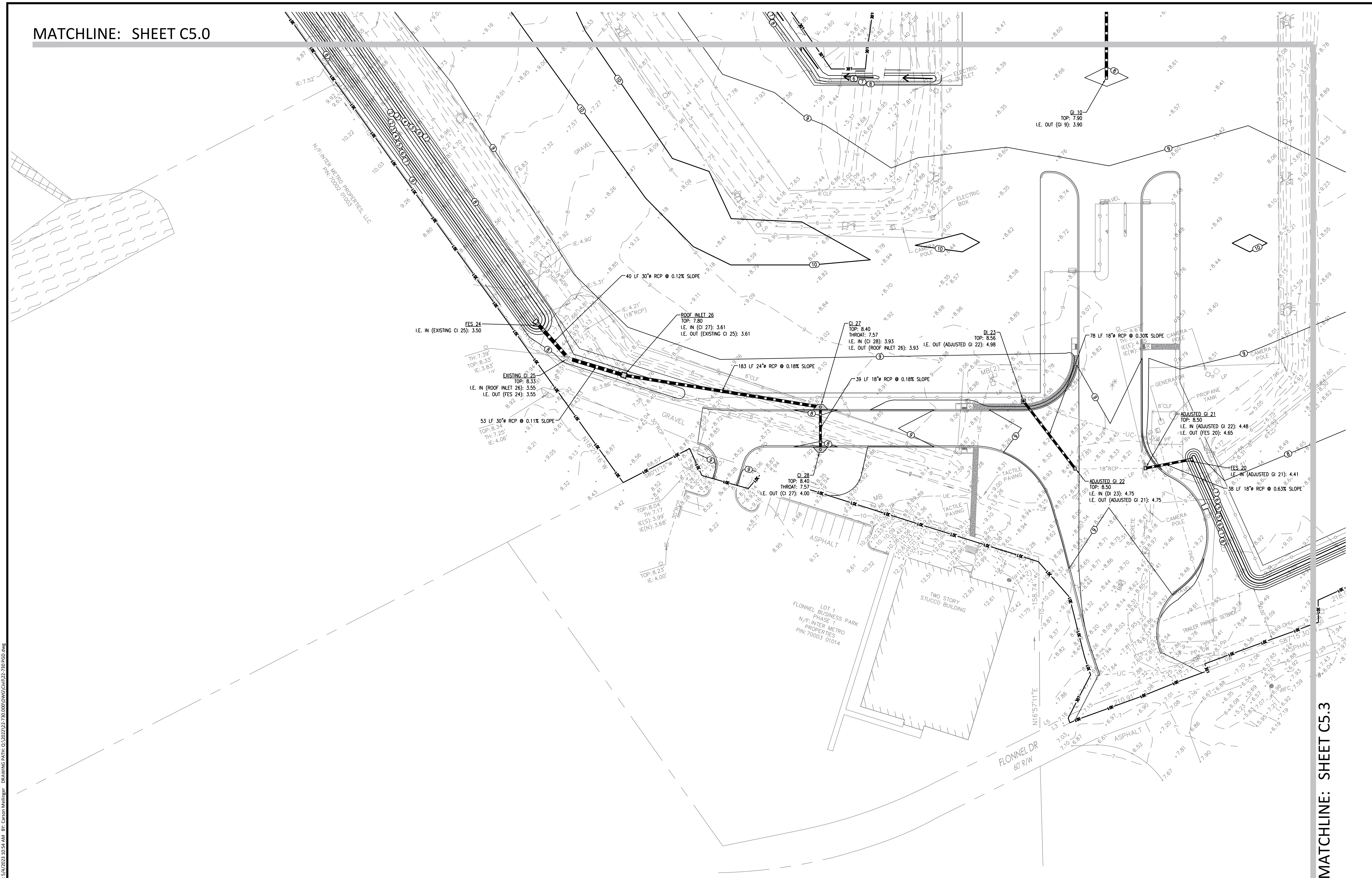
	CURB INLET TYPE A		JUNCTION BOX
	CURB INLET TYPE B (LEFT)		OCS 4'
	CURB INLET TYPE B (RIGHT)		OCS 5'
	CURB INLET TYPE A		OCS 6'
	FES		RI
	HOODED GATE INLET		
	HIGH WALL		



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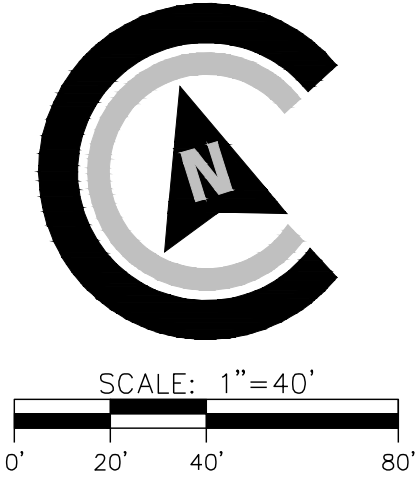
Attachment: Flonnel Ave Logistics Yard 7-0003-01-001 S-Site Plan -2023-Civil Plans 5.4.23 (2530) : Site Plan Review Application (Specific) Flonnel Ave Logistics Yard 7-0003-01-001 June 2023

MATCHLINE: SHEET C5.0



MATCHLINE: SHEET C5.3

DRAINAGE LEGEND	
	CURB INLET TYPE A
	CURB INLET TYPE B (LEFT)
	CURB INLET TYPE B (RIGHT)
	CURB INLET TYPE A
	FES
	HOODED GATE INLET
	HIGH WALL
	JUNCTION BOX
	OCS 4'
	OCS 5'
	OCS 6'
	RI



811
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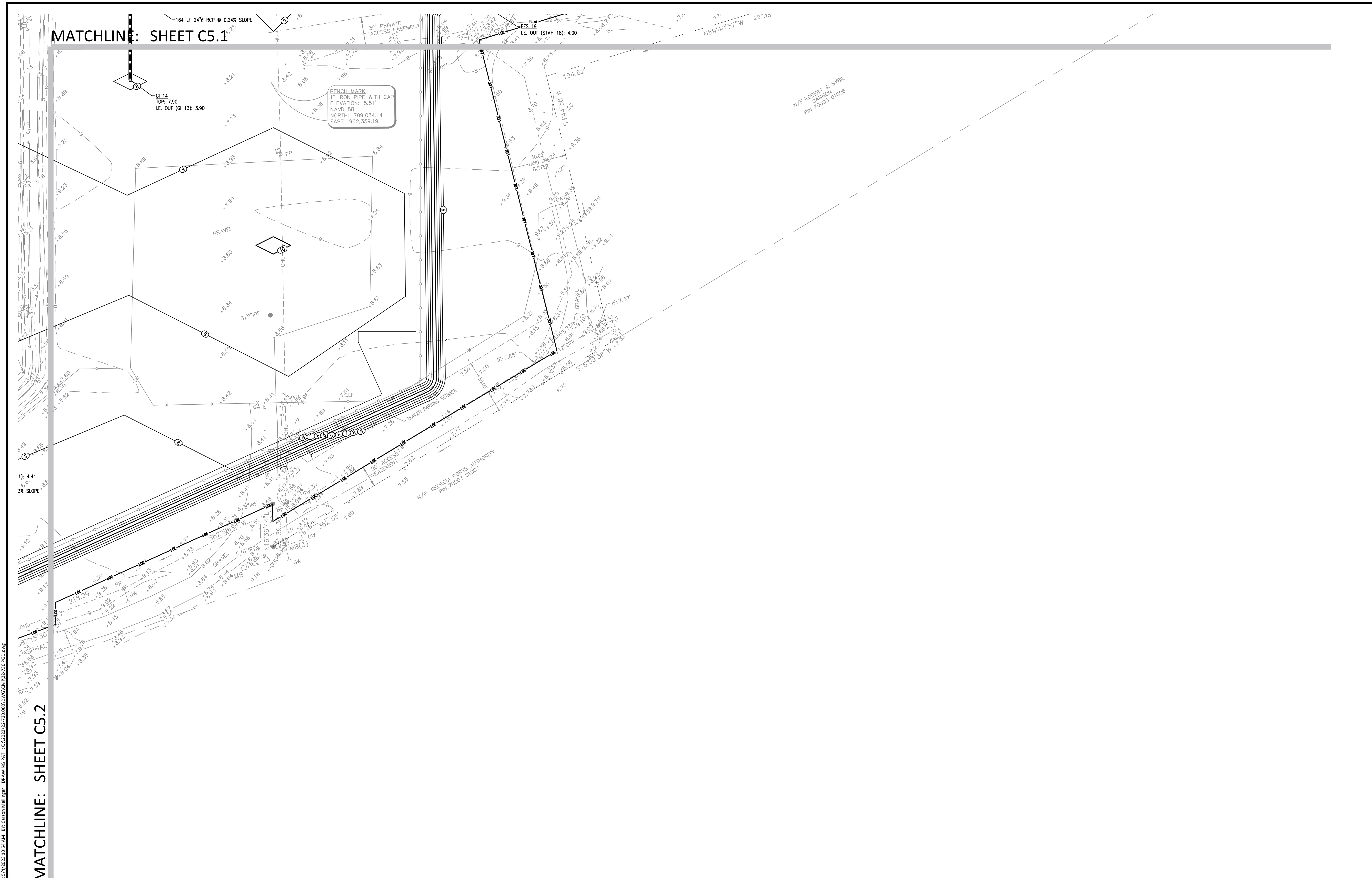
REVISIONS:

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JOB NUMBER: 22-730
DATE: 05/04/23
DRAWN BY: MEL
CHECKED BY: PJW
SCALE: AS NOTED

DRAINAGE PLAN

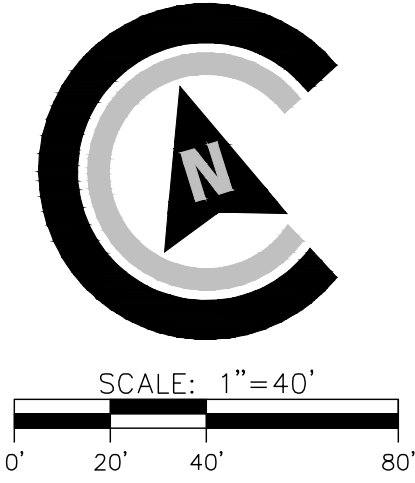
SHEET:
C5.2



MATCHLINE: SHEET C5.1

MATCHLINE: SHEET C5.2

DRAINAGE LEGEND	
	CURB INLET TYPE A
	CURB INLET TYPE B (LEFT)
	CURB INLET TYPE B (RIGHT)
	CURB INLET TYPE A
	FES
	HOODED GATE INLET
	HIGH WALL
	JUNCTION BOX
	OCS 4'
	OCS 5'
	OCS 6'
	RI



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REVISIONS:

CIVIL CONSTRUCTION PLANS FOR
FLONNEL AVENUE LOGISTICS YARD
 LOCATED IN PORT WENTWORTH, GEORGIA
 PREPARED FOR INTER-METRO PROPERTIES OF GEORGIA, LLC

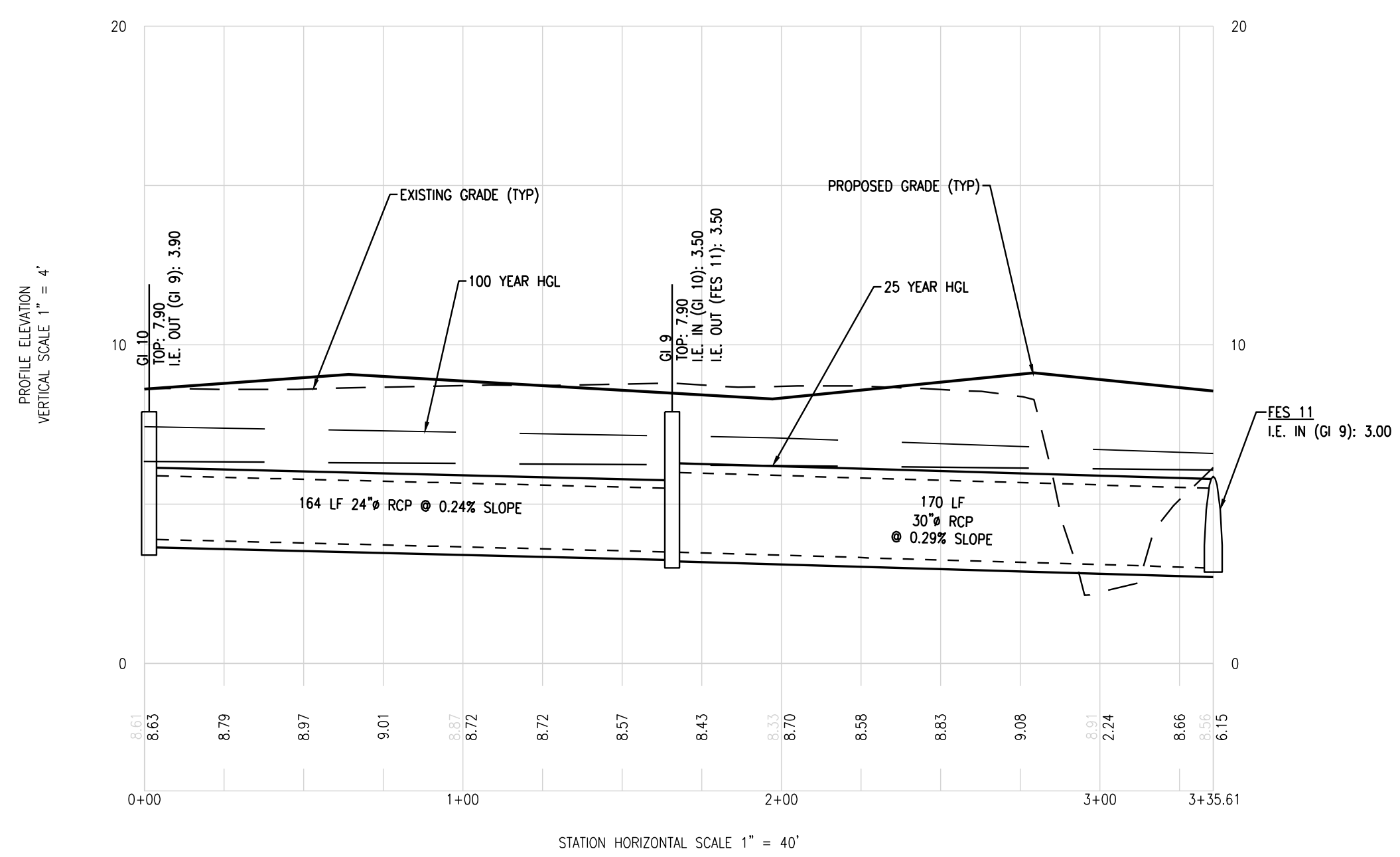
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 SCALE: AS NOTED

DRAINAGE PLAN

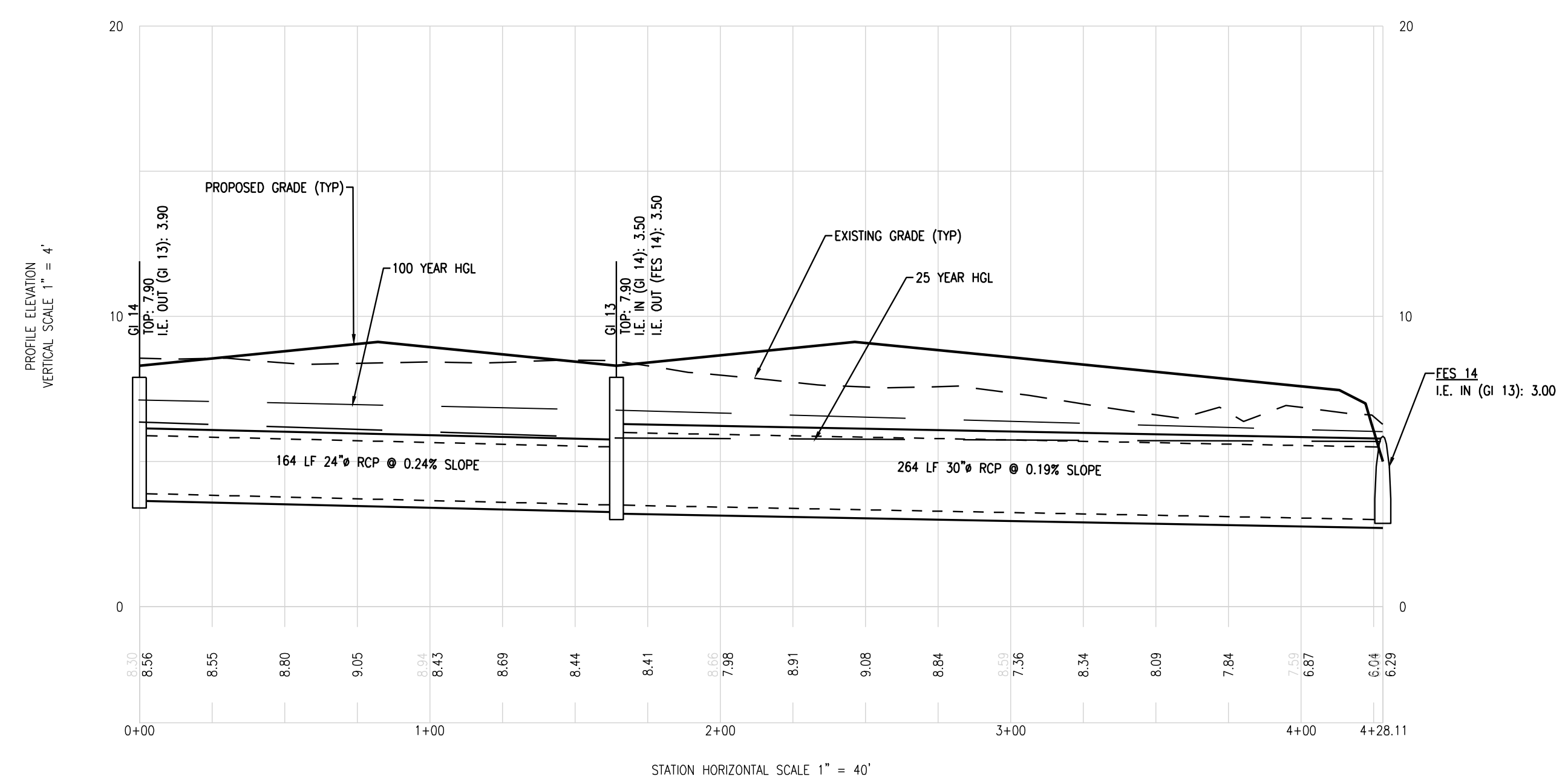
SHEET:
C5.3

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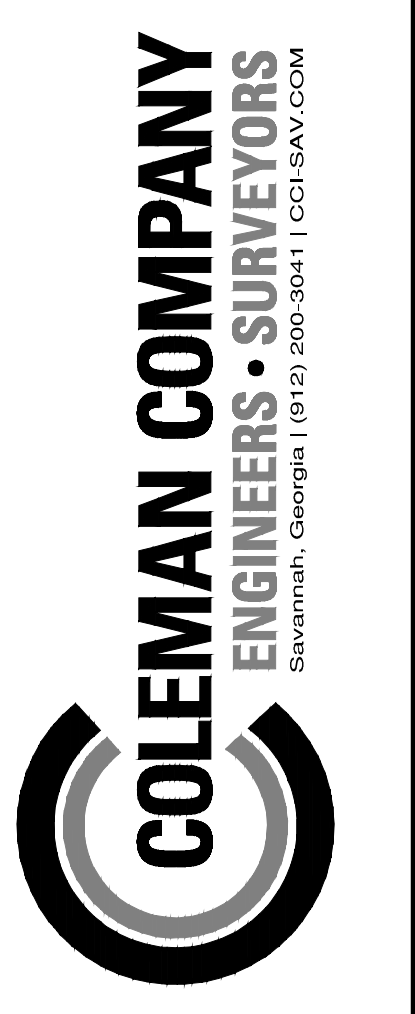
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STORM SEWER PROFILE
STA. 0+00.00 TO STA. 3+35.61



STORM SEWER PROFILE
STA. 0+00.00 TO STA. 4+28.11



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CIVIL CONSTRUCTION PLANS FOR
FLONNEL AVENUE LOGISTICS YARD
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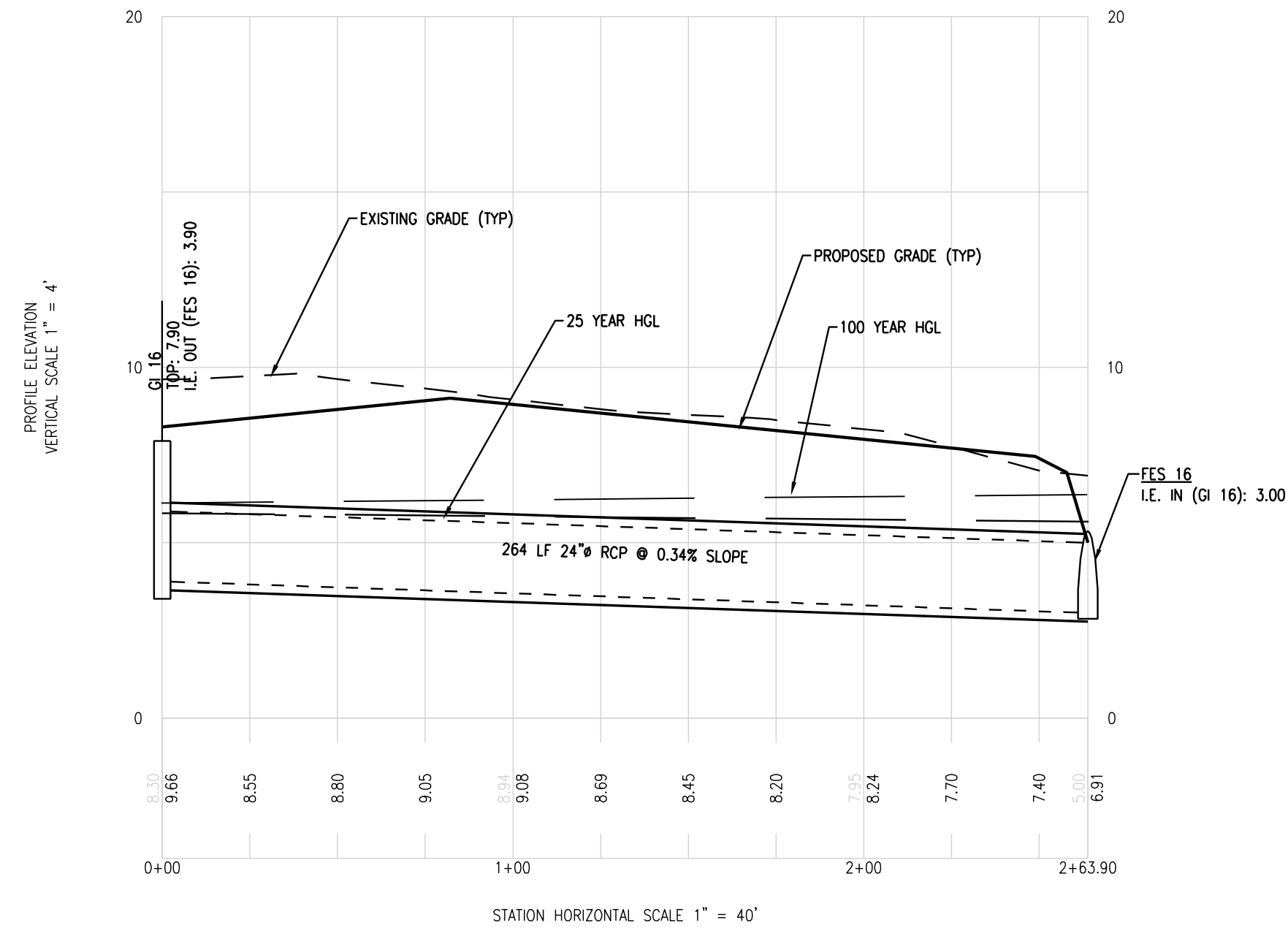
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PROFILES

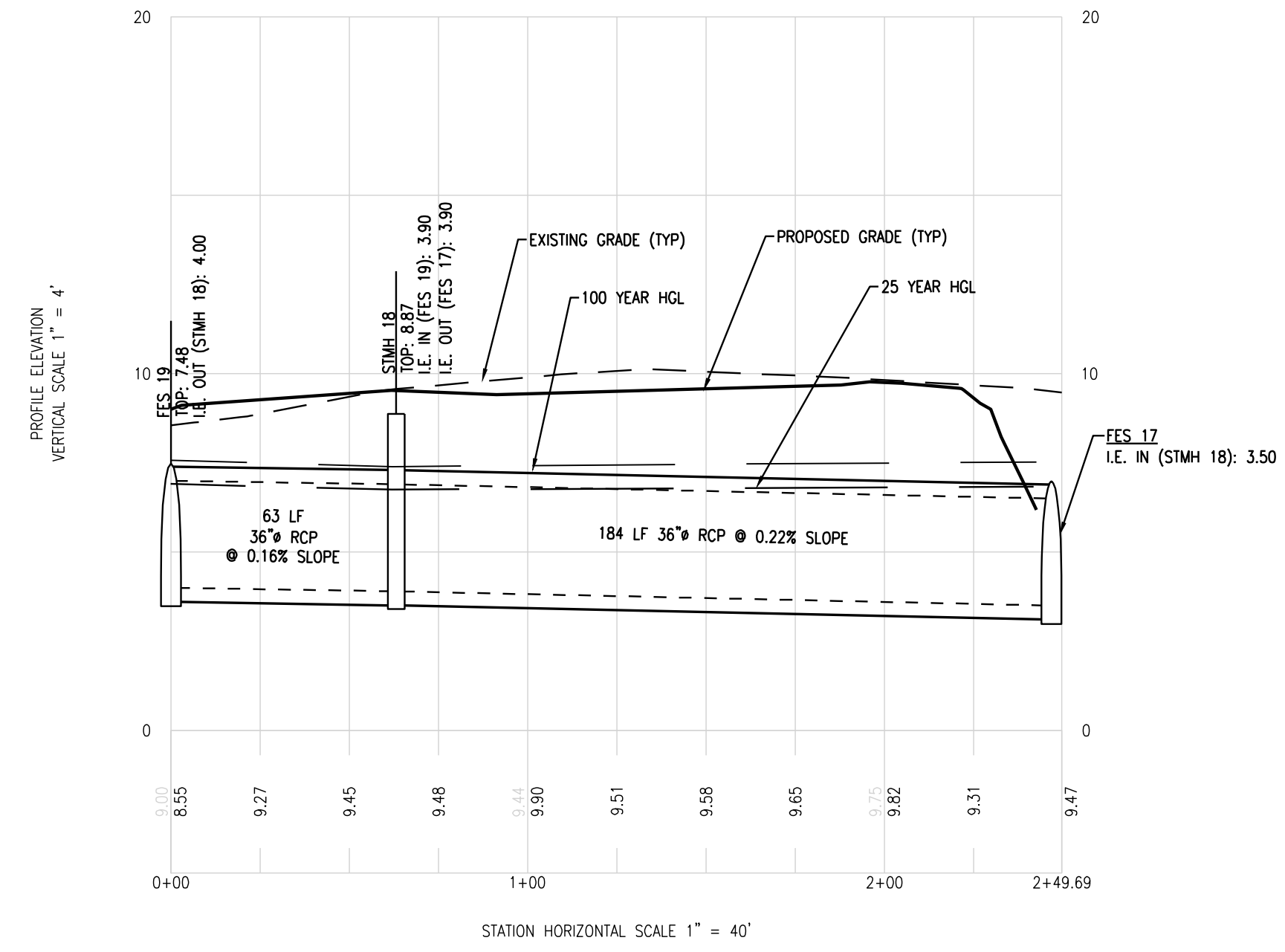
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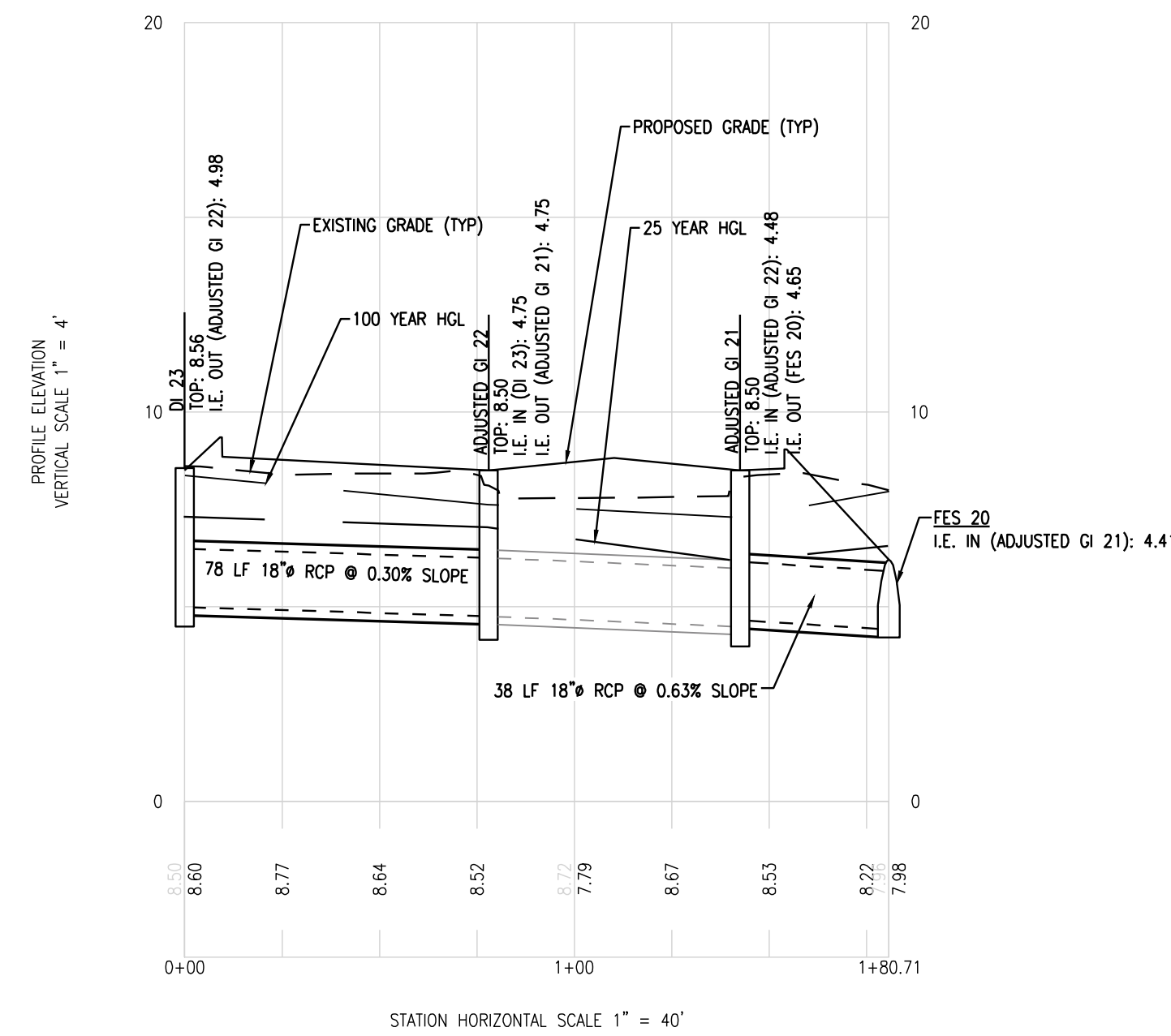
Attachment: Flonnel Ave Logistics Yard 7-0003-01-001 S-Site Plan 2023-Civil Plans 5.4.23 (2530) : Site Plan Review Application (Specific) Flonnel Ave Logistics Yard 7-0003-01-001 June 2023



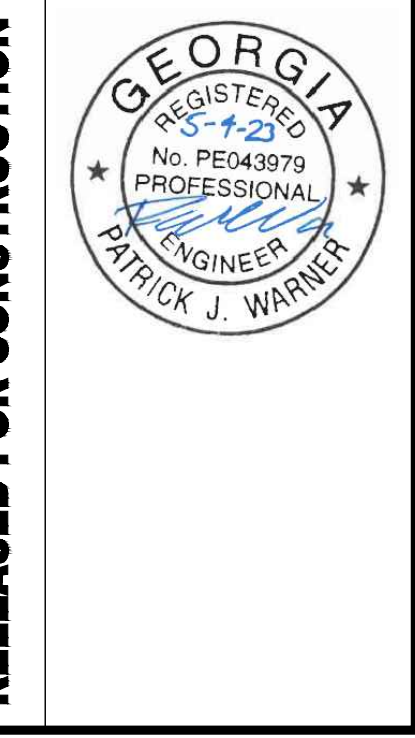
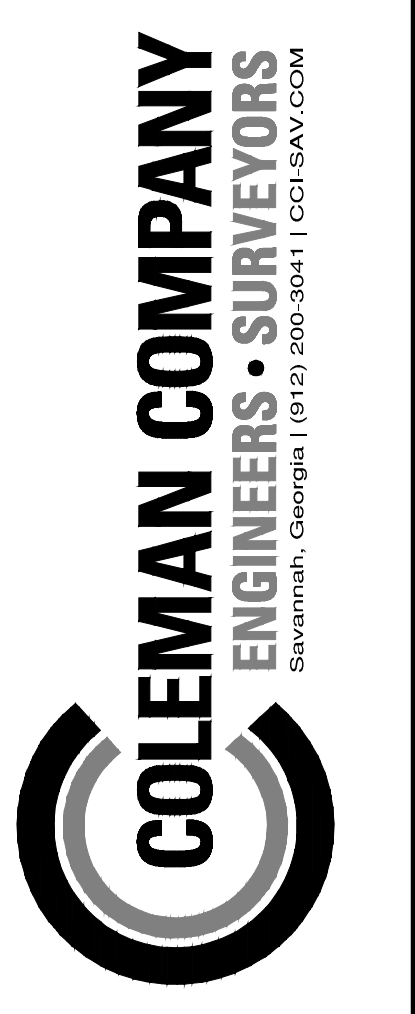
STORM SEWER PROFILE
STA. 0+00.00 TO STA. 2+63.90



STORM SEWER PROFILE
STA. 0+00.00 TO STA. 2+49.69



STORM SEWER PROFILE
STA. 0+00.00 TO STA. 1+80.71



RELEASED FOR CONSTRUCTION

REVISIONS:

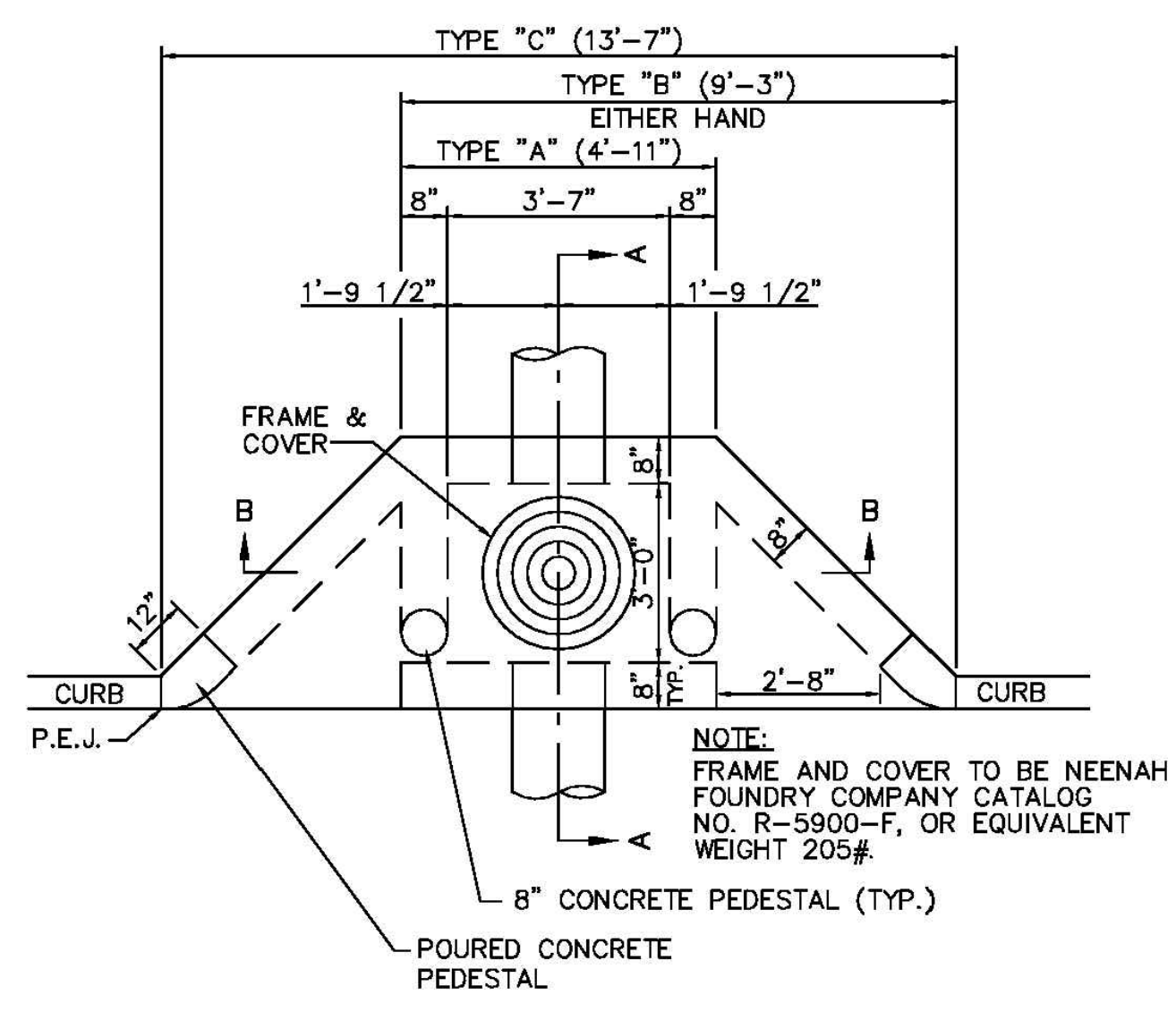
CIVIL CONSTRUCTION PLANS FOR
FLONNEL AVENUE LOGISTICS YARD
LOCATED IN PORT WENTWORTH, GEORGIA
PREPARED FOR INTER-METRO PROPERTIES OF GEORGIA, LLC

JOB NUMBER: 22-730
DATE: 05/04/23
DRAWN BY: MEL
CHECKED BY: PJW
SCALE: AS NOTED

PROFILES

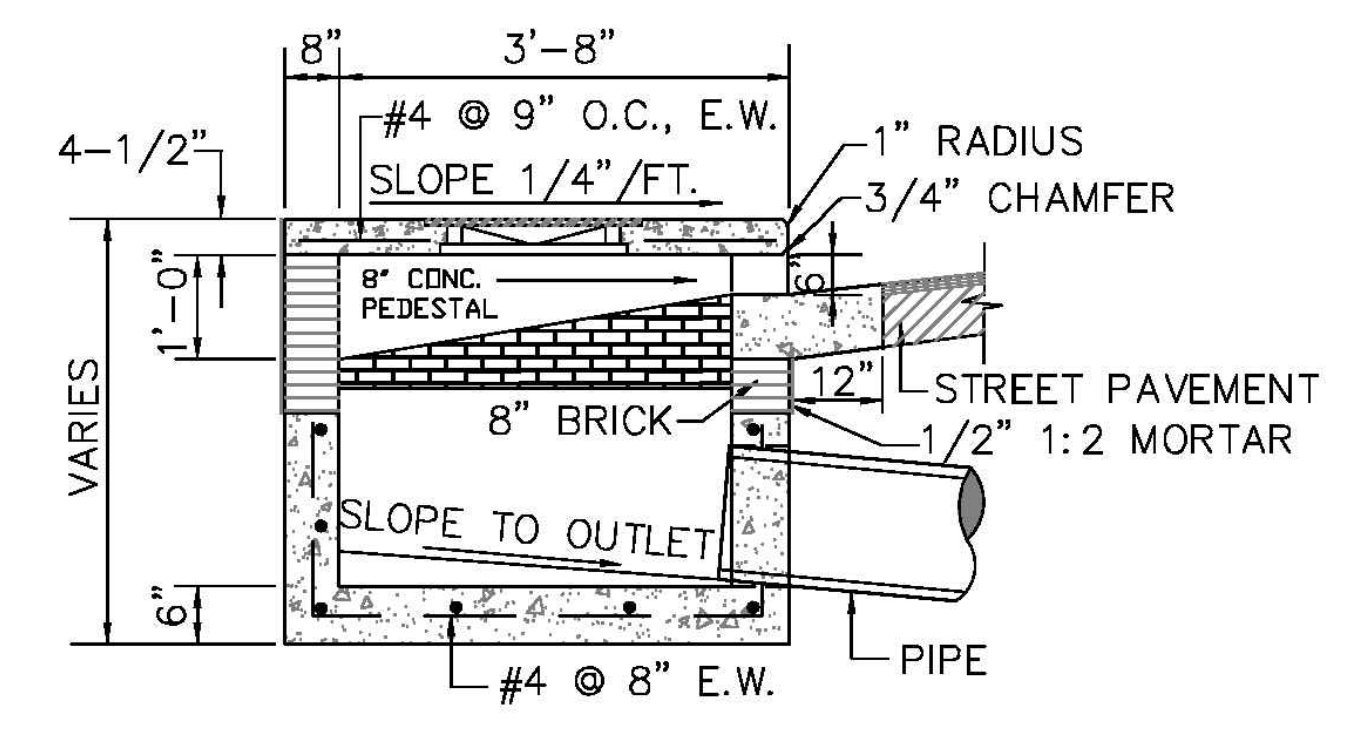
SHEET:
C6.1





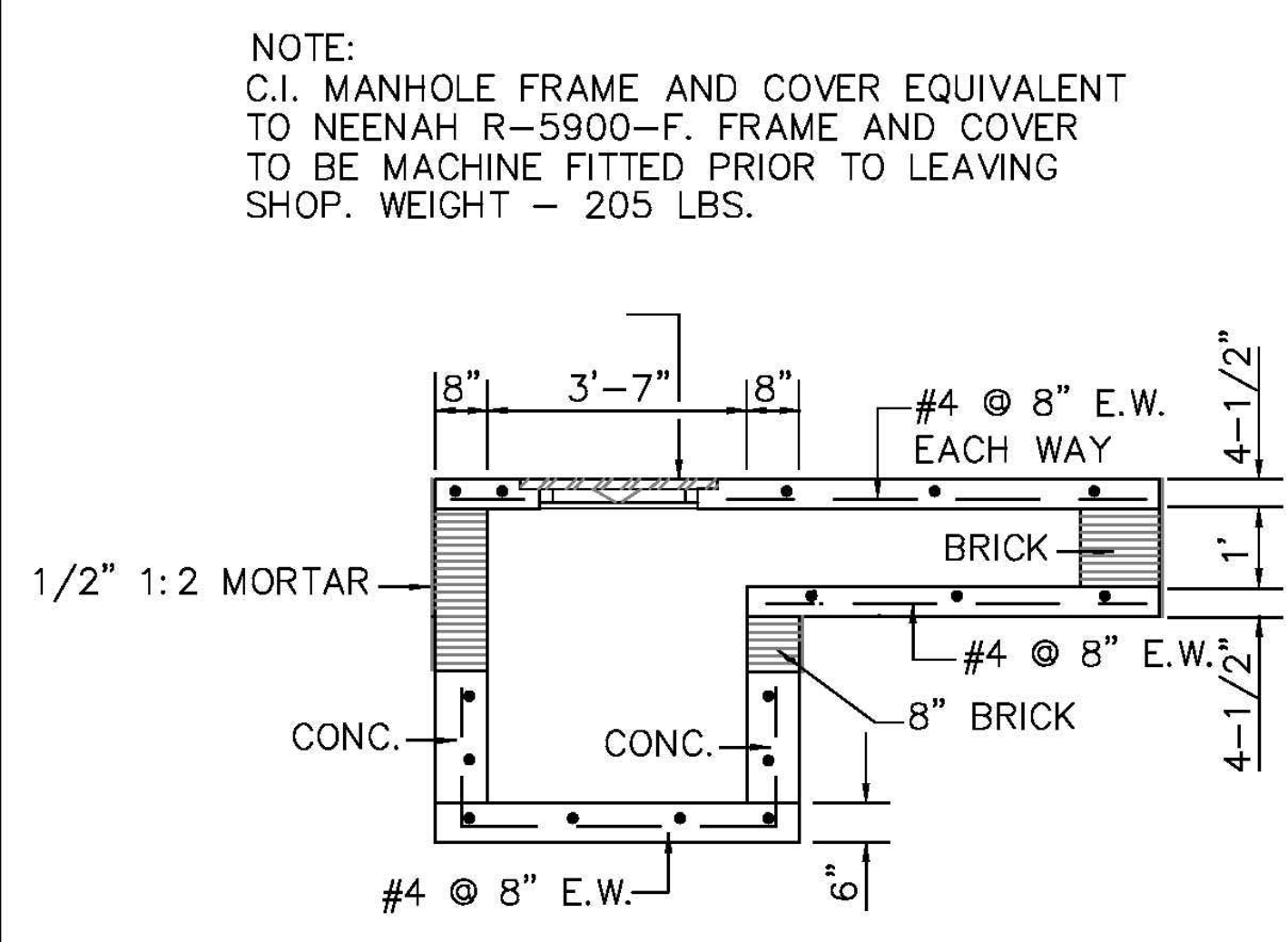
PLAN OF CURB INLET
City of Port Wentworth
TECHNICAL DETAILS
SD-1

PREPARED BY STEVENSON & PALMER ENGINEERING, INC. SCALE: N.T.S. DATED: FEBRUARY 2007



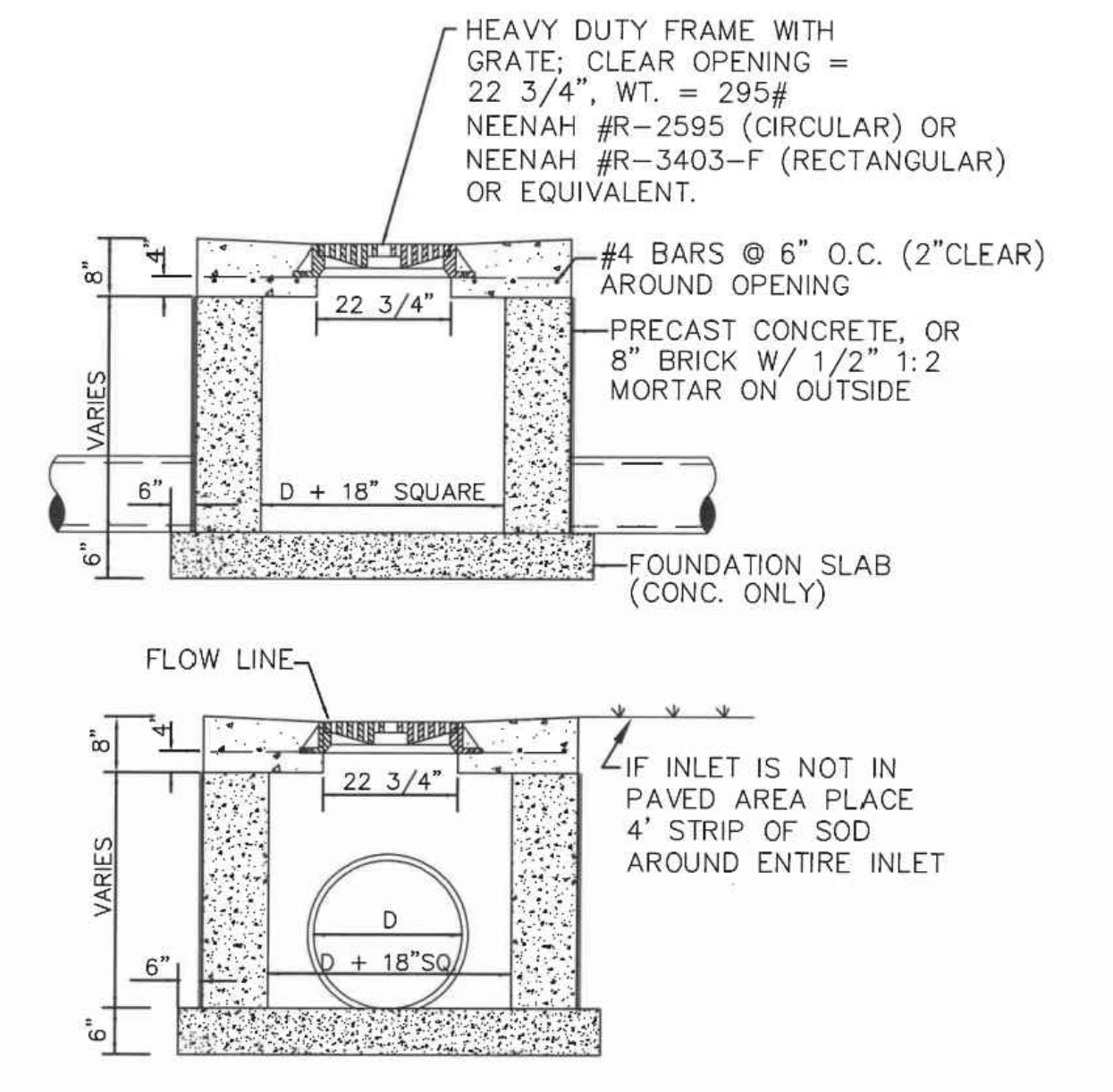
CURB INLET SECTION A - A
City of Port Wentworth
TECHNICAL DETAILS
SD-3

PREPARED BY STEVENSON & PALMER ENGINEERING, INC. SCALE: N.T.S. DATED: FEBRUARY 2007



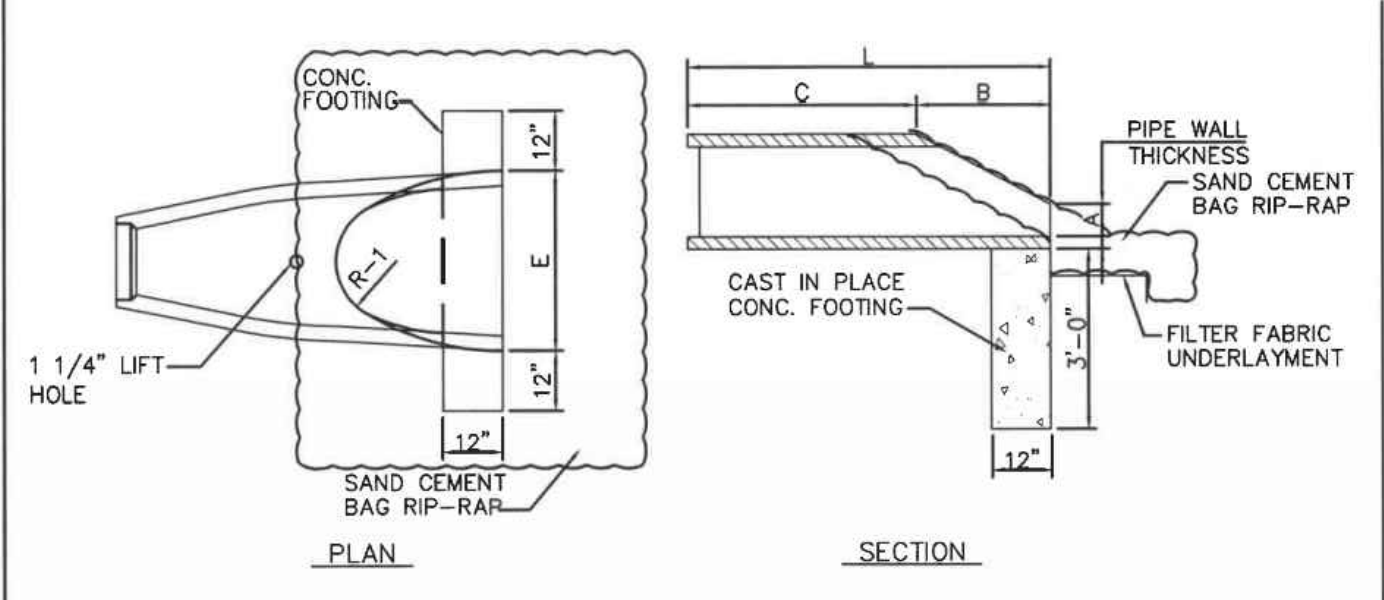
CURB INLET SECTION B - B
City of Port Wentworth
TECHNICAL DETAILS
SD-4

PREPARED BY STEVENSON & PALMER ENGINEERING, INC. SCALE: N.T.S. DATED: FEBRUARY 2007



GRATE INLET
City of Port Wentworth
TECHNICAL DETAILS
SD-8

PREPARED BY SAUSSY ENGINEERING, LLC. SCALE: N.T.S. DATED: FEBRUARY 2007

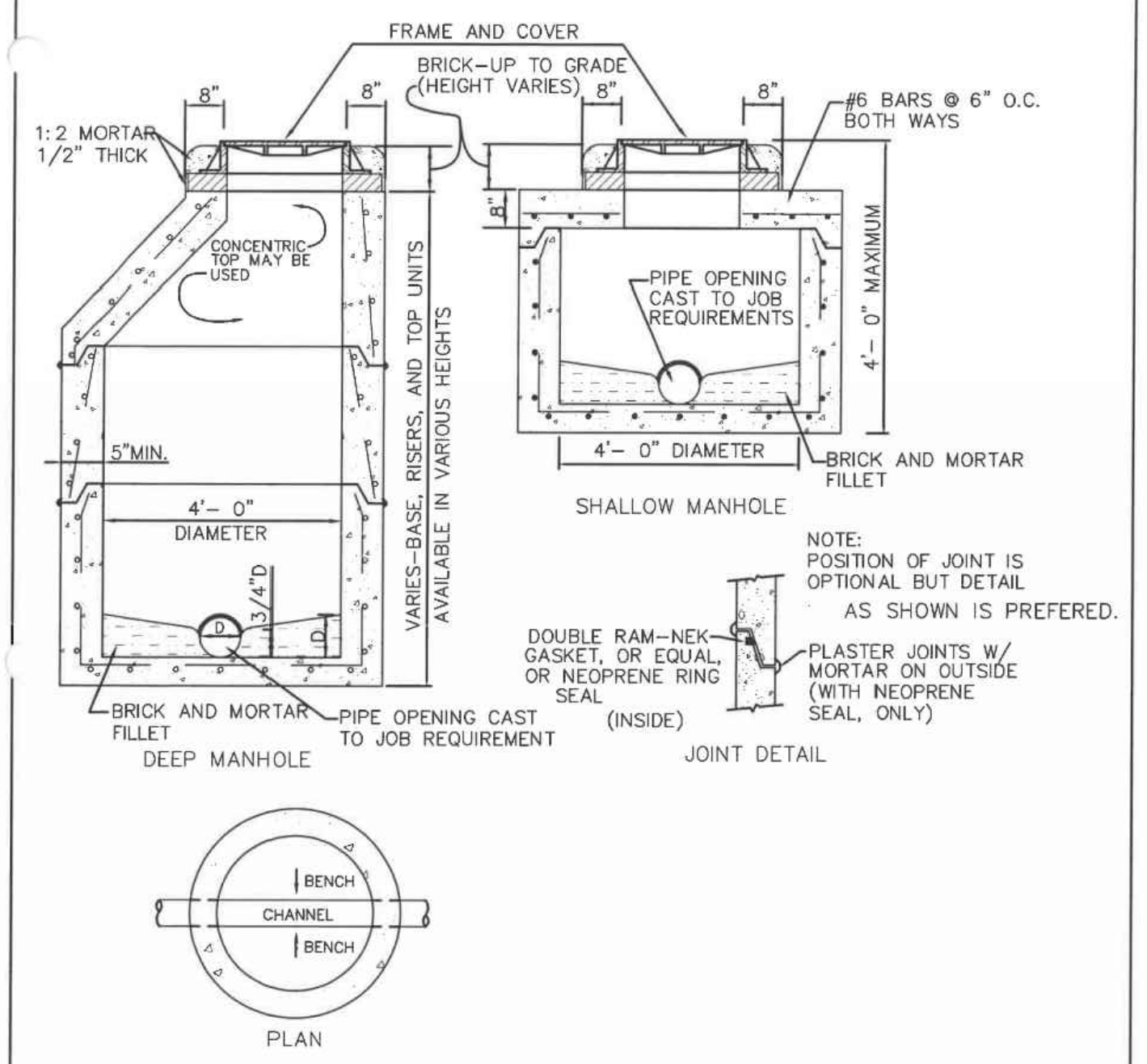


PIPE DIA.	A	B	C	L	E	R-1
15"	6"	2'-3"	3'-10"	6'-1"	2'-6"	1'-0"
18"	9"	2'-3"	3'-10"	6'-1"	3'-0"	1'-4"
24"	10"	3'-8"	2'-6"	6'-2"	4'-0"	1'-5"
30"	12"	4'-6"	1'-8"	6'-2"	5'-0"	1'-6"
36"	16"	5'-3"	2'-11"	8'-2"	6'-0"	2'-0"
42"	21"	5'-3"	2'-11"	8'-2"	6'-6"	2'-4"

REINFORCEMENT CONFORMS TO ASTM A-82

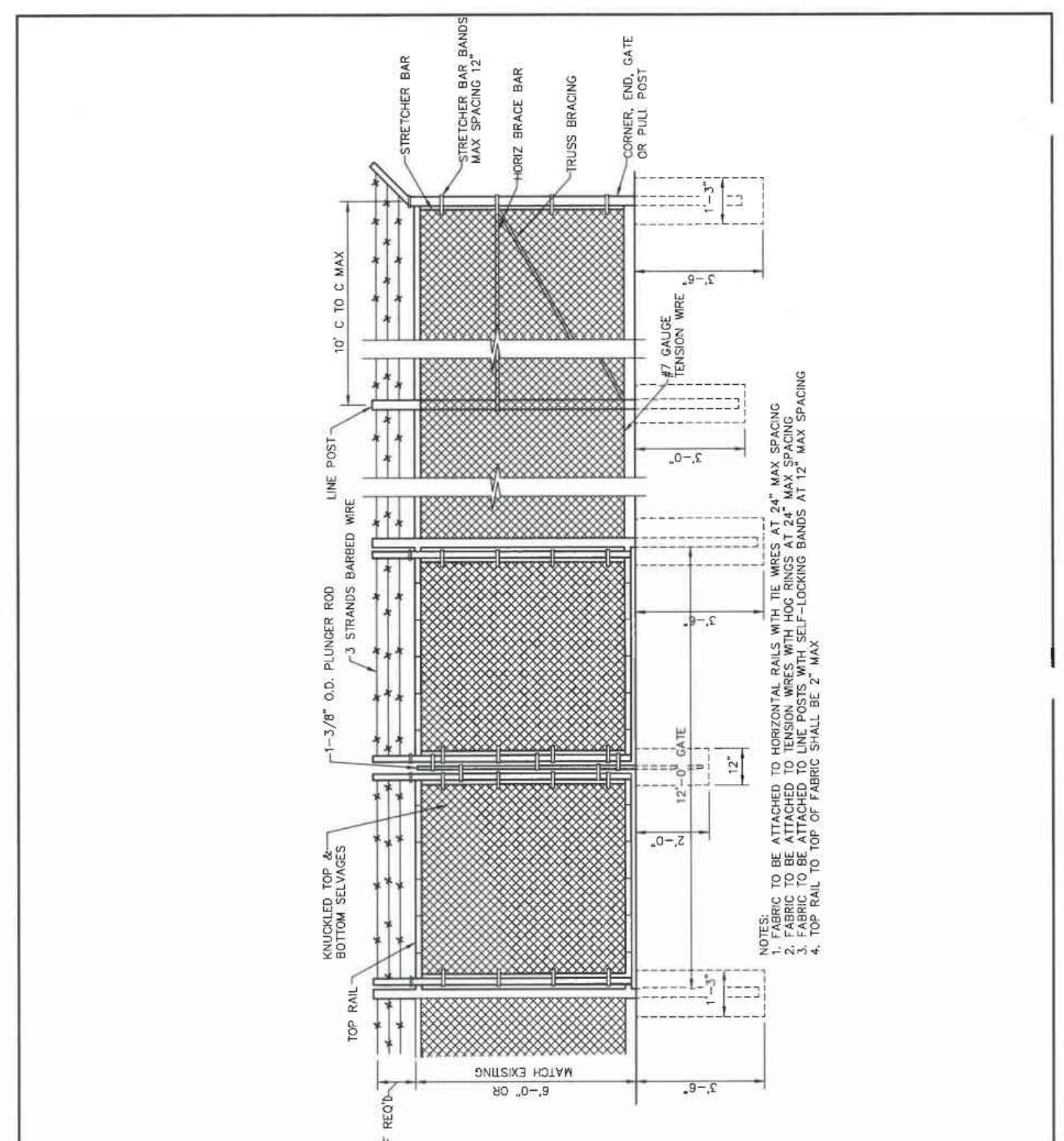
FLARED END SECTION
City of Port Wentworth
TECHNICAL DETAILS
SD-11

PREPARED BY SAUSSY ENGINEERING, LLC. SCALE: N.T.S. DATED: FEBRUARY 2007



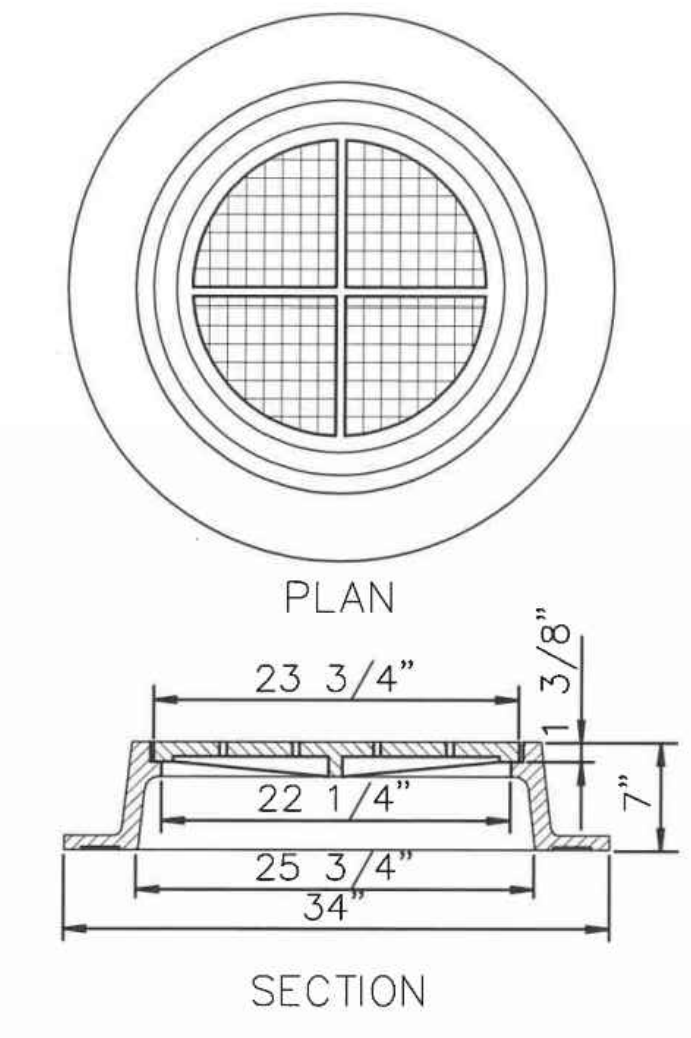
PRECAST STORM MANHOLE
City of Port Wentworth
TECHNICAL DETAILS
SD-12

PREPARED BY SAUSSY ENGINEERING, LLC. SCALE: N.T.S. DATED: FEBRUARY 2007



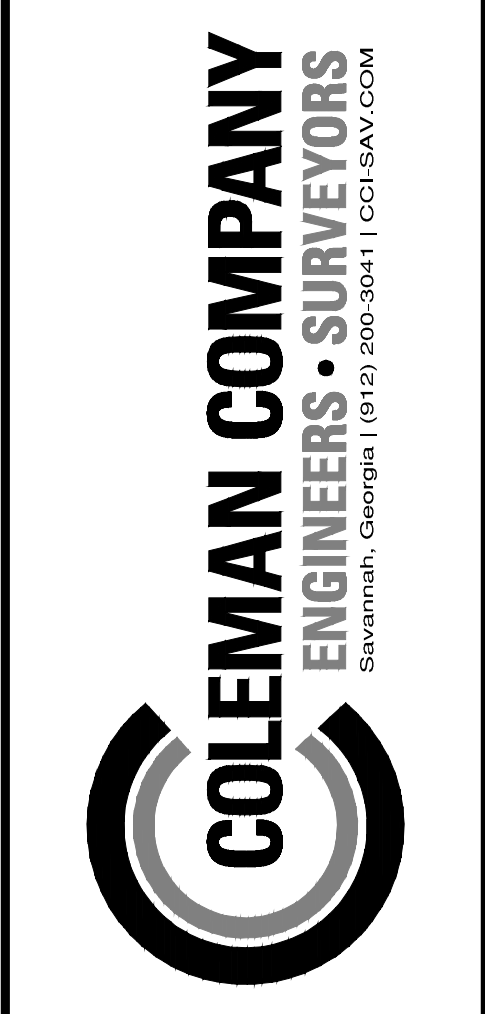
CHAIN LINK FENCE & GATE
City of Port Wentworth
TECHNICAL DETAILS
S-13

PREPARED BY SAUSSY ENGINEERING, LLC. SCALE: N.T.S. DATED: FEBRUARY 2007



STORM MANHOLE RING & COVER
City of Port Wentworth
TECHNICAL DETAILS
SD-14

PREPARED BY SAUSSY ENGINEERING, LLC. SCALE: N.T.S. DATED: FEBRUARY 2007



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REVISIONS:

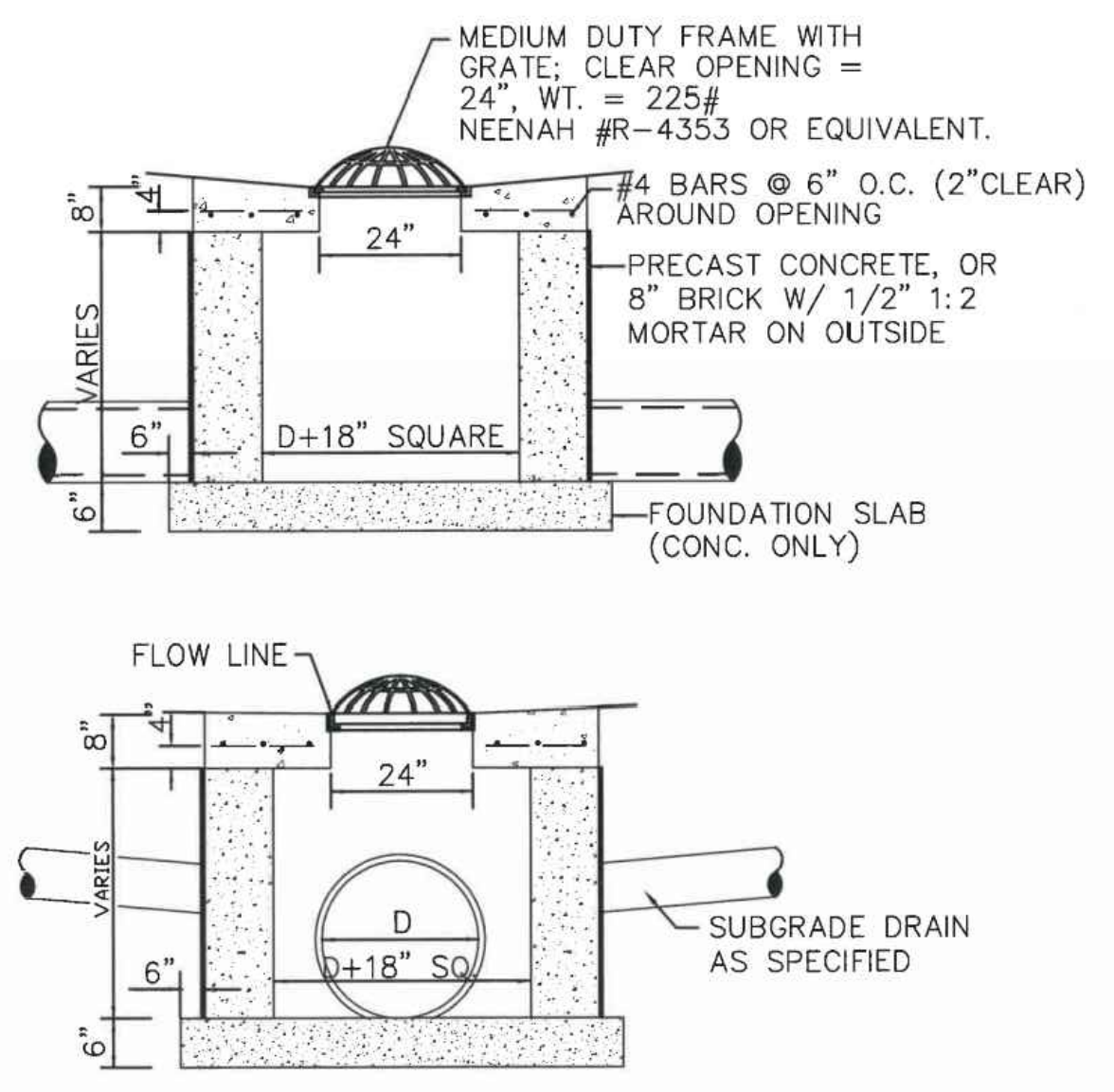
CIVIL CONSTRUCTION PLANS FOR
FLONNEL AVENUE LOGISTICS FACILITY
CONTAINER YARD
LOCATED IN PORT WENTWORTH, GEORGIA
PREPARED FOR INTER-METRO PROPERTIES OF GEORGIA, LLC

JOB NUMBER: 22-730.000
DATE: 05/04/23
DRAWN BY: MEL
CHECKED BY: PJW
SCALE: AS NOTED

CONSTRUCTION DETAILS

SHEET:
D1.0



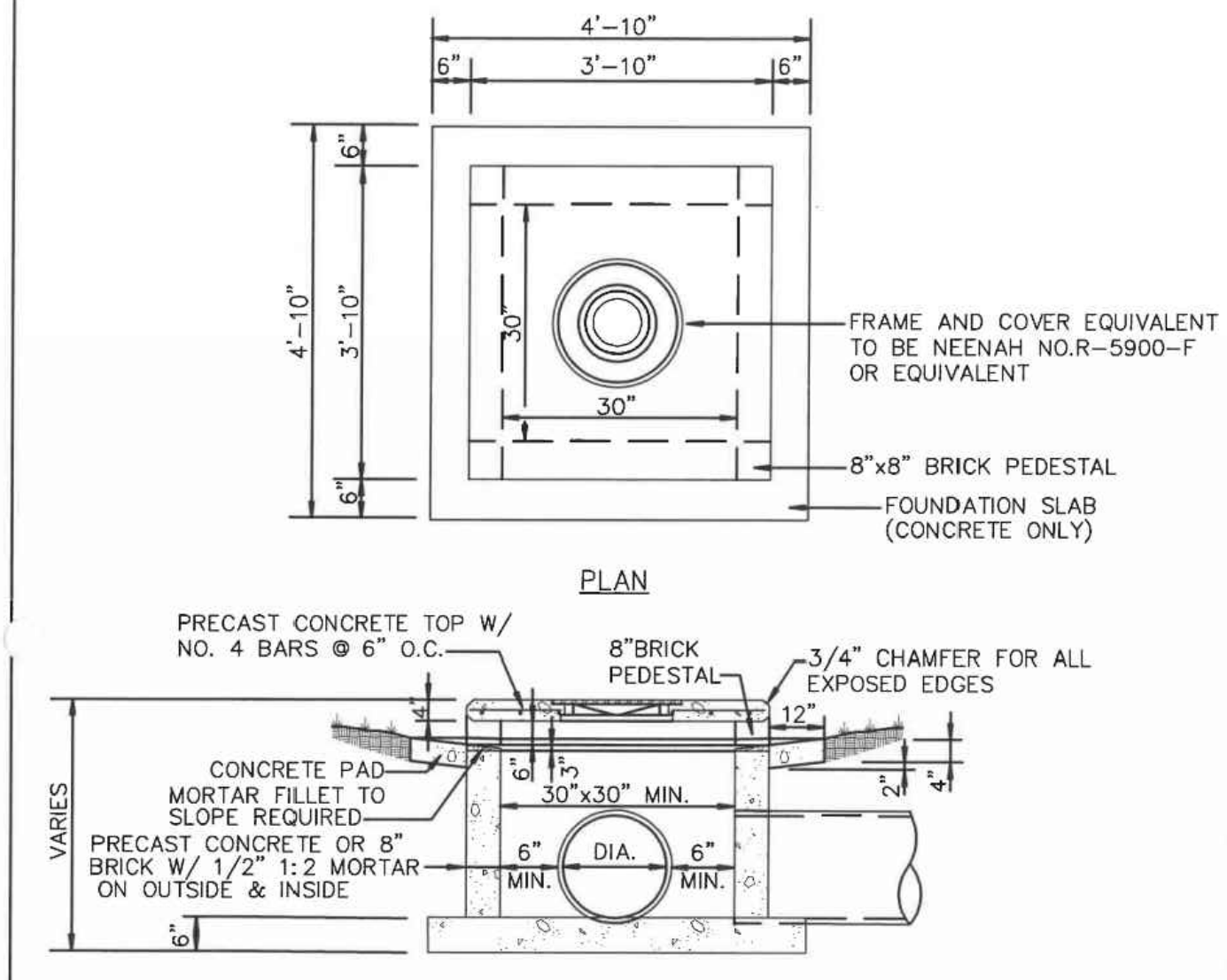


DITCH INLET

City of Port Wentworth
TECHNICAL DETAILS

SD-7

PREPARED BY SAUSSY ENGINEERING, LLC. SCALE: N.T.S. DATED: FEBRUARY 2007

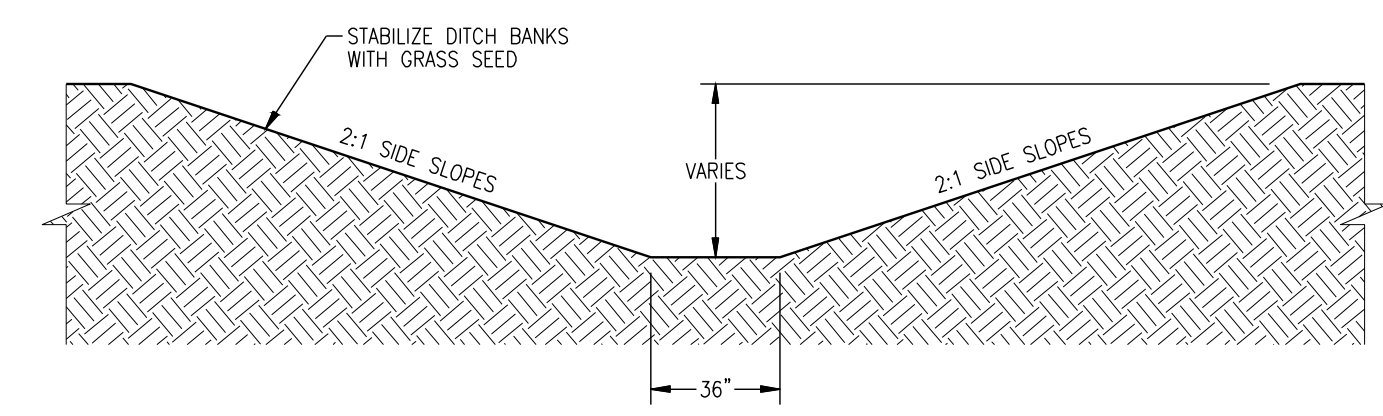


ROOF INLET DETAIL

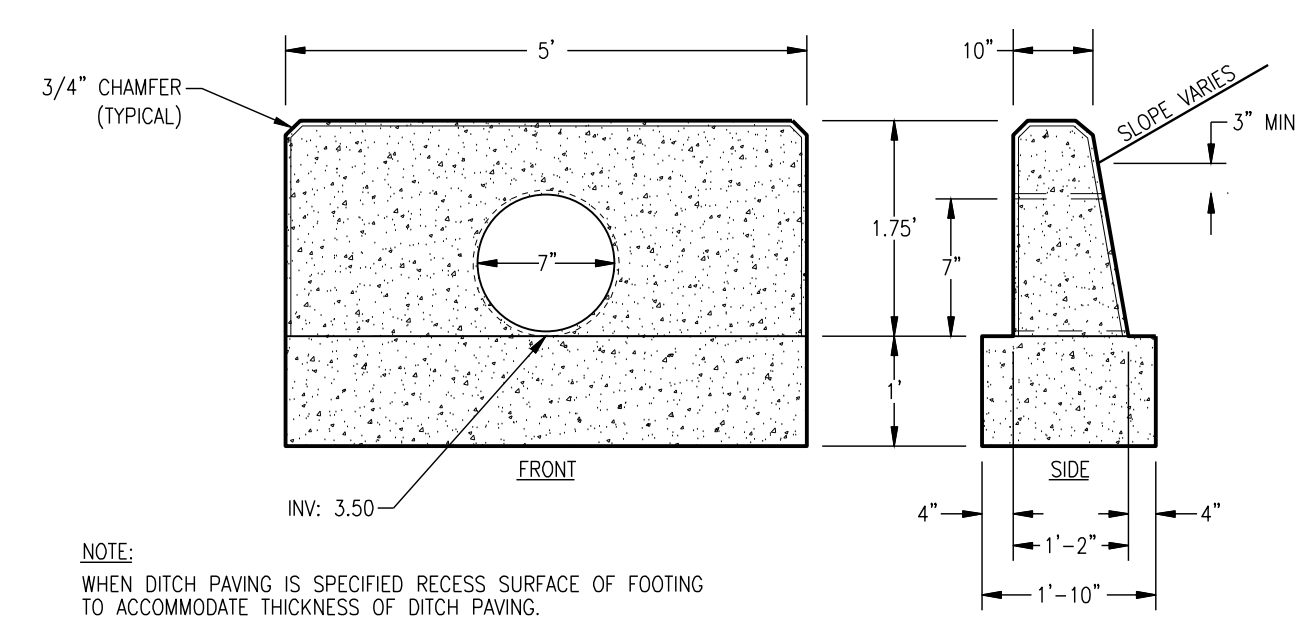
City of Port Wentworth
TECHNICAL DETAILS

SD-6

PREPARED BY SAUSSY ENGINEERING, LLC. SCALE: N.T.S. DATED: FEBRUARY 2007

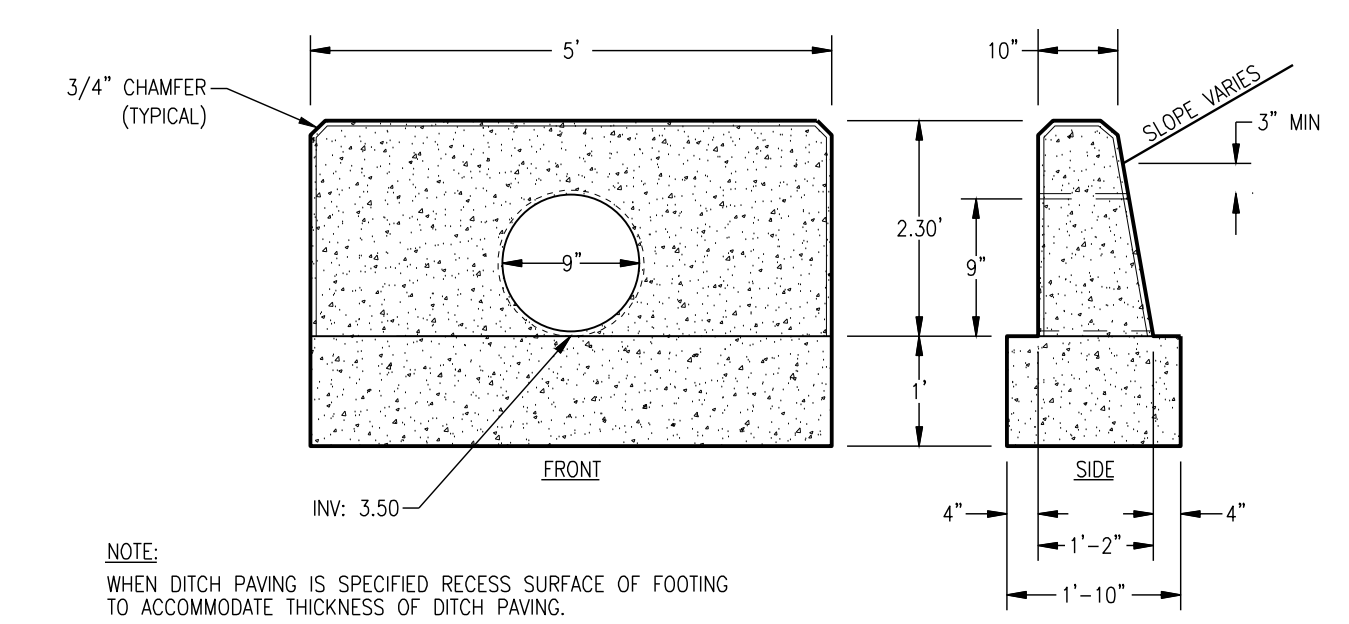


D-27 DITCH SECTION NOT TO SCALE



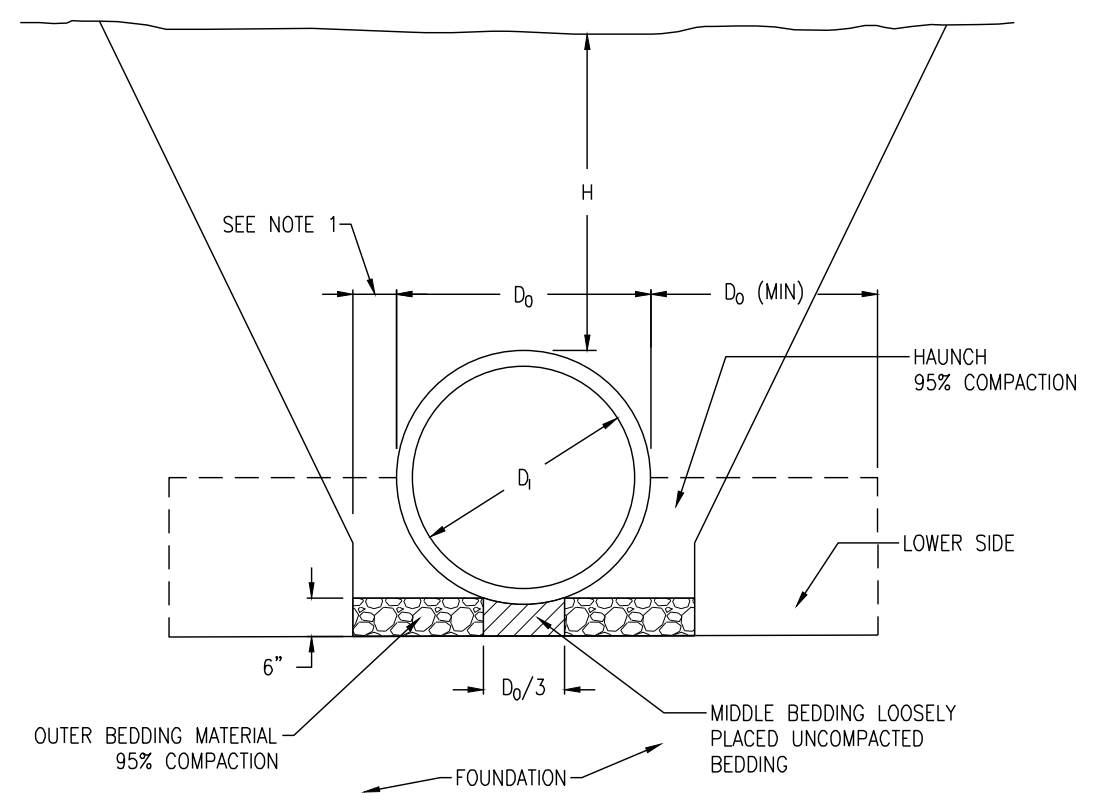
D-33 POND 1 OUTFALL NOT TO SCALE

NOTE: WHEN DITCH PAVING IS SPECIFIED RECESS SURFACE OF FOOTING TO ACCOMMODATE THICKNESS OF DITCH PAVING.



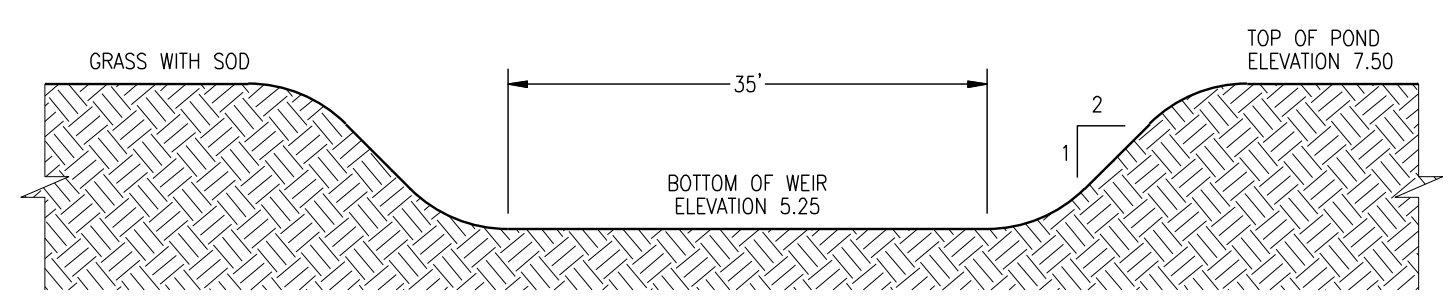
D-33 POND 2 OUTFALL NOT TO SCALE

NOTE: WHEN DITCH PAVING IS SPECIFIED RECESS SURFACE OF FOOTING TO ACCOMMODATE THICKNESS OF DITCH PAVING.

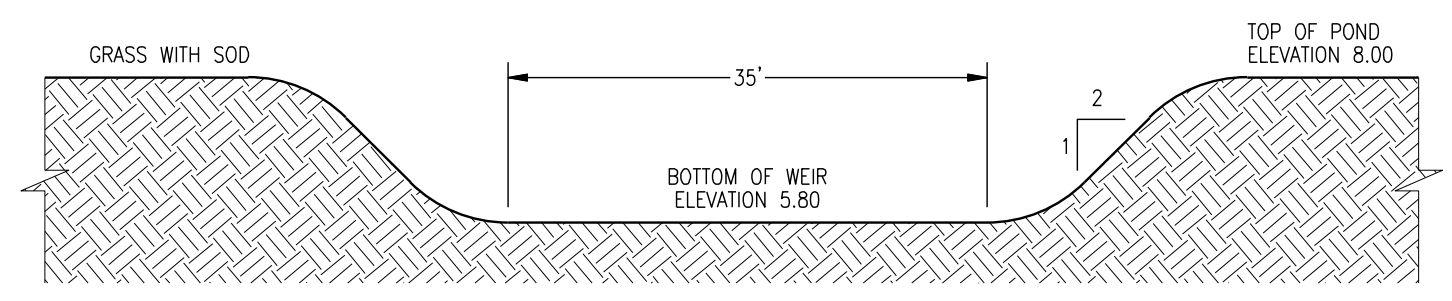


TYPE 1 PIPE BEDDING NOT TO SCALE

NOTES:
1. CLEARANCE BETWEEN PIPE AND HAUNCH WALL SHALL BE ADEQUATE TO ENABLE SPECIFIC COMPACTION BUT NOT LESS THAN D_b/6.



D-53 GRASSED OVERFLOW WEIR 1 NOT TO SCALE



D-53 GRASSED OVERFLOW WEIR 2 NOT TO SCALE

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REGISTERED PROFESSIONAL ENGINEER
PATRICK J. WARNER
No. PE 43979

REVISIONS:

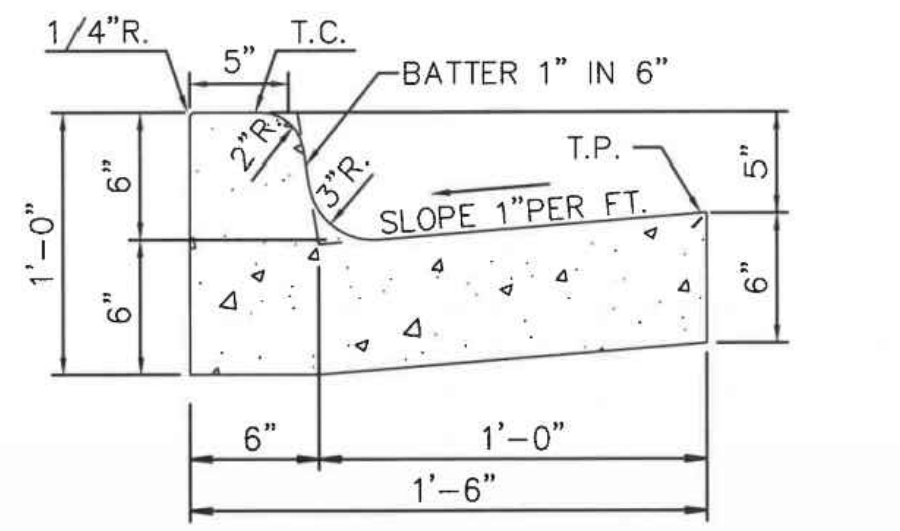
CIVIL CONSTRUCTION PLANS FOR
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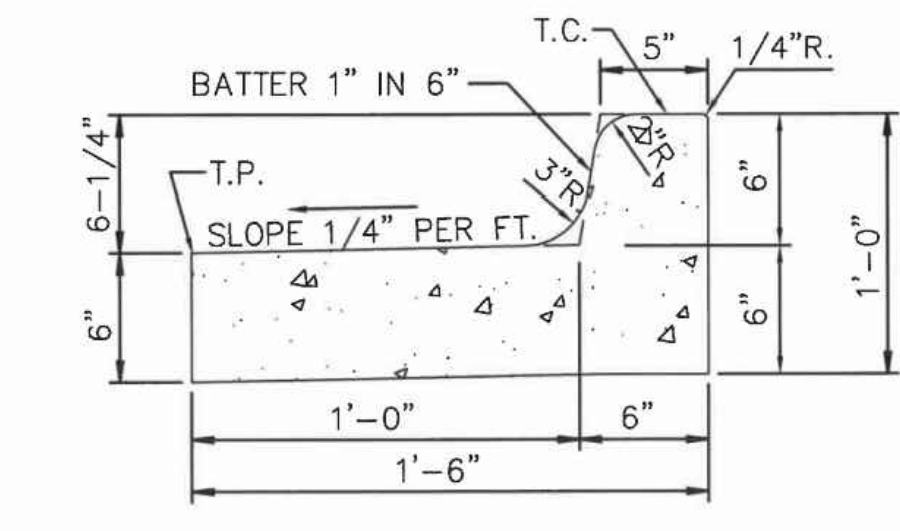
CONSTRUCTION
DETAILS

SHEET:
D1.1





NORMAL GUTTER



PITCHED GUTTER

NOTE: COMPACT SUBGRADE TO 98% (ASTM D698-00a1)

18" CURB & GUTTER

City of Port Wentworth TECHNICAL DETAILS

P-3

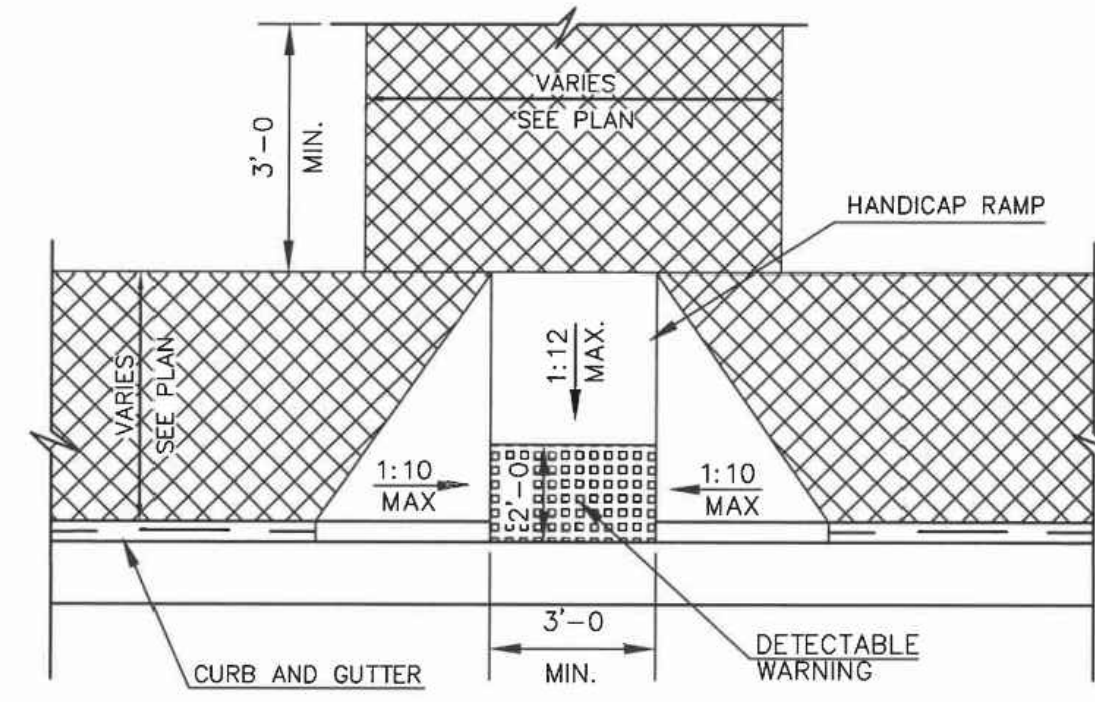
SCALE: N.T.S. DATED: FEBRUARY 2007

DETECTABLE WARNINGS ON WALKING SURFACE OF HANDICAP RAMP

DETECTABLE WARNINGS SHALL CONSIST OF RAISED TRUNCATED DOMES WITH A DIAMETER OF NOMINAL 0.9 IN (23mm). A HEIGHT OF NOMINAL 0.2 IN (5mm) AND A CENTER-TO-CENTER SPACING OF NOMINAL 2.35 IN (60mm) AND SHALL CONTRAST VISUALLY WITH ADJOINING SURFACES, EITHER LIGHT-ON-DARK, OR DARK-ON-LIGHT.

THE MATERIAL USED TO PROVIDE CONTRAST SHALL BE INTEGRAL PART OF THE WALKING SURFACE. DETECTABLE WARNINGS USED ON SURFACES SHALL DIFFER FROM ADJOINING WALKING SURFACES IN RESILIENCY OR SOUND-ON-CANE CONTACT.

SURFACES SHALL MEET THE ADA ACCESSIBILITY GUIDELINES SECTION 4.29.2.



PAVEMENT

HANDICAP RAMP TYPE "A"

City of Port Wentworth TECHNICAL DETAILS

P-4

PREPARED BY SAUSSY ENGINEERING, LLC.

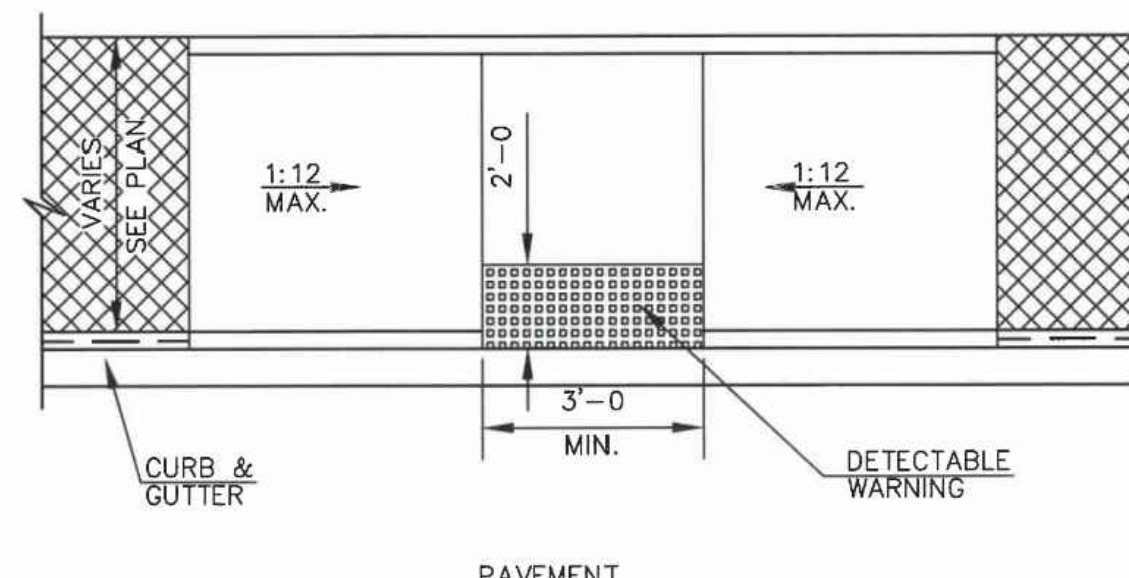
SCALE: N.T.S. DATED: FEBRUARY 2007

DETECTABLE WARNINGS ON WALKING SURFACE OF HANDICAP RAMP

DETECTABLE WARNINGS SHALL CONSIST OF RAISED TRUNCATED DOMES WITH A DIAMETER OF NOMINAL 0.9 IN (23mm). A HEIGHT OF NOMINAL 0.2 IN (5mm) AND A CENTER-TO-CENTER SPACING OF NOMINAL 2.35 IN (60mm) AND SHALL CONTRAST VISUALLY WITH ADJOINING SURFACES, EITHER LIGHT-ON-DARK, OR DARK-ON-LIGHT.

THE MATERIAL USED TO PROVIDE CONTRAST SHALL BE INTEGRAL PART OF THE WALKING SURFACE. DETECTABLE WARNINGS USED ON SURFACES SHALL DIFFER FROM ADJOINING WALKING SURFACES IN RESILIENCY OR SOUND-ON-CANE CONTACT.

SURFACES SHALL MEET THE ADA ACCESSIBILITY GUIDELINES SECTION 4.29.2.



PAVEMENT

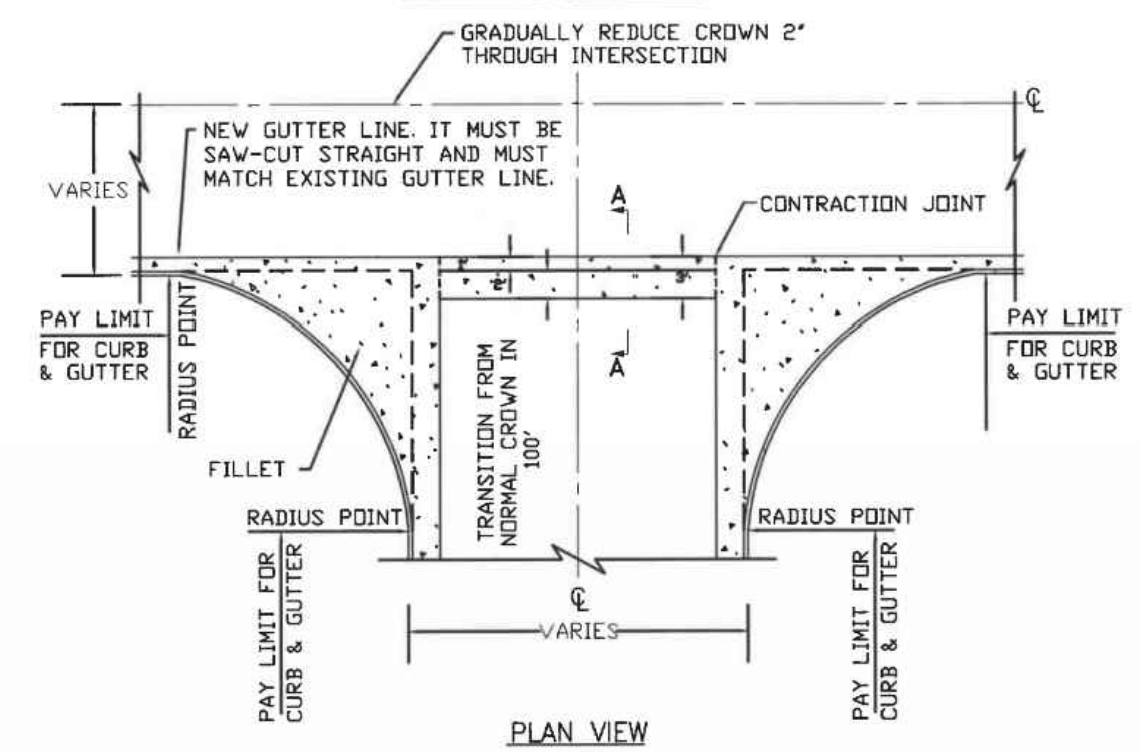
HANDICAP RAMP TYPE "B"

City of Port Wentworth TECHNICAL DETAILS

P-5

PREPARED BY SAUSSY ENGINEERING, LLC.

SCALE: N.T.S. DATED: FEBRUARY 2007



SECTION A - A

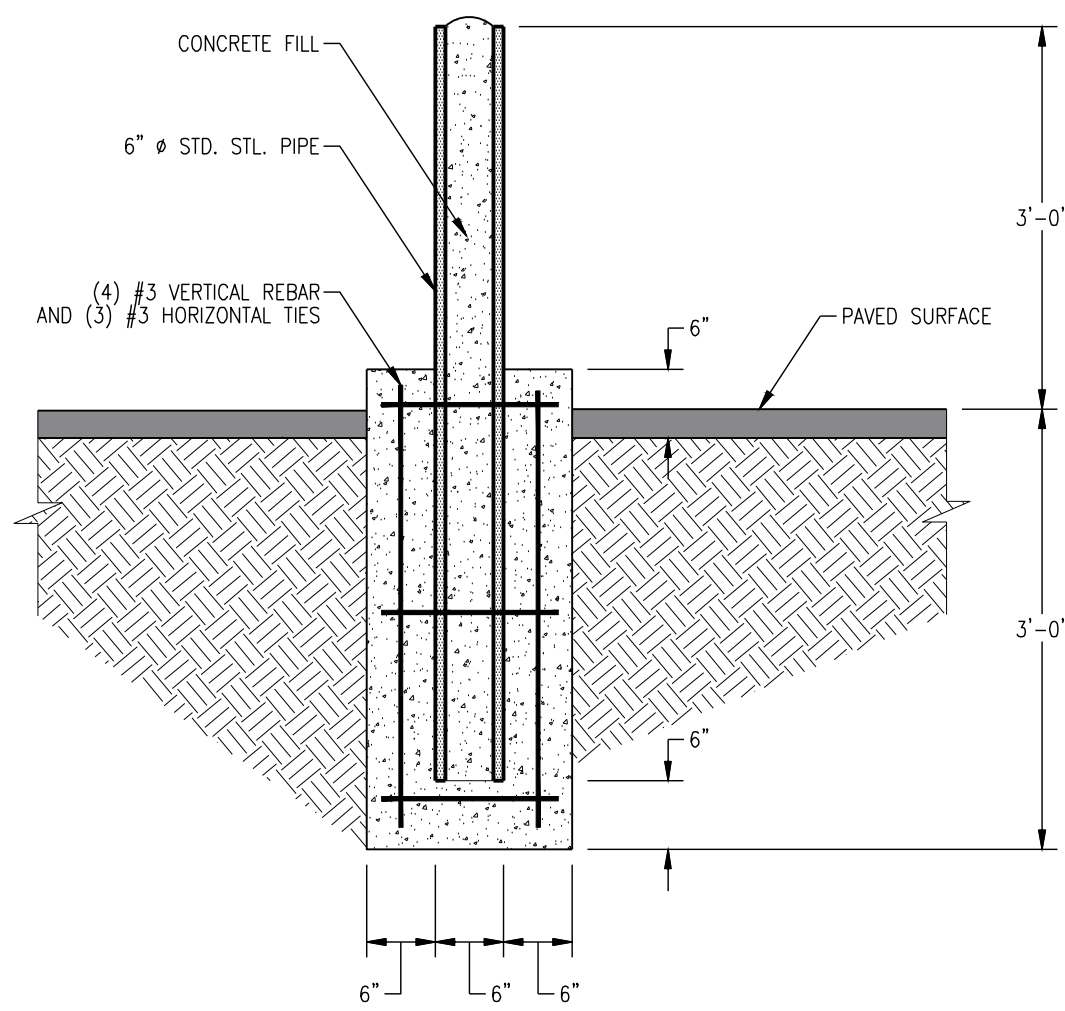
CONCRETE SWALE WITH FILLETS

City of Port Wentworth TECHNICAL DETAILS

P-7

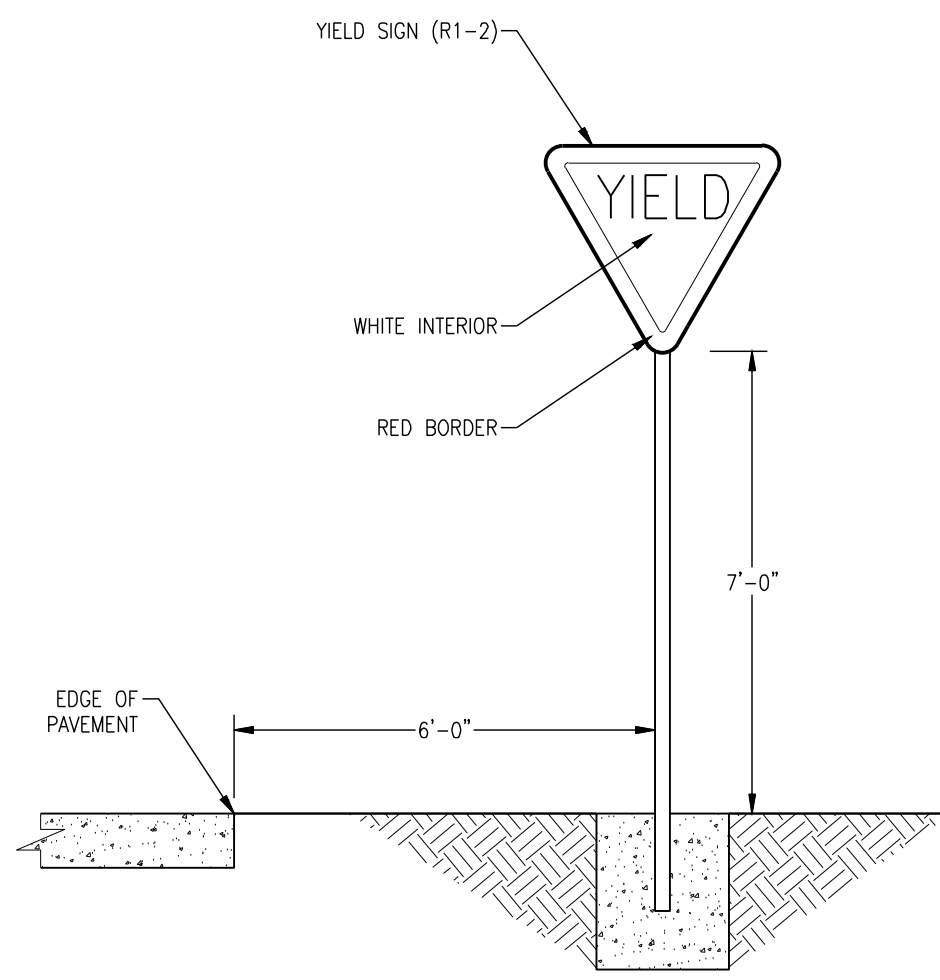
PREPARED BY SAUSSY ENGINEERING, LLC.

SCALE: N.T.S. DATED: FEBRUARY 2007



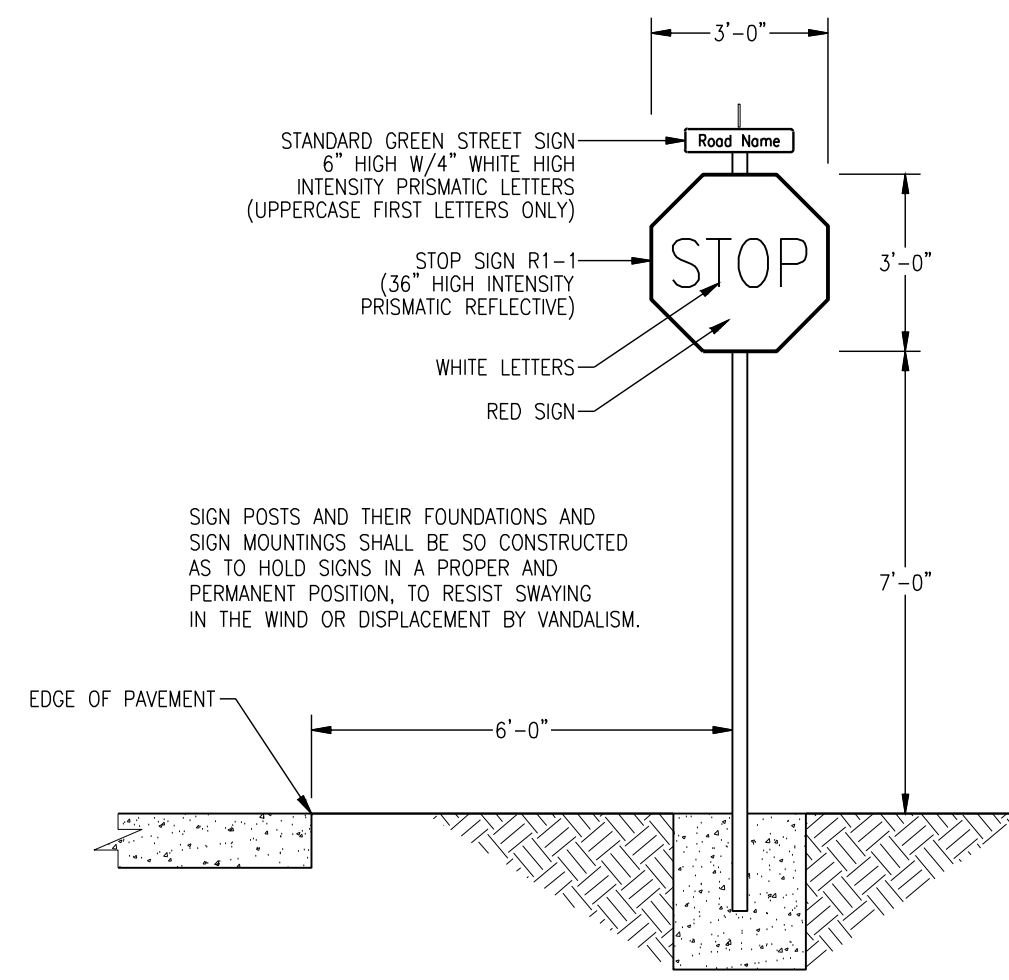
P-2E BOLLARD DETAIL

NOT TO SCALE



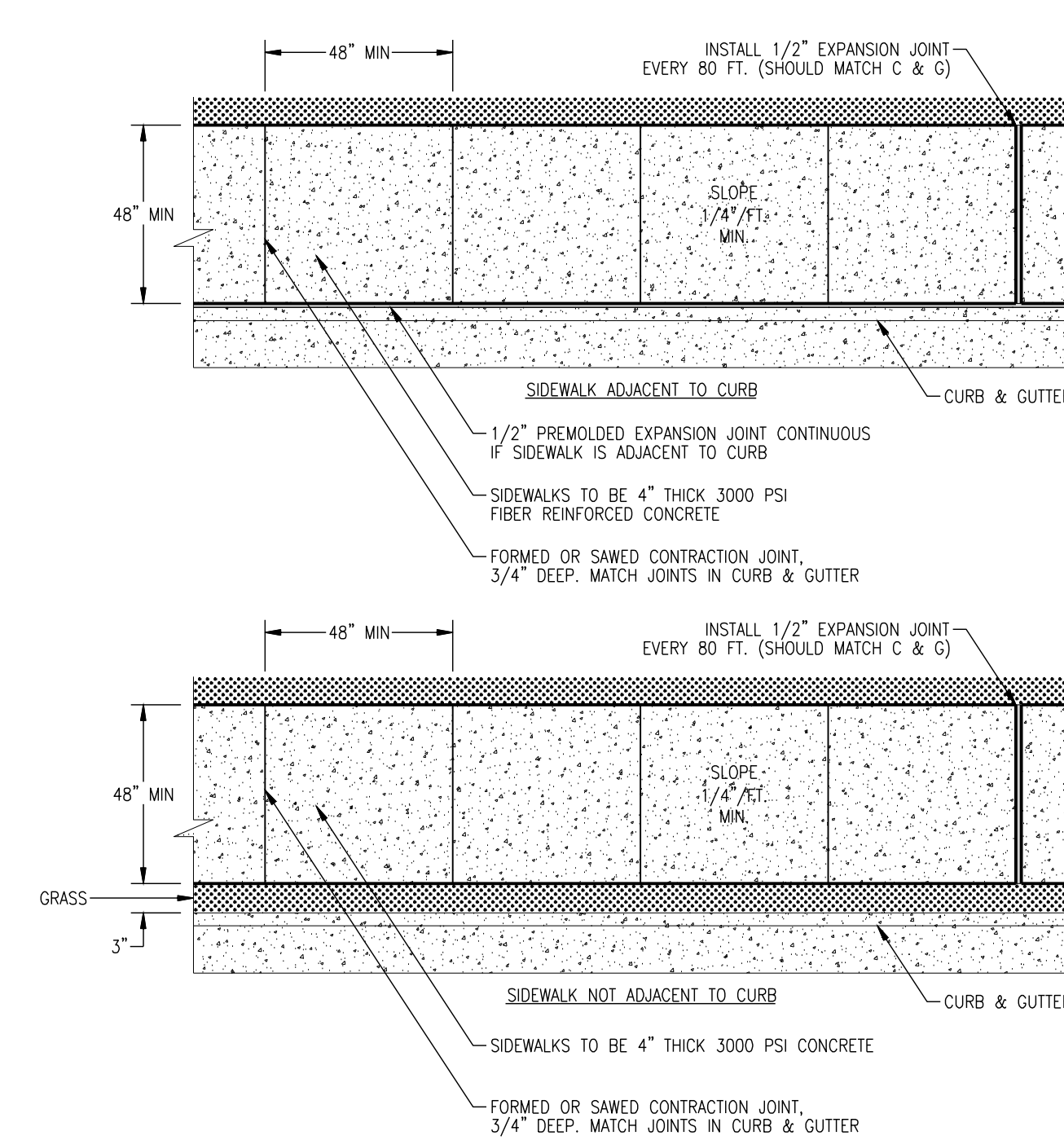
P-23 TYPICAL YIELD SIGN

NOT TO SCALE



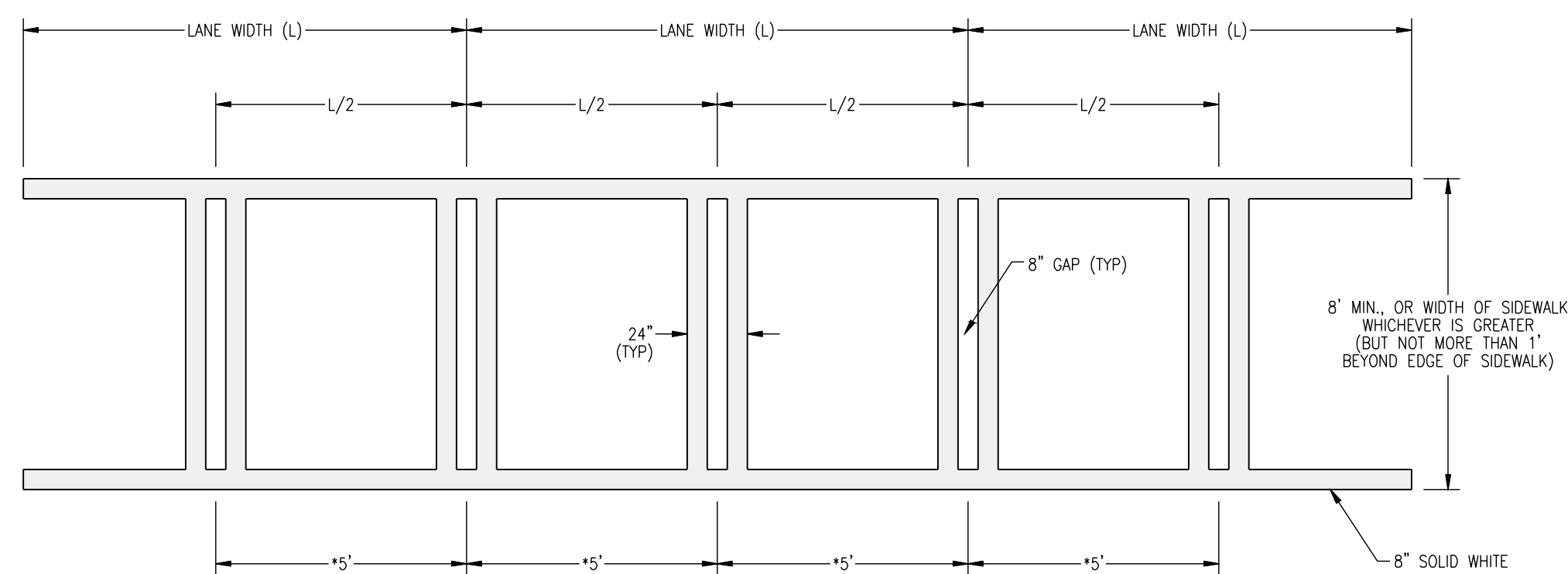
P-26 TYPICAL STOP SIGN

NOT TO SCALE



P-18 SIDEWALK AND WALKWAY DETAILS

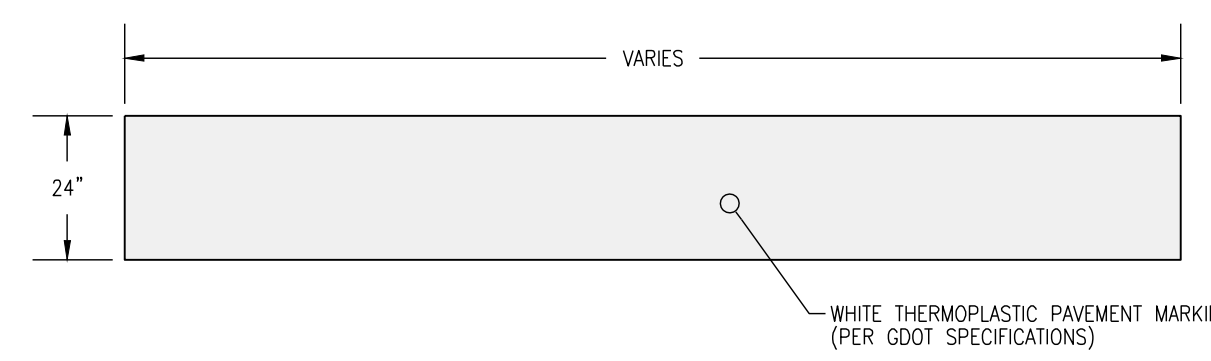
NOT TO SCALE



P-19A CROSSWALK DETAIL

NOT TO SCALE

NOTE: USE WHERE THE LANES WIDTH EXCEEDS 12' OR WHERE LANES HAVE BEEN OMITTED



P-27 TRAFFIC STOP BAR

NOT TO SCALE

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RELEASED FOR CONSTRUCTION

REGISTERED PROFESSIONAL ENGINEER
No. PE343979
PATRICK J. WARNER

REVISIONS:

CIVIL CONSTRUCTION PLANS FOR
FLONNEL AVENUE LOGISTICS FACILITY
CONTAINER YARD
LOCATED IN PORT WENTWORTH, GEORGIA
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JOB NUMBER: 22-730.000
DATE: 05/04/23
DRAWN BY: MEL
CHECKED BY: PJW
SCALE: AS NOTED

CONSTRUCTION DETAILS

SHEET: D1.2



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Attachment: Flonnel Ave Logistics Yard 7-0003-01-001 S-Site Plan -2023-Civil Plans 5.4.23 (2530) : Site Plan Review Application (Specific) Flonnel Ave Logistics Yard 7-0003-01-001 June 2023

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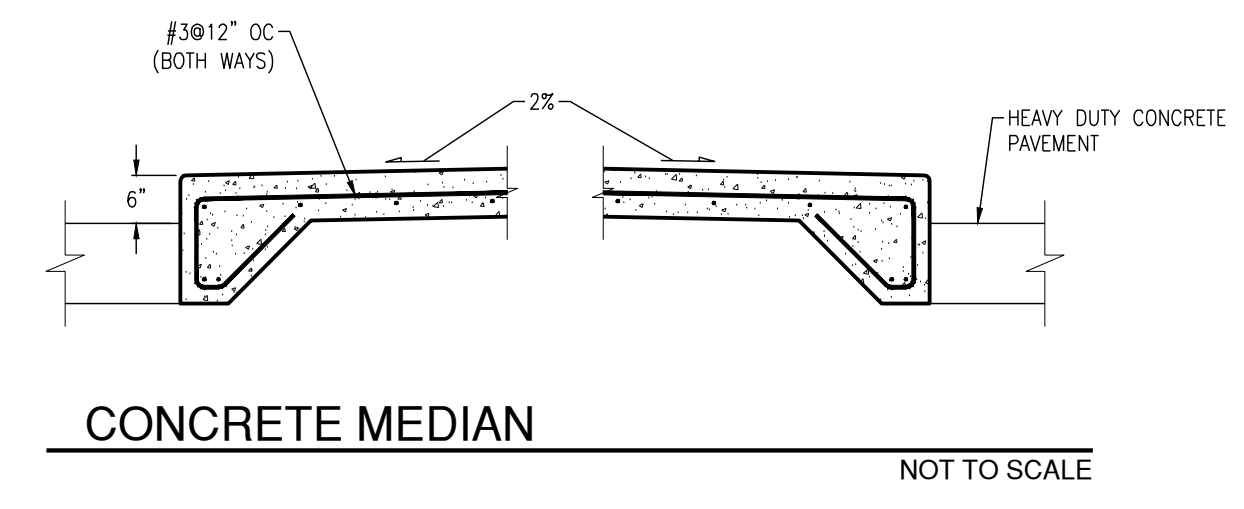
REVISIONS:

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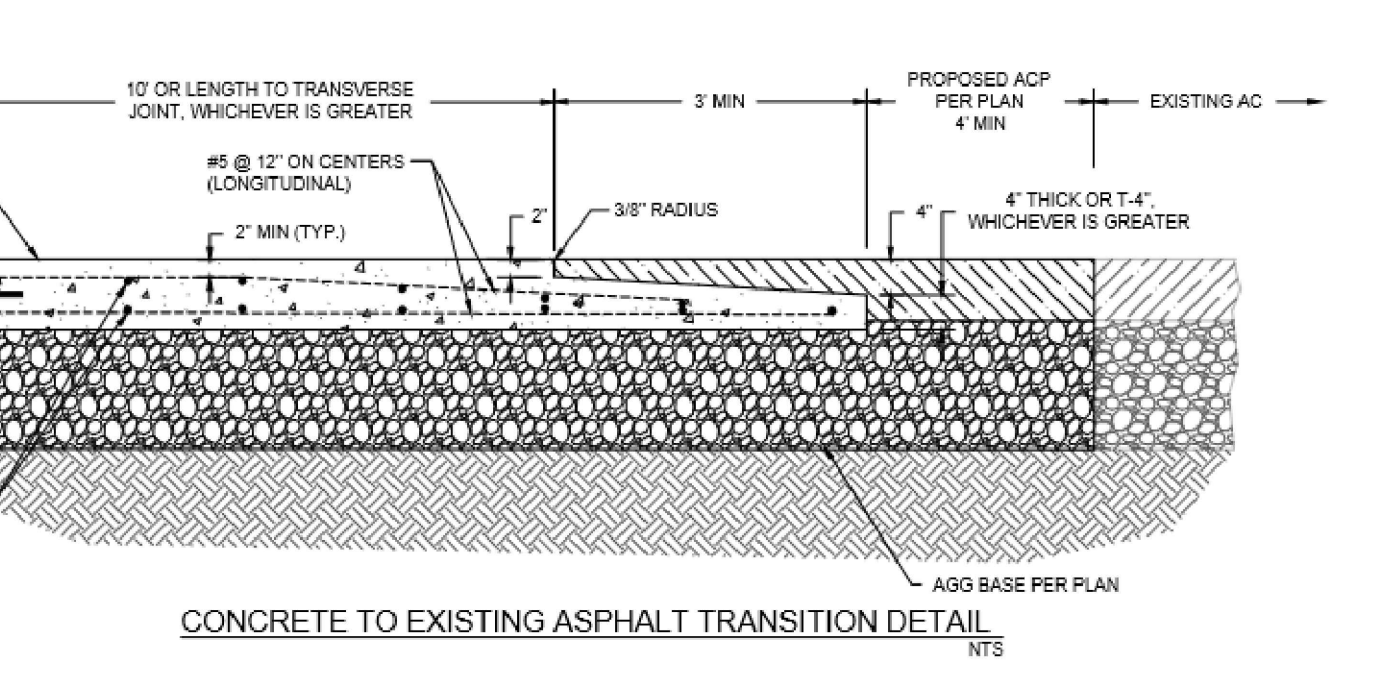
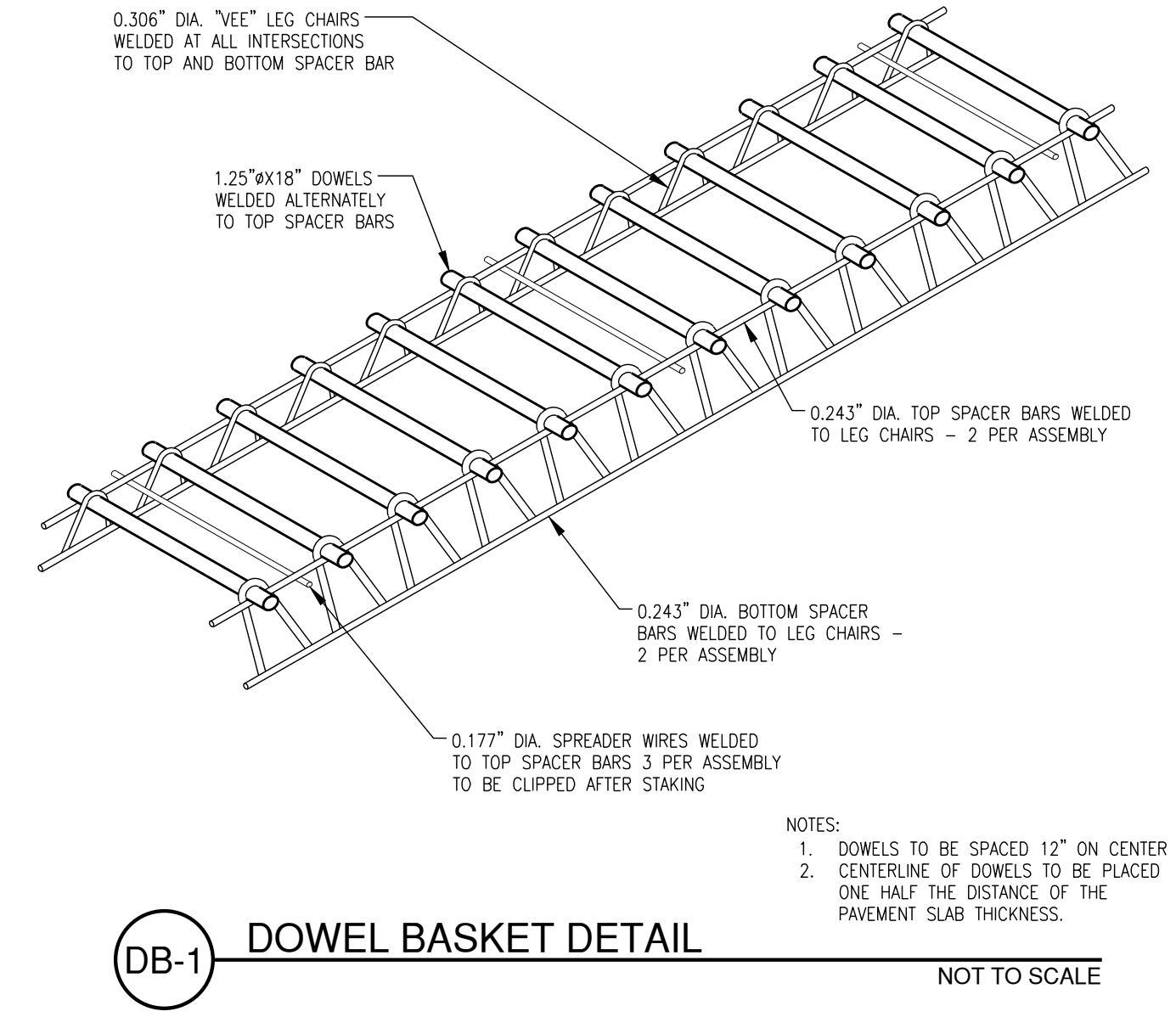
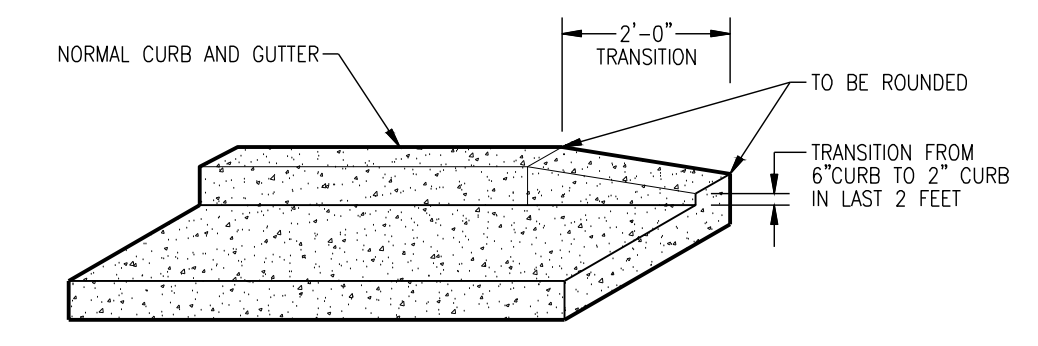
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 DATE: 05/04/23
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CONSTRUCTION DETAILS

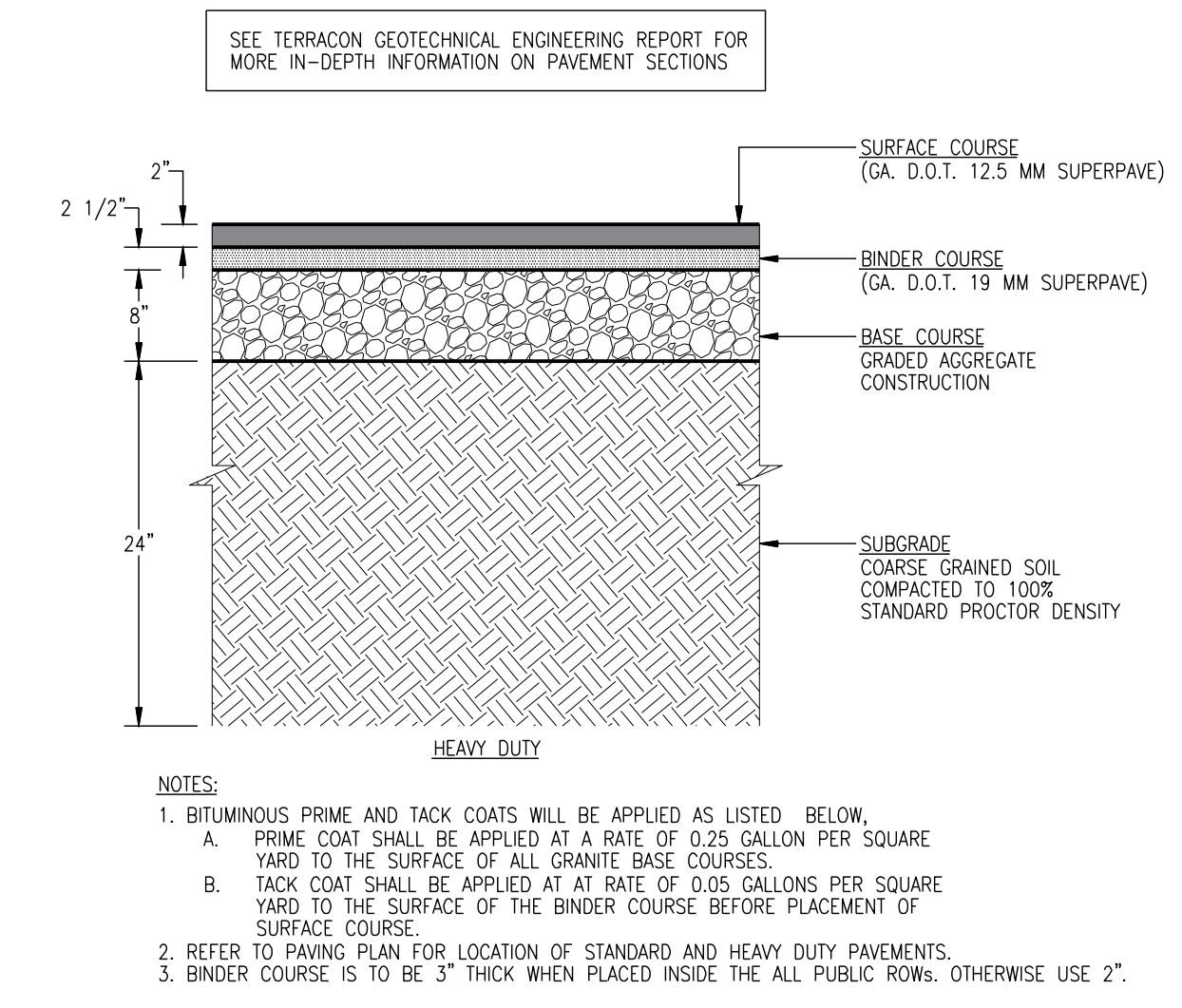
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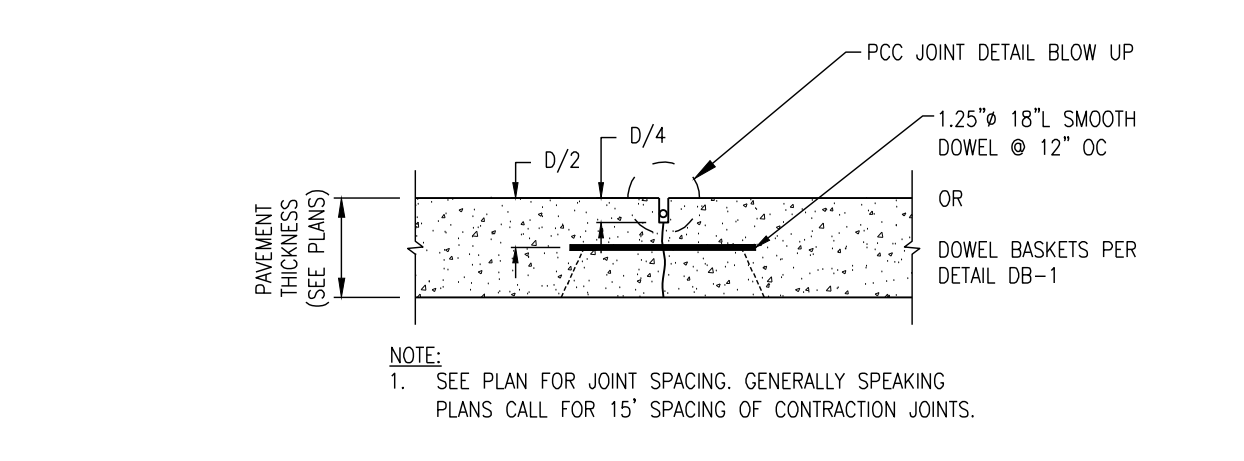
P-3A FEATHERING OF CONCRETE CURB & GUTTER NOT TO SCALE



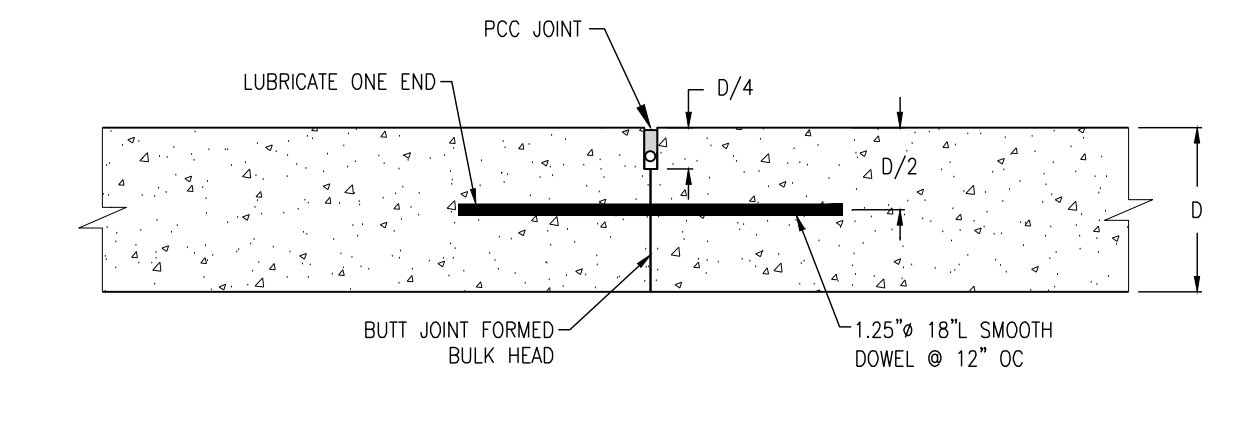
P-22D CONCRETE & ASPHALT TRANSITION NOT TO SCALE



P-11 HEAVY DUTY ASPHALT SECTION NOT TO SCALE



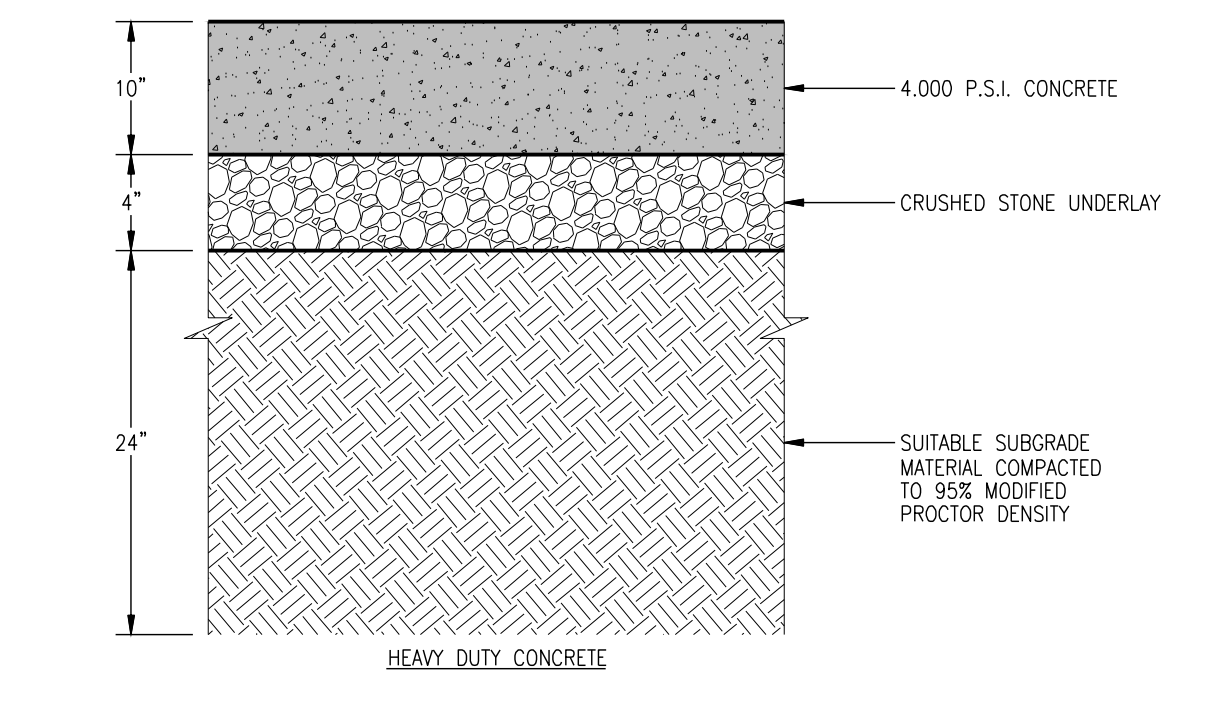
P-22A CONTRACTION JOINT DETAIL NOT TO SCALE



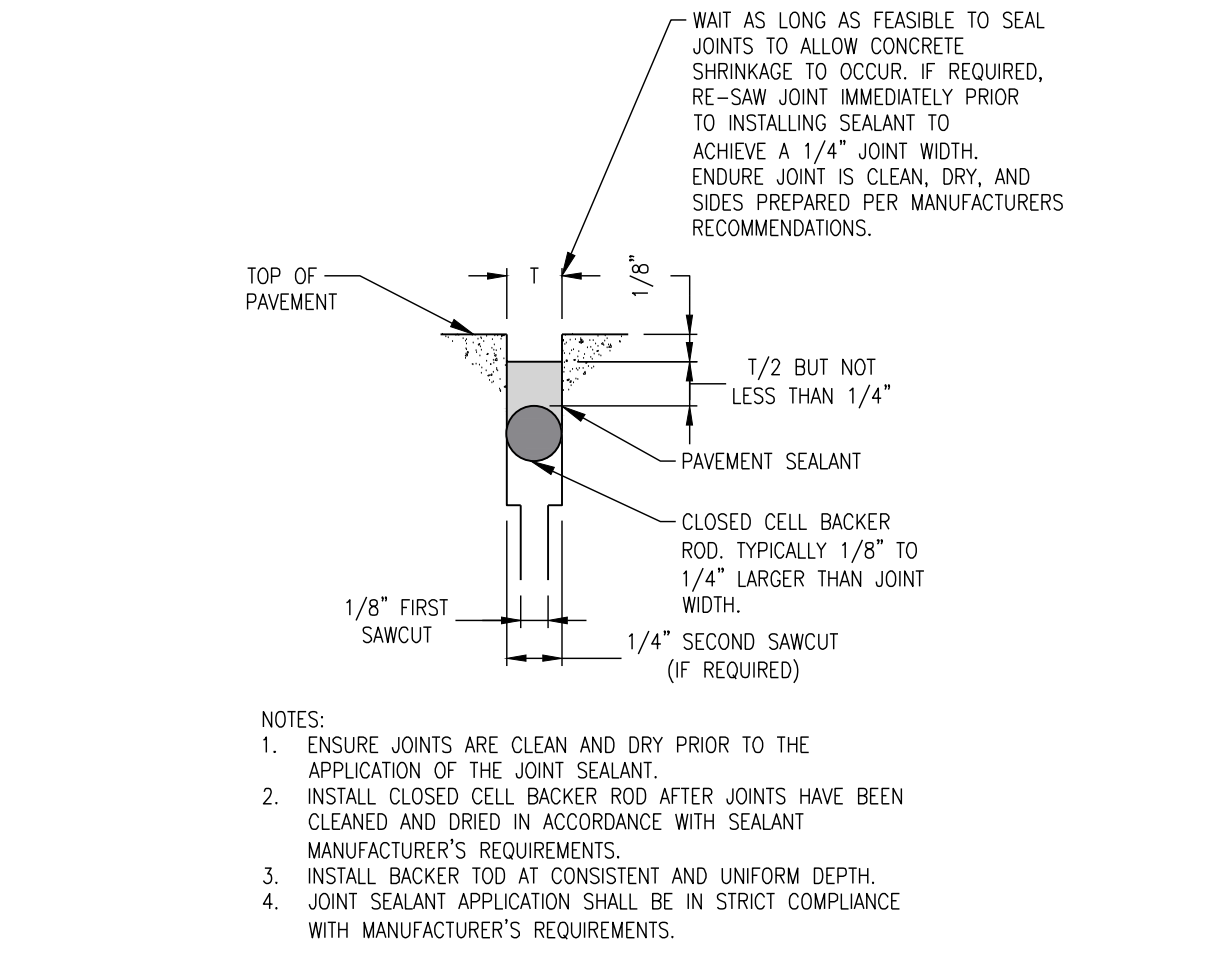
P-22B CONSTRUCTION JOINT DETAIL NOT TO SCALE

- CONCRETE MIX SPECIFICATIONS:
1. COMPRESSIVE STRENGTH: IS TO BE 3000PSI FOR SIDEWALKS AND 4000PSI FOR HEAVY DUTY CONCRETE.
 2. DRYING SHRINKAGE: NO MORE THAN 400 MICROSTRAINS AT 28 DAYS, WHEN TESTED TO ASTM C157 (AIR-STORAGE METHOD). THE 27 DAYS IN LIME WATER CAN BE REDUCED TO 6 DAYS.
 3. AIR CONTENT: 6%, PLUS OR MINUS 1.5%
 4. COARSE AGGREGATE: #467 GRADATION WITH AT LEAST 8% RETAINED ON THE 1" SIEVE
 5. ALL CONCRETE SURFACES TO BE CURED W/ A HIGH SOLIDS CURE & SEAL THAT MEETS ASTM C1315:
 - A. CURE & SEAL 1315 J22WB FROM DAYTON SUPERIOR
 - B. CURE & SEAL WB30 FROM SPEC CHEM
 - C. DRESS & SEAL WB30 FROM I&M CONSTRUCTION CHEMICALS
 - D. SUPER DIAMOND CLEAR VOX FROM EVOLUD CHEMICAL
 - E. VOCOMP 30 FROM W.R. MEADOWS
 - F. OR EQUIVALENT

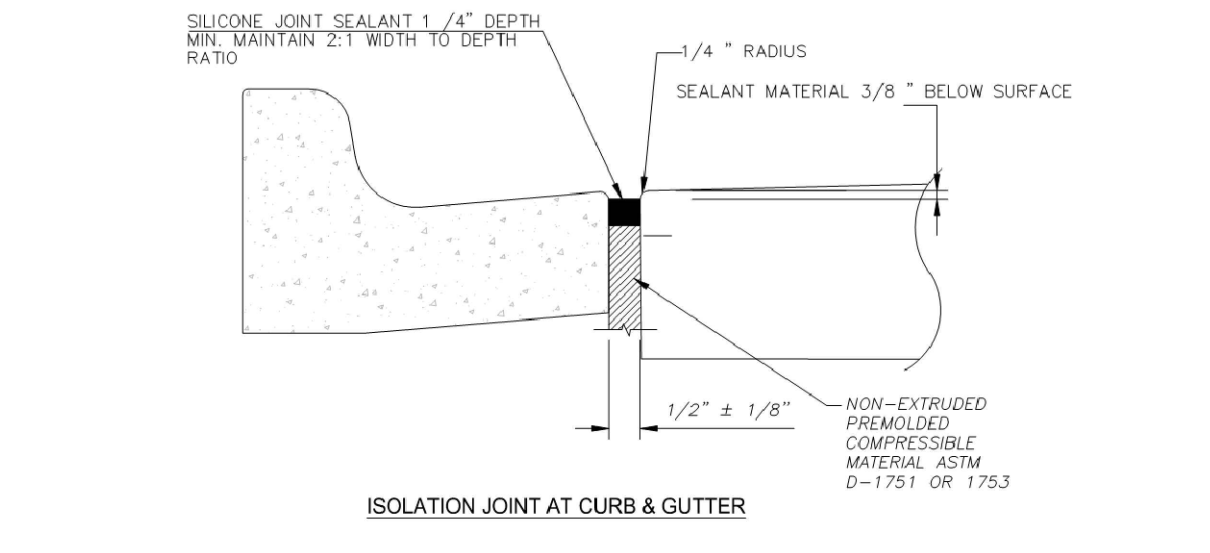
P-22C CONCRETE DESIGN MIX & SEALING SPECS NOT TO SCALE



P-20 HEAVY DUTY CONCRETE SECTION NOT TO SCALE



D-1A PCC JOINT DETAIL NOT TO SCALE

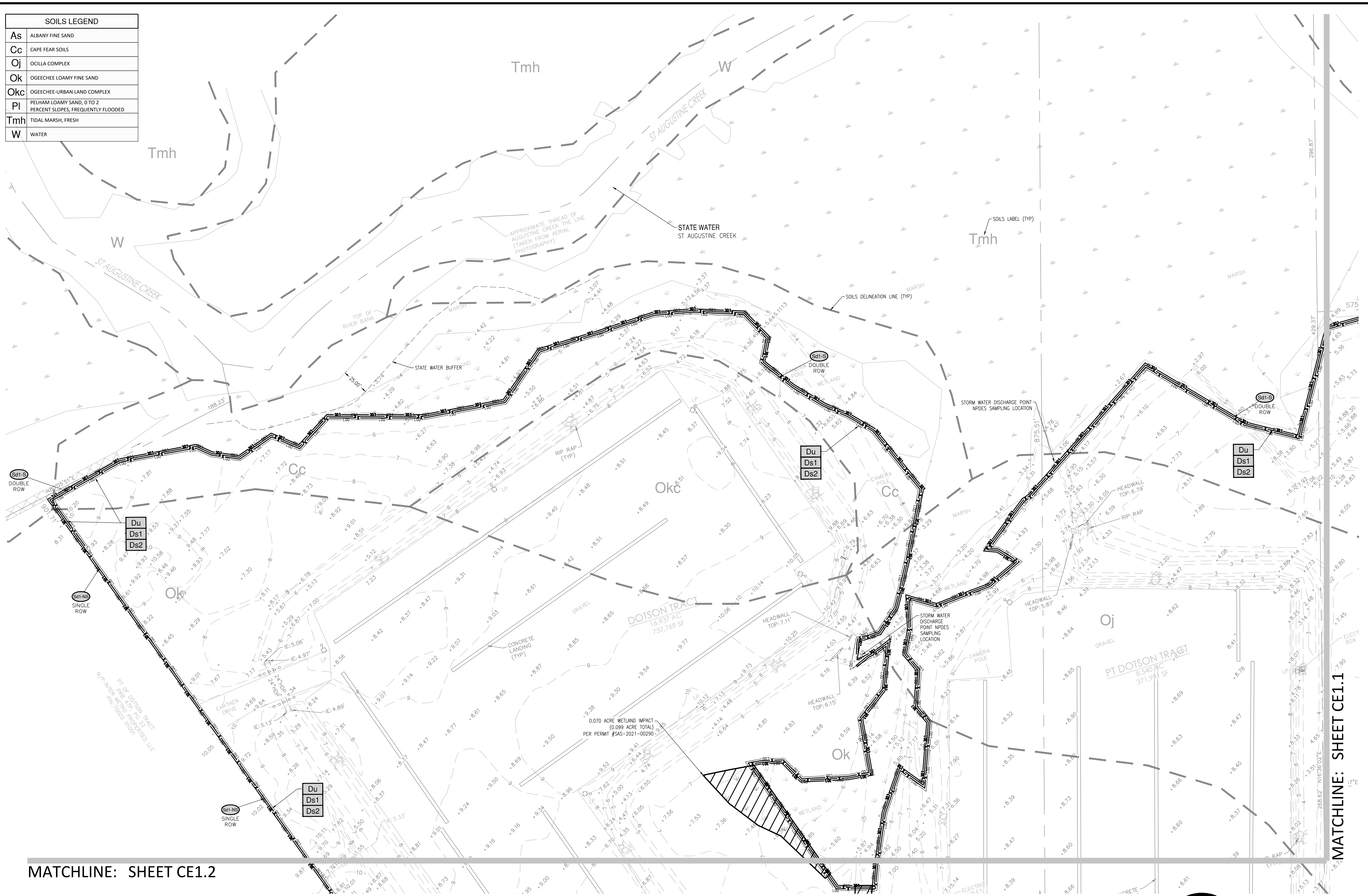


P-22C ISOLATION JOINT AT CURB & GUTTER NOT TO SCALE

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Attachment: Flonnel Ave Logistics Yard 7-0003-01-001 S-Site Plan 2023-Civil Plans 5.4.23 (2530) : Site Plan Review Application (Specific) Flonnel Ave Logistics Yard 7-0003-01-001 June 2023

SOILS LEGEND	
As	ALBANY FINE SAND
Cc	CAPE FEAR SOILS
Oj	OCILLA COMPLEX
Ok	OGEECHEE LOAMY FINE SAND
Okc	OGEECHEE-URBAN LAND COMPLEX
Pl	PELHAM LOAMY SAND, 0 TO 2 PERCENT SLOPES, FREQUENTLY FLOODED
Tmh	TIDAL MARSH, FRESH
W	WATER



MATCHLINE: SHEET CE1.2

MATCHLINE: SHEET CE1.1

- SEQUENCE OF CONSTRUCTION**
- INITIAL PHASE:**
1. INSTALL PERIMETER CONTROLS TO INCLUDE SILT FENCING AND CONSTRUCTION EXIT.
 2. REMOVE DESIGNATED TREES AND CLEAR, GRUB AND GRADE SITE.
 3. LIMIT CLEARING AND GRUBBING OF SITE TO ONLY AREAS NECESSARY FOR CONSTRUCTION AS SHOWN.
- INTERMEDIATE PHASE:**
1. MASS GRADE SITE TO FINAL ELEVATIONS.
 2. INSTALL UNDERGROUND UTILITIES INCLUDING WATER LINES, SANITARY SEWER AND STORM SYSTEMS.
- FINAL PHASE:**
1. STABILIZE ALL REMAINING DISTURBED AREAS.
 2. REMOVE ALL TEMPORARY EROSION CONTROL MEASURES AND STABILIZE DISTURBED AREAS ACCORDINGLY.

RATIONALE FOR SEDIMENT STORAGE IN SILT FENCE IN INITIAL PHASE:

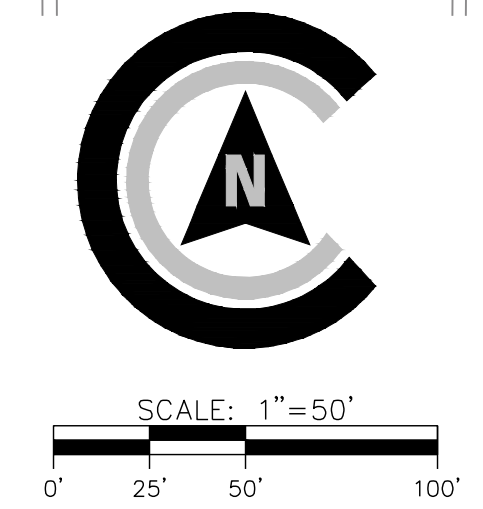
PHASE I CLEARING IS LIMITED TO THE SILT FENCE AREA AND CONSTRUCTION ENTRANCE. THIS INITIAL PHASE IS A LINEAR PROJECT AS DEFINED BY THE EROSION CONTROL MANUAL. LINEAR PROJECTS CAN UTILIZE SILT FENCE FOR SEDIMENT STORAGE. ALSO, THE DISTURBED AREA IN THE INITIAL PHASE IS LESS THAN 1 ACRE. FINALLY, THE WAY THE EXISTING SITE IS CONFIGURED, MUCH MORE AREA WOULD NEED TO BE DISTURBED IN THE INITIAL PHASE TO INCLUDE SEDIMENT BASINS AND DIVERSION SWALES TO CONVEY WATER AND SEDIMENT TO SAID BASINS. THUS, SEDIMENT STORAGE IN SILT FENCE IS THE BEST OPTION FOR SEDIMENT STORAGE IN THE INITIAL PHASE.

SEDIMENT STORAGE REQUIREMENTS

DISTURBED AREA (INITIAL): 6.869 LF SILT FENCE X 4 FT WIDE DISTURBANCE + Cc (1,000 SF) = 28,476 SF (0.65 AC)
 REQUIRED STORAGE (INITIAL): 0.65 AC X 67 CY/AC = 43.35 CY = 1,176 CF
 SILT FENCE STORAGE: 842' X LENGTH
 LENGTH (6.869' B. 1.5'; (1.5)(1.5)) X 6.869' = 7,727 CF
 STORAGE PROVIDED > REQUIRED STORAGE
 7,727 CF > 1,176 CF, THEREFORE ADEQUATE STORAGE IS PROVIDED IN THE INITIAL PHASE.

DESIGN PROFESSIONAL'S CREDENTIALS:

ENGINEER'S NAME (PRINTED):	PATRICK WARNER, PE
GEORGIA PE NUMBER:	PE043979
GSWCC LEVEL II CERTIFICATION NUMBER:	77002
NRCS ORIGINAL SUBMITTAL:	12/22/22
NRCS SECOND SUBMITTAL:	1/18/23



811

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REGISTERED PROFESSIONAL ENGINEER
No. PE043979
PATRICK J. WARNER

REVISIONS:

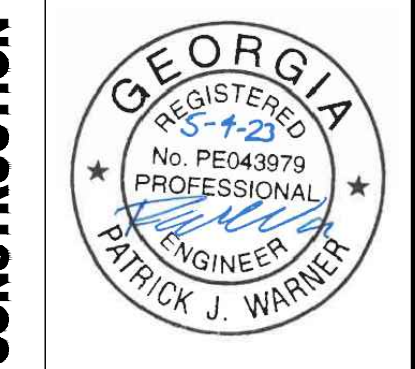
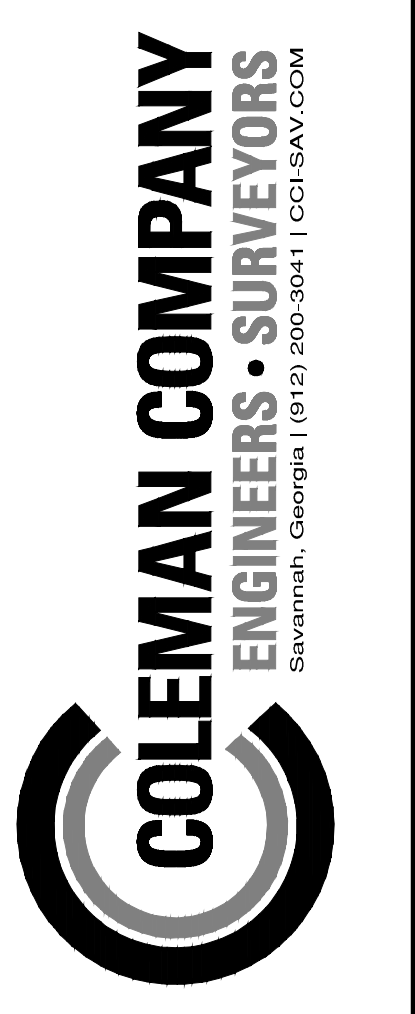
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SCALE: AS NOTED

INITIAL ES&PC PLAN

SHEET:
CE1.0



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REVISIONS:

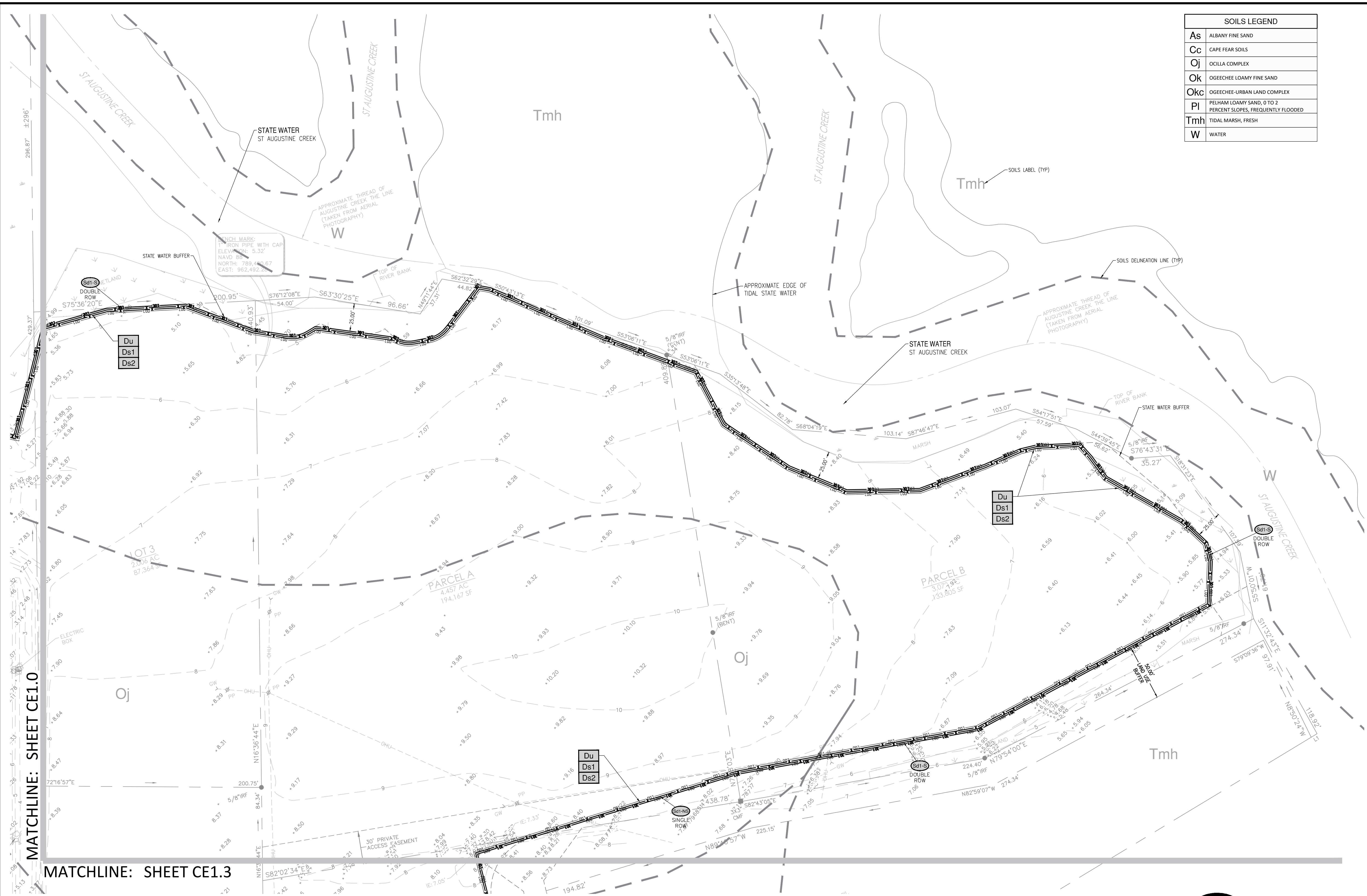
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INITIAL ES&PC PLAN

SHEET:
CE1.1

SOILS LEGEND	
As	ALBANY FINE SAND
Cc	CAPE FEAR SOILS
Oj	OCILLA COMPLEX
Ok	OGEECHEE LOAMY FINE SAND
Okc	OGEECHEE-URBAN LAND COMPLEX
Pl	PELHAM LOAMY SAND, 0 TO 2 PERCENT SLOPES, FREQUENTLY FLOODED
Tmh	TIDAL MARSH, FRESH
W	WATER



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SEQUENCE OF CONSTRUCTION

INITIAL PHASE:

1. INSTALL PERIMETER CONTROLS TO INCLUDE SILT FENCING AND CONSTRUCTION EXIT.
2. REMOVE DESIGNATED TREES AND CLEAR, GRUB AND GRADE SITE.
3. LIMIT CLEARING AND GRUBBING OF SITE TO ONLY AREAS NECESSARY FOR CONSTRUCTION AS SHOWN.

INTERMEDIATE PHASE:

1. MASS GRADE SITE TO FINAL ELEVATIONS.
2. INSTALL UNDERGROUND UTILITIES INCLUDING WATER LINES, SANITARY SEWER AND STORM SYSTEMS.

FINAL PHASE:

1. STABILIZE ALL REMAINING DISTURBED AREAS.
2. REMOVE ALL TEMPORARY EROSION CONTROL MEASURES AND STABILIZE DISTURBED AREAS ACCORDINGLY.

RATIONALE FOR SEDIMENT STORAGE IN SILT FENCE IN INITIAL PHASE:

PHASE 1 CLEARING IS LIMITED TO THE SILT FENCE AREA AND CONSTRUCTION ENTRANCE, THUS THE INITIAL PHASE IS A LINEAR PROJECT AS DEFINED BY THE EROSION CONTROL MANUAL. LINEAR PROJECTS CAN UTILIZE SILT FENCE FOR SEDIMENT STORAGE. ALSO, THE DISTURBED AREA IN THE INITIAL PHASE IS LESS THAN 1 ACRE. FINALLY, THE WAY THE EXISTING SITE IS CONFIGURED, MUCH MORE AREA WOULD NEED TO BE DISTURBED IN THE INITIAL PHASE TO INCLUDE SEDIMENT BASINS AND DIVERSION SWALES TO CONVEY WATER AND SEDIMENT TO SAID BASINS. THUS, SEDIMENT STORAGE IN SILT FENCE IS THE BEST OPTION FOR SEDIMENT STORAGE IN THE INITIAL PHASE.

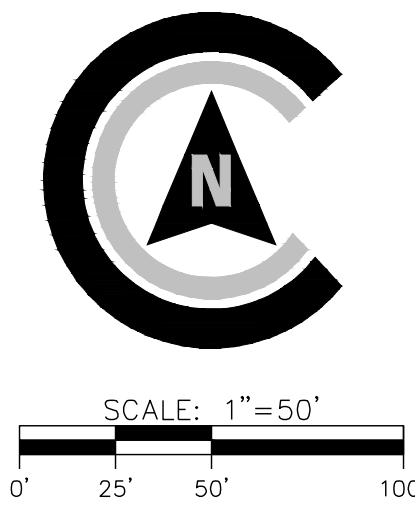
SEDIMENT STORAGE REQUIREMENTS

DISTURBED AREA (INITIAL): 6.869 LF SILT FENCE X 4 FT WIDE DISTURBANCE + Co (1,000 SF) = 28.476 SF (0.65 AC)
 REQUIRED STORAGE (INITIAL): 0.65 AC X 67 CY/AC = 43.55 CY + 1,176 CF
 SILT FENCE STORAGE: 842' LENGTH
 LENGTH: 6.869' B: 1.5" H: 1.5" (11.51) 1/2 X 6.869' = 7.727 CF
 STORAGE PROVIDED > REQUIRED STORAGE
 7.727 CF > 1,176 CF. THEREFORE ADEQUATE STORAGE IS PROVIDED IN THE INITIAL PHASE.

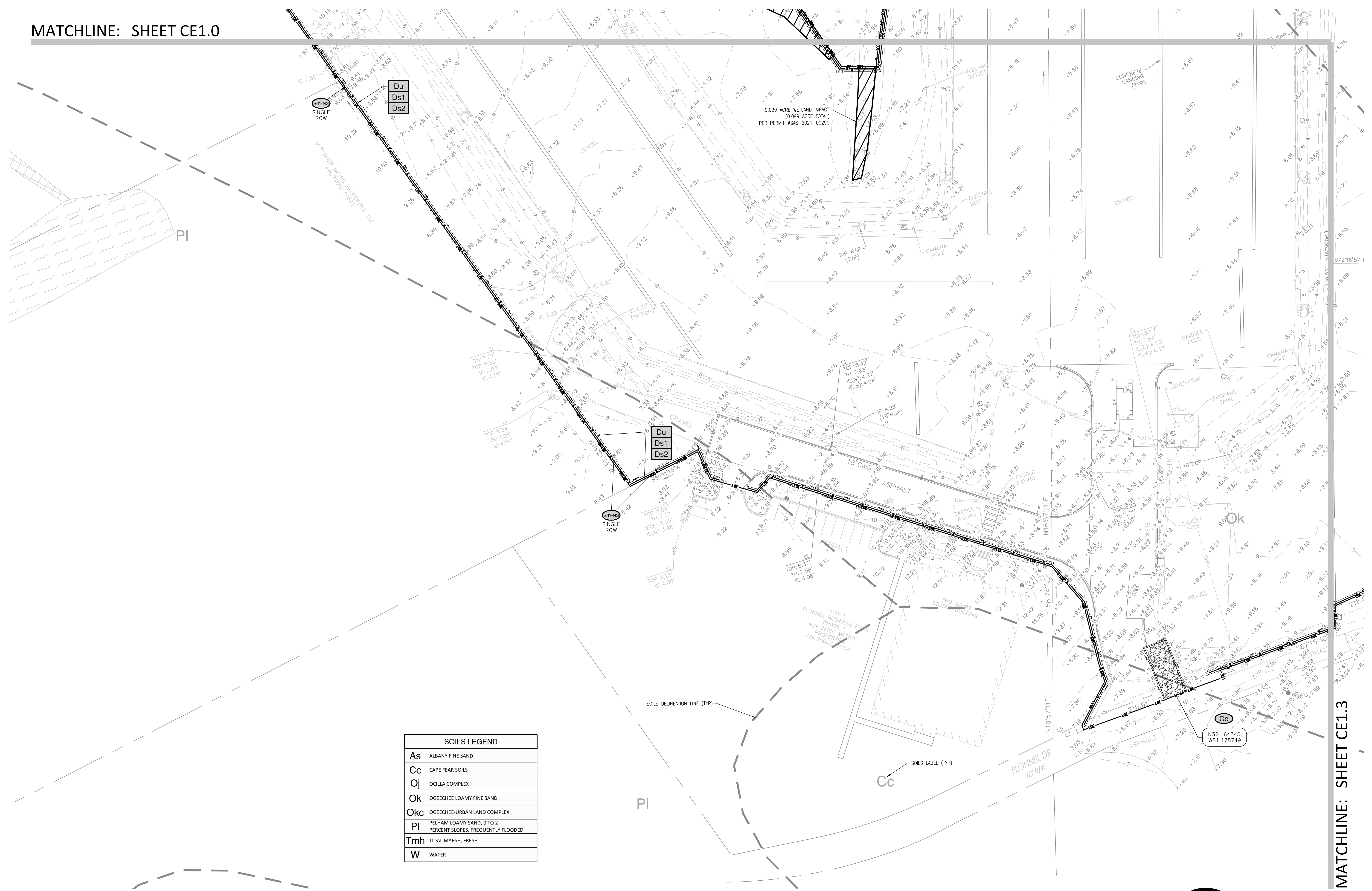
DESIGN PROFESSIONAL'S CREDENTIALS:

ENGINEER'S NAME (PRINTED): PATRICK WARNER, PE
 GEORGIA PE NUMBER: PE043979
 GSWCC LEVEL II CERTIFICATION NUMBER: 77002

NRCS ORIGINAL SUBMITTAL:	12/22/22
NRCS SECOND SUBMITTAL:	1/18/23



MATCHLINE: SHEET CE1.0



MATCHLINE: SHEET CE1.3

SOILS LEGEND	
As	ALBANY FINE SAND
Cc	CAPE FEAR SOILS
Oj	OCCILA COMPLEX
Ok	OGECHEE LOAMY FINE SAND
Okc	OGECHEE-URBAN LAND COMPLEX
Pi	PELHAM LOAMY SAND, 0 TO 2 PERCENT SLOPES, FREQUENTLY FLOODED
Tmh	TIDAL MARSH, FRESH
W	WATER

SEQUENCE OF CONSTRUCTION

INITIAL PHASE:

1. INSTALL PERIMETER CONTROLS TO INCLUDE SILT FENCING AND CONSTRUCTION EXIT.
2. REMOVE DESIGNATED TREES AND CLEAR, GRUB AND GRADE SITE.
3. LIMIT CLEARING AND GRUBBING OF SITE TO ONLY AREAS NECESSARY FOR CONSTRUCTION AS SHOWN.

INTERMEDIATE PHASE:

1. MASS GRADE SITE TO FINAL ELEVATIONS.
2. INSTALL UNDERGROUND UTILITIES INCLUDING WATER LINES, SANITARY SEWER AND STORM SYSTEMS.

FINAL PHASE:

1. STABILIZE ALL REMAINING DISTURBED AREAS.
2. REMOVE ALL TEMPORARY EROSION CONTROL MEASURES AND STABILIZE DISTURBED AREAS ACCORDINGLY.

RATIONALE FOR SEDIMENT STORAGE IN SILT FENCE IN INITIAL PHASE:

PHASE 1 CLEARING IS LIMITED TO THE SILT FENCE AREA AND CONSTRUCTION ENTRANCE. THIS INITIAL PHASE IS A LINEAR PROJECT AS DEFINED BY THE EROSION CONTROL MANUAL. LINEAR PROJECTS CAN UTILIZE SILT FENCE FOR SEDIMENT STORAGE. ALSO, THE DISTURBED AREA IN THE INITIAL PHASE IS LESS THAN 1 ACRE. FINALLY, THE WAY THE EXISTING SITE IS CONFIGURED, MUCH MORE AREA WOULD NEED TO BE DISTURBED IN THE INITIAL PHASE TO INCLUDE SEDIMENT BASINS AND DIVERSION SWALES TO CONVEY WATER AND SEDIMENT TO SAID BASINS. THUS, SEDIMENT STORAGE IN SILT FENCE IS THE BEST OPTION FOR SEDIMENT STORAGE IN THE INITIAL PHASE.

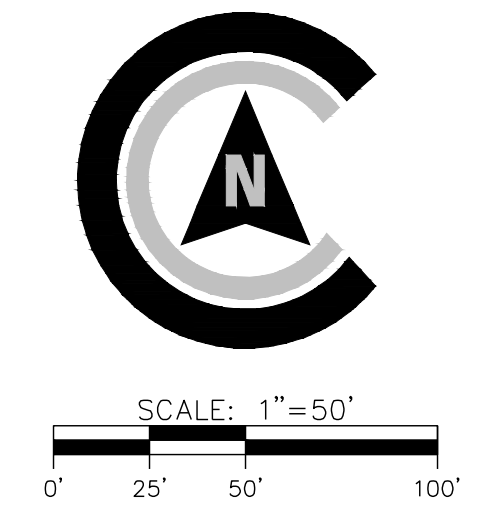
SEDIMENT STORAGE REQUIREMENTS

DISTURBED AREA (INITIAL): 6.869 LF SILT FENCE X 4 FT WIDE DISTURBANCE + Cc (1,000 SF) = 28,476 SF (0.65 AC)
 REQUIRED STORAGE (INITIAL): 0.65 AC X 67 CY/AC = 43.35 CY = 1,176 CF
 SILT FENCE STORAGE: 342' X LENGTH
 LENGTH: 6.869' B. 1.5' H. 1.5' ((1.5)(1.5)) X 6.869 = 7,727 CF
 STORAGE PROVIDED > REQUIRED STORAGE
 7,727 CF > 1,176 CF. THEREFORE ADEQUATE STORAGE IS PROVIDED IN THE INITIAL PHASE.

DESIGN PROFESSIONAL'S CREDENTIALS:

ENGINEER'S NAME (PRINTED): PATRICK WARNER, PE
 GEORGIA PE NUMBER: PE043979
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NRCS ORIGINAL SUBMITTAL:	12/22/22
NRCS SECOND SUBMITTAL:	1/18/23



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RELEASED FOR CONSTRUCTION

REGISTERED PROFESSIONAL ENGINEER
 No. PE043979
 PATRICK J. WARNER

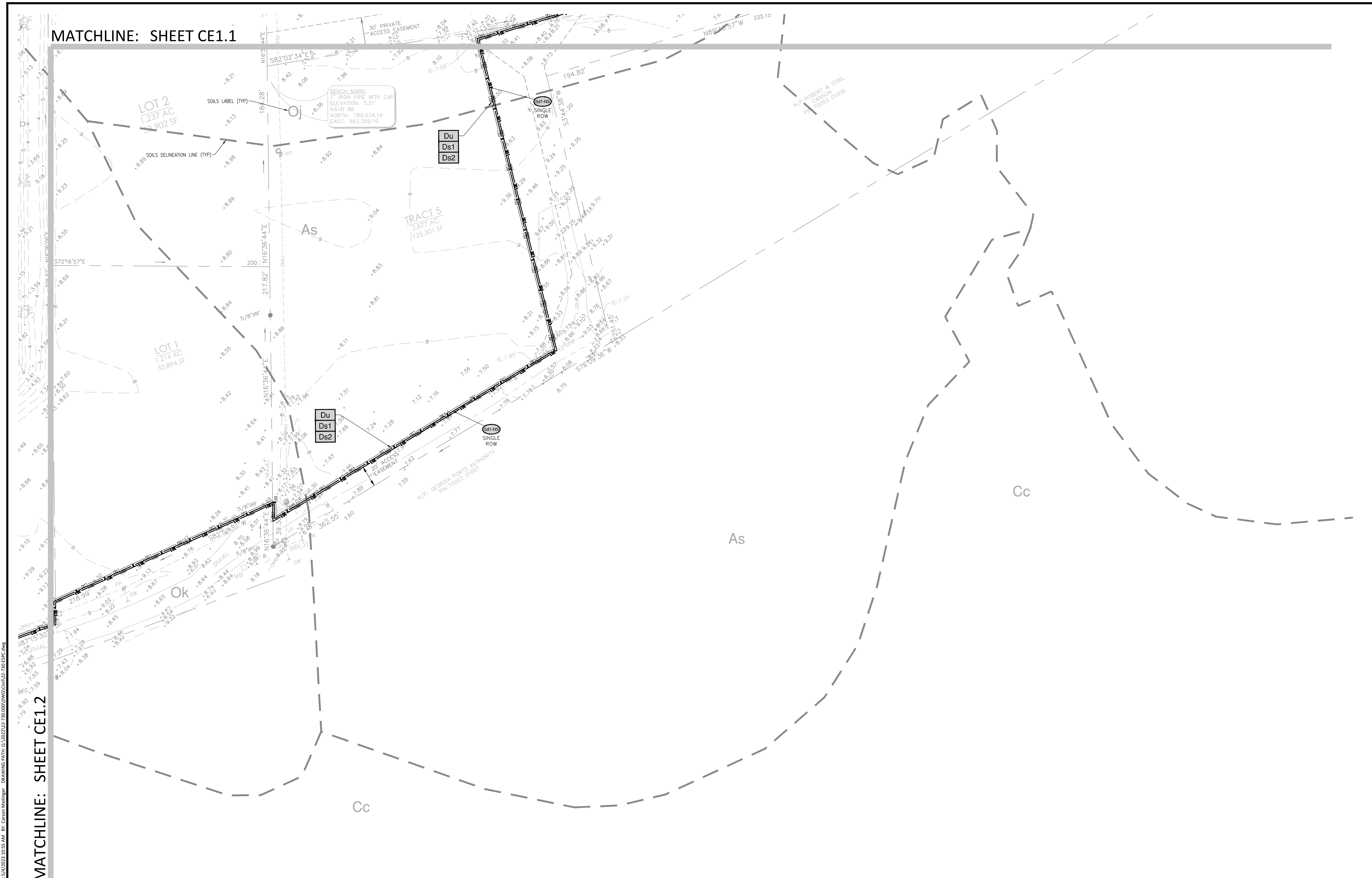
REVISIONS:

CIVIL CONSTRUCTION PLANS FOR
FLONNEL AVENUE LOGISTICS FACILITY
 CONTAINER YARD
 LOCATED IN PORT WENTWORTH, GEORGIA
 PREPARED FOR INTER-METRO PROPERTIES OF GEORGIA, LLC

JOB NUMBER: 22-730.000
 DATE: 05/04/23
 DRAWN BY: MEL
 CHECKED BY: PJW
 SCALE: AS NOTED

INITIAL ES&PC PLAN

SHEET:
CE1.2



MATCHLINE: SHEET CE1.1

MATCHLINE: SHEET CE1.2

- SEQUENCE OF CONSTRUCTION**
- INITIAL PHASE:**
1. INSTALL PERIMETER CONTROLS TO INCLUDE SILT FENCING AND CONSTRUCTION EXIT.
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RATIONALE FOR SEDIMENT STORAGE IN SILT FENCE IN INITIAL PHASE:

PHASE 1 CLEARING IS LIMITED TO THE SILT FENCE AREA AND CONSTRUCTION ENTRANCE, THUS THE INITIAL PHASE IS A LINEAR PROJECT AS DEFINED BY THE EROSION CONTROL MANUAL. LINEAR PROJECTS CAN UTILIZE SILT FENCE FOR SEDIMENT STORAGE. ALSO, THE DISTURBED AREA IN THE INITIAL PHASE IS LESS THAN 1 ACRE. FINALLY, THE WAY THE EXISTING SITE IS CONFIGURED, MUCH MORE AREA WOULD NEED TO BE DISTURBED IN THE INITIAL PHASE TO INCLUDE SEDIMENT BASINS AND DIVERSION SWALES TO CONVEY WATER AND SEDIMENT TO SAID BASINS. THUS, SEDIMENT STORAGE IN SILT FENCE IS THE BEST OPTION FOR SEDIMENT STORAGE IN THE INITIAL PHASE.

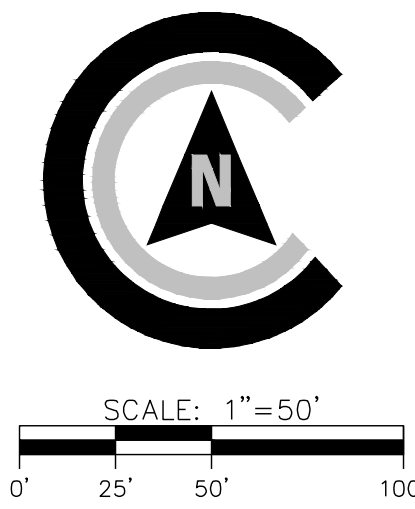
SEDIMENT STORAGE REQUIREMENTS

DISTURBED AREA (INITIAL): 6.869 LF SILT FENCE X 4 FT WIDE DISTURBANCE + Co (1,000 SF) = 28.476 SF (0.65 AC)
 REQUIRED STORAGE (INITIAL): 0.65 AC X 67 CY/AC = 43.55 CY = 1,176 CF
 SILT FENCE STORAGE: 6"X2' LENGTH
 LENGTH: 6.869' B: 1.5' H: 1.5' (11.51)(1.51)2 x 6.869 = 7.727 CF
 STORAGE PROVIDED (INITIAL): 7.727 CF > 1.176 CF. THEREFORE ADEQUATE STORAGE IS PROVIDED IN THE INITIAL PHASE.

DESIGN PROFESSIONAL'S CREDENTIALS:

ENGINEER'S NAME (PRINTED): PATRICK WARNER, PE
 GEORGIA PE NUMBER: PE043979
 GSWCC LEVEL II CERTIFICATION NUMBER: 77002

NRCS ORIGINAL SUBMITTAL:	12/22/22
NRCS SECOND SUBMITTAL:	1/18/23



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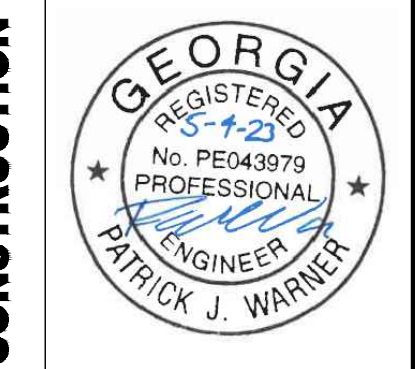
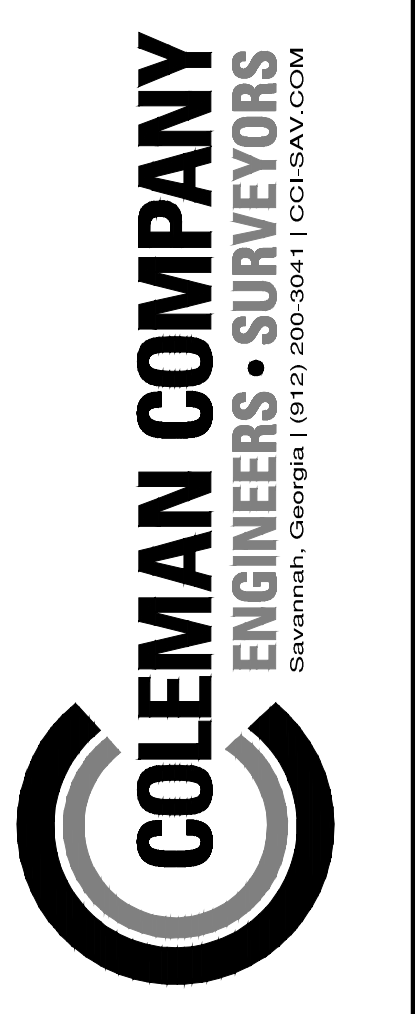
REVISIONS:

CIVIL CONSTRUCTION PLANS FOR
FLONNEL AVENUE LOGISTICS FACILITY
CONTAINER YARD
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JOB NUMBER: 22-730.000
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INITIAL ES&PC PLAN

SHEET:
CE1.3



RELEASED FOR CONSTRUCTION

REVISIONS:

CIVIL CONSTRUCTION PLANS FOR
FLONNEL AVENUE LOGISTICS FACILITY
 CONTAINER YARD
 LOCATED IN PORT WENTWORTH, GEORGIA
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JOB NUMBER: 22-730.000
 DATE: 05/04/23
 DRAWN BY: MEL
 CHECKED BY: PJW
 SCALE: AS NOTED

INTERM ES&PC PLAN

SHEET: CE2.0



MATCHLINE: SHEET CE2.2

MATCHLINE: SHEET CE2.1

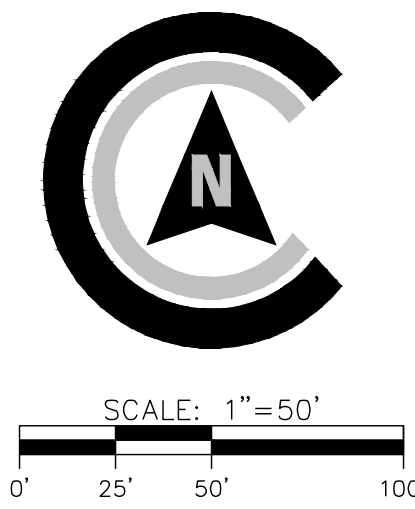
- SEQUENCE OF CONSTRUCTION**
- INITIAL PHASE:**
1. INSTALL PERIMETER CONTROLS TO INCLUDE SILT FENCING AND CONSTRUCTION EXIT.
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- INTERMEDIATE PHASE:**
1. MASS GRADE SITE TO FINAL ELEVATIONS.
 2. INSTALL UNDERGROUND UTILITIES INCLUDING WATER LINES, SANITARY SEWER AND STORM SYSTEMS.
- FINAL PHASE:**
1. STABILIZE ALL REMAINING DISTURBED AREAS.
 2. REMOVE ALL TEMPORARY EROSION CONTROL MEASURES AND STABILIZE DISTURBED AREAS ACCORDINGLY.

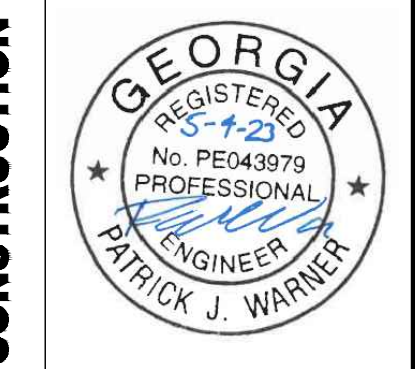
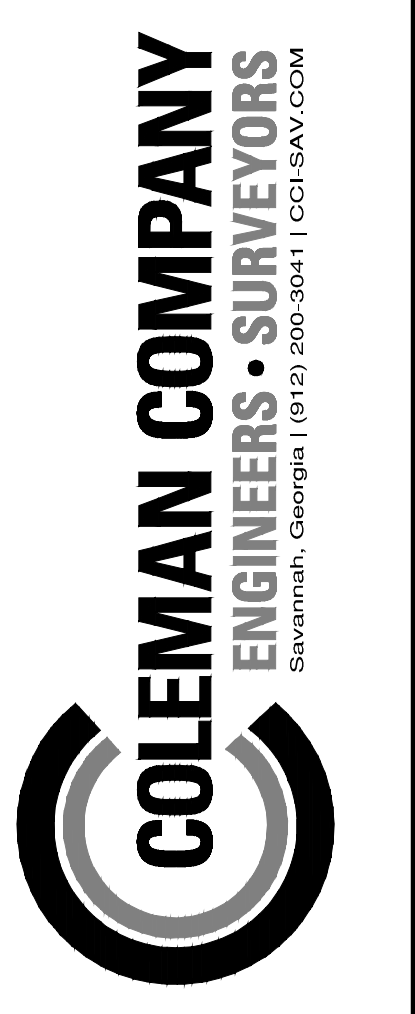
SEDIMENT STORAGE REQUIREMENTS

POND BASIN 1 (RT-P):	10.71 AC
REQUIRED STORAGE:	9.88 AC X 67 CY/AC = 718 CY = 19,346 CF
STORAGE PROVIDED:	POND 1
	ELEV 1 -0.50 = AREA: 31,126 SF (4' DEPTH)
	ELEV 2 3.50 = AREA: 56,100 SF (4' DEPTH)
	(TOP ELEV. AREA + BOTTOM ELEV. AREA)/2 = AREA IN SF X DEPTH OF POND IN FEET = CF (AVERAGE END METHOD)
	AREA: (31,126 + 56,100)/2 = 43,613 SF X 4' DEPTH = 174,452 CF
	174,452 CF > 19,386 CF THEREFORE ADEQUATE STORAGE IS PROVIDED
POND BASIN 2 (RT-P):	19.89 AC
REQUIRED STORAGE:	19.89 AC X 67 CY/AC = 1,333 CY = 35,991 CF
STORAGE PROVIDED:	POND 2
	ELEV 1 -0.50 = AREA: 54,136 SF (4' DEPTH)
	ELEV 2 3.50 = AREA: 82,458 SF (4' DEPTH)
	(TOP ELEV. AREA + BOTTOM ELEV. AREA)/2 = AREA IN SF X DEPTH OF POND IN FEET = CF (AVERAGE END METHOD)
	AREA: (54,136 + 82,458)/2 = 68,297 SF X 4' DEPTH = 273,188 CF
	273,188 CF > 35,991 CF THEREFORE ADEQUATE STORAGE IS PROVIDED

DESIGN PROFESSIONAL'S CREDENTIALS:

ENGINEER'S NAME (PRINTED):	PATRICK WARNER, PE
GEORGIA PE NUMBER:	PE043979
GSWCC LEVEL II CERTIFICATION NUMBER:	77002
NRCS ORIGINAL SUBMITTAL:	12/22/22
NRCS SECOND SUBMITTAL:	1/18/23





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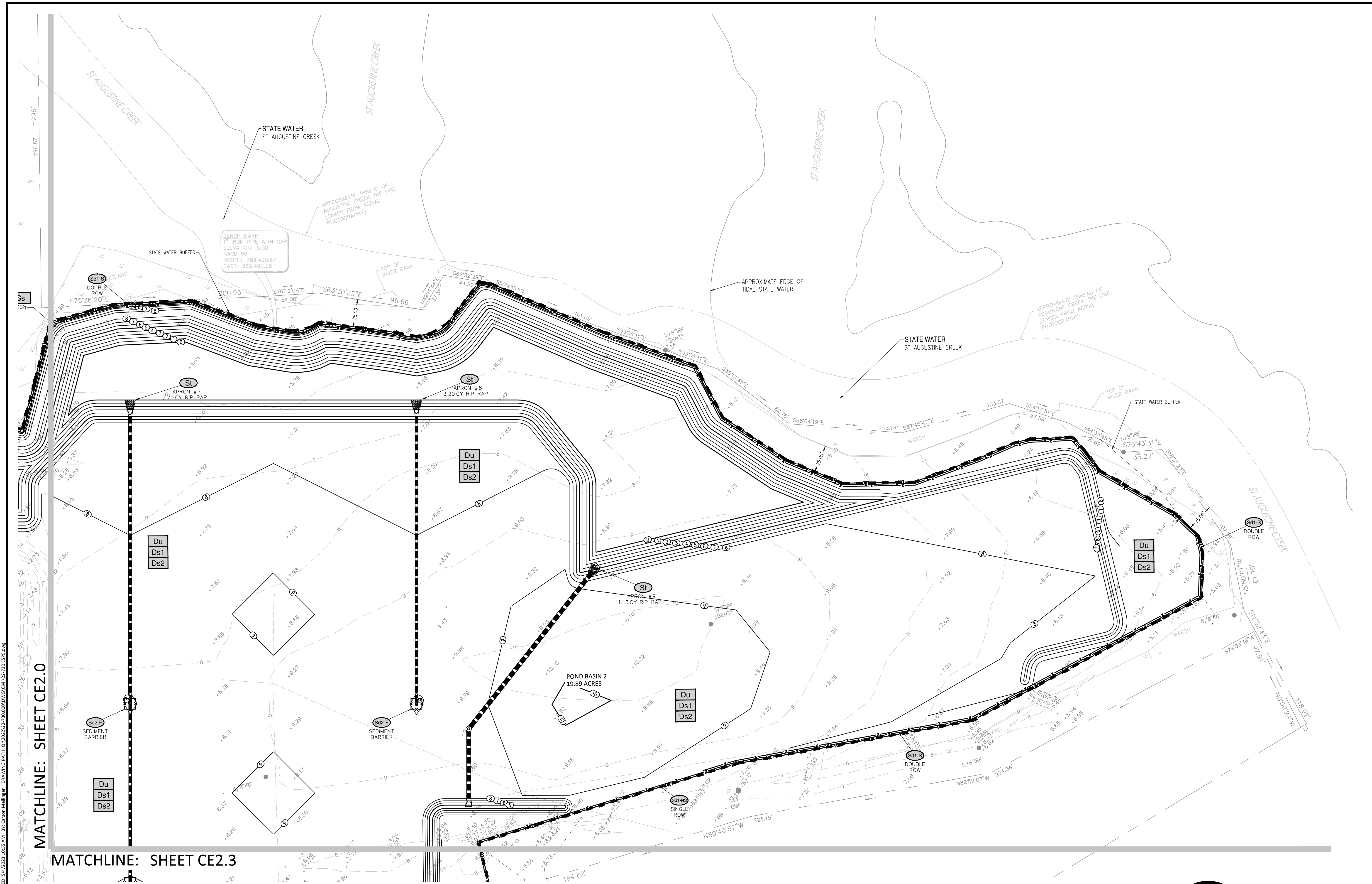
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 SCALE: AS NOTED

INTERM ES&PC
 PLAN

SHEET:
CE2.1



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MATCHLINE: SHEET CE2.0

MATCHLINE: SHEET CE2.3

SEQUENCE OF CONSTRUCTION

- INITIAL PHASE:**
1. INSTALL PERIMETER CONTROLS TO INCLUDE SILT FENCING AND CONSTRUCTION EXIT.
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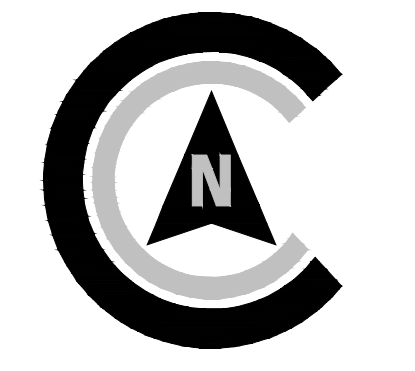
SEDIMENT STORAGE REQUIREMENTS

POND BASIN 1 (RT-P):	10.71 AC
REQUIRED STORAGE:	9.88 AC X 67 CY/AC = 718 CY = 19,346 CF
STORAGE PROVIDED:	POND 1
	ELEV 1 -0.50 = AREA: 31,126 SF (4' DEPTH)
	ELEV 2 -3.50 = AREA: 96,100 SF (4' DEPTH)
	(TOP ELEV. AREA + BOTTOM ELEV. AREA)/2 = AREA IN SF X DEPTH OF POND IN FEET = CF (AVERAGE END METHOD)
	AREA: (31,126 + 96,100)/2 = 43,613 SF X 4' DEPTH = 174,452 CF
	174,452 CF > 19,388 CF THEREFORE ADEQUATE STORAGE IS PROVIDED
POND BASIN 2 (RT-P):	19.89 AC
REQUIRED STORAGE:	19.89 AC X 67 CY/AC = 1,333 CY = 35,991 CF
STORAGE PROVIDED:	POND 2
	ELEV 1 -0.50 = AREA: 54,136 SF (4' DEPTH)
	ELEV 2 -3.50 = AREA: 82,458 SF (4' DEPTH)
	(TOP ELEV. AREA + BOTTOM ELEV. AREA)/2 = AREA IN SF X DEPTH OF POND IN FEET = CF (AVERAGE END METHOD)
	AREA: (54,136 + 82,458)/2 = 68,297 SF X 4' DEPTH = 273,188 CF
	273,188 CF > 35,991 CF THEREFORE ADEQUATE STORAGE IS PROVIDED

DESIGN PROFESSIONAL'S CREDENTIALS:

ENGINEER'S NAME (PRINTED): PATRICK WARNER, PE
 GEORGIA PE NUMBER: PE049979
 GSWCC LEVEL II CERTIFICATION NUMBER: 77002

NRCS ORIGINAL SUBMITTAL:	12/22/22
NRCS SECOND SUBMITTAL:	1/18/23



MATCHLINE: SHEET CE2.0



MATCHLINE: SHEET CE2.3

DATE PLOTTED: 5/6/2023 10:52 AM BY: Carson Mulligan DRAWING PATH: G:\2023\22-730\000\DWG\CIVIL\CE2.2.DWG LSP: C:\Program Files\Autodesk\AutoCAD 2023\lsp\acadlsp.dll

SEQUENCE OF CONSTRUCTION

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1. INSTALL PERIMETER CONTROLS TO INCLUDE SILT FENCING AND CONSTRUCTION EXIT.
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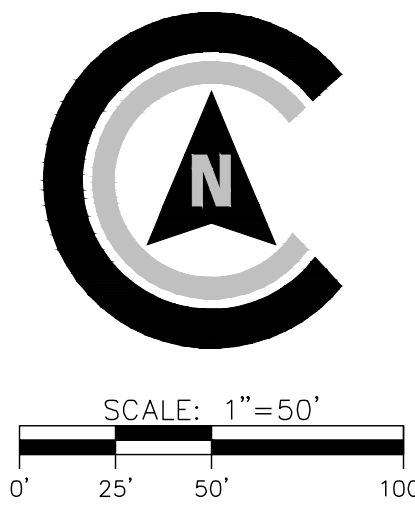
SEDIMENT STORAGE REQUIREMENTS

POND BASIN 1 (RT-P):	10.71 AC
REQUIRED STORAGE:	9.88 AC X 67 CY/AC = 718 CY = 19,346 CF
STORAGE PROVIDED:	POND 1
	ELEV 1 -0.50 = AREA: 31,126 SF (4' DEPTH)
	ELEV 2 3.50 = AREA: 56,100 SF (4' DEPTH)
	(TOP ELEV. AREA + BOTTOM ELEV. AREA)/2 = AREA IN SF X DEPTH OF POND IN FEET = CF (AVERAGE END METHOD)
	AREA: (31,126 + 56,100)/2 = 43,613 SF X 4' DEPTH = 174,452 CF
	174,452 CF > 19,386 CF THEREFORE ADEQUATE STORAGE IS PROVIDED
POND BASIN 2 (RT-P):	19.89 AC
REQUIRED STORAGE:	19.89 AC X 67 CY/AC = 1,333 CY = 35,991 CF
STORAGE PROVIDED:	POND 2
	ELEV 1 -0.50 = AREA: 54,136 SF (4' DEPTH)
	ELEV 2 3.50 = AREA: 92,458 SF (4' DEPTH)
	(TOP ELEV. AREA + BOTTOM ELEV. AREA)/2 = AREA IN SF X DEPTH OF POND IN FEET = CF (AVERAGE END METHOD)
	AREA: (54,136 + 92,458)/2 = 68,297 SF X 4' DEPTH = 273,188 CF
	273,188 CF > 35,991 CF THEREFORE ADEQUATE STORAGE IS PROVIDED

DESIGN PROFESSIONAL'S CREDENTIALS:

ENGINEER'S NAME (PRINTED): PATRICK WARNER, PE
 GEORGIA PE NUMBER: PE043979
 GSWCC LEVEL II CERTIFICATION NUMBER: 77002

NRCS ORIGINAL SUBMITTAL:	12/22/22
NRCS SECOND SUBMITTAL:	1/18/23



RELEASED FOR CONSTRUCTION

REVISIONS:

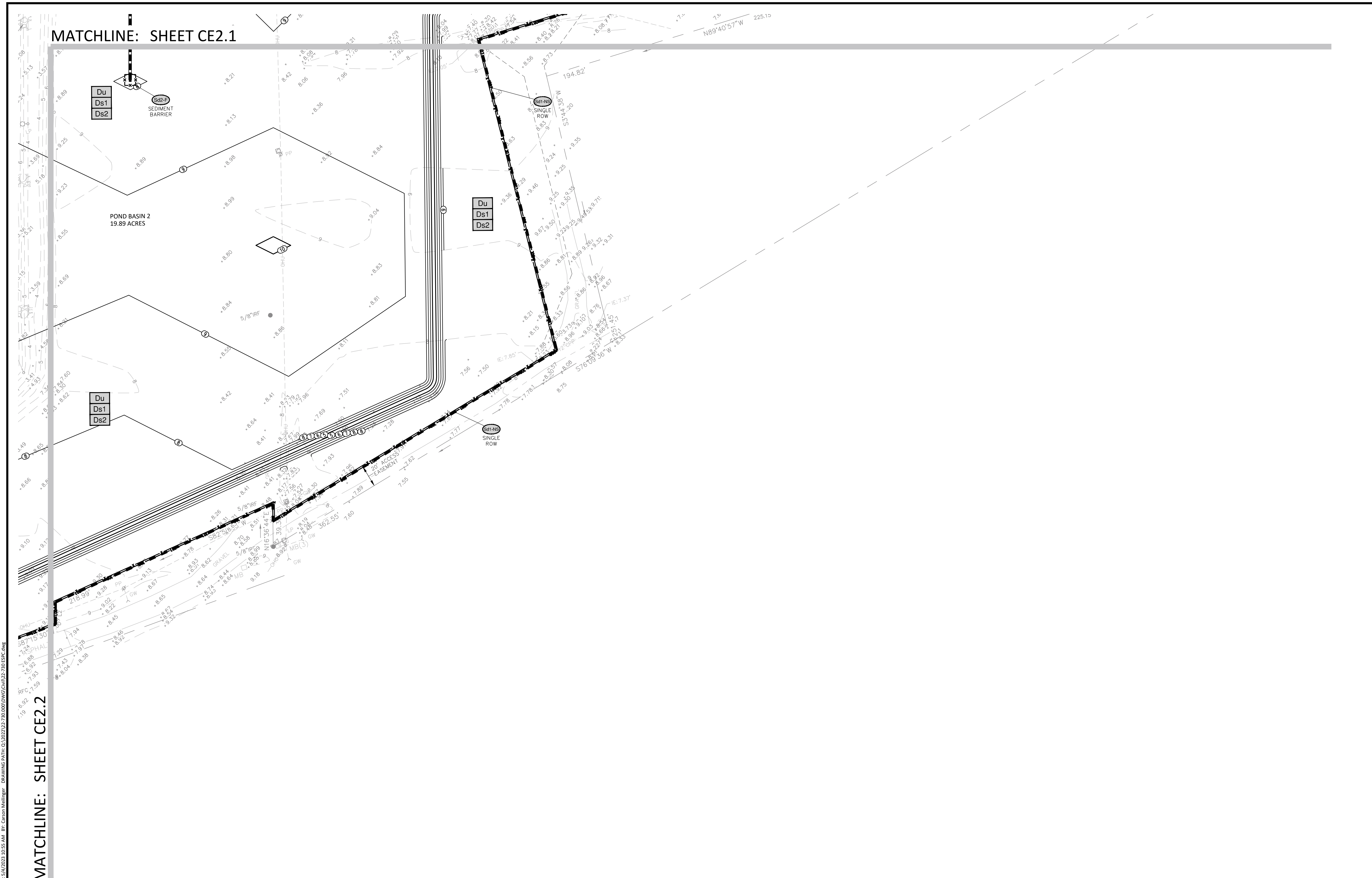
CIVIL CONSTRUCTION PLANS FOR
FLONNEL AVENUE LOGISTICS FACILITY
 CONTAINER YARD
 LOCATED IN PORT WENTWORTH, GEORGIA
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JOB NUMBER: 22-730.000
 DATE: 05/04/23
 DRAWN BY: MEL
 CHECKED BY: PJW
 SCALE: AS NOTED

INTERM ES&PC
 PLAN

SHEET:
CE2.2

Attachment: Flonnel Ave Logistics Yard 7-0003-01-001 S-Site Plan -2023-Civil Plans 5.4.23 (2530) : Site Plan Review Application (Specific) Flonnel Ave Logistics Yard 7-0003-01-001 June 2023



MATCHLINE: SHEET CE2.1

MATCHLINE: SHEET CE2.2

SEQUENCE OF CONSTRUCTION

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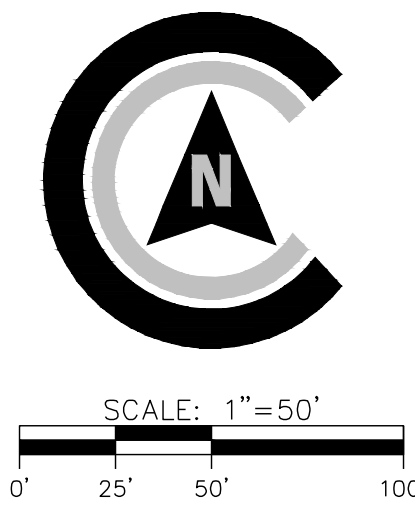
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	174,452 CF > 19,386 CF THEREFORE ADEQUATE STORAGE IS PROVIDED
POND BASIN 2 (RT-P):	19.89 AC
REQUIRED STORAGE:	19.89 AC X 67 CY/AC = 1,333 CY = 35,991 CF
STORAGE PROVIDED:	POND 2
	ELEV 1 -0.50 = AREA: 54,136 SF (4' DEPTH)
	ELEV 2 3.50 = AREA: 82,458 SF (4' DEPTH)
	(TOP ELEV. AREA + BOTTOM ELEV. AREA)/2 = AREA IN SF X DEPTH OF POND IN FEET = CF (AVERAGE END METHOD)
	AREA: (54,136 + 82,458)/2 = 68,297 SF X 4' DEPTH = 273,188 CF
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NRCS ORIGINAL SUBMITTAL:	12/22/22
NRCS SECOND SUBMITTAL:	1/18/23



Know what's below. Call before you dig.

RELEASED FOR CONSTRUCTION



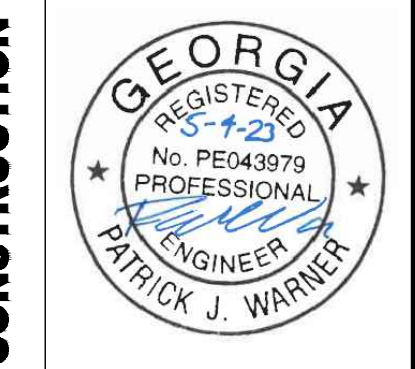
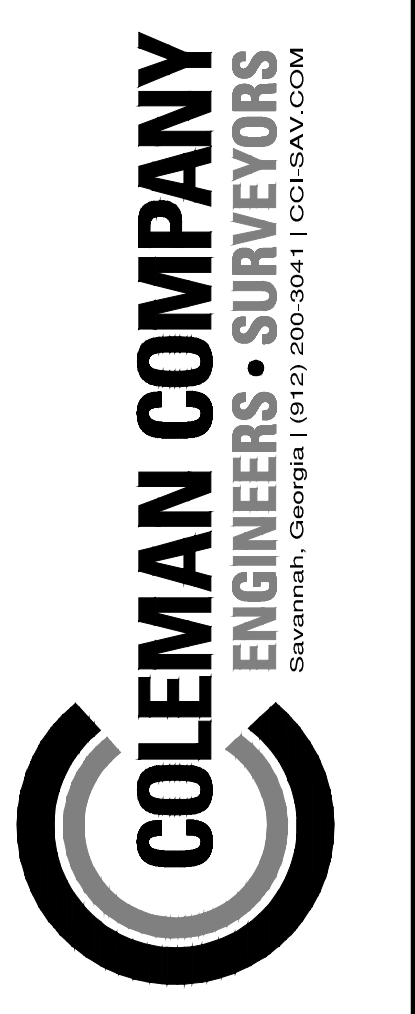
REVISIONS:

CIVIL CONSTRUCTION PLANS FOR
FLONNEL AVENUE LOGISTICS FACILITY
 CONTAINER YARD
 LOCATED IN PORT WENTWORTH, GEORGIA
 PREPARED FOR INTER-METRO PROPERTIES OF GEORGIA, LLC

JOB NUMBER: 22-730.000
 DATE: 05/04/23
 DRAWN BY: MEL
 CHECKED BY: PJW
 SCALE: AS NOTED

INTERM ES&PC PLAN

SHEET: CE2.3



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CIVIL CONSTRUCTION PLANS FOR
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FINAL ES&PC PLAN

SHEET:
CE3.0



MATCHLINE: SHEET CE3.2

MATCHLINE: SHEET CE3.1

SEQUENCE OF CONSTRUCTION

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1. INSTALL PERIMETER CONTROLS TO INCLUDE SILT FENCING AND CONSTRUCTION EXIT.
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1. MASS GRADE SITE TO FINAL ELEVATIONS.
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1. STABILIZE ALL REMAINING DISTURBED AREAS.
 2. REMOVE ALL TEMPORARY EROSION CONTROL MEASURES AND STABILIZE DISTURBED AREAS ACCORDINGLY.

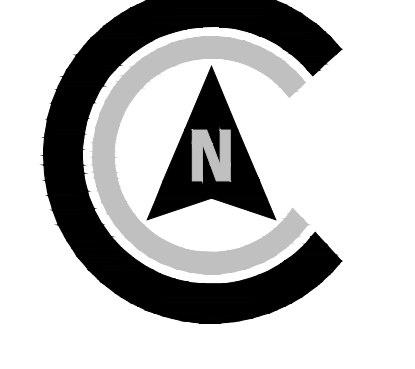
SEDIMENT STORAGE REQUIREMENTS

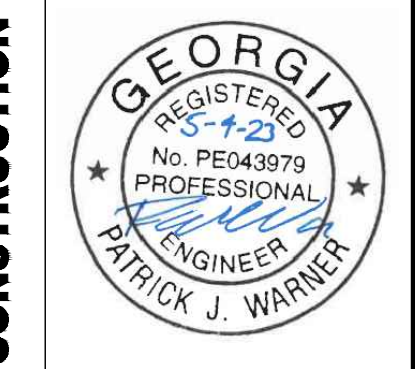
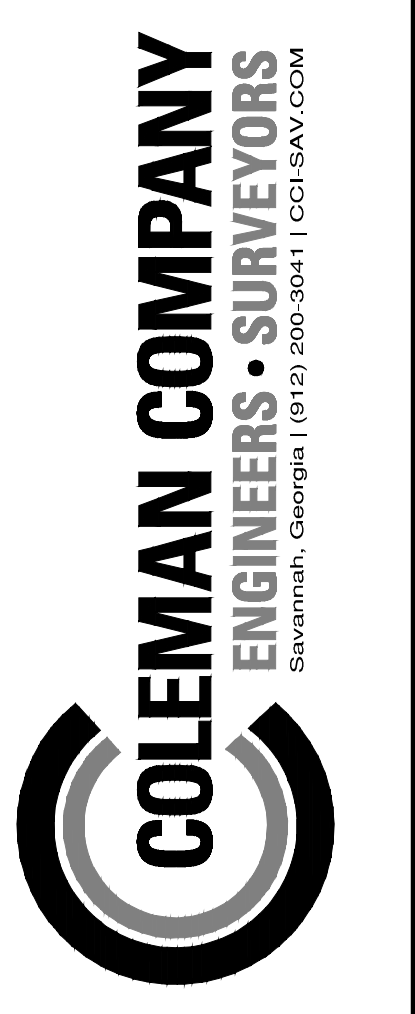
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	174,452 CF > 19,386 CF THEREFORE ADEQUATE STORAGE IS PROVIDED
POND BASIN 2 (RT-P):	19.89 AC
REQUIRED STORAGE:	19.89 AC X 67 CY/AC = 1,333 CY = 35,991 CF
STORAGE PROVIDED:	POND 2
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DESIGN PROFESSIONAL'S CREDENTIALS:

ENGINEER'S NAME (PRINTED): PATRICK WARNER, PE
 GEORGIA PE NUMBER: PE043979
 GSWCC LEVEL II CERTIFICATION NUMBER: 77002

NRCS ORIGINAL SUBMITTAL:	12/22/22
NRCS SECOND SUBMITTAL:	1/18/23





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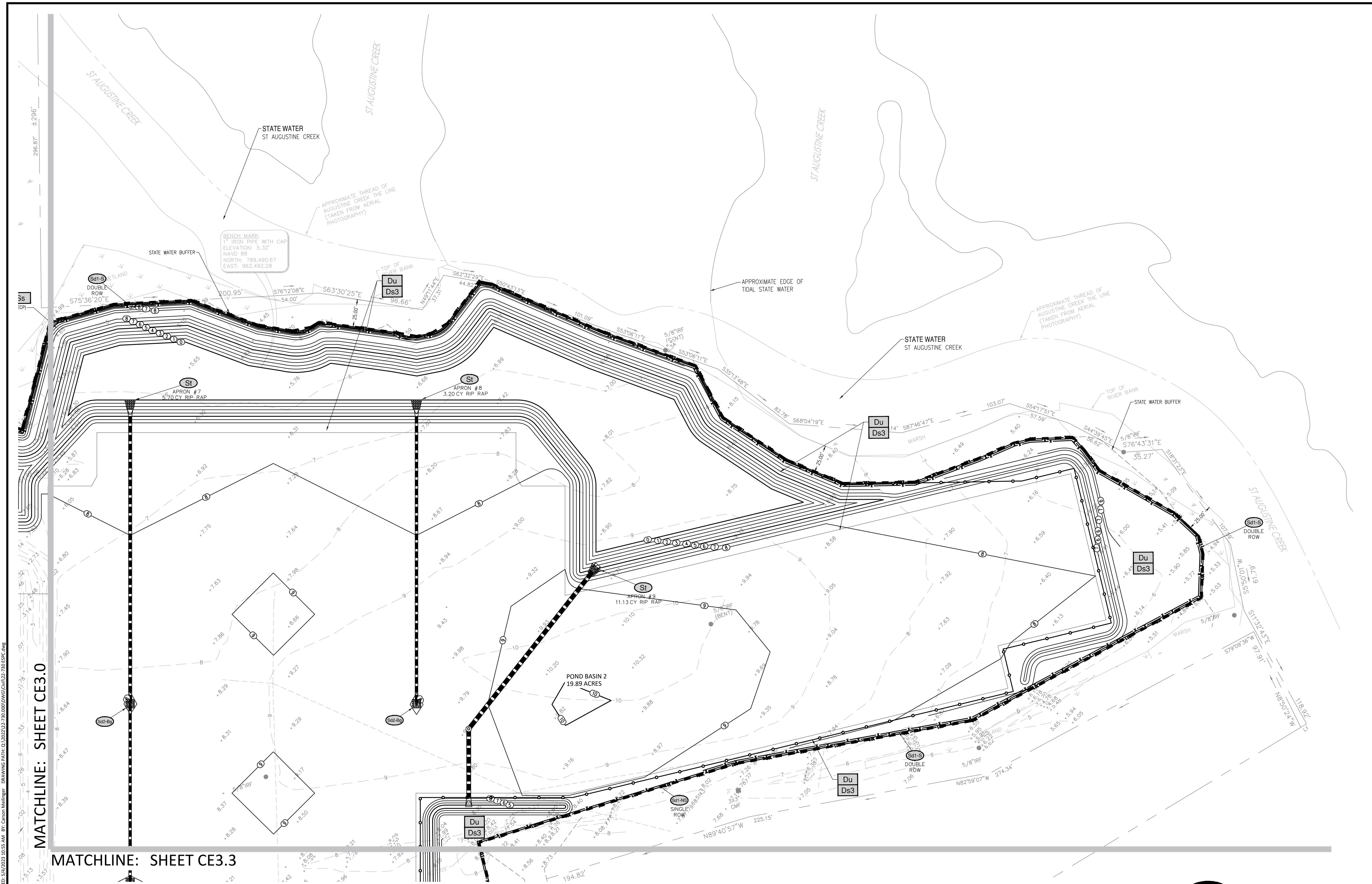
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FINAL ES&PC PLAN

SHEET:
CE3.1



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MATCHLINE: SHEET CE3.0

MATCHLINE: SHEET CE3.3

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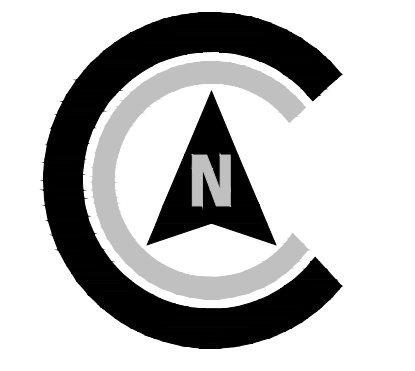
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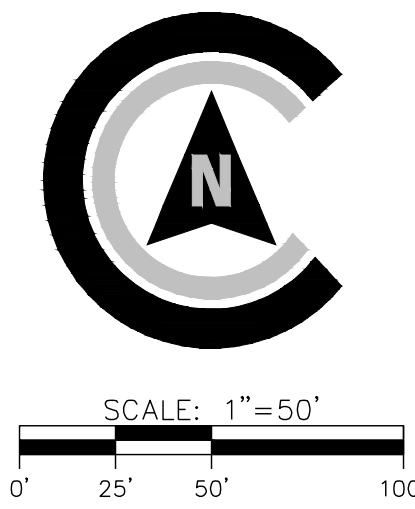
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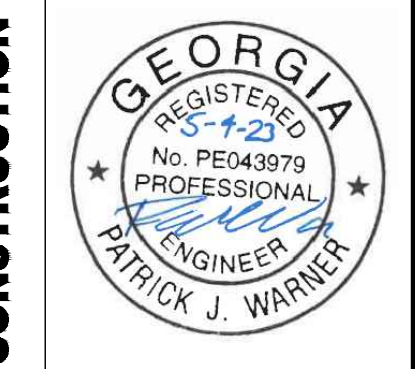
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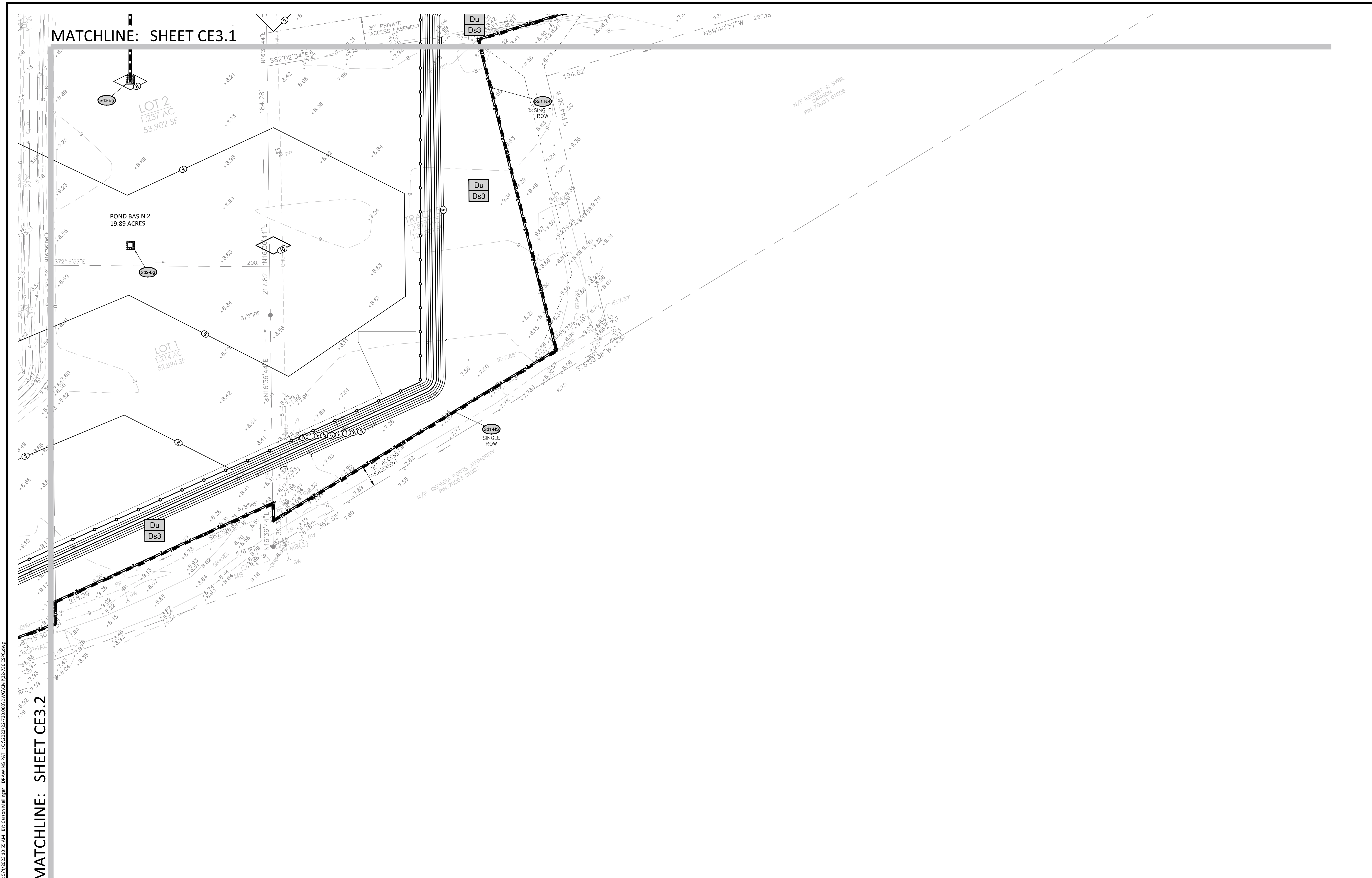
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FINAL ES&PC PLAN

SHEET:
CE3.2

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MATCHLINE: SHEET CE3.1

MATCHLINE: SHEET CE3.2

- SEQUENCE OF CONSTRUCTION**
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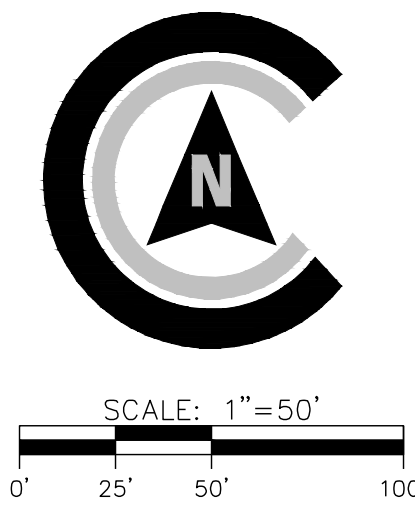
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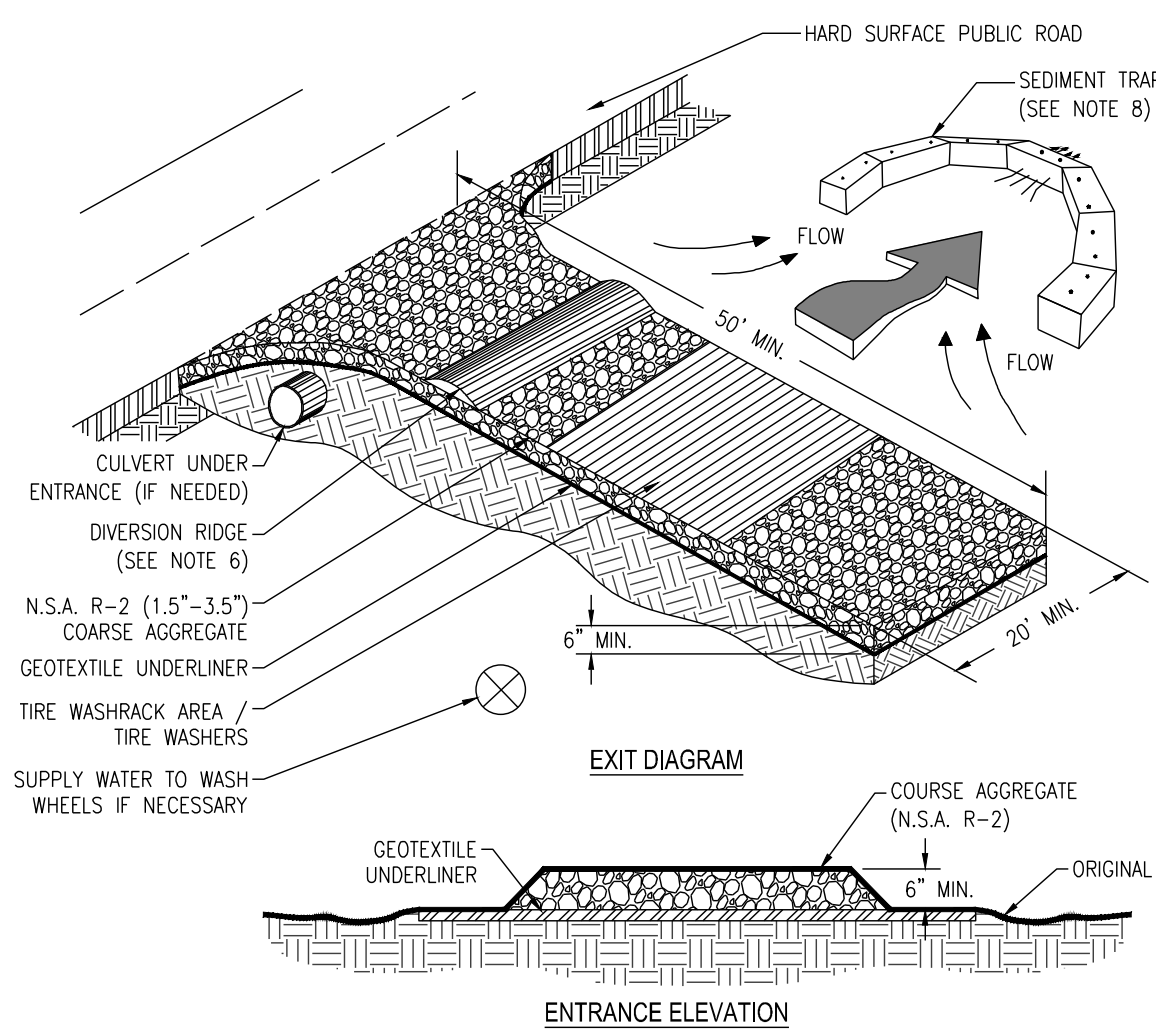
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SHEET:
CE3.3

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- NOTES:**
1. AVOID LOCATING ON STEEP SLOPES OR AT CURVES ON PUBLIC ROADS.
 2. REMOVE ALL VEGETATION AND OTHER UNSUITABLE MATERIAL FROM THE FOUNDATION AREA, GRADE, AND CROWN FOR POSITIVE DRAINAGE.
 3. AGGREGATE SIZE SHALL BE IN ACCORDANCE WITH NATIONAL STONE ASSOCIATION R-2 (1.5"-3.5" STONE).
 4. GRAVEL PAD SHALL HAVE A MINIMUM THICKNESS OF 6".
 5. PAD WIDTH SHALL BE EQUAL FULL WIDTH AT ALL POINTS OF VEHICULAR EGRESS, BUT NO LESS THAN 20'.
 6. A DIVERSION RIDGE SHOULD BE CONSTRUCTED WHEN GRADE TOWARD PAVED AREA IS GREATER THAN 2%.
 7. INSTALL PIPE UNDER THE ENTRANCE IF NEEDED TO MAINTAIN DRAINAGE DITCHES.
 8. WHEN WASHING IS REQUIRED, IT SHOULD BE DONE ON AN AREA STABILIZED WITH CRUSHED STONE THAT DRAINS INTO AN APPROVED SEDIMENT TRAP OR SEDIMENT BASIN (DIVERT ALL SURFACE RUNOFF AND DRAINAGE FROM THE ENTRANCE TO A SEDIMENT CONTROL DEVICE).
 9. WASHRACKS AND/OR TIRE WASHERS MAY BE REQUIRED DEPENDING ON SCALE AND CIRCUMSTANCE. IF NECESSARY, WASHRACK DESIGN MAY CONSIST OF ANY MATERIAL SUITABLE FOR TRUCK TRAFFIC THAT REMOVE MUD AND DIRT.
 10. MAINTAIN AREA IN A WAY THAT PREVENTS TRACKING AND/OR FLOW OF MUD ONTO PUBLIC RIGHTS-OF-WAYS. THIS MAY REQUIRE TOP DRESSING, REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT.

Co CRUSHED STONE CONSTRUCTION EXIT NOT TO SCALE

Ds1

MULCHING WITHOUT TEMPORARY GRASSING:
WOOD MULCH SHALL BE PLACED AT A RATE OF 140 TONS PER ACRE AND APPLIED TO A DEPTH OF 2 TO 3 INCHES.

TEMPORARY GRASSING:
AGRICULTURAL LIME: APPLY 1 TON/ACRE
FERTILIZER: FOR SOILS WITH VERY LOW FERTILITY, APPLY 500-700 LBS. 10-10-10 PER ACRE FERTILIZER SHOULD BE APPLIED BEFORE LAND PREPARATION AND INCORPORATED WITH A DISK, RIPPER OR CHISEL.

PERMANENT GRASSING:
AGRICULTURAL LIME IS REQUIRED AT THE RATE OF ONE TO TWO TONS PER ACRE UNLESS SOIL TESTS INDICATE OTHERWISE. GRADED AREAS REQUIRE LIME APPLICATION. IF LIME IS APPLIED WITHIN SIX MONTHS OF PLANTING PERMANENT PERENNIAL VEGETATION, ADDITIONAL LIME IS NOT REQUIRED. SOIL TEST ARE REQUIRED PRIOR TO PERMANENT VEGETATION. PERMANENT GRASSING SHALL BE SOD.

HYDRAULIC SEEDING:
MIX THE SEED (INOCULATED IF NEEDED), FERTILIZER, AND WOOD CELLULOSE OR WOOD PULP FIBER MULCH WITH WATER AND APPLY IN A SLURRY UNIFORMLY OVER THE AREA TO BE TREATED. APPLY WITHIN ONE HOUR AFTER THE MIXTURE IS MADE.

MULCHING:
MULCH IS REQUIRED FOR ALL PERMANENT VEGETATION APPLICATIONS. MULCH APPLIED TO SEEDBED AREAS SHALL ACHIEVE 75% SOIL COVER. SELECT THE MULCHING MATERIAL FROM THE FOLLOWING AND APPLY AS INDICATED.

1. DRY STRAW OR DRY HAY OF GOOD QUALITY AND FREE OF WEED SEEDS CAN BE USED. DRY STRAW SHALL BE APPLIED AT A RATE OF 2 TONS PER ACRE. DRY HAY SHALL BE APPLIED AT A RATE OF 2 1/2 TONS PER ACRE.
2. WOOD CELLULOSE MULCH OR WOOD PULP FIBER WILL BE USED WITH HYDRAULIC SEEDING. IT SHALL BE APPLIED AT THE RATE OF 500 POUNDS PER ACRE. DRY STRAW OR DRY HAY SHALL BE APPLIED (AT THE RATE INDICATED ABOVE) AFTER HYDRAULIC SEEDING.
3. ONE THOUSAND POUNDS OF WOOD CELLULOSE OR WOOD PULP FIBER, WHICH INCLUDES A TACKIFIER, SHALL BE USED WITH HYDRAULIC SEEDING ON SLOPES 3/4:1 OR STEEPER.
4. SERICEA LESPEDEZA HAY CONTAINING MATURE SEED SHALL BE APPLIED AT A RATE OF THREE TONS PER ACRE.
5. PINE STRAW OR PINE BARK SHALL BE APPLIED AT A THICKNESS OF 3 INCHES FOR BEDDING PURPOSES. OTHER SUITABLE MATERIALS IN SUFFICIENT QUANTITY MAY BE USED WHERE ORNAMENTALS OR OTHER SUITABLE MATERIALS IN SUFFICIENT QUANTITY MAY BE USED WHERE ORNAMENTALS OR OTHER GROUND COVERS ARE PLANTED. THIS IS NOT APPROPRIATE FOR SEEDBED AREAS.
6. WHEN USING TEMPORARY EROSION CONTROL BLANKETS OR BLOCK SOD, MULCH IS NOT REQUIRED.
7. BITUMINOUS TREATED ROVING MAY BE APPLIED ON PLANTED AREAS ON SLOPES, IN DITCHES OR DRY WATERWAYS TO PREVENT EROSION. BITUMINOUS TREATED ROVING SHALL BE APPLIED WITHIN 24 HOURS AFTER AN AREA HAS BEEN PLANTED. APPLICATION RATES AND MATERIALS MUST MEET GEORGIA DEPARTMENT OF TRANSPORTATION SPECIFICATIONS.
- * WOOD CELLULOSE AND WOOD PULP FIBERS SHALL NOT CONTAIN GERMINATION OR GROWTH INHIBITING FACTORS. THEY SHALL BE EVENLY DISPERSED WHEN AGITATED IN WATER. THE FIBERS SHALL CONTAIN A DYE TO ALLOW VISUAL METERING AND AID IN UNIFORM APPLICATION DURING SEEDING.

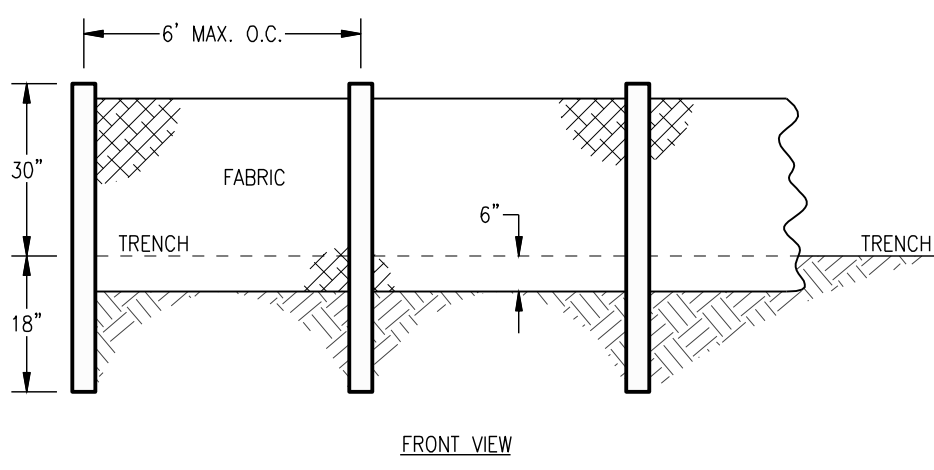
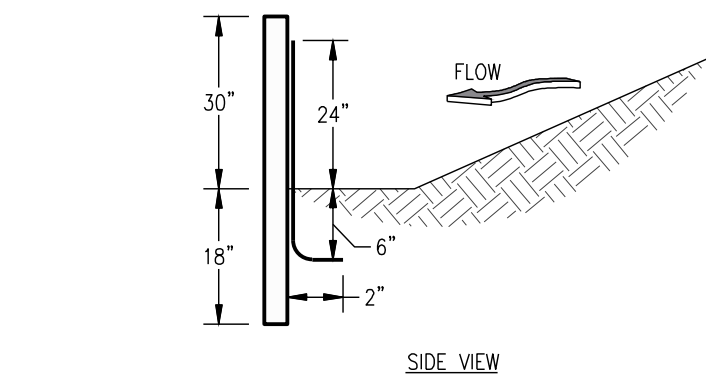
APPLYING MULCH:
STRAW OR HAY MULCH WILL BE SPREAD UNIFORMLY WITHIN 24 HOURS AFTER SEEDING AND/OR PLANTING. THE MULCH MAY BE SPREAD BY BLOWER-TYPE SPREADING EQUIPMENT, OTHER SPREADING EQUIPMENT OR BY HAND. MULCH SHALL BE APPLIED TO COVER 75% OF THE SOIL SURFACE. WOOD CELLULOSE OR WOOD FIBER MULCH SHALL BE APPLIED UNIFORMLY WITH HYDRAULIC SEEDING EQUIPMENT.

DESIGN PROFESSIONAL'S CREDENTIALS:
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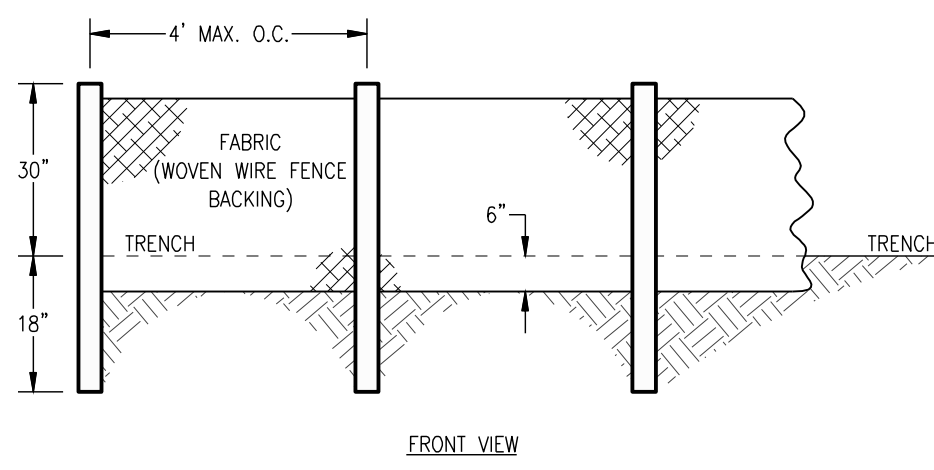
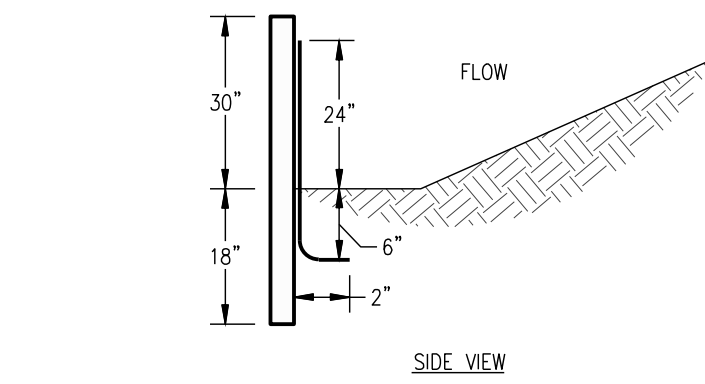


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NOTE:
1. USE STEEL OR WOOD POSTS OR AS SPECIFIED BY THE EROSION, SEDIMENTATION, AND POLLUTION CONTROL PLAN.

Sd1-NS SILT FENCE - TYPE NON-SENSITIVE NOT TO SCALE



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Ds3 DISTURBED AREA STABILIZATION (WITH PERMANENT VEGETATION)

DEFINITION:
THE PLANTING OF PERENNIAL VEGETATION SUCH AS TREES, SHRUBS, VINES, GRASSES, OR LEGUMES ON EXPOSED AREAS FOR FINAL PERMANENT STABILIZATION. PERMANENT PERENNIAL VEGETATION SHALL BE USED TO ACHIEVE FINAL STABILIZATION.

CONDITIONS:
PERMANENT PERENNIAL VEGETATION IS USED TO PROVIDE A PROTECTIVE COVER FOR EXPOSED AREAS INCLUDING CUTS, FILLS, DAMS, AND OTHER DENuded AREAS.

SPECIFICATIONS:
GRADING AND SHAPING
GRADING AND SHAPING MAY NOT BE REQUIRED WHERE HYDRAULIC SEEDING AND FERTILIZING EQUIPMENT IS TO BE USED. VERTICAL BANKS SHALL BE SLOPED TO ENABLE PLANT ESTABLISHMENT.

CONCENTRATIONS OF WATER THAT WILL CAUSE EXCESSIVE SOIL EROSION SHALL BE DIVERTED TO A SAFE OUTLET. DIVERSIONS AND OTHER TREATMENT PRACTICES SHALL CONFORM WITH THE APPROPRIATE STANDARDS AND SPECIFICATIONS.

SEEDBED PREPARATION:
SEEDBED PREPARATION MAY NOT BE REQUIRED WHERE HYDRAULIC SEEDING AND FERTILIZING EQUIPMENT IS TO BE USED. WHEN CONVENTIONAL SEEDING IS TO BE USED, SEEDBED PREPARATION WILL BE DONE AS FOLLOWS:

BROADCAST PLANTINGS:
1. TILLAGE AT A MINIMUM, SHALL ADEQUATELY LOOSEN THE SOIL TO A DEPTH OF 4 TO 6 INCHES; ALLEVATE COMPACTION; INCORPORATE LIME AND FERTILIZER; SMOOTH AND FIRM THE SOIL; ALLOW FOR THE PROPER PLACEMENT OF SEED, SPRIGS, OR PLANTS; AND ALLOW FOR THE ANCHORING OF STRAW OR HAY MULCH IF A DISK IS TO BE USED.

2. TILLAGE MAY BE DONE WITH ANY SUITABLE EQUIPMENT.
3. TILLAGE SHOULD BE DONE ON THE CONTOUR WHERE FEASIBLE.

4. ON SLOPES TOO STEEP FOR THE SAFE OPERATION OF TILLAGE EQUIPMENT, THE SOIL SURFACE SHALL BE PITTED OR TRENCHED ACROSS THE SLOPE WITH APPROPRIATE HAND TOOLS TO PROVIDE TWO PLACES 6 TO 8 INCHES APART IN WHICH SEED MAY LODGE AND GERMINATE. HYDRAULIC SEEDING MAY ALSO BE USED.

INDIVIDUAL PLANTS:
1. WHERE INDIVIDUAL PLANTS ARE TO BE SET, THE SOIL SHALL BE PREPARED BY EXCAVATING HOLES, OPENING FURROWS, OR DIBBLE PLANTING.
2. FOR NURSERY STOCK PLANTS, HOLES SHALL BE LARGE ENOUGH TO ACCOMMODATE ROOTS WITHOUT CROWDING.
3. WHERE PINE SEEDLINGS ARE TO BE PLANTED, SUBSOIL UNDER THE ROW 36 INCHES DEEP ON THE CONTOUR FOUR TO SIX MONTHS PRIOR TO PLANTING. SUBSOILING SHOULD BE DONE WHEN THE SOIL IS DRY, PREFERABLY IN AUGUST OR SEPTEMBER.

ANCHORING MULCH:
ANCHOR STRAW OR HAY MULCH IMMEDIATELY AFTER APPLICATION BY ONE OF THE FOLLOWING METHODS:
1. EMULSIFIED ASPHALT CAN BE (A) SPRAYED UNIFORMLY ONTO THE MULCH AS IT IS EJECTED FROM THE BLOWER MACHINE OR (B) SPRAYED ON THE MULCH IMMEDIATELY FOLLOWING APPLICATION WHEN STRAW OR HAY IS SPREAD BY METHODS OTHER THAN SPECIAL BLOWER EQUIPMENT.

THE COMBINATION OF ASPHALT EMULSION AND WATER SHALL CONSIST OF A HOMOGENEOUS MIXTURE SATISFACTORY FOR SPRAYING. THE MIXTURE SHALL CONSIST OF 100 GALLONS OF GRADE SS-1H OR CSS-1H EMULSIFIED ASPHALT AND 10 GALLONS OF WATER PER TON OF MULCH.

CARE SHALL BE TAKEN AT ALL TIMES TO PROTECT STATE WATERS, THE PUBLIC ADJACENT PROPERTY, PAVEMENTS, CURBS, SIDEWALKS, AND ALL OTHER STRUCTURES FROM ASPHALT DISCOLORATION.

2. HAY AND STRAW MULCH SHALL BE PRESSED INTO THE SOIL IMMEDIATELY AFTER THE MULCH IS SPREAD. A SPECIAL "PACKER DISK" OR DISK HARROW WITH THE DISKS SET STRAIGHT MAY BE USED. THE DISKS MAY BE SMOOTH OR SERRATED AND SHOULD BE 20 INCHES OR MORE IN DIAMETER AND 8 TO 12 INCHES APART. THE EDGES OF THE DISKS SHALL BE DULL ENOUGH TO PRESS THE MULCH INTO THE GROUND WITHOUT CUTTING IT, LEAVING MUCH OF IT IN AN UPRIGHT POSITION. MULCH SHALL NOT BE PLOWED INTO THE SOIL.

NO-TILL SEEDING:
NO-TILL SEEDING IS PERMISSIBLE INTO ANNUAL COVER CROPS WHEN PLANTING IS DONE FOLLOWING MATURITY OF THE COVER CROP OR IF THE TEMPORARY COVER STAND IS SPARSE ENOUGH TO ALLOW ADEQUATE GROWTH OF THE PERMANENT (PERENNIAL) SPECIES. NO-TILL SEEDING SHALL BE DONE WITH APPROPRIATE NO-TILL SEEDING EQUIPMENT. THE SEED MUST BE UNIFORMLY DISTRIBUTED AND PLANTED AT THE PROPER DEPTH.

SEEDING RATES FOR TEMPORARY SEEDING:

SPECIES	RATE PER 1,000 SF	RATE PER ACRE*	PLANTING DATES**
RYE	3.9 LBS	3 BU	9/1-3/1
RYEGRASS	0.9 LB	40 LBS	8/15-4/1
ANNUAL LESPEDEZA	0.9 LB	40 LBS	1/15-3/15
WEeping LOVEGRASS	0.1 LB	4 LBS	2/15-6/15
SUDANGRASS	1.4 LBS	60 LBS	3/1-8-1
BROWNTOP MILLET	0.9 LB	40 LBS	4/1-7/15
WHEAT	4.1 LBS	3 BU	9/15-2/1

* UNUSUAL SITE CONDITIONS MAY REQUIRE HEAVIER SEEDING RATES.
** SEEDING DATES MAY NEED TO BE ALTERED TO FIT TEMPERATURE VARIATIONS AND CONDITIONS.

DEFINITION:
SHRUBS, VINES AND SPRIGS MAY BE PLANTED WITH APPROPRIATE PLANTERS OR HAND PINE TREES SHALL BE PLANTED MANUALLY IN THE SUBSOIL FURROW. EACH PLANT SHALL BE SET IN A MANNER THAT WILL AVOID CROWDING THE ROOTS. NURSERY STOCK PLANTS SHALL BE PLANTED AT THE SAME DEPTH OR SLIGHTLY DEEPER THAN THEY GREW AT THE NURSERY. THE TIPS OF VINES AND SPRIGS MUST BE AT OR SLIGHTLY ABOVE THE GROUND SURFACE. WHERE INDIVIDUAL HOLES ARE DUG, FERTILIZER SHALL BE PLACED IN THE BOTTOM OF THE HOLE, TWO INCHES OF SOIL SHALL BE ADDED AND THE PLANT SHALL BE SET IN THE HOLE.

MULCHING:
MULCH IS REQUIRED FOR ALL PERMANENT VEGETATION APPLICATIONS. MULCH APPLIED TO SEEDBED AREAS SHALL ACHIEVE 75% SOIL COVER. SELECT THE MULCHING MATERIAL FROM THE FOLLOWING AND APPLY AS INDICATED:

1. DRY STRAW OR DRY HAY OF GOOD QUALITY AND FREE OF WEED SEEDS CAN BE USED. DRY STRAW SHALL BE APPLIED AT THE RATE OF 2 TONS PER ACRE. DRY HAY SHALL BE APPLIED AT A RATE OF 2 1/2 TONS PER ACRE.

2. WOOD CELLULOSE MULCH OR WOOD PULP FIBER SHALL BE USED WITH HYDRAULIC SEEDING. IT SHALL BE APPLIED AT THE RATE OF 500 POUNDS PER ACRE. DRYSTRAW OR DRY HAY SHALL BE APPLIED (AT THE RATE INDICATED ABOVE) AFTER HYDRAULIC SEEDING.

3. ONE THOUSAND POUNDS OF WOOD CELLULOSE OR WOOD PULP FIBER, WHICH INCLUDES A TACKIFIER, SHALL BE USED WITH HYDRAULIC SEEDING ON SLOPES 3/4:1 OR STEEPER.

4. SERICEA LESPEDEZA HAY CONTAINING MATURE SEED SHALL BE APPLIED AT A RATE OF THREE TONS PER ACRE.

5. PINE STRAW OR PINE BARK SHALL BE APPLIED AT A THICKNESS OF 3 INCHES FOR BEDDING PURPOSES. OTHER SUITABLE MATERIALS IN SUFFICIENT QUANTITY MAY BE USED WHERE ORNAMENTALS OR OTHER GROUND COVERS ARE PLANTED. THIS IS NOT APPROPRIATE FOR SEEDBED AREAS.

6. WHEN USING TEMPORARY EROSION CONTROL BLANKETS OR BLOCK SOD, MULCH IS NOT REQUIRED.

7. BITUMINOUS TREATED ROVING MAY BE APPLIED ON PLANTED AREAS ON SLOPES, IN DITCHES OR DRY WATERWAYS TO PREVENT EROSION. BITUMINOUS TREATED ROVING SHALL BE APPLIED WITHIN 24 HOURS AFTER AN AREA HAS BEEN PLANTED. APPLICATION RATES AND MATERIALS MUST MEET GEORGIA DEPARTMENT OF TRANSPORTATION SPECIFICATIONS.

WOOD CELLULOSE AND WOOD PULP FIBERS SHALL NOT CONTAIN GERMINATION OR GROWTH INHIBITING FACTORS. THEY SHALL BE EVENLY DISPERSED WHEN AGITATED IN WATER. THE FIBERS SHALL CONTAIN A DYE TO ALLOW VISUAL METERING AND AID IN UNIFORM APPLICATION DURING SEEDING.

APPLYING MULCH:
STRAW OR HAY MULCH WILL BE SPREAD UNIFORMLY WITHIN 24 HOURS AFTER SEEDING AND/OR PLANTING. THE MULCH MAY BE SPREAD BY BLOWER-TYPE SPREADING EQUIPMENT, OTHER SPREADING EQUIPMENT OR BY HAND. MULCH SHALL BE APPLIED TO COVER 75% OF THE SOIL SURFACE.

ANCHORING MULCH:
ANCHOR STRAW OR HAY MULCH IMMEDIATELY AFTER APPLICATION BY ONE OF THE FOLLOWING METHODS:
1. EMULSIFIED ASPHALT CAN BE (A) SPRAYED UNIFORMLY ONTO THE MULCH AS IT IS EJECTED FROM THE BLOWER MACHINE OR (B) SPRAYED ON THE MULCH IMMEDIATELY FOLLOWING APPLICATION WHEN STRAW OR HAY IS SPREAD BY METHODS OTHER THAN SPECIAL BLOWER EQUIPMENT.

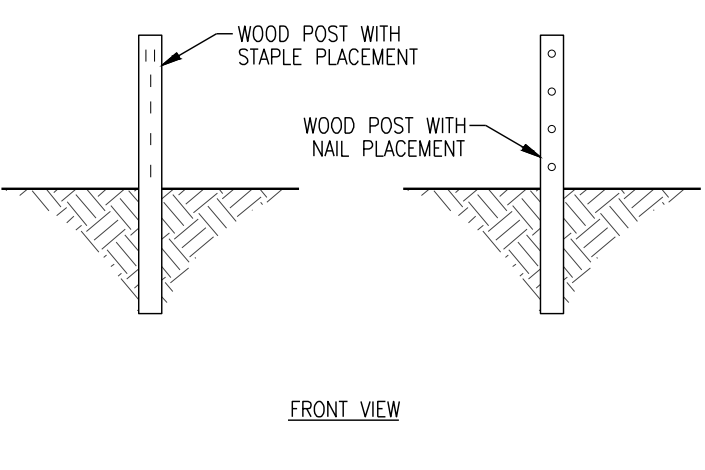
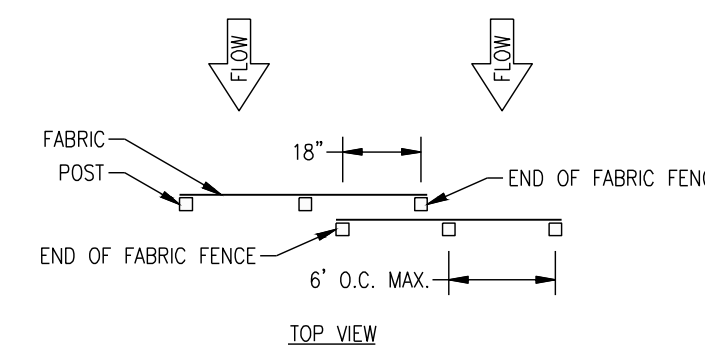
THE COMBINATION OF ASPHALT EMULSION AND WATER SHALL CONSIST OF A HOMOGENEOUS MIXTURE SATISFACTORY FOR SPRAYING. THE MIXTURE SHALL CONSIST OF 100 GALLONS OF GRADE SS-1H OR CSS-1H EMULSIFIED ASPHALT AND 10 GALLONS OF WATER PER TON OF MULCH.

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* UNUSUAL SITE CONDITIONS MAY REQUIRE HEAVIER SEEDING RATES.
** SEEDING DATES MAY NEED TO BE ALTERED TO FIT TEMPERATURE VARIATIONS AND CONDITIONS.



NOTE:
1. THE FABRIC AND WIRE SHOULD BE SECURELY FASTENED TO POSTS AND FABRIC ENDS MUST BE OVERLAPPED A MINIMUM OF 18" OR WRAPPED TOGETHER AROUND A POST TO PROVIDE A CONTINUOUS FABRIC BARRIER AROUND THE INLET.

FASTENERS FOR SILT FENCES OVERLAP AT FABRIC ENDS NOT TO SCALE

3. SYNTHETIC TACKIFIERS OR BINDERS APPROVED BY GDOT SHALL BE APPLIED IN CONJUNCTION WITH OR IMMEDIATELY AFTER THE MULCH IS SPREAD. SYNTHETIC TACKIFIERS SHALL BE MIXED AND APPLIED ACCORDING TO MANUFACTURER'S SPECIFICATIONS. REFER TO TB - TACKIFIERS AND BINDERS.
4. RYE OR WHEAT CAN BE INCLUDED WITH FALL AND WINTER PLANTINGS TO STABILIZE THE THEY SHALL BE APPLIED AT A RATE OF ONE-QUARTER TO ONE HALF BUSHEL PER ACRE.
5. PLASTIC MESH OR NETTING WITH MESH NO LARGER THAN ONE INCH BY ONE INCH MAY BE NEEDED TO ANCHOR STRAW OR HAY MULCH ON UNSTABLE SOILS AND CONCENTRATED FLOW THESE MATERIALS SHALL BE INSTALLED AND ANCHORED ACCORDING TO MANUFACTURER'S SPECIFICATIONS.

IRRIGATION:
IRRIGATION SHALL BE APPLIED AT A RATE THAT WILL NOT CAUSE RUNOFF.

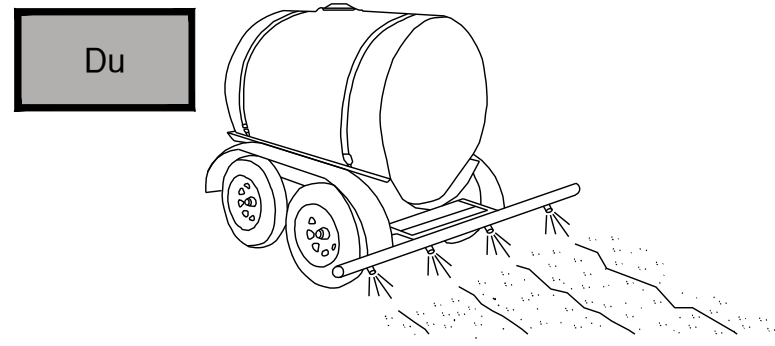
SEEDING RATES FOR PERMANENT SEEDING

SPECIES	RATE PER 1,000 SF	RATE PER ACRE*	PLANTING DATES**
BAHIA	1.4 LBS	60 LBS	1/1-12/31
BERMUDA	0.2 LB	10 LBS	2/15-7/1
CENIPFIDE	BLOCK SOD ONLY	BLOCK SOD ONLY	4/1-7/1
LESPEDEZA	1.7 LB	75 LBS	1/1-12/31
WEeping LOVE GRASS	0.1 LB	4 LBS	2/1-6/15
SWITCHGRASS	0.9 LBS	40 LBS	3/15-6/1

* UNUSUAL SITE CONDITIONS MAY REQUIRE HEAVIER SEEDING RATES
** SEEDING DATES MAY NEED TO BE ALTERED TO FIT TEMPERATURE VARIATIONS AND CONDITIONS.

LIME AND FERTILIZER:
AGRICULTURAL LIME IS REQUIRED UNLESS SOIL TESTS INDICATE OTHERWISE. APPLY AGRICULTURAL LIME AT A RATE OF ONE TON PER ACRE. GRADED AREAS REQUIRE LIME APPLICATION. SOILS CAN BE TESTED TO DETERMINE IF FERTILIZER IS NEEDED. ON REASONABLY FERTILE SOILS, SOIL MATERIAL. FERTILIZER IS NOT REQUIRED. FOR SOILS WITH VERY LOW FERTILITY, 500 TO 700 POUNDS OF 10-10-10 FERTILIZER OR THE EQUIVALENT PER ACRE (12-16 LBS./1,000 SQ. FT.) SHALL BE APPLIED BEFORE LAND PREPARATION AND INCORPORATED WITH A DISK, RIPPER OR CHISEL.

DUST CONTROL ON DISTURBED AREAS



Du

CONTRACTOR SHALL EMPLOY THE FOLLOWING TEMPORARY METHODS TO LIMIT THE SURFACE AND AIR MOVEMENT OF DUST FROM EXPOSED SOIL SURFACES:

- *TEMPORARY METHODS:**
-MULCHES
-VEGETATIVE COVER
-SPRAY ON ADHESIVES
-TILLAGE
-IRRIGATION
-BARRIERS
-CALCIUM CHLORIDE
- *PERMANENT METHODS:**
-PERMANENT VEGETATION
-TOPSOIL
-STONE COVER

ADHESIVE	WATER DILUTION	TYPE OF NOZZLE	APPLICATION RATE (GAL/AC)
ANIONIC ASPHALT EMULSION	7:1	SPRAY	1200
LATEX EMULSION	12 1/2:1	FINE SPRAY	235
RESIN-WATER EMULSION	4:1	FINE SPRAY	300

RELEASED FOR CONSTRUCTION

GEORGIA REGISTERED ENGINEER
No. PE043979
PATRICK J. WARNER

REVISIONS:

CIVIL CONSTRUCTION PLANS FOR
FLONNEL AVENUE LOGISTICS FACILITY
CONTAINER YARD

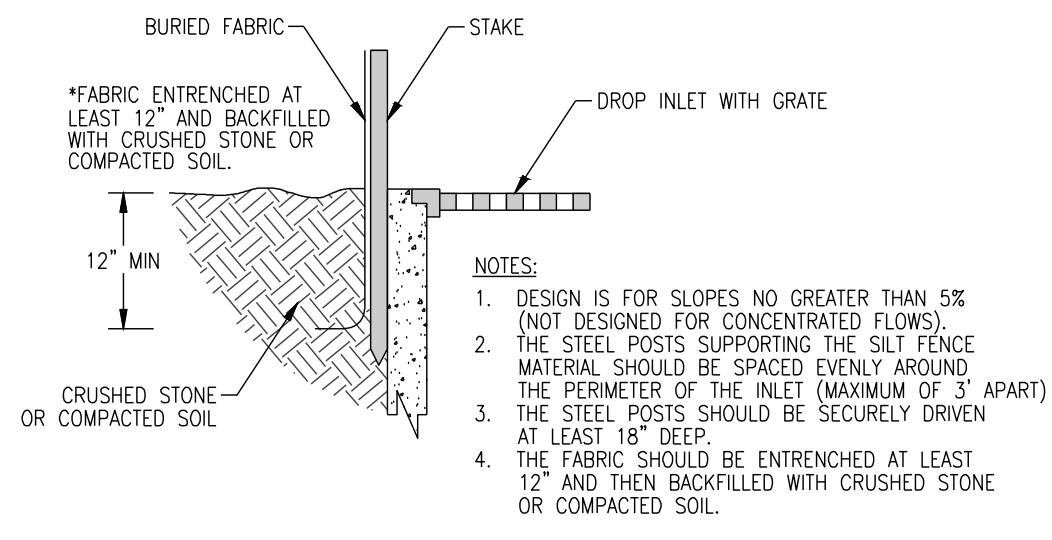
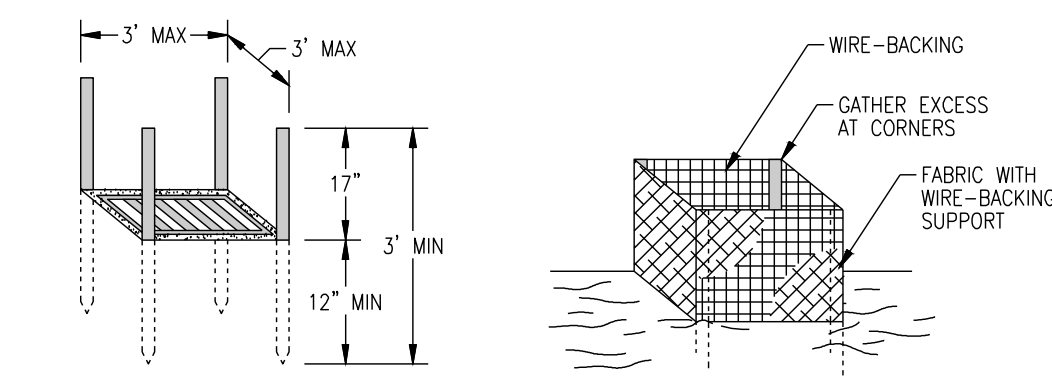
LOCATED IN PORT WENTWORTH, GEORGIA
PREPARED FOR INTER-METRO PROPERTIES OF GEORGIA, LLC

JOB NUMBER:	22-730.000
DATE:	05/04/23
DRAWN BY:	MJL
CHECKED BY:	PJW
SCALE:	AS NOTED

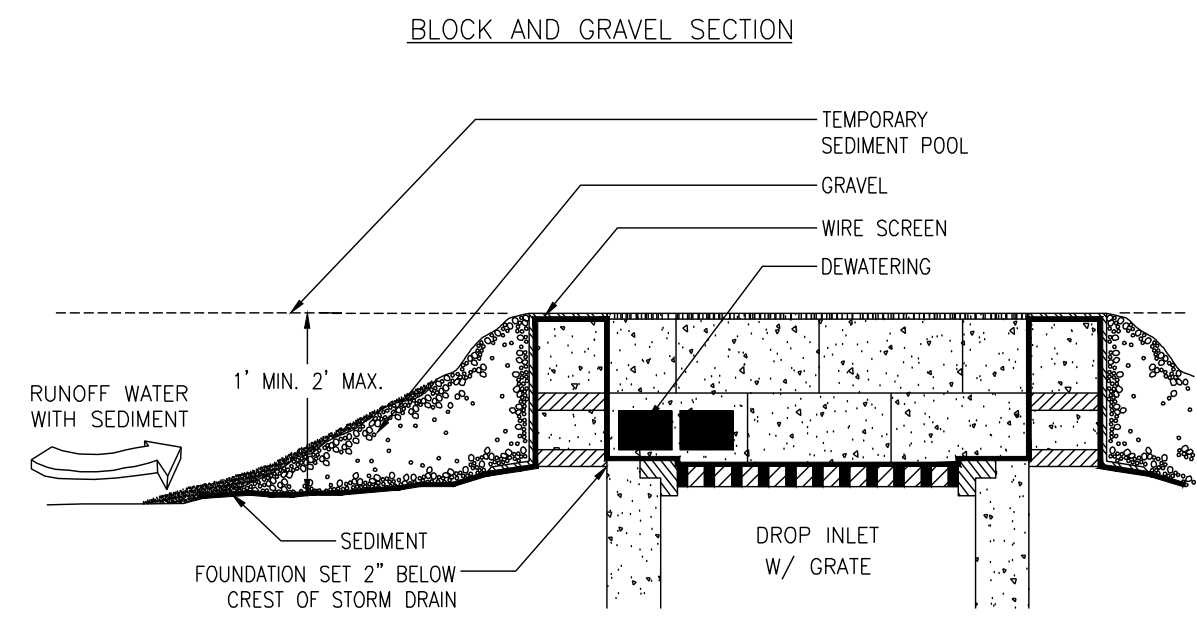
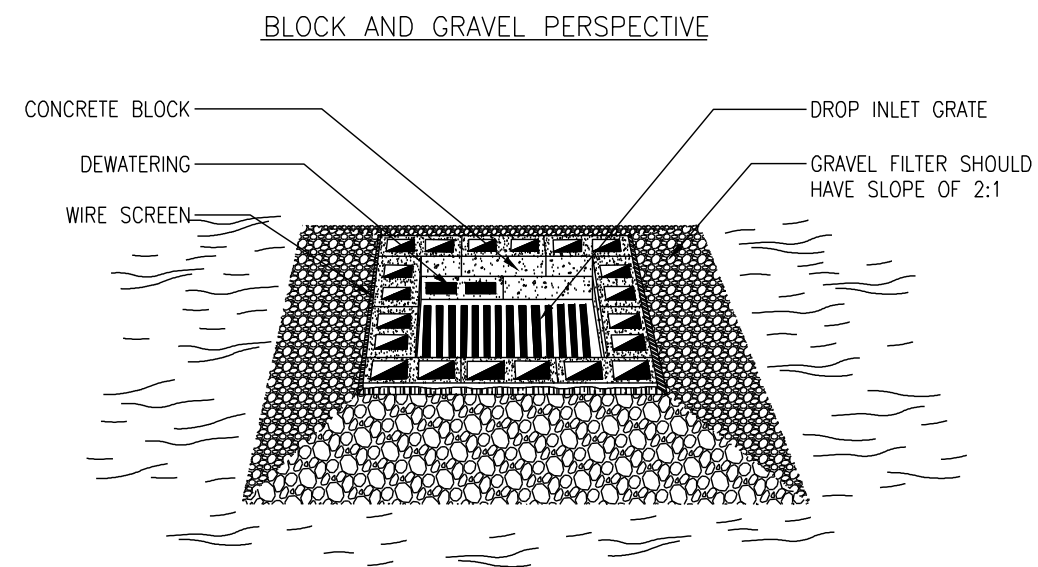
EROSION CONTROL DETAILS

SHEET:
CE4.0

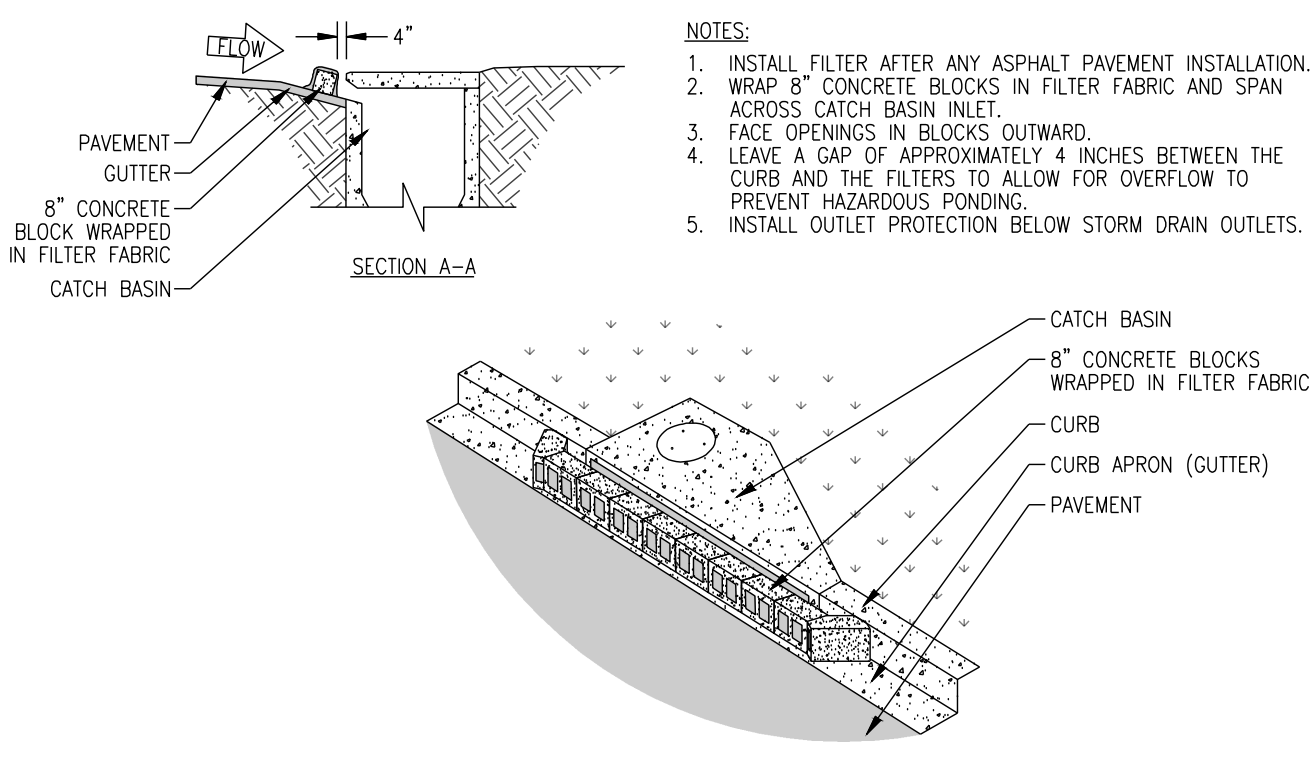
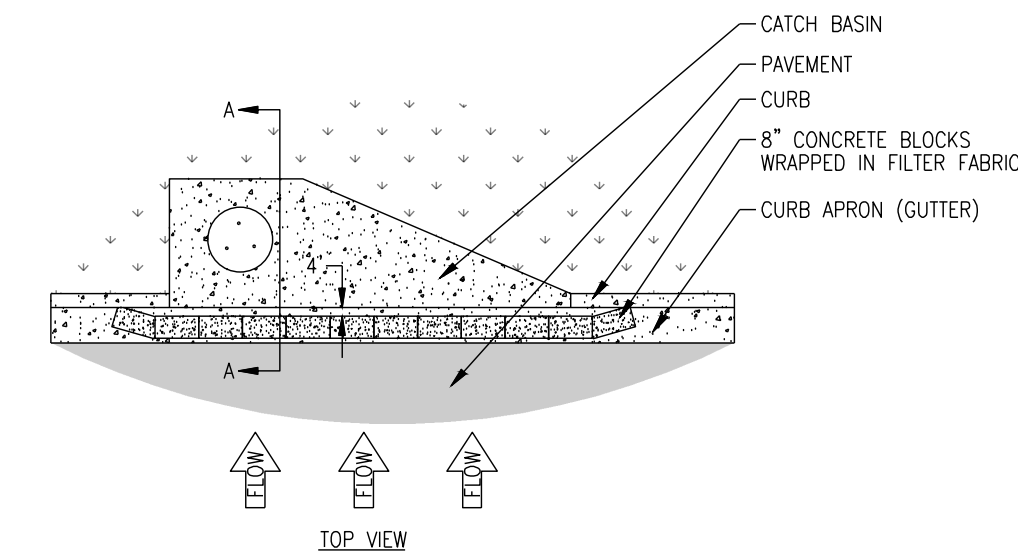
STEEL FRAME AND SILT FENCE INSTALLATION



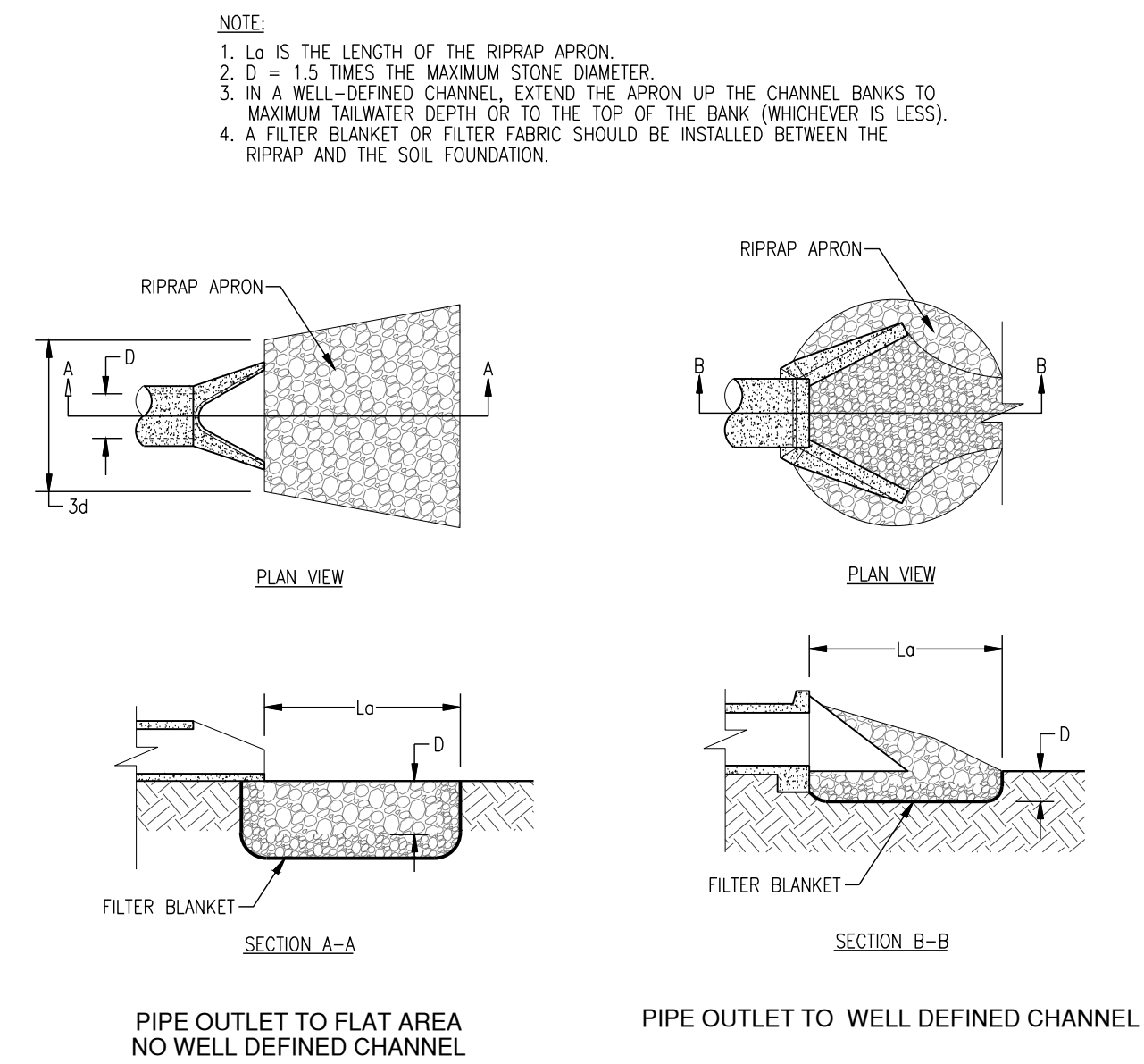
Sd2-F FABRIC AND SUPPORTING FRAME FOR INLET PROTECTION NOT TO SCALE



Sd2-Bg BLOCK GRAVEL DROP INLET PROTECTION NOT TO SCALE

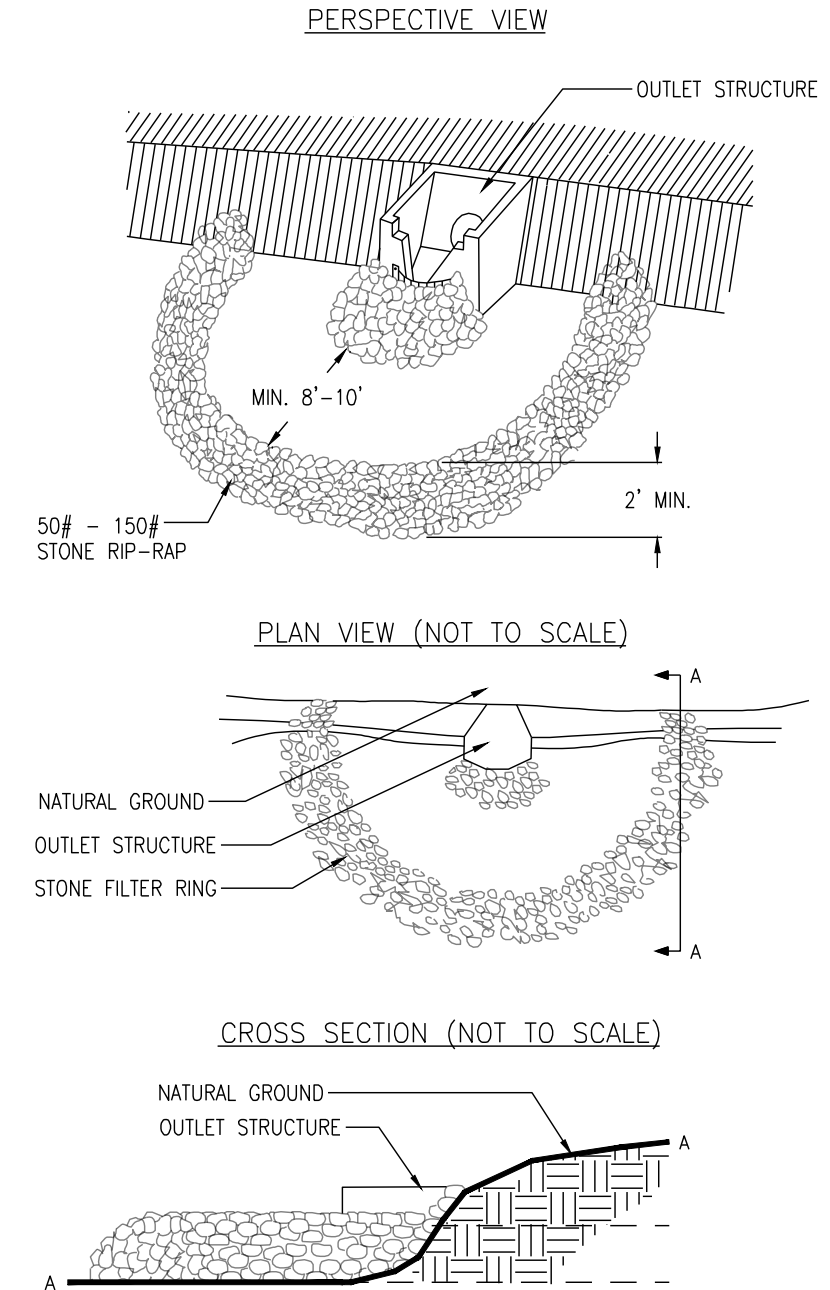


Sd2-P CURB INLET FILTER "PIGS IN BLANKET" NOT TO SCALE

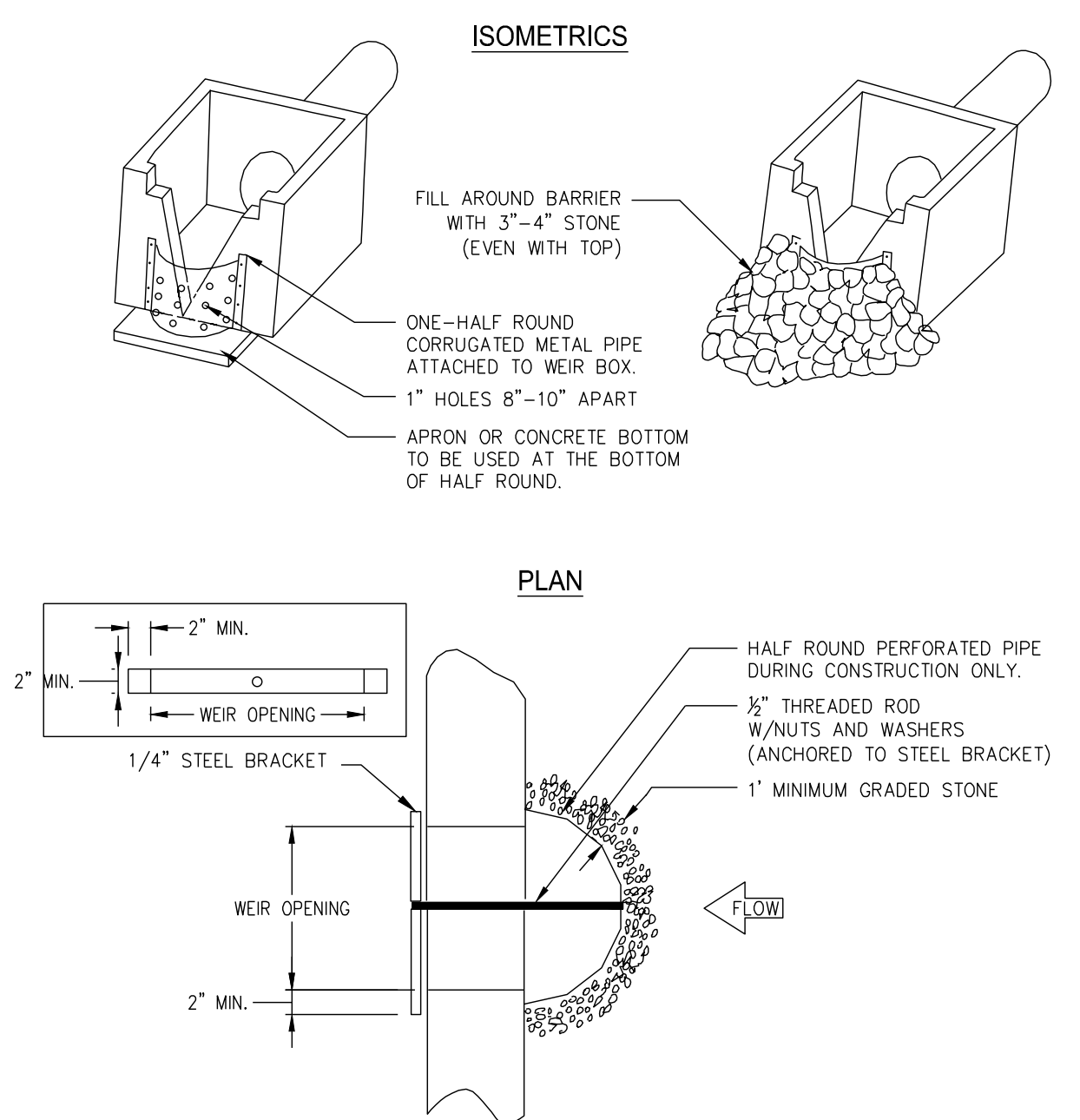


St RIPRAP OUTLET PROTECTION NOT TO SCALE

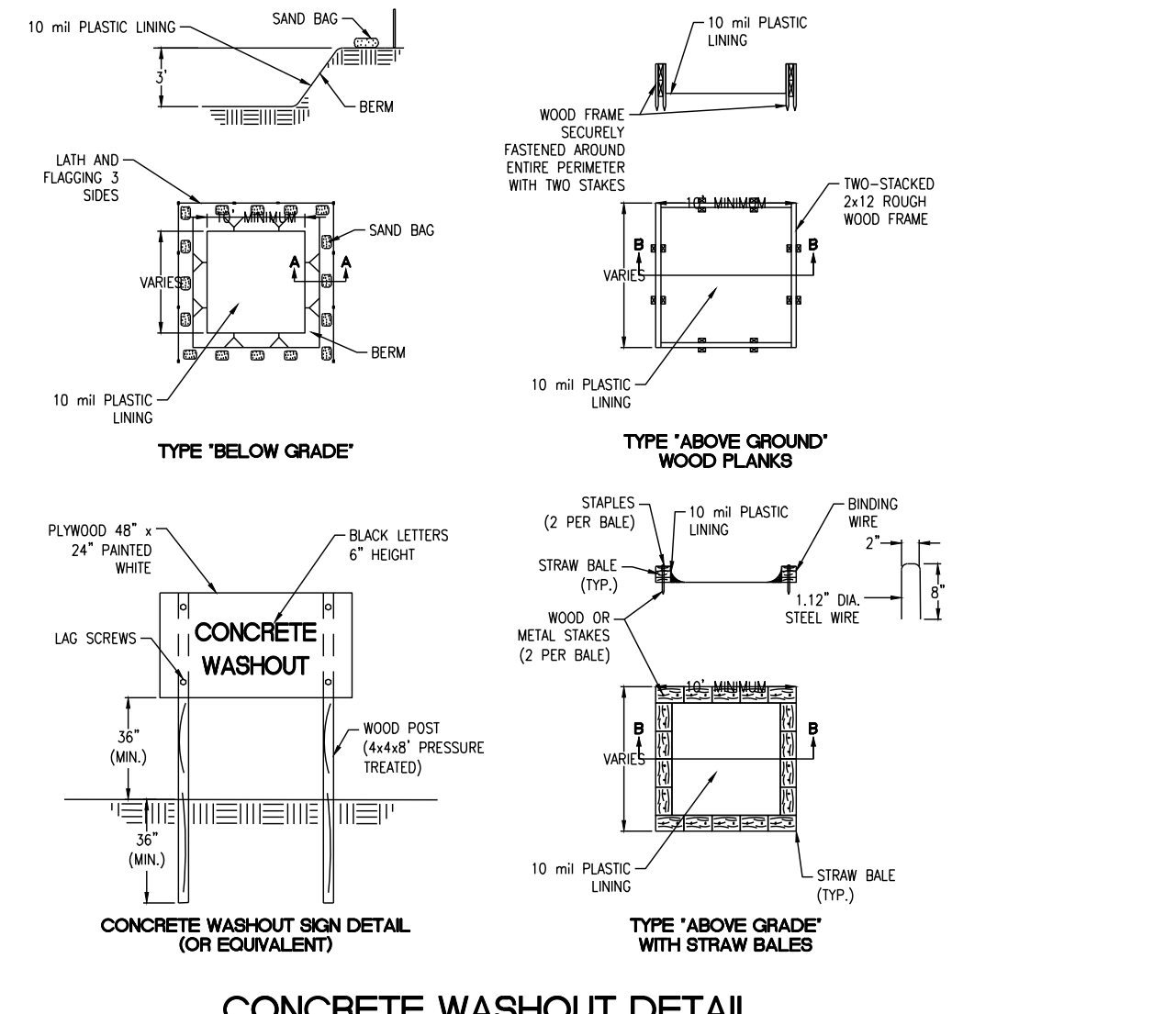
APRON	Pipe Characteristics			Apron Dimensions				Stone Depth=1.5'D ₅₀ (6"min)
	Outlet Pipe Diameter	Velocity	Total Outflow	Length	Average Stone Diameter	Upstream Width	Downstream Width	
	D _o	V _o	Q ₂₅	L ₀	D ₅₀	W ₁	W ₂	D
ST-1	2.50	4.64	38.00	15.50	6.24	7.50	18.00	9.36
ST-2	2.50	4.64	38.00	15.50	6.24	7.50	18.00	9.36
ST-3	2.00	7.00	21.00	13.00	5.05	6.00	15.00	7.58
ST-4	3.50	5.95	86.00	22.00	8.40	10.50	25.50	12.60
ST-5	3.50	5.95	86.00	22.00	8.40	10.50	25.50	12.60
ST-6	2.50	5.25	38.00	16.00	6.24	7.50	18.50	9.36
ST-7	2.50	5.75	38.00	16.00	6.24	7.50	18.50	9.36
ST-8	2.00	6.20	21.00	13.00	5.05	6.00	15.00	7.58
ST-9	3.00	7.12	56.00	19.20	6.96	9.00	22.20	10.44
ST-10	2.50	6.20	38.00	15.50	6.24	7.50	18.00	9.36
ST-11	1.50	6.00	10.20	9.50	4.00	4.50	11.00	6.00
ST-12	0.58	3.90	4.00	7.00	3.00	5.00	9.40	6.00
ST-13	0.67	3.77	4.20	9.00	3.00	5.00	10.00	6.00



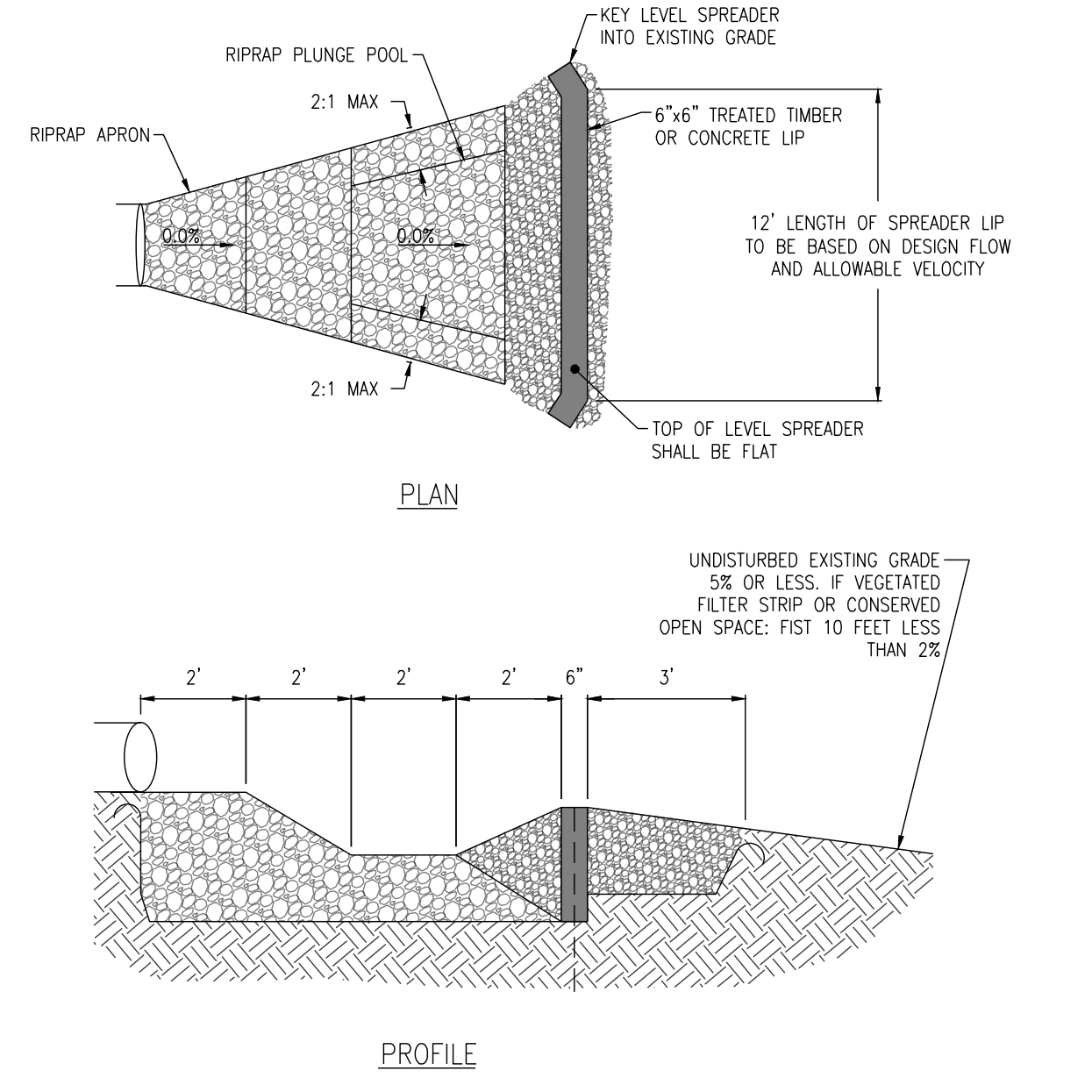
Fr STONE FILTER RING NOT TO SCALE



Rt-P PERFORATED PIPE WITH STONE FILTER NOT TO SCALE



CONCRETE WASHOUT DETAIL



Lv LEVEL SPREADER NOT TO SCALE

DESIGN PROFESSIONAL'S CREDENTIALS:

ENGINEER'S NAME (PRINTED): PATRICK WARNER, PE
 GEORGIA PE NUMBER: PE043979
 GSWCC LEVEL II CERTIFICATION NUMBER: 77002

NRCS ORIGINAL SUBMITTAL: 12/22/22
NRCS SECOND SUBMITTAL: 1/18/23



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REGISTERED PROFESSIONAL ENGINEER
 No. PE043979
 PATRICK J. WARNER

REVISIONS:

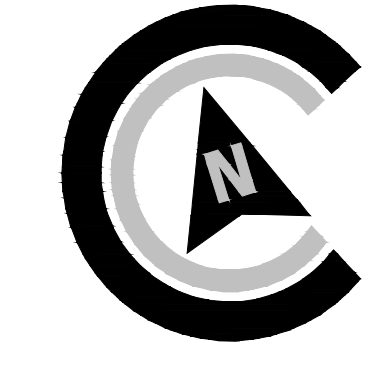
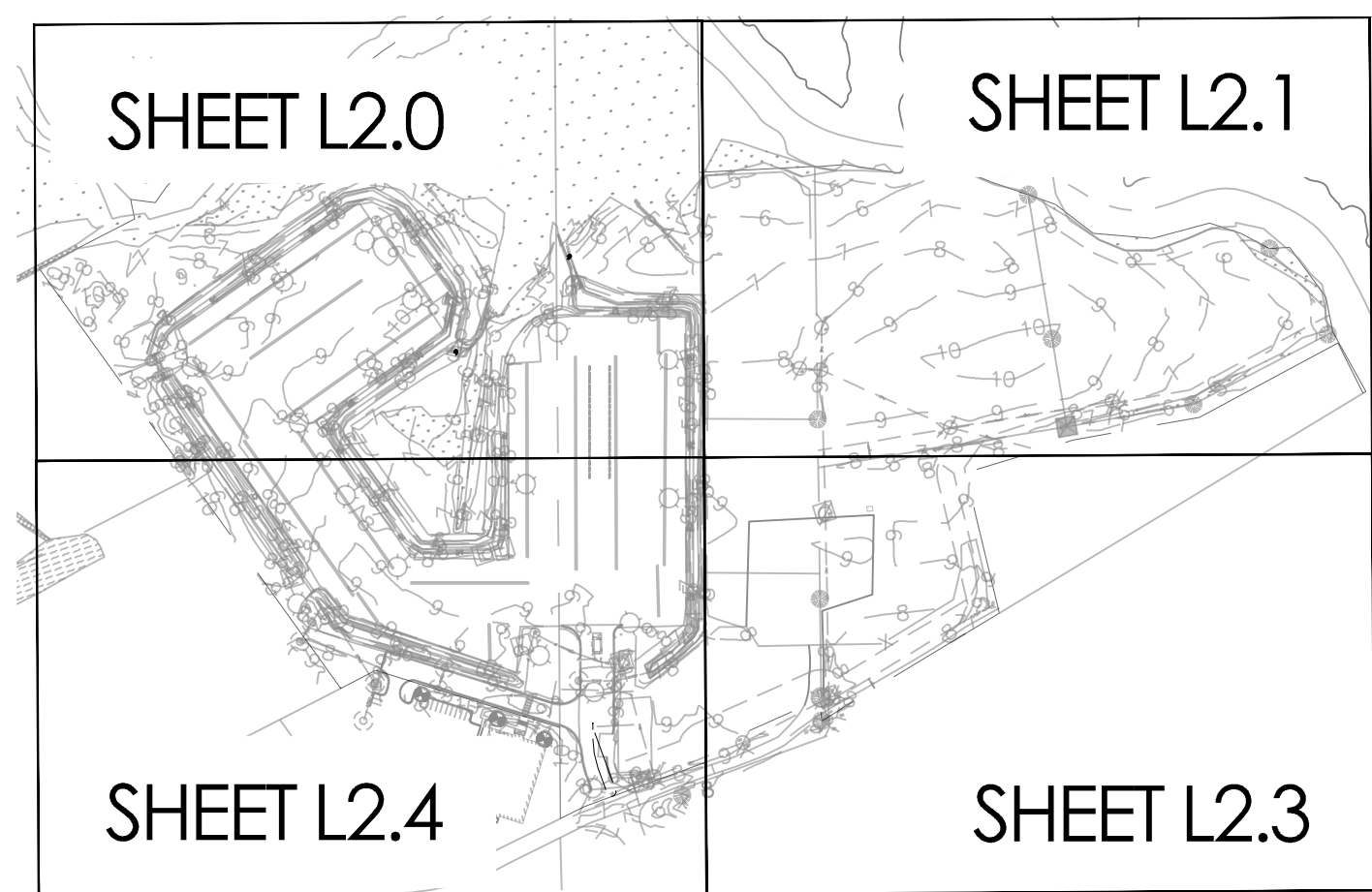
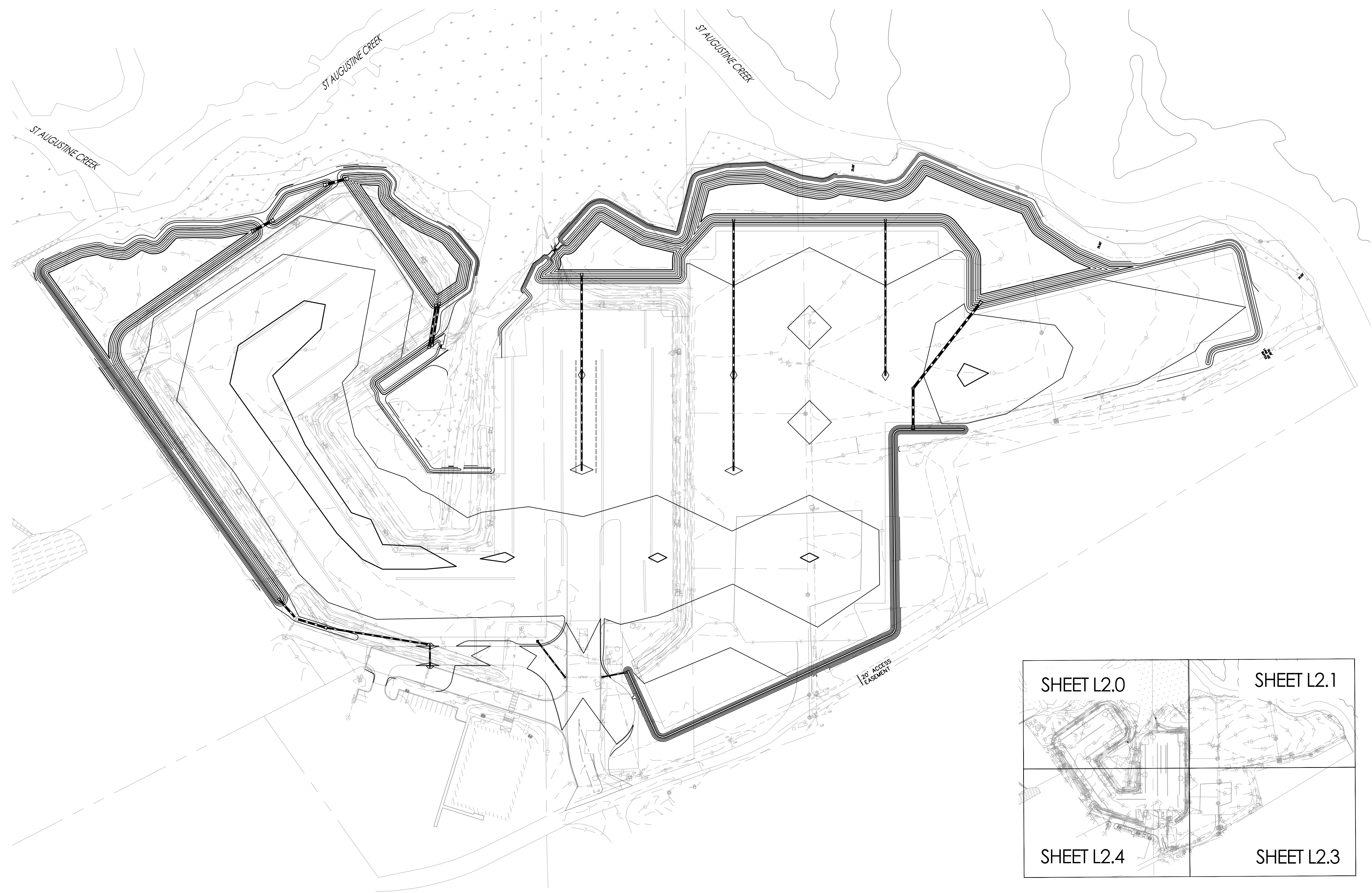
CIVIL CONSTRUCTION PLANS FOR
FLONNEL AVENUE LOGISTICS FACILITY
 CONTAINER YARD
 LOCATED IN PORT WENTWORTH, GEORGIA
 PREPARED FOR INTER-METRO PROPERTIES OF GEORGIA, LLC

JOB NUMBER: 22-730.000
DATE: 05/04/23
DRAWN BY: MEL
CHECKED BY: PJW
SCALE: AS NOTED

EROSION CONTROL DETAILS

SHEET:
CE4.1

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SCALE: 1"=80'
 0' 40' 80' 160'

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REVISIONS:

2023.05.04	RFC	JMG

LANDSCAPE PLAN FOR
**FLONNEL AVENUE LOGISTICS FACILITY
 CONTAINER YARD**
 LOCATED IN PORT WENTWORTH, GEORGIA
 PREPARED FOR INTER-METRO PROPERTIES OF GEORGIA, LLC.

JOB NUMBER: 22-730.000
 DATE: 05/04/23
 DRAWN BY: MRC
 CHECKED BY: JMG
 SCALE: AS NOTED

EXISTING
 CONDITIONS

SHEET:
L1.0

Attachment: Flonnel Ave Logistics Yard 7-0003-01-001 S-Site Plan 2023-Civil Plans 5.4.23 (253) : Site Plan Review Application (Specific) Flonnel Ave Logistics Yard 7-0003-01-001 June 2023

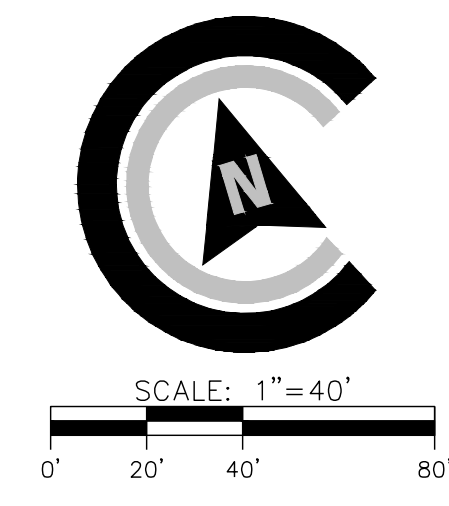
© 2018 COLEMAN COMPANY, INC. DATE PLOTTED: 5/6/2023 12:09 PM BY: Carson Mulligan DRAWING PATH: G:\2023\23-730\000\DWG\landscape\23-730_LANDSCAPE PLAN REC 2023.05.04.dwg



KEY	BOTANICAL NAME	COMMON NAME	SIZE	SPACING	COMMENTS
TREES					
(Symbol)	ACER RUBRUM 'JFS-KW78'	ARMSTRONG GOLD COLUMNAR RED MAPLE	2.5" CAL. MIN., 12-16' HT.	AS SHOWN	STRAIGHT SINGLE TRUNK, WELL BALANCED HEAD
(Symbol)	LIRIODENDRON TULIPIFERA 'ARNOLD'	COLUMNAR YELLOW POPLAR	2.5" CAL. MIN., 12-16' HT.	AS SHOWN	STRAIGHT SINGLE TRUNK, WELL BALANCED HEAD
(Symbol)	MAGNOLIA VIRGINIANA	SWEETBAY MAGNOLIA	2.5" CAL. MIN., 8-14' HT. MIN.	AS SHOWN	STRAIGHT MULTI-STEM TRUNK, WELL BALANCED HEAD, 3 OR 5 STEMS PREFERRED
(Symbol)	BETULA NIGRA	RIVER BIRCH	2.5" CAL. MIN., 12-16' HT.	AS SHOWN	STRAIGHT MULTI-STEM TRUNK, WELL BALANCED HEAD, 3 OR 5 STEMS PREFERRED
(Symbol)	QUERCUS X WAREI 'BIRTHDAY CANDLE'	BIRTHDAY CANDLE OAK	2.5" CAL. MIN., 8-14' HT.	AS SHOWN	STRAIGHT SINGLE TRUNK, WELL BALANCED HEAD
(Symbol)	QUERCUS ROBUR 'FASTIGIATA'	COLUMNAR ENGLISH OAK	2.5" CAL. MIN., 12-16' HT.	AS SHOWN	STRAIGHT SINGLE TRUNK, WELL BALANCED HEAD

MATCHLINE: SEE SHEET L2.2

MATCHLINE: SEE SHEET L2.1



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2023.05.04	RFC	JMG

LANDSCAPE PLAN FOR
**FLONNEL AVENUE LOGISTICS FACILITY
 CONTAINER YARD**
 LOCATED IN PORT WENTWORTH, GEORGIA
 PREPARED FOR INTER-METRO PROPERTIES OF GEORGIA, LLC.

JOB NUMBER: 22-730.000
 DATE: 05/04/23
 DRAWN BY: MRC
 CHECKED BY: JMG
 SCALE: AS NOTED

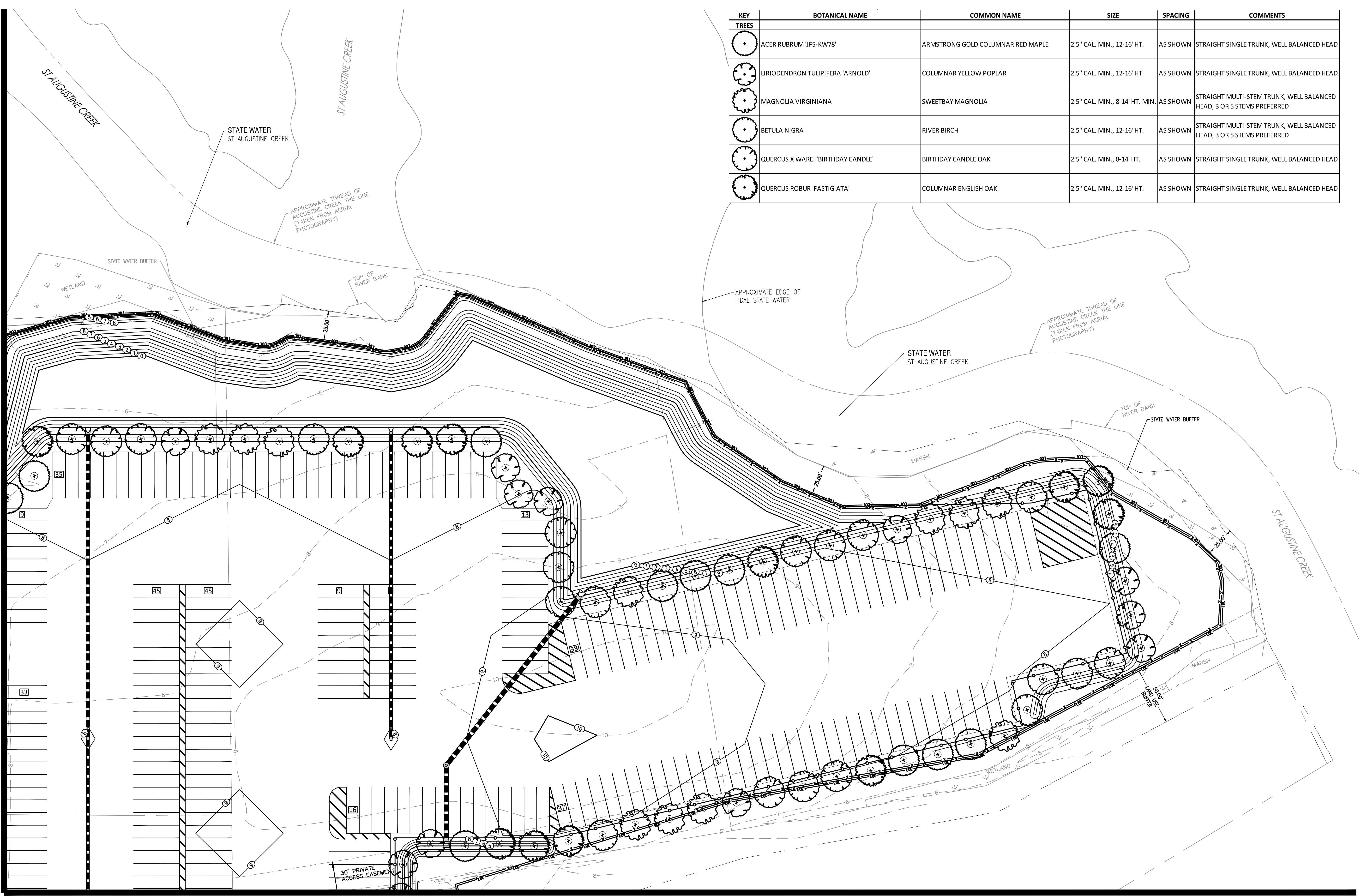
LANDSCAPE PLAN

SHEET:
L2.0

Attachment: Flonnel Ave Logistics Yard 7-0003-01-001 S-Site Plan 2023-Civil Plans 5.4.23 (2630) : Site Plan Review Application (Specific) Flonnel Ave Logistics Yard 7-0003-01-001 June 2023

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MATCHLINE: SEE SHEET L2.0



MATCHLINE: SEE SHEET L2.3

KEY	BOTANICAL NAME	COMMON NAME	SIZE	SPACING	COMMENTS
	ACER RUBRUM 'JFS-KW78'	ARMSTRONG GOLD COLUMNAR RED MAPLE	2.5" CAL. MIN., 12-16' HT.	AS SHOWN	STRAIGHT SINGLE TRUNK, WELL BALANCED HEAD
	LIRIODENDRON TUJIPIFERA 'ARNOLD'	COLUMNAR YELLOW POPLAR	2.5" CAL. MIN., 12-16' HT.	AS SHOWN	STRAIGHT SINGLE TRUNK, WELL BALANCED HEAD
	MAGNOLIA VIRGINIANA	SWEETBAY MAGNOLIA	2.5" CAL. MIN., 8-14' HT. MIN.	AS SHOWN	STRAIGHT MULTI-STEM TRUNK, WELL BALANCED HEAD, 3 OR 5 STEMS PREFERRED
	BETULA NIGRA	RIVER BIRCH	2.5" CAL. MIN., 12-16' HT.	AS SHOWN	STRAIGHT MULTI-STEM TRUNK, WELL BALANCED HEAD, 3 OR 5 STEMS PREFERRED
	QUERCUS X WAREI 'BIRTHDAY CANDLE'	BIRTHDAY CANDLE OAK	2.5" CAL. MIN., 8-14' HT.	AS SHOWN	STRAIGHT SINGLE TRUNK, WELL BALANCED HEAD
	QUERCUS ROBUR 'FASTIGIATA'	COLUMNAR ENGLISH OAK	2.5" CAL. MIN., 12-16' HT.	AS SHOWN	STRAIGHT SINGLE TRUNK, WELL BALANCED HEAD

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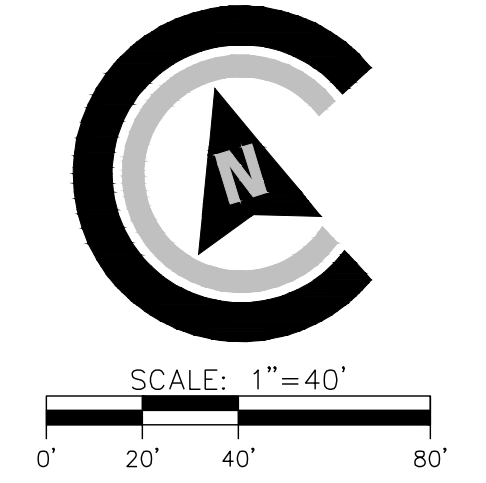
2023.05.04	RFC	JMG

LANDSCAPE PLAN FOR
**FLONNEL AVENUE LOGISTICS FACILITY
CONTAINER YARD**
LOCATED IN PORT WENTWORTH, GEORGIA
PREPARED FOR INTER-METRO PROPERTIES OF GEORGIA, LLC.

JOB NUMBER: 22-730.000
DATE: 05/04/23
DRAWN BY: MRC
CHECKED BY: JMG
SCALE: AS NOTED

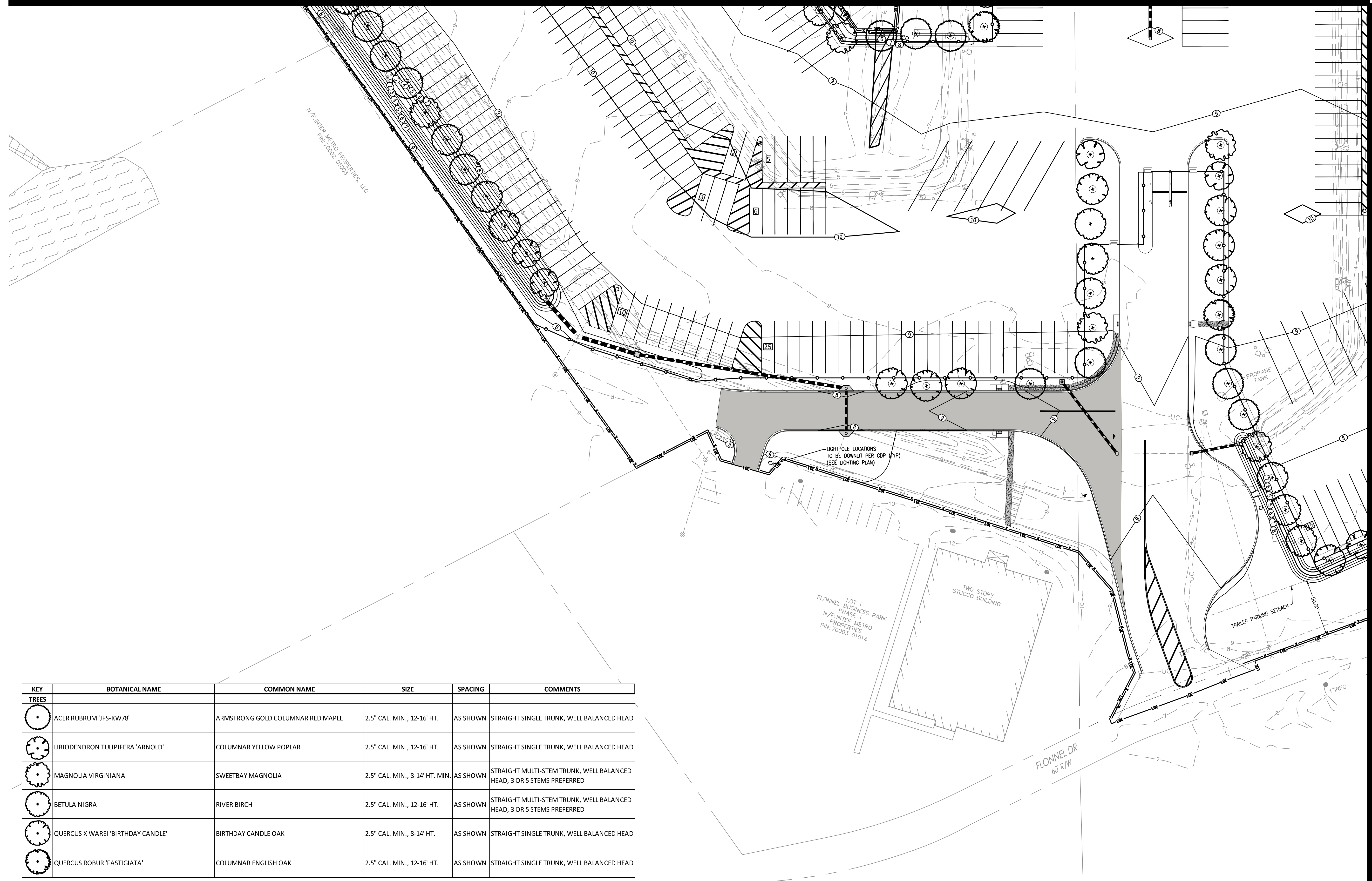
LANDSCAPE PLAN

SHEET:
L2.1



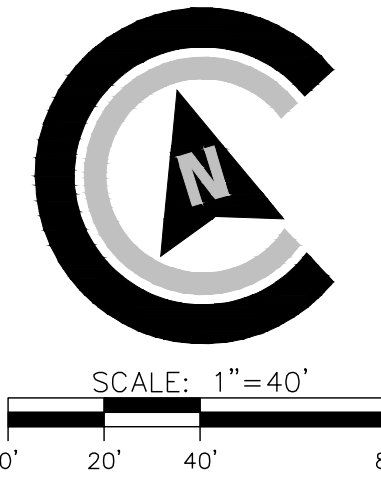
Attachment: Flonnel Ave Logistics Yard 7-0003-01-001 S-Site Plan -2023-Civil Plans 5.4.23 (2530) : Site Plan Review Application (Specific) Flonnel Ave Logistics Yard 7-0003-01-001 June 2023

MATCHLINE: SEE SHEET L2.0



KEY	BOTANICAL NAME	COMMON NAME	SIZE	SPACING	COMMENTS
TREES					
	ACER RUBRUM 'JFS-KW78'	ARMSTRONG GOLD COLUMNAR RED MAPLE	2.5" CAL. MIN., 12-16' HT.	AS SHOWN	STRAIGHT SINGLE TRUNK, WELL BALANCED HEAD
	LIRIODENDRON TULIPIFERA 'ARNOLD'	COLUMNAR YELLOW POPLAR	2.5" CAL. MIN., 12-16' HT.	AS SHOWN	STRAIGHT SINGLE TRUNK, WELL BALANCED HEAD
	MAGNOLIA VIRGINIANA	SWEETBAY MAGNOLIA	2.5" CAL. MIN., 8-14' HT. MIN.	AS SHOWN	STRAIGHT MULTI-STEM TRUNK, WELL BALANCED HEAD, 3 OR 5 STEMS PREFERRED
	BETULA NIGRA	RIVER BIRCH	2.5" CAL. MIN., 12-16' HT.	AS SHOWN	STRAIGHT MULTI-STEM TRUNK, WELL BALANCED HEAD, 3 OR 5 STEMS PREFERRED
	QUERCUS X WAREI 'BIRTHDAY CANDLE'	BIRTHDAY CANDLE OAK	2.5" CAL. MIN., 8-14' HT.	AS SHOWN	STRAIGHT SINGLE TRUNK, WELL BALANCED HEAD
	QUERCUS ROBUR 'FASTIGIATA'	COLUMNAR ENGLISH OAK	2.5" CAL. MIN., 12-16' HT.	AS SHOWN	STRAIGHT SINGLE TRUNK, WELL BALANCED HEAD

MATCHLINE: SEE SHEET L2.3



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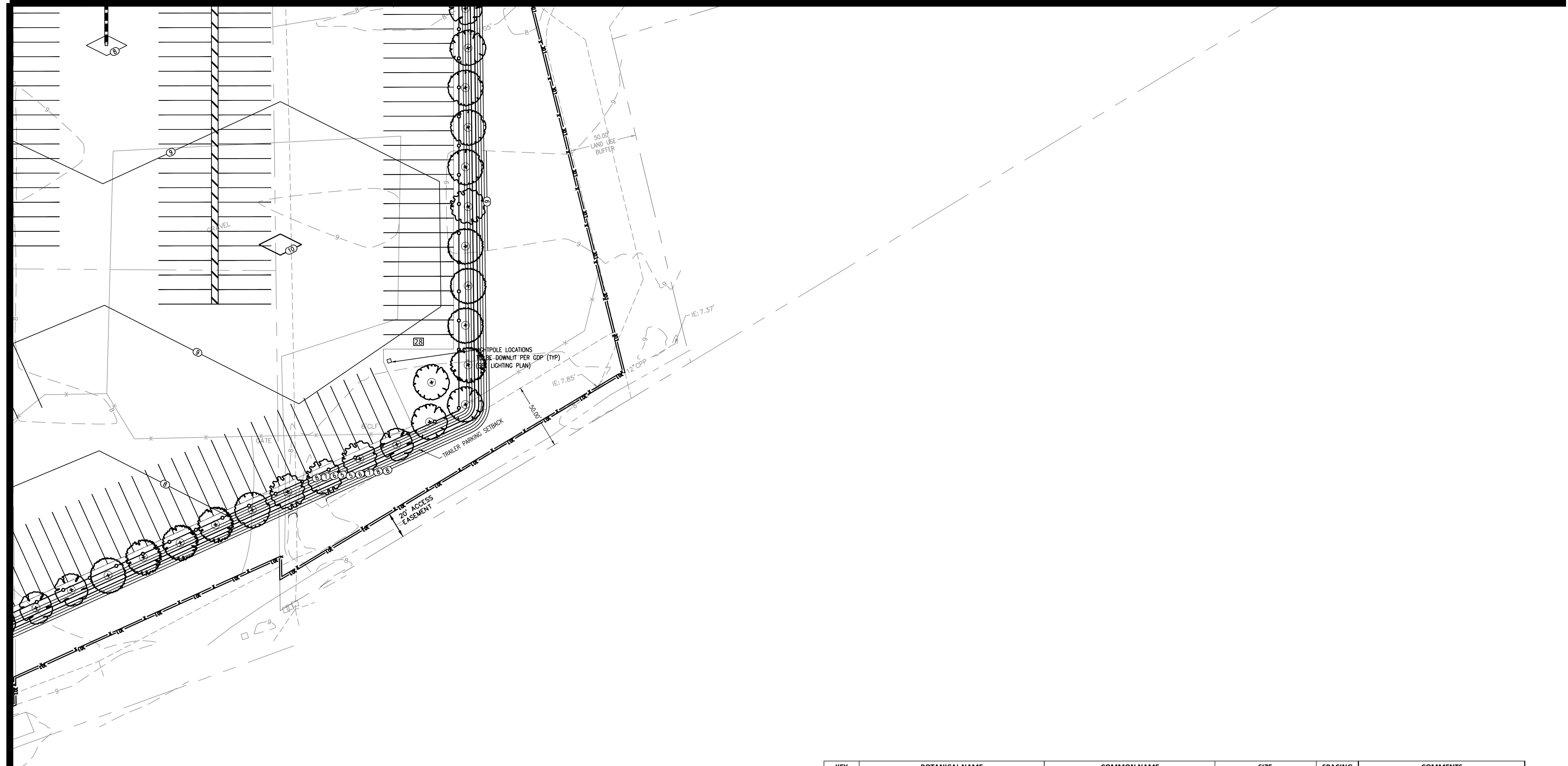
LANDSCAPE PLAN FOR
**FLONNEL AVENUE LOGISTICS FACILITY
CONTAINER YARD**
LOCATED IN PORT WENTWORTH, GEORGIA
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LANDSCAPE PLAN

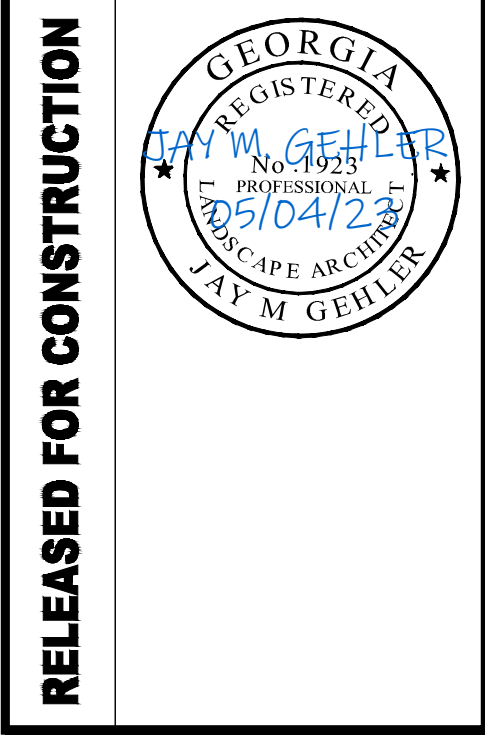
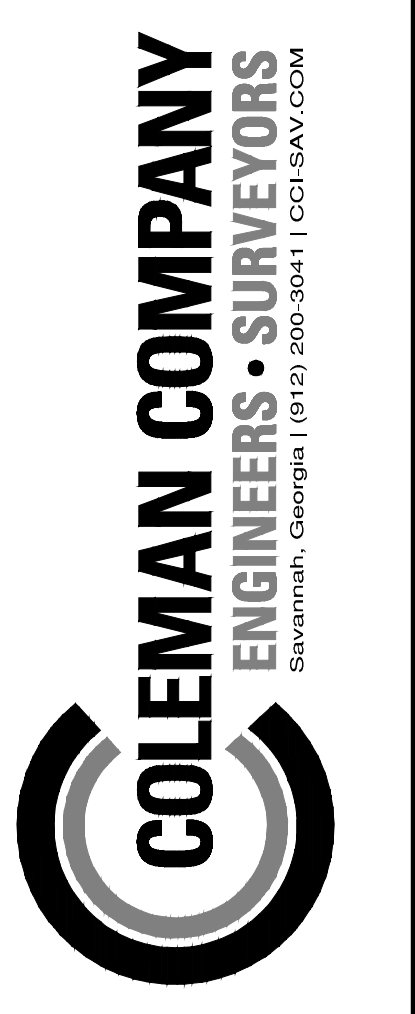
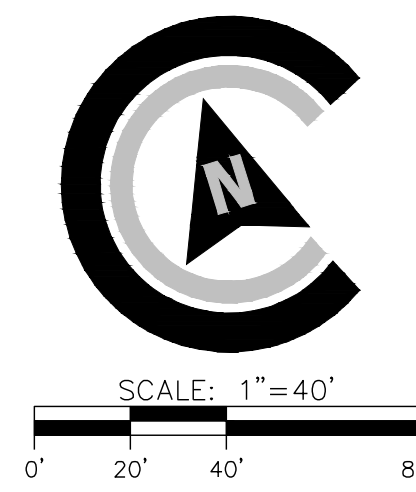
SHEET:
L2.2

MATCHLINE: SEE SHEET L2.1



MATCHLINE: SEE SHEET L2.2

KEY	BOTANICAL NAME	COMMON NAME	SIZE	SPACING	COMMENTS
TREES					
	ACER RUBRUM 'JFS-KW78'	ARMSTRONG GOLD COLUMNAR RED MAPLE	2.5" CAL. MIN., 12-16' HT.	AS SHOWN	STRAIGHT SINGLE TRUNK, WELL BALANCED HEAD
	LIRIODENDRON TULIPIFERA 'ARNOLD'	COLUMNAR YELLOW POPLAR	2.5" CAL. MIN., 12-16' HT.	AS SHOWN	STRAIGHT SINGLE TRUNK, WELL BALANCED HEAD
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	QUERCUS X WAREI 'BIRTHDAY CANDLE'	BIRTHDAY CANDLE OAK	2.5" CAL. MIN., 8-14' HT.	AS SHOWN	STRAIGHT SINGLE TRUNK, WELL BALANCED HEAD
	QUERCUS ROBUR 'FASTIGIATA'	COLUMNAR ENGLISH OAK	2.5" CAL. MIN., 12-16' HT.	AS SHOWN	STRAIGHT SINGLE TRUNK, WELL BALANCED HEAD



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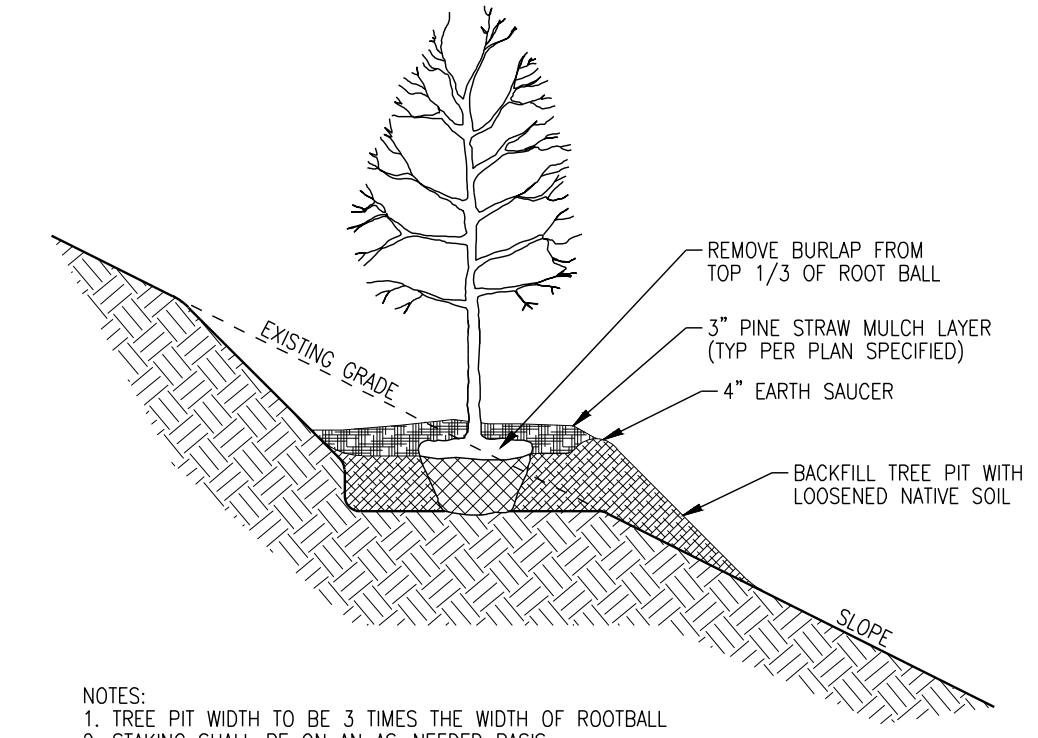
REVISIONS:	DATE	BY	APP'D
2023.05.04	RFC	JMG	

LANDSCAPE PLAN FOR
**FLONNEL AVENUE LOGISTICS FACILITY
 CONTAINER YARD**
 LOCATED IN PORT WENTWORTH, GEORGIA
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JOB NUMBER: 22-730.000
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LANDSCAPE PLAN

SHEET:
L2.3



- NOTES:
- TREE PIT WIDTH TO BE 3 TIMES THE WIDTH OF ROOTBALL
 - STAKING SHALL BE ON AN AS-NEEDED BASIS.
 - LANDSCAPE CONTRACTOR SHALL DETERMINE STAKING METHOD AND SHALL BE RESPONSIBLE FOR TREES REMAINING IN PLUMB POSITION THROUGHOUT WARRANTY PERIOD.
 - REMOVE ALL CORD OR TWINE AROUND TRUNK TO PREVENT GIRDLING.

TREE PLANTING ON SLOPE DETAIL NOT TO SCALE

LANDSCAPE NOTES:

GENERAL:
BEFORE BEGINNING ANY WORK, ALL UTILITIES AND UNDERGROUND CONSTRUCTION SHALL BE LOCATED BY THE LANDSCAPE CONTRACTOR SO THAT PROPER PRECAUTIONS MAY BE TAKEN NOT TO DISTURB OR DAMAGE ANY SUBSURFACE IMPROVEMENTS, WHERE PUBLIC UTILITIES ARE PRESENT, THE LANDSCAPE CONTRACTOR SHALL REQUEST ON SITE LOCATIONS BY ALL UTILITY COMPANIES AND CONFIRM THAT SUCH LOCATIONS HAVE BEEN MARKED. THE LANDSCAPE CONTRACTOR SHALL BE HELD RESPONSIBLE FOR MAKING, AT HIS OWN EXPENSE, ANY REPAIRS TO DAMAGED UTILITIES RESULTING FROM WORK COVERED IN THIS CONTRACT.

THE LANDSCAPE CONTRACTOR SHALL TAKE MEASURES TO PREVENT DUST, MUD, MARKS ETC., FROM SOILING AND DAMAGING IMPROVEMENTS. ANY DAMAGE SHALL BE THE RESPONSIBILITY OF THE LANDSCAPE CONTRACTOR.

PLANTS SHALL BE WATERED PRIOR TO TRANSPORTATION AND SHALL BE KEPT MOIST UNTIL PLANTED. ALL PLANTS SHALL BE PROTECTED FROM DESICCATION DURING DELIVERY WITH A PROTECTIVE COVER OR ENCLOSED TRUCK.

ALL PLANTING AND PLANT MATERIALS REQUIRED BY THIS CONTRACT SHALL BE IN A SATISFACTORY AND ACCEPTABLE CONDITION WHEN THE CONTRACTOR APPLIES FOR PAYMENT. INSTALL TREE PLUMB. DO NOT DEPEND ON STAKING TO PULL PLANT TO A PLUMB POSITION. STAKING SHALL BE ON AN AS NEEDED BASIS.

INSPECTION:
THE OWNER'S REPRESENTATIVE SHALL INSPECT THE TOTAL WORK FOR ACCEPTANCE UPON REQUEST OF THE LANDSCAPE CONTRACTOR. ANY UNSATISFACTORY ITEMS SHALL BE NOTED AND MUST BE REMEDIED BY THE LANDSCAPE CONTRACTOR PRIOR TO ACCEPTANCE. UPON SATISFACTORY COMPLETION OF ALL WORK, THE OWNER'S REPRESENTATIVE SHALL CERTIFY IN WRITING, ACCEPTANCE OF THE WORK. PAYMENT FOR CONTRACT WORK TO THE CONTRACTOR PURSUANT TO ISSUANCE OF ACCEPTANCE SHALL BE DEEMED THE FINAL PAYMENT FOR SAID WORK.

WARRANTY:
THE WARRANTY PERIOD SHALL BEGIN ON THE DATE OF ACCEPTANCE BY THE OWNER'S REPRESENTATIVE.

ALL PLANT MATERIAL SHALL BE WARRANTED BY THE LANDSCAPE CONTRACTOR FOR A PERIOD OF ONE YEAR FOLLOWING ACCEPTANCE. THE LANDSCAPE CONTRACTOR SHALL REPLACE, AT NO EXPENSE TO THE OWNER, UNHEALTHY PLANTS WITHIN 15 DAYS. THIS ASSUMES THAT THE OWNER HAS FOLLOWED THE APPROPRIATE MAINTENANCE PROCEDURES AND THAT NO SUCH REPLACEMENTS ARE NECESSITATED BY NEGLIGENCE OR ABUSE BY THE OWNER, BY VANDALISM, OR BY ACTS OF GOD DAMAGE.

REPLACEMENT SIZES SHALL BE COMPARABLE TO THE ATTAINED BY ADJACENT THRIVING PLANTS. ALL REPLACEMENT STOCK WILL BE SUBJECT TO THE SAME WARRANTY PERIOD REQUIREMENTS AS THE ORIGINAL STOCK. REPLACEMENT WARRANTY BEGINS ON THE DAY OF INSTALLATION.

THE LANDSCAPE CONTRACTOR SHALL MAKE ALL NECESSARY REPAIRS TO GRADES, VEGETATIVE COVER AND PAVING REQUIRED BECAUSE OF PLANT REPLACEMENTS. SUCH REPAIRS SHALL BE DONE AT NO EXTRA COST TO THE OWNER.

GRASSED AREAS:
PREPARE AREAS TO BE GRASSED BY REFINED GRADING TO INSURE PROPER DRAINAGE AND DISCOURAGE EROSION.

ELIMINATE UNDESIRABLE GRASS AND WEED GROWTH IN AREAS TO BE GRASSED AND TAKE MEASURES TO PREVENT RE-GROWTH OF UNDESIRABLE PLANTS. SOIL SHALL BE TILLED/LOOSENED TO A 4" MINIMUM DEPTH, INCORPORATING FERTILIZER, LIME AND OTHER APPROPRIATE ADDITIVES AS INDICATED BY A SOIL TEST INTO THE TOP 2-3".

FOR SODDED AREAS:
SOD SHALL BE WELL ROOTED, TWO YEAR OLD STOCK. THE SOD SHALL BE TOP QUALITY, CERTIFIED SOD, FREE OF WEEDS, UNDESIRABLE NATIVE GRASSES, INSECT AND DISEASES. PROVIDE CERTIFICATION TAG TO OWNER. ALL SOD SHALL BE MACHINE CUT AND VIGOROUSLY GROWING (NOT DORMANT).

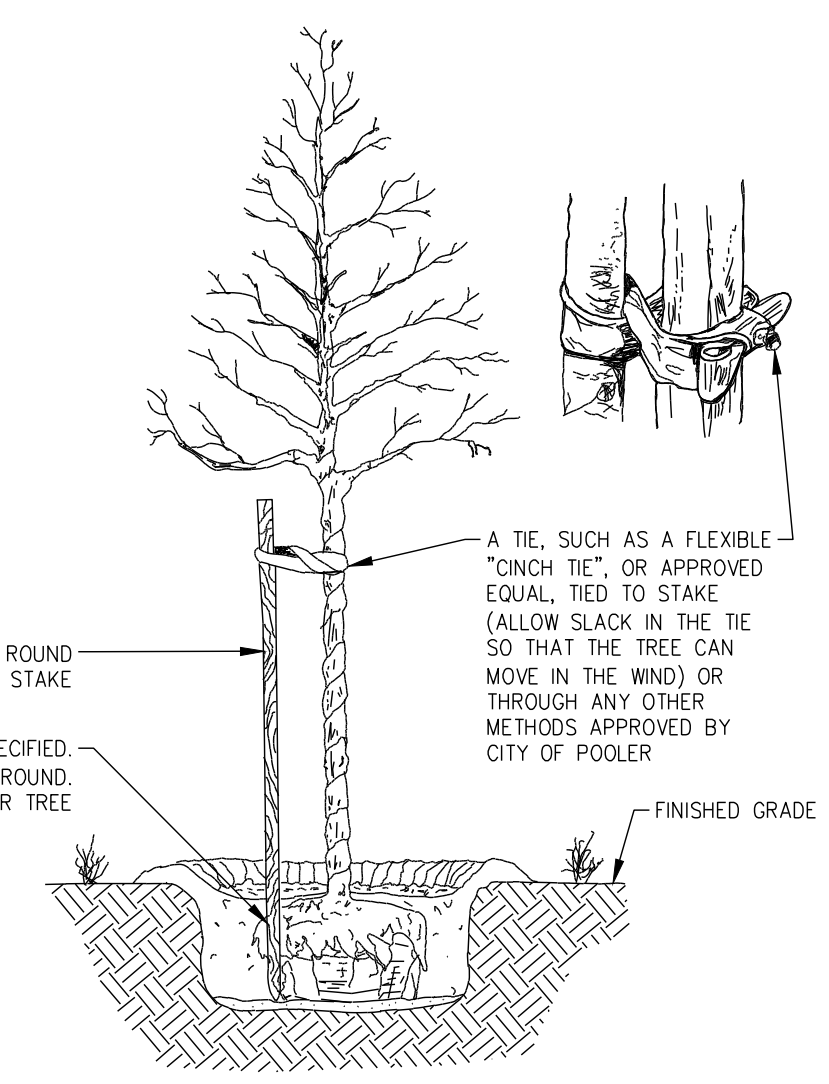
LAY SOD WITHIN 24 HOURS FROM THE TIME OF STRIPPING. DO NOT PLANT DORMANT SOD OR IF GROUND IS FROZEN. LAY SOD TO FORM A SOLID MASS WITH TIGHTLY FITTED JOINTS. BUTT ENDS AND SIDES OF SOD STRIPS. DO NOT OVERLAP. IN SLOPING AREAS, SOD SHALL BE LAID WITH THE LONG EDGES PARALLEL TO THE CONTOURS AND THE JOINTS STAGGERED.

SOD SHALL BE SECURED IN PLACE WITH STAPLES ON SLOPES GREATER THAN 3:1. STAPLES FOR SOD STAKING SHALL BE NO. 11 GAUGE STEEL WIRE, U-SHAPED, WITH LEGS 12" IN LENGTH AND A 1" CROWN. STAPLES SHALL BE PLACED AT INTERVALS NO GREATER THAN 2 FEET ON CENTER. TOP OF THE STAKES SHALL BE DRIVEN FLUSH WITH SOD AS TO NOT INTERFERE WITH MOWING OPERATIONS.

TAMP OR ROLL TO INSURE CONTACT WITH SOIL. WORK SIFTED SOIL INTO MINOR CRACKS BETWEEN PIECES OF SOD. REMOVE EXCESS SOIL TO AVOID SMOTHERING OF ADJACENT GRASS.

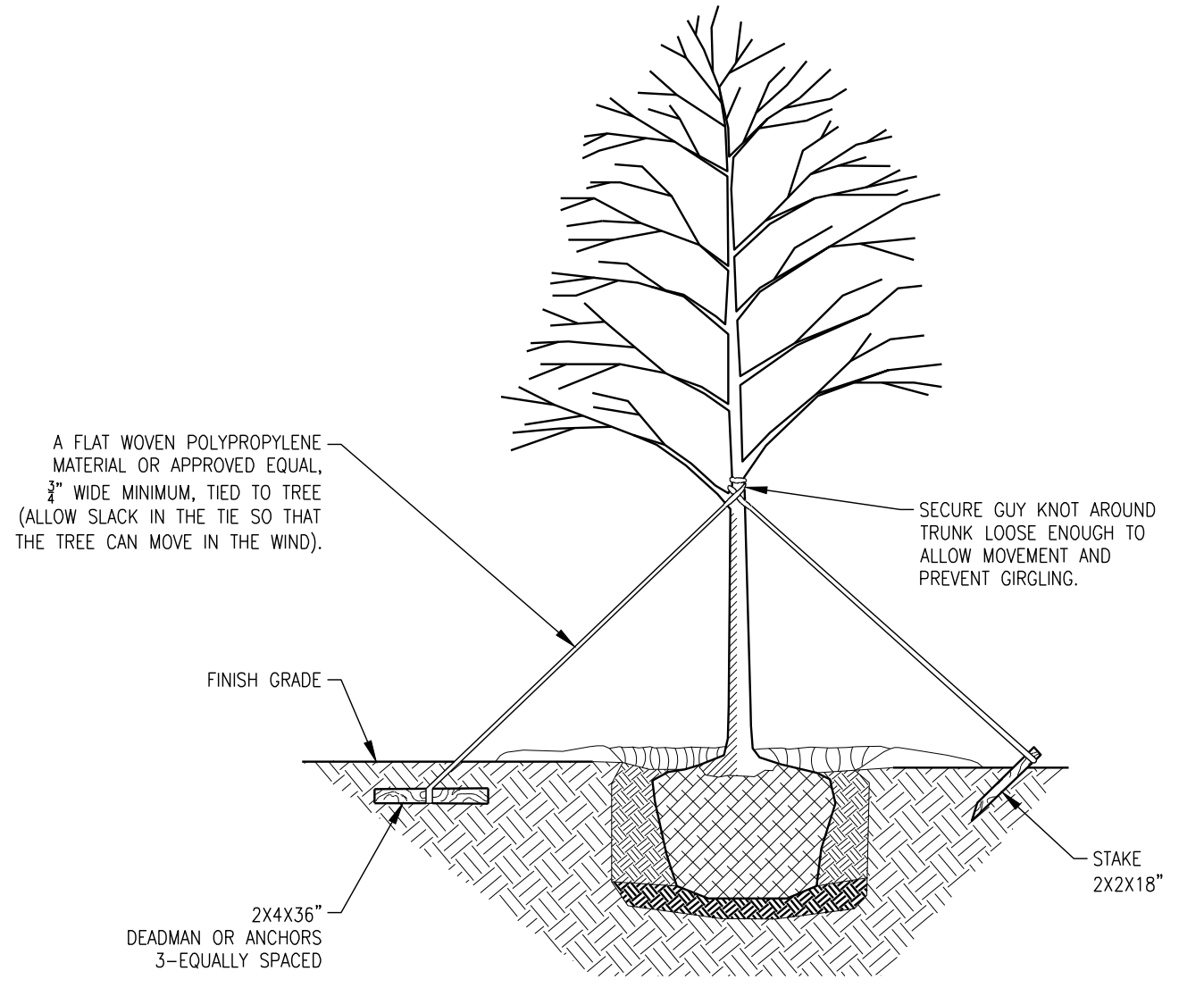
SOD SHALL BE WATERED IMMEDIATELY AFTER ROLLING OR TAMPING.

- NOTES:
- PLANT LIST QUANTITIES ARE FOR REFERENCE ONLY. KEYED PLANS SHALL GOVERN OVER PLANT LIST.
 - ALL PLANTS/PLANT BEDS SHALL RECEIVE A 3" LAYER OF FRESH PINE STRAW MULCH.
 - THE GENERAL CONTRACTOR SHALL SUPPLY ROUGH GRADES ±0.2' WITH POSITIVE DRAINAGE PATTERNS ESTABLISHED. THE LANDSCAPE CONTRACTOR WILL FINE GRADE FOR PLANTING OPERATIONS.
 - SEE SPECIFICATIONS THIS SHEET FOR FURTHER INSTRUCTIONS.
 - TOPSOIL SHALL BE STRIPPED AND STOCKPILED BY THE GRADING CONTRACTOR. STOCKPILED TOPSOIL SHALL BE SPREAD BY THE GRADING CONTRACTOR TO A DEPTH OF 4 INCHES IF QUANTITIES ARE SUFFICIENT. GRADING CONTRACTOR SHALL PROVIDE STOCKPILED TOPSOIL FOR LANDSCAPE CONTRACTOR USE FOR BACKFILLING LANDSCAPE ISLANDS.
 - ALL PLANT MATERIAL SHALL MEET OR EXCEED SIZE AND SHAPE RELATIONSHIPS SPECIFIED IN THE LATEST EDITION OF THE AMERICAN STANDARD FOR NURSERY STOCK PUBLISHED BY THE AMERICAN ASSOCIATION OF NURSERYMEN.
 - ALL SIZES SPECIFIED REFER TO THE SIZE AT THE TIME OF PLANTING.



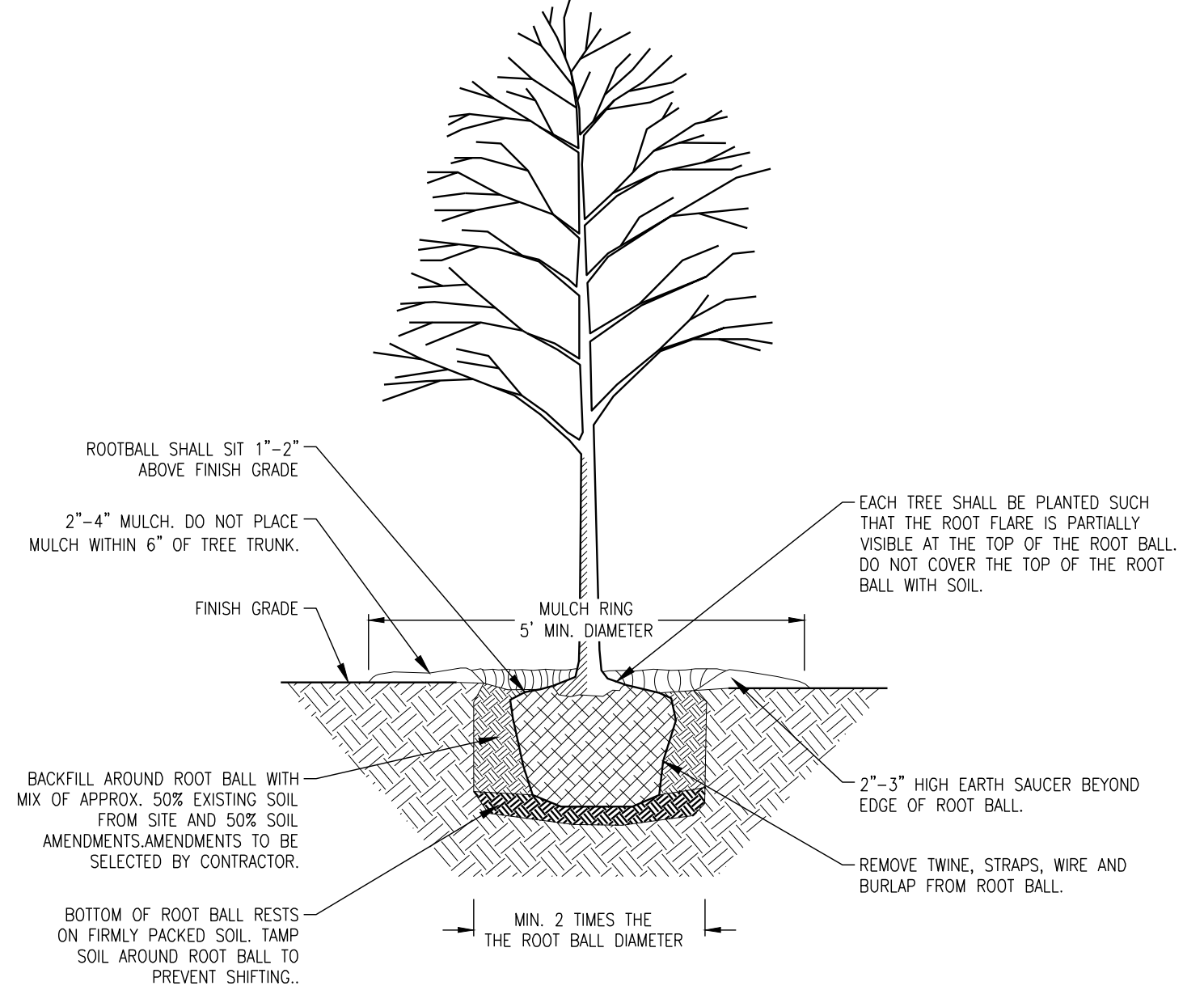
- STAKE TREES ONLY WHEN NECESSARY. STAKES SHALL BE REMOVED 6 MONTHS AFTER PLANTING.
- OTHER ALTERNATE STAKING METHODS MAY BE USED UPON APPROVAL BY MUNICIPALITY.

ALTERNATIVE TREE STAKING NOT TO SCALE



- NOTE:
- SELECT DEADMAN, ANCHORS OR STAKES TO SECURE TREE
 - STAKE TREES ONLY WHEN NECESSARY, STAKES TO BE REMOVED 6 MONTHS AFTER PLANTING.
 - TREES LARGER THAN 2" CALIPER SHOULD BE STAKED BY THREE STRAPS WHEN NECESSARY.
 - DO NOT USE STRAPS TO PULL TREE PLUMB.

TREE STAKING 2" CAL. AND ABOVE NOT TO SCALE



- NOTE:
- TREES SHALL BE PRUNED IMMEDIATELY AFTER PLANTING TO REMOVE DEAD, BROKEN, DISEASED, DYING OR RUBBING BRANCHES. CO-DOMINANT STEMS LESS THAN 4" IN DIAMETER AT THE FORK SHALL BE PRUNED OFF AND ONE MAIN STEM REMAIN. TREE TOPPING OR HEADING IS NOT PERMITTED AT ANY TIME.
 - STAKING IS NOT REQUIRED, BUT IF INSTALLED IT SHALL BE REMOVED NO LATER THAN SIX MONTHS AFTER PLANTING.

TREE PLANTING DETAIL NOT TO SCALE

PLANT LIST

KEY	QTY/PLANT	BOTANICAL NAME	COMMON NAME	SIZE	SPACING	COMMENTS
TREES						
	33	ACER RUBRUM 'JFS-KW78'	ARMSTRONG GOLD COLUMNAR RED MAPLE	2.5" CAL. MIN., 12-16' HT.	AS SHOWN	STRAIGHT SINGLE TRUNK, WELL BALANCED HEAD
	31	LIRIODENDRON TULPIFERA 'ARNOLD'	COLUMNAR YELLOW POPLAR	2.5" CAL. MIN., 12-16' HT.	AS SHOWN	STRAIGHT SINGLE TRUNK, WELL BALANCED HEAD
	31	MAGNOLIA VIRGINIANA	SWEETBAY MAGNOLIA	2.5" CAL. MIN., 8-14' HT. MIN.	AS SHOWN	STRAIGHT MULTI-STEM TRUNK, WELL BALANCED HEAD, 3 OR 5 STEMS PREFERRED
	33	BETULA NIGRA	RIVER BIRCH	2.5" CAL. MIN., 12-16' HT.	AS SHOWN	STRAIGHT MULTI-STEM TRUNK, WELL BALANCED HEAD, 3 OR 5 STEMS PREFERRED
	36	QUERCUS X WAREI 'BIRTHDAY CANDLE'	BIRTHDAY CANDLE OAK	2.5" CAL. MIN., 8-14' HT.	AS SHOWN	STRAIGHT SINGLE TRUNK, WELL BALANCED HEAD
	29	QUERCUS ROBUR 'FASTIGIATA'	COLUMNAR ENGLISH OAK	2.5" CAL. MIN., 12-16' HT.	AS SHOWN	STRAIGHT SINGLE TRUNK, WELL BALANCED HEAD



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Building Height: 20'-0"
Container Height: Blue: 35'-0" ; Brown: 9'-0"
Mounting Height: 54'-0" AFG

Reflectance: Containers: 50%; Ground/Pavement: 20%
Calculation Height: 0'-0"

Luminaire Schedule							
Symbol	Qty	Label	Arrangement	LLF	Lum Lumens	Description	Total Watts
⊕	24	ASD-300	Single	0.900	40859	ASD-SPFLHV-300D50-PRM	7403.28
⊖	30	ASD-750	Single	0.900	95684	ASD-SPFLHV-750D50-PRM	22065
⊙	10	ASD-1000	Single	0.900	136677	ASD-SPFLHV-1000D50-PRM	10096.3

Calculation Summary										
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min	PtSpclr	PtSpctb	
Container Yard	Illuminance	Fc	3.34	12.3	0.0	N.A.	N.A.	10	10	
High Traffic Area (brown)	Illuminance	Fc	5.13	13.3	0.8	6.41	16.63	10	10	

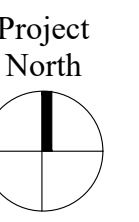
Notes:
1. 0.0 - 0.5 FC highlighted in magenta.



Coleman Company

Flonnel Avenue
Logistics Facility
Container Yard

Port Wentworth, GA



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Approval by: JLR

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ISSUE

No.	Date	Current Revision Issued
A	02/22/23	Issued for Review

Sheet Title

Overall
Photometric Plan

Sheet No.

E3.0

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Attachment: Flonnel Ave Logistics Yard 7-0003-01-001 S-Site Plan 2023-Civil Plans 5.4.23 (2830 - Site Plan Review Application (Specific) Flonnel Ave Logistics Yard 7-0003-01-001 June 2023)



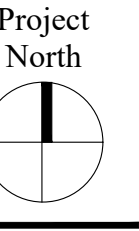
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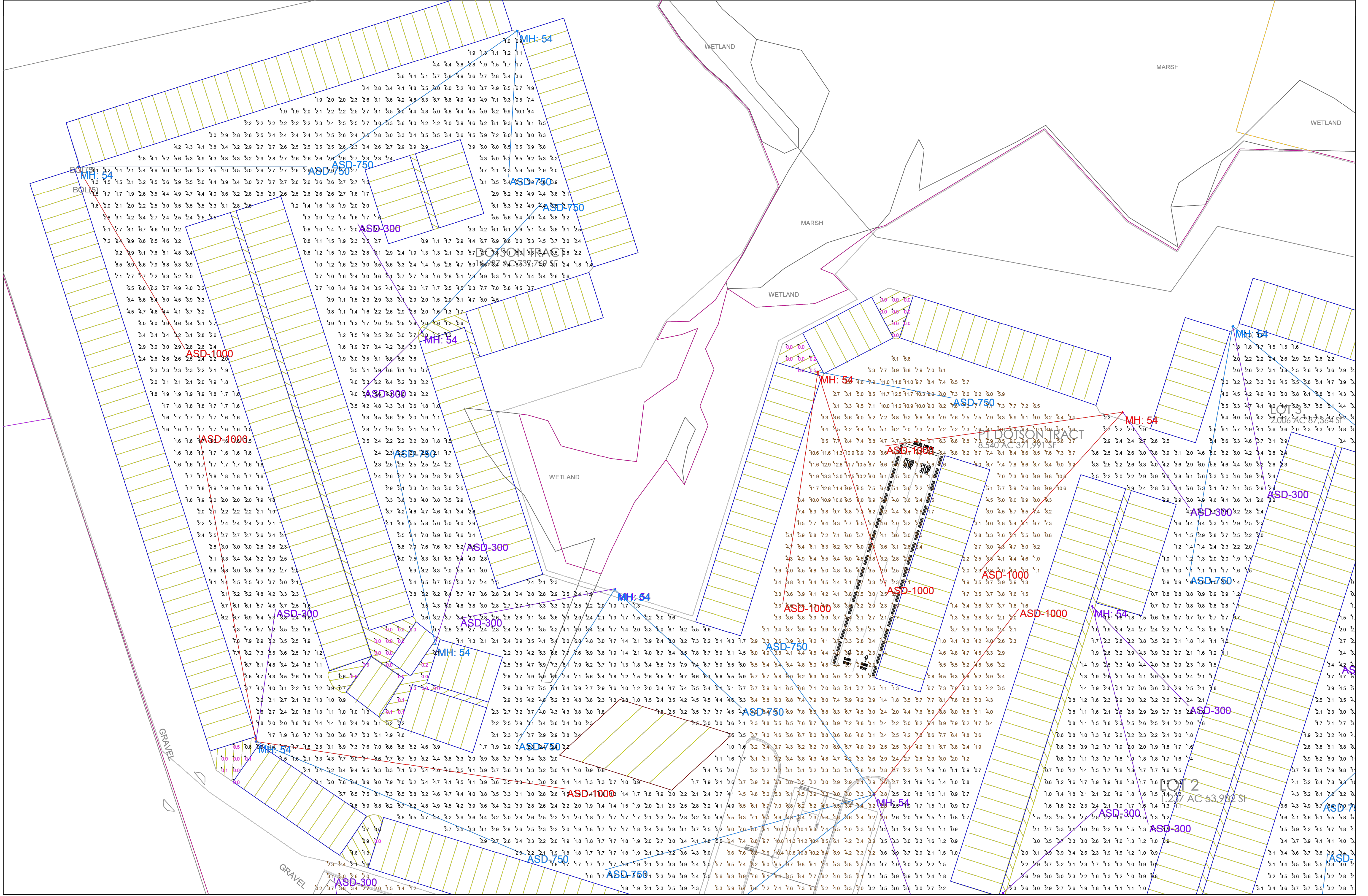
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A	02/22/23	Issued for Review

Sheet Title

Enlarged Section 1
Photometric Plan

Sheet No.

E3.1



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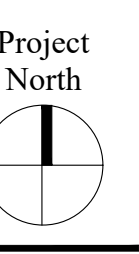
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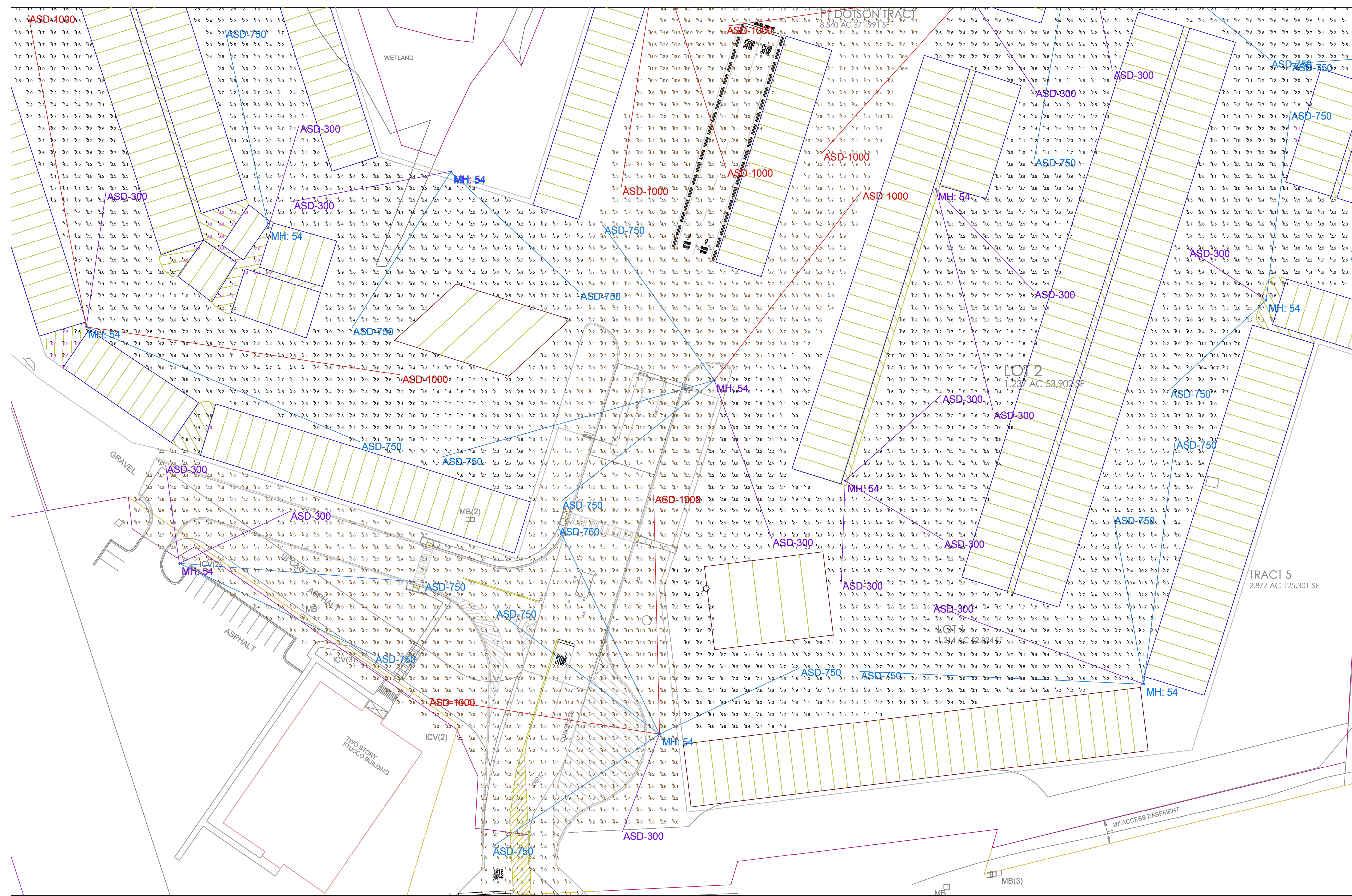
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Sheet Title

Enlarged Section 2
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Attachment: Flannel Ave Logistics Yard 7-0003-01-001 S-Site Plan 2023-Civil Plans 5.4.23 (2830) - Site Plan Review Application (Specific) Flannel Ave Logistics Yard 7-0003-01-001 June 2023



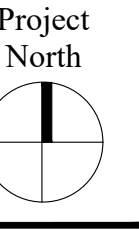
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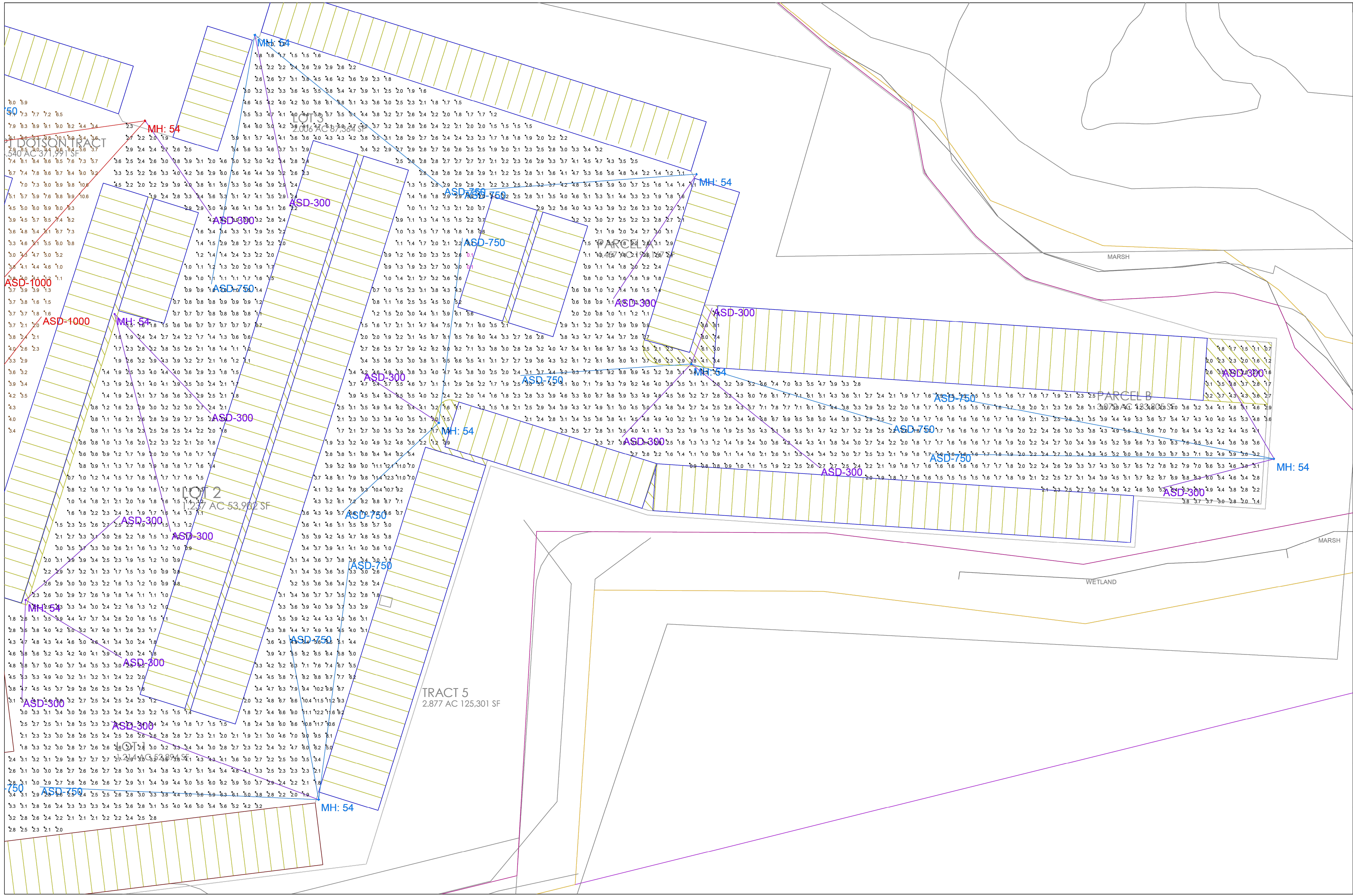
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A	02/22/23
	Current Revision Issued
	Issued for Review

Sheet Title

Enlarged Section 3
Photometric Plan

Sheet No.

E3.3



ISSUE FOR REVIEW
02/22/23
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