



CITY OF PORT WENTWORTH

PLANNING COMMISSION

MAY 10, 2021

Council Meeting Room

Regular Meeting

7:00 PM

7224 GA HIGHWAY 21
PORT WENTWORTH, GA 31407

1. CALL MEETING TO ORDER

2. PRAYER AND PLEDGE OF ALLEGIANCE

3. ROLL CALL - SECRETARY

4. APPROVAL OF AGENDA

5. ADOPTION OF MINUTES

A. Planning Commission - Regular Meeting - Apr 12, 2021 6:30 PM

6. ZONING MAP AMENDMENTS (REZONING)

7. ZONING TEXT AMENDMENTS (ORDINANCES)

8. SITE PLAN/SUBDIVISION APPROVAL

A. Site Plan Review Application submitted by NGI Acquisitions, LLC., on behalf of Tom Exley for PIN # 7-0907-01-003 (Highway 21) for a General Development Site Plan to allow a Multifamily Apartment Complex (Novare) in a P-RIP (Planned Residential Institutional) Zoning District

- Public Hearing
- Action

B. Site Plan Review Application submitted by Chad Zittrouer, Kern & Co., LLC., on behalf of CH Realty IX - Sansone, Savannah 21-95, L.P., for a portion of PIN # 7-0977-01-028 (Hendley Road) for a General Development Site Plan to allow a Warehouse / Distribution Center (Lineage) in a P-I-2 (Planned Industrial) Zoning District

- Public Hearing
- Action

C. Site Plan Review Application submitted by Pete Schoenauer, Tidewater Engineering, Inc., on behalf of PSM 2021, LLC., for a portion of PIN # 7-0037-02-004 (Magellan Blvd, Home 2 Suites) for a Specific Development Site Plan to allow a Hotel in a P-C-3 (Planned General Business) Zoning District

- Public Hearing
- Action

D. Subdivision Application submitted by Lamar Mercer, PE., Thomas & Hutton, on behalf of BEP Rice Hope LLC., for PIN # 7-0906-04-076 (Cold Creek Pass) located in a M-P-O (Master Plan Overlay) Zoning District for a Final Plat of a Major Subdivision (Lakeside at Rice Hope Phase 1C-2) for the purpose of Single-Family Homes

- Public Hearing

➤Action

- E. Subdivision Application submitted by Neil P. McKenzie, P.E., Coleman Company Inc., on behalf of Bald Eagle Partners for PIN # 7-0906-04-091 (Rice Hope Road) located in a M-P-O (Master Plan Overlay) Zoning District for a Final Plat of a Major Subdivision (Mulberry Tract Phase II) for the purpose of Single-Family Homes

➤Public Hearing

➤Action

9. NEW BUSINESS

10. ADJOURNMENT



CITY OF PORT WENTWORTH

PLANNING COMMISSION

APRIL 12, 2021

Via Teleconference GoToMeeting

Regular Meeting

6:30 PM

7224 GA HIGHWAY 21
PORT WENTWORTH, GA 31407

1. CALL MEETING TO ORDER

Chairman CJ Neesmith called the meeting to order.

2. PRAYER AND PLEDGE OF ALLEGIANCE

Vice-Chairman Rufus Bright led the Prayer and Pledge of Allegiance.

3. ROLL CALL - SECRETARY

Attendee Name	Title	Status	Arrived
Bill Herrin	Planning Commissioner	Present	
Rufus Bright	Planning Commissioner	Present	
Rosetta Franklin	Planning Commissioner	Present	
Wanda Rollf	Planning Commissioner	Present	
Lauree Morris	Planning Commissioner	Present	
CJ Neesmith	Planning Commissioner	Present	
Gabrielle Nelson	Planning Commissioner	Late	
Brian Harvey	Director of Development Services	Present	
Melanie Ellis	Permit Technician	Present	

4. APPROVAL OF AGENDA

- Approval of Agenda

RESULT: ADOPTED [UNANIMOUS]
MOVER: Rufus Bright, Planning Commissioner
SECONDER: Rosetta Franklin, Planning Commissioner
AYES: Herrin, Bright, Franklin, Rollf, Morris
ABSENT: Nelson

5. ADOPTION OF MINUTES

- Planning Commission - Regular Meeting - Mar 8, 2021 6:30 PM

RESULT: ACCEPTED AS AMENDED [UNANIMOUS]
MOVER: Bill Herrin, Planning Commissioner
SECONDER: Rosetta Franklin, Planning Commissioner
AYES: Herrin, Bright, Franklin, Rollf, Morris
ABSENT: Nelson

6. ZONING MAP AMENDMENTS (REZONING)

Minutes Acceptance: Minutes of Apr 12, 2021 6:30 PM (ADOPTION OF MINUTES)

- A. Zoning Map Amendment Application submitted by Joe McNamee for PIN's # 7-0906-02-003B & 7-0906-02-009 (8173 Old Highway 21) to Rezone from PUD-O (Planned Unit Development - Office) to P-C-1 (Planned Neighborhood Business) Zoning District for the purpose of Commercial Uses

The applicant Joe McNamee was present and gave a brief overview of why he would like to rezone his property and offered to answer any questions the Commission may have. Commissioner Morris asked exactly where the property was located. Mr. McNamee responded with the location of the property, which is on Highway 21 before you get to Randall's Package shop. There were no public comments. After several minutes of discussion, Commissioner Herrin made a motion to approve. Commissioner Morris seconded the motion to approve. The vote was unanimous.

RESULT: **APPROVED [UNANIMOUS]**
MOVER: Bill Herrin, Planning Commissioner
SECONDER: Lauree Morris, Planning Commissioner
AYES: Herrin, Bright, Franklin, Rollf, Morris
ABSENT: Nelson

7. ZONING TEXT AMENDMENTS (ORDINANCES)

8. SITE PLAN/SUBDIVISION APPROVAL

- A. Site Plan Review Application submitted by Phillip McCorkle, McCorkle, Johnson & McCoy LLP., of behalf of L-A Savannah Crossgate, LLC., for PIN # 7-0035-01-007 (Northeast corner of Crossgate Rd & Jimmy Deloach Parkway) for a General Development Site Plan to allow a warehouse development in a P-I-1 (Planned Industrial) Zoning District

The applicant, Phillip McCorkle was present. Mr. McCorkle gave a brief presentation and offered to answer any questions the commission may have. Commissioner Rollf asked what the plan is to keep trucks from going down Crossgate Road on the Highway 25 side of the railroad tracks. Mr. McCorkle responded that it's his understanding that additional "no truck" signage has been installed on Crossgate Road and that traffic citations issued by City of Port Wentworth Police would possibly assist in the stopping the truck traffic. Commissioner Rollf suggested the need for a traffic camera on Crossgate Road to issue tickets, similar to what is at the school. Commissioner Morris asked about buffers around the stormwater pond. Mr. McCorkle stated that more information on the buffer around the pond would be in the specific site plan once the pond has been designed. There were no public comments. After several minutes of discussion, Commissioner Morris made a motion to approve. Commissioner Franklin seconded the motion to approve. The vote was unanimous.

RESULT: **APPROVED [UNANIMOUS]**
MOVER: Lauree Morris, Planning Commissioner
SECONDER: Rosetta Franklin, Planning Commissioner
AYES: Herrin, Bright, Franklin, Rollf, Morris, Nelson

- B. Site Plan Review Application submitted by Claret Communities, LLC., of behalf of Simz Investment Company, LLC., for PIN # 7-0976-02-027 (Highway 30) for a General Development Site Plan to allow a multi-family development in a P-RIP (Planned Residential Institutional) Zoning District

John Paul Moore, Thomas & Hutton, was present on behalf of the applicant. Mr. Moore gave a presentation on the project and offered to answer any questions the commission may have. Commissioner Bright asked if the items in the Department of the Army letter included in the application packet had been addressed. Mr. Moore responded that the letter addressed the wetlands on the property and they would not be disturbing them. Commissioner Bright asked questions regarding traffic concerns on Highway 30. Mr.

Minutes Acceptance: Minutes of Apr 12, 2021 6:30 PM (ADOPTION OF MINUTES)

Moore stated they would do a full traffic study for the specific development plan. Commissioner Herrin and Nelson stated the traffic on Highway 30 and Highway 21 currently is very dangerous. Nathan Long, Thomas & Hutton, stated that by the time this project construction is completed the GDOT improvements at the intersection of Highway 30 and Highway 21 should be completed. Commissioner Morris asked what the plan was to keep trash out of the wetland areas. Mr. Moore responded that the stormwater on the site would drain to the detention pond and be treated before discharged. Bill Rovolis, 104 Commonwealth Ave, asked about the total units of the project and if there would be any access from the property to Berrin Road. Mr. Moore responded 364 total units and there would be no access to Berrin Road from this project. Lee Terry, Claret Communities, LLC., stated this is a high quality project. After several minutes of discussion, Commissioner Morris made a motion to approve. Commissioner Franklin seconded the motion. The vote was unanimous.

RESULT: APPROVED [UNANIMOUS]
MOVER: Lauree Morris, Planning Commissioner
SECONDER: Rosetta Franklin, Planning Commissioner
AYES: Herrin, Bright, Franklin, Rolf, Morris, Nelson

- C. Site Plan Review Application submitted by Joshua Cox, Buckel Design Group of behalf of Parker's #16 LLC., for PIN # 7-0035-01-003 & 7-0035-01-004 (6000 Highway 21) for a Specific Development Site Plan to allow a Truck Stop Expansion in a P-C-3 (Planned General Business) Zoning District

The applicant, Josh Cox, was present. Mr. Cox gave a presentation of the project and offered to answer any questions the Commission may have. Commissioner Herrin asked there would be any overnight parking. Mr. Cox responded that it is fueling operations only, no overnight truck parking. Commissioner Morris asked if they have responded to any of the comments from the City engineer review. Mr. Cox responded that they are working to resubmit soon. There were no public comments. After several minutes of discussion, Commissioner Morris made a motion to approve condition upon all engineer comments being addressed. Commissioner Herrin seconded the motion. The vote was unanimous.

RESULT: APPROVED [UNANIMOUS]
MOVER: Lauree Morris, Planning Commissioner
SECONDER: Bill Herrin, Planning Commissioner
AYES: Herrin, Bright, Franklin, Rolf, Morris, Nelson

- D. Site Plan Review Application submitted by John Farmer, P.E., Fretus Engineering, LLC., of behalf of Yash Desai, Stature Investments for PIN # 7-0037-02-007 (Magellan Blvd, Port City Car Wash) for a Specific Development Site Plan to allow a Car Wash in a P-C-3 (Planned General Business) Zoning District

The applicant, John Farmer, was present. Mr. Farmer gave a brief presentation of the project and offered to answer any questions the Commission may have. Commissioner Herrin asked where this project was located. Mr. Farmer stated it was the property straight across from City Hall on Magellan Blvd. Commissioner Morris asked if they have responded to the City engineer's comments. Mr. Farmer responded they are working on resubmitting. Commissioner Bright asked what were the plans for the crosswalk. Mr. Farmer answered that they would be the standard ADA crosswalk with signage and markings. There were no public comments. After several minutes of discussion, Commissioner Morris made a motion to approve with the condition that all engineer comments be addressed. Commissioner Bright seconded the motion. The vote was unanimous.

RESULT: **APPROVED [UNANIMOUS]**
MOVER: Lauree Morris, Planning Commissioner
SECONDER: Rufus Bright, Planning Commissioner
AYES: Herrin, Bright, Franklin, Rolf, Morris, Nelson

9. NEW BUSINESS

Commissioner Herrin asked that training be provided for the Commission. Mr. Harvey answer that he would work on it.

10. ADJOURNMENT

A. Adjournment

RESULT: **ADOPTED [UNANIMOUS]**
MOVER: Rosetta Franklin, Planning Commissioner
SECONDER: Rufus Bright, Planning Commissioner
AYES: Herrin, Bright, Franklin, Rolf, Morris, Nelson

Chairman

The foregoing minutes are true and correct and approved by me on this _____ day of _____, 2021.

Secretary

Minutes Acceptance: Minutes of Apr 12, 2021 6:30 PM (ADOPTION OF MINUTES)



Planning Commission
305 South Coastal Highway
Port Wentworth, GA 31407

Meeting: 05/10/21 07:00 PM
Department: Development Services
Category: Planning/Zoning Item
Prepared By: Melanie Ellis
Department Head: Brian Harvey

SUBMITTED

AGENDA ITEM (ID # 2430)

DOC ID: 2430

Site Plan Review Application submitted by NGI Acquisitions, LLC., on behalf of Tom Exley for PIN # 7-0907-01-003 (Highway 21) for a General Development Site Plan to allow a Multifamily Apartment Complex (Novare) in a P-RIP (Planned Residential Institutional) Zoning District

Issue/Item: Site Plan Review Application submitted by NGI Acquisitions, LLC., on behalf of Tom Exley for PIN # 7-0907-01-003 (Highway 21) for a General Development Site Plan to allow a Multifamily Apartment Complex (Novare) in a P-RIP (Planned Residential Institutional) Zoning District

Background: The subject property is currently vacant woodland. There are no buildings or structures on the subject property.

Facts and Findings: The general site plan consist of 13 Apartment Buildings (312 units), 6 Carriage Buildings (12 units) for a total of 324 residential units, garage buildings, pool, clubhouse and amenities. The entrance for the complex will be on GA Highway 21. The site plan also includes associated parking, utilities, drainage and infrastructure improvements.

Funding: N/A

Recommendation: The Planning Commission will hear this application on Monday, May 10, 2021 at 7:00 PM.

ATTACHMENTS:

- 7-0907-01-003 HWY 21 NOVARE G-SITE PLAN MAY 2021 - APPLICATION (PDF)
- 7-0907-01-003 HWY 21 NOVARE G-SITE PLAN MAY 2021 - Timeline (PDF)
- 7-0907-01-003 HWY 21 NOVARE G-SITE PLAN MAY 2021 - SITE PLAN 4.22.21 (PDF)

210151

8.A.a

City of Port Wentworth
7224 Highway 21 Port Wentworth Georgia 31407 912-999-2084

RECEIVED
APR 12 2021
BY: [Signature]

Site Plan Review Application

Site Plan Application is required for all new construction in a "P" or "MPO" zone as defined in the Zoning Ordinance of the City of Port Wentworth.

Site Plan Type (Check One): General / Concept Specific Development

Site Plan Address: Highway 21, Port Wentworth, GA (North west of Pine Forest Subdivision)

PIN #(s): 7-0907-01-003

Zoning: P-RIP Estimated Cost of Construction: \$ 40 Million

Type of Construction: Multifamily apartment complex

Applicant's Name: NGI Acquisitions, LLC

Mailing Address: 1545 Peachtree Street Suite 260, Atlanta, GA 30309

Phone #: 404-815-1234 Email: tandersen@novaregroup.com

Owner's Name (If Different form Applicant): Tom Exley

Mailing Address: Post Office Box 1338, Rincon, GA 31326

Phone #: 912-658-1625 Email: tomexley2@gmail.com

I hereby acknowledge that the above information is true and correct.

NGI Acquisitions, LLC
By: James R. Borders, President
[Signature]
Applicant's Signature

4/12/21
Date

[Signature]
Owner's Signature (If Different form Applicant)

4-12-21
Date

Please see page 2 for required submittal checklist

Attachment: 7-0907-01-003 HWY 21 NOVARE G-SITE PLAN MAY 2021 - APPLICATION (2430 : Site Plan Review Application (General) 7-0907-

City of Port Wentworth
7224 Highway 21 Port Wentworth Georgia 31407 912-999-2084

Site Plan Review Application Submittal Checklist

Documentation below is required for a complete submittal.

- Signed and Completed Application
- 3 Full size sets of site plan civil drawings or concept plan (depending on type of site plan)
- 15 half size (11" X 17") sets of site plan civil drawings or concept plan (depending on type of site plan)
- N/A 2 copies of hydrology reports (if applicable)
- Names, mailing address, and PIN number of all property owners within 250 feet of all property lines
- 1 8 1/2" X 11" of site plan civil drawings or concept plan (depending on type of site plan)
- PDF of entire submittal (either flash drive or CD)
- Other Engineering details or reports may be required once submittal has been received
- Site plan review fee check
 - No Land Disturbance- \$206.00 Site Plan Fee + \$50.00 Admin Fee = Total \$256.00
 - With Land Disturbance - \$836.00 Site Plan Fee + \$50.00 Admin Fee = Total \$886.00

Additional Fee Statement: If engineer review cost to the City exceeds the site plan review fee that is paid at the time of initial application submittal, you may be required to pay additional review cost.

I have read and agree to the above additional fee statement

NGI Acquisitions, LLC, by:

JR Borders _____

Applicant's Signature

*James R. Borders
President*

4/12/21 _____

Date

*TJB
4-12-21*

Owner Name	Mailing Address 1	Mailing Address 2	City	State	Zip
NGI Acquisitions, LLC	1545 Peachtree St, Suite 260		Atlanta	GA	30309
Tom Exley	PO Box 1338		Rincon	GA	31326
Fieldstone Group, LLC	204 Wiley Bottom Rd		Savannah	GA	31411
Sam Varnedoe	PO Box 2379		Tybee Island	GA	31328
Richard Bryant	312 Chatham Villa Dr		Garden City	GA	31408
Bostick Jackson	362 Saussy Rd		Savannah	GA	31407
Alexander Hicks	7425 GA Highway 21		Port Wentworth	GA	31407
BEP RH Tract 2 LLC	100 Lakeside Blvd		Port Wentworth	GA	31407
Viloa Hicks	8613 Gateshead Rd		Alexandria	VA	22309
Tabernacle of Faith Missionary Babtist Church	PO Box 2028		Rincon	GA	31326
Priscilla Reed & Angela Harden	7411 GA Hwy 21		Port Wentworth	GA	31407
John Harden & Priscilla Hawl	7411 GA Hwy 21		Port Wentworth	GA	31407
Donald Dempsey & Lorra Woodward	105 Shuff Dr #Red		Lion	PA	17356
Henry & Elsie Harden	7398 Tottenham Dr		White Plains	MD	20695
Bessie Berrien	520 Acacia St		Savannah	GA	31405
Howard Woodlief & Christopher Lee	205 Providence Dr		Port Wentworth	GA	31407
Janice Morgan	203 Providence Dr		Port Wentworth	GA	31407
Athe LLC	PO Box 16134		Savannah	GA	31407
Deborah Wright	2 Treadway St		Port Wentworth	GA	31407
Katherine Kereven	4 Treadway St		Port Wentworth	GA	31407
Raul Huerta Govea	6 Treadway St		Port Wentworth	GA	31407
Mary Ellen Landing	8 Treadway St		Port Wentworth	GA	31407
Corey Kief	204 Treadway St		Port Wentworth	GA	31407
William Burgess	3 Treadway St		Port Wentworth	GA	31407
Warren Russell McBryde	7 Treadway St		Port Wentworth	GA	31407
James & Cindy Brunson	5 Treadway St		Port Wentworth	GA	31407
Cheryl Oswell	4 Ponderosa Dr		Port Wentworth	GA	31407
Richard Ogle	907 Nease Rd		Guyton	GA	31312
Robert Smith & Florence Lecroy	8 Ponderosa Dr		Port Wentworth	GA	31407
Moss Realty & Investment Inc	412 Cliff DR		Pooler	GA	31322
Randy & Toni Johnston	12 Treadway St		Port Wentworth	GA	31407
Michael Grant	14 Treadway St		Port Wentworth	GA	31407
Timothy Holt	16 Treadway St		Port Wentworth	GA	31407
9641 Lehigh Avenue LLC	9641 Lehigh Ave		Savannah	GA	31406
James Otto	322 Conaway Rd		Bloomingtondale	GA	31302
Carol Jones	22 Treadway St		Port Wentworth	GA	31407
Michael & Kathy Thornton	11 Treadway St		Port Wentworth	GA	31407
Mary Simmons	PO Box 1705		Savannah	GA	31402
John Galletta	15 Treadway St		Port Wentworth	GA	31407
Savannah Prop Sales & Mgmt LLC	17 Treadway St		Port Wentworth	GA	31407
Pamela Chisholm	19 Treadway St		Port Wentworth	GA	31407
Brian Vogel	68 Stagecoach Rd		Bloomingtondale	GA	31302
Lorri Moore	20 Ponderosa Rd		Port Wentworth	GA	31407
William James	22 Ponderosa Rd		Port Wentworth	GA	31407
Nichole Scruggs	24 Ponderosa Rd		Port Wentworth	GA	31407
Evon Mack	216 Black Creek Rd		Port Wentworth	GA	31407
Melissa Edge	102 Riley Ct		Springfield	GA	31329
Charles Robinson	112 Black Creek Rd		Port Wentworth	GA	31407
BEP Rice Hope LLC	100 Lakeside Blvd		Port Wentworth	GA	31407

CITY OF PORT WENTWORTH
(912) 964-4379

REC#: 00310657 4/21/2021 2:25 PM
OPER: ME TERM: 011
REF#: CK 3335

TRAN: 112.0000 BLDG PERMIT
210151 256.00CR
NGI ACQUISITIONS, LLC
7-0907-01-003
DEV-SPR 256.00CR

TENDERED: 256.00 CHECK
APPLIED: 256.00-
CHANGE: 0.00

WWW.CITYOFPORTWENTWORTH.COM

Attachment: 7-0907-01-003 HWY 21 NOVARE G-SITE PLAN MAY 2021 - APPLICATION (2430 : Site Plan Review Application (General) 7-0907-

Project Timeline

General Site Plan – Novare Multi-Family, Highway 21

- 4/12/2021—application received.
- 4/22/2021—received revised site plan.

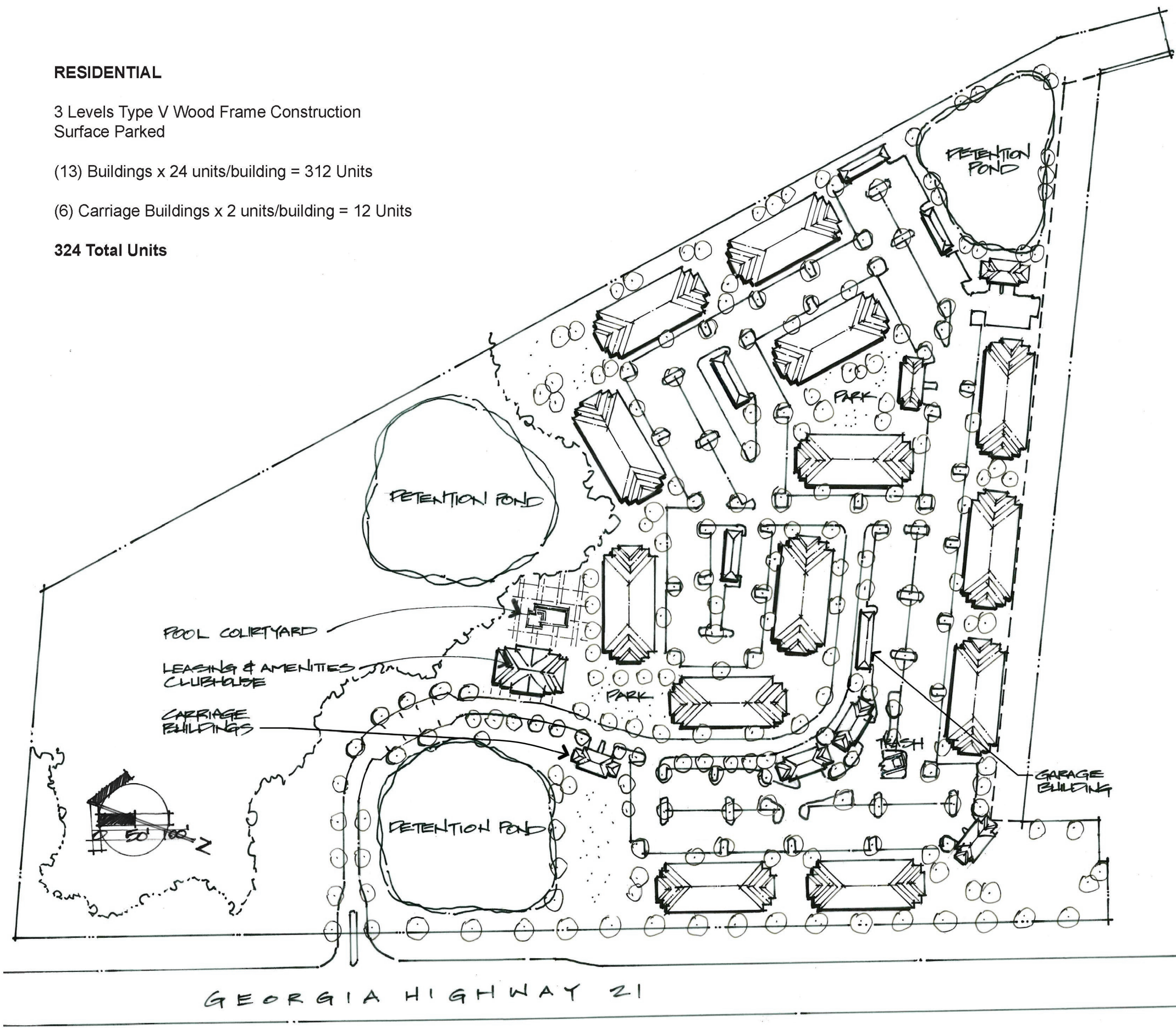
RESIDENTIAL

3 Levels Type V Wood Frame Construction
Surface Parked

(13) Buildings x 24 units/building = 312 Units

(6) Carriage Buildings x 2 units/building = 12 Units

324 Total Units



GEORGIA HIGHWAY 21



Planning Commission
305 South Coastal Highway
Port Wentworth, GA 31407

Meeting: 05/10/21 07:00 PM
Department: Development Services
Category: Planning/Zoning Item
Prepared By: Melanie Ellis
Department Head: Brian Harvey

SUBMITTED

AGENDA ITEM (ID # 2429)

DOC ID: 2429

**Site Plan Review Application submitted by Chad Zittrouer,
Kern & Co., LLC., on behalf of CH Realty IX - Sansone,
Savannah 21-95, L.P., for a portion of PIN # 7-0977-01-028
(Hendley Road) for a General Development Site Plan to allow
a Warehouse / Distribution Center (Lineage) in a P-I-2
(Planned Industrial) Zoning District**

Issue/Item: Site Plan Review Application submitted by Chad Zittrouer, Kern & Co., LLC., on behalf of CH Realty IX - Sansone, Savannah 21-95, L.P., for a portion of PIN # 7-0977-01-028 (Hendley Road) for a General Development Site Plan to allow a Warehouse / Distribution Center (Lineage) in a P-I-2 (Planned Industrial) Zoning District

Background: The subject property is currently vacant woodland. There are no buildings or structures on the subject property.

Facts and Findings: The general site plan consist of a 219,400 square foot warehouse / distribution center. The site plan also includes associated parking, utilities, drainage and infrastructure improvements.

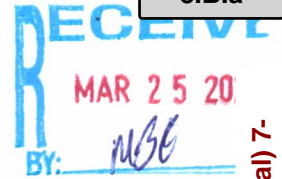
Funding: N/A

Recommendation: The Planning Commission will hear this application on Monday, May 10, 2021 at 7:00 PM.

ATTACHMENTS:

- 7-0977-01-028 HENDLEY RD LINEAGE G-SITE PLAN MAY 2021 - Application (PDF)
- 7-0977-01-028 HENDLEY RD LINEAGE G-SITE PLAN MAY 2021 - Timeline (PDF)
- 7-0977-01-028 HENDLEY RD LINEAGE G-SITE PLAN MAY 2021 - Site Plan 3.15.21 (PDF)
- 7-0977-01-028 HENDLEY RD LINEAGE G-SITE PLAN MAY 2021 - Rendered Elevations (PDF)

City of Port Wentworth
7224 Highway 21 Port Wentworth Georgia 31407 912-999-2084



Site Plan Review Application

Site Plan Application is required for all new construction in a "P" or "MPO" zone as defined in the Zoning Ordinance of the City of Port Wentworth.

Site Plan Type (Check One): General / Concept Specific Development
Site Plan Address: 0 Hendley Road
PIN #(s): Portion of 7-0977-01-028
Zoning: P-I-2 Estimated Cost of Construction: \$
Type of Construction: Primarily Concrete Tilt-Wall Construction.

Applicant's Name: Kern & Co., LLC - Chad Zittrouer
Mailing Address: P O Box 15179 - Savannah, GA 31416
Phone #: 912-354-8400 Email: czittrouer@kernengineering.com

Developer Entity: Lineage Logistics
Owner's Name (if Different form Applicant): CH Realty IX - Sansone I Savannah 21-95, L.P.
Mailing Address: 3819 Maple Ave - Dallas, TX 75219
Developer Contact: Ken Burke
Phone #: 402-660-0989 Email: kburke@lineagelogistics.com

I hereby acknowledge that the above information is true and correct.


Chad Zittrouer
Kern & Co., LLC
1100 Peachtree Street, N.E.
Atlanta, GA 30309
www.kernengineering.com
404.354.8400

Applicant's Signature _____ Date _____

See Exhibit A

Owner's Signature (if Different form Applicant) _____ Date _____

Please see page 2 for required submittal checklist

Attachment: 7-0977-01-028 HENDLEY RD LINEAGE G-SITE PLAN MAY 2021 - Application (2429 : Site Plan Review Application (General) 7-

City of Port Wentworth
7224 Highway 21 Port Wentworth Georgia 31407 912-999-2084

Site Plan Review Application Submittal Checklist

Documentation below is required for a complete submittal.

- Signed and Completed Application
- 3 Full size sets of site plan civil drawings or concept plan (depending on type of site plan)
- 15 half size (11" X 17") sets of site plan civil drawings or concept plan (depending on type of site plan)
- 2 copies of hydrology reports (if applicable) N/A for concept
- Names, mailing address, and PIN number of all property owners within 250 feet of all property lines
- 1 8 1/2" X 11" of site plan civil drawings or concept plan (depending on type of site plan)
- PDF of entire submittal (either flash drive or CD)
- Other Engineering details or reports may be required once submittal has been received
- Site plan review fee check
 - No Land Disturbance- \$206.00 Site Plan Fee + \$50.00 Admin Fee = Total \$256.00
 - With Land Disturbance - \$836.00 Site Plan Fee + \$50.00 Admin Fee = Total \$886.00

Additional Fee Statement: If engineer review cost to the City exceeds the site plan review fee that is paid at the time of initial application submittal, you may be required to pay additional review cost.

I have read and agree to the above additional fee statement



 Chad Zitroue

Digital signed by Chad Zitroue

DN: cn=Chad Zitroue, o=City of Port Wentworth, ou=City of Port Wentworth, email=chad.zitroue@portwentworth.com, c=US

Chad Zitroue

Serial: 2021.04.13.09.29.24.6487

Applicant's Signature

Date

EXHIBIT A

my

CH REALTY IX-SANSONE I SAVANNAH 21-95, L.P., a Delaware limited partnership

By: CH Realty IX/I Savannah 21-95 GP, L.L.C.,
a Delaware limited liability company, its
general partner

By: Fund IX Managers, L.L.C., a Texas limited
liability company, its manager



By: _____
Name: Matthew E. Colter
Title: Vice President

Attachment: 7-0977-01-028 HENDLEY RD LINEAGE G-SITE PLAN MAY 2021 - Application (2429 : Site Plan Review Application (General) 7-

ADJACENT PROPERTY OWNERS

<u>PROPERTY</u>	<u>PIN</u>	<u>OWNER</u>	<u>ADDRESS</u>
1	7-0976-02-021	D.B. ASTER III LLC	250 GILBRALTAR ROAD, HORSHAM, PA 19044
2	7-0037-02-002A	PFJ SOUTHEAST LLC	PO BOX 54650, LEXINGTON, KY 40555
3	7-0037-02-002	PFJ SOUTHEAST LLC	PO BOX 54650 LEXINGTON, KY 40555
4	7-0037-01-043	ENMARK STATION INC	PO BOX 728 SAVANNAH, GA. 31402
5	1-0903-02-013	GEORGIA PORTS AUTHORITY	PO BOX 2406 SAVANNAH, GA. 31402
6	1-0903-02-003	GEORGIA PORTS AUTHORITY	PO BOX 2406 SAVANNAH, GA. 31402
7	1-0903-05-012	GEORGIA PORTS AUTHORITY	PO BOX 2406 SAVANNAH, GA. 31402
8	7-0979-01-001	MANER, FREDRICK D.	PO BOX 30032 SAVANNAH, GA. 31410
9	7-0979-01-002	ADAMS & DAISE SANDRA D & DARREL M.	26 DEVON DR WEST ORANGE NJ 07052
10	7-0979-01-003	STEELE, ALEXANDER	602 W. 45TH STREET SAVANNAH, GA. 31405
11	7-0979-01-004	WHITE OAK BAPTIST CHURCH	135 MONTEITH ROAD, SAVANNAH, GA. 31407
12	7-0979-01-005	HICKS, FANNIE MAE	143 MONTIETH ROAD, SAVANNAH, GA. 31407
13	7-0979-01-008	UTTERMOST SAVANNAH LLC	PO BOX 16134 SAVANNAH, GA. 31416
14	7-0977-01-020	GEORGIA POWER COMPANY	241 RALPH MCGILL BLVD NE, ATLANTA, GA 30308

15	7-0977-01-019	GEORGIA POWER COMPANY	241 RALPH MCGILL BLVD NE, ATLANTA, GA 30308
16	7-0977-01-018	GEORGIA POWER COMPANY	241 RALPH MCGILL BLVD NE, ATLANTA, GA 30308
17	7-0977-01-017	GEORGIA POWER COMPANY	241 RALPH MCGILL BLVD NE, ATLANTA, GA 30308
18	7-0977-01-016	THOMAS, LEON	208 MONTIETH ROAD, SAVANNAH, GA. 31407
19	7-0977-01-015	BRYANT, MAE FRANCES	212 MONTIETH ROAD, SAVANNAH, GA. 31407
20	7-0977-01-014	BRYANT & JONES ROBERT L. & COTEA D.	216 MONTIETH ROAD, SAVANNAH, GA. 31407
21	7-0977-01-013	HURST, WILBERT	220 MONTIETH ROAD, SAVANNAH, GA. 31407
22	7-0977-01-012	STEWART, SHUBERT STEWART THELMA & ROBIN, RUTH & MARION	230 MONTIETH ROAD, SAVANNAH, GA. 31407
23	7-0977-01-011	MOUNT MARIA BAPTIST CHURCH	230 MONTIETH ROAD, SAVANNAH, GA. 31407
24	7-0977-01-010	BODY OF CHRIST CHURCH	201 BIRCH DRIVE, RINCON, GA. 31326
25	7-0977-01-008	UTTERMOST SAVANNAH LLC	PO BOX 16134, SAVANNAH, GA. 31416
26	7-0977-01-024	CZURA WALTER M.	PO BOX 6567, HILTON HEAD, SC 29938
27	7-0977-01-025	CZURA WALTER M.	PO BOX 6567, HILTON HEAD, SC 29938
28	7-0037-02-003	LANDING, TERRY L & MARGIE H.	P.O. BOX 924 BLOOMINGDALE, GA 31302

CITY OF PORT WENTWORTH
(912) 964-4379

REC#: 00307585 3/30/2021 1:50 PM
OPER: ME TERM: 011
REF#: CK 6868

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CH REALTY IX-SANDSONE SAVANNAH
7-0977-01-028
DEV-SPR 256.00CR

TENDERED: 256.00 CHECK
APPLIED: 256.00-

CHANGE: 0.00

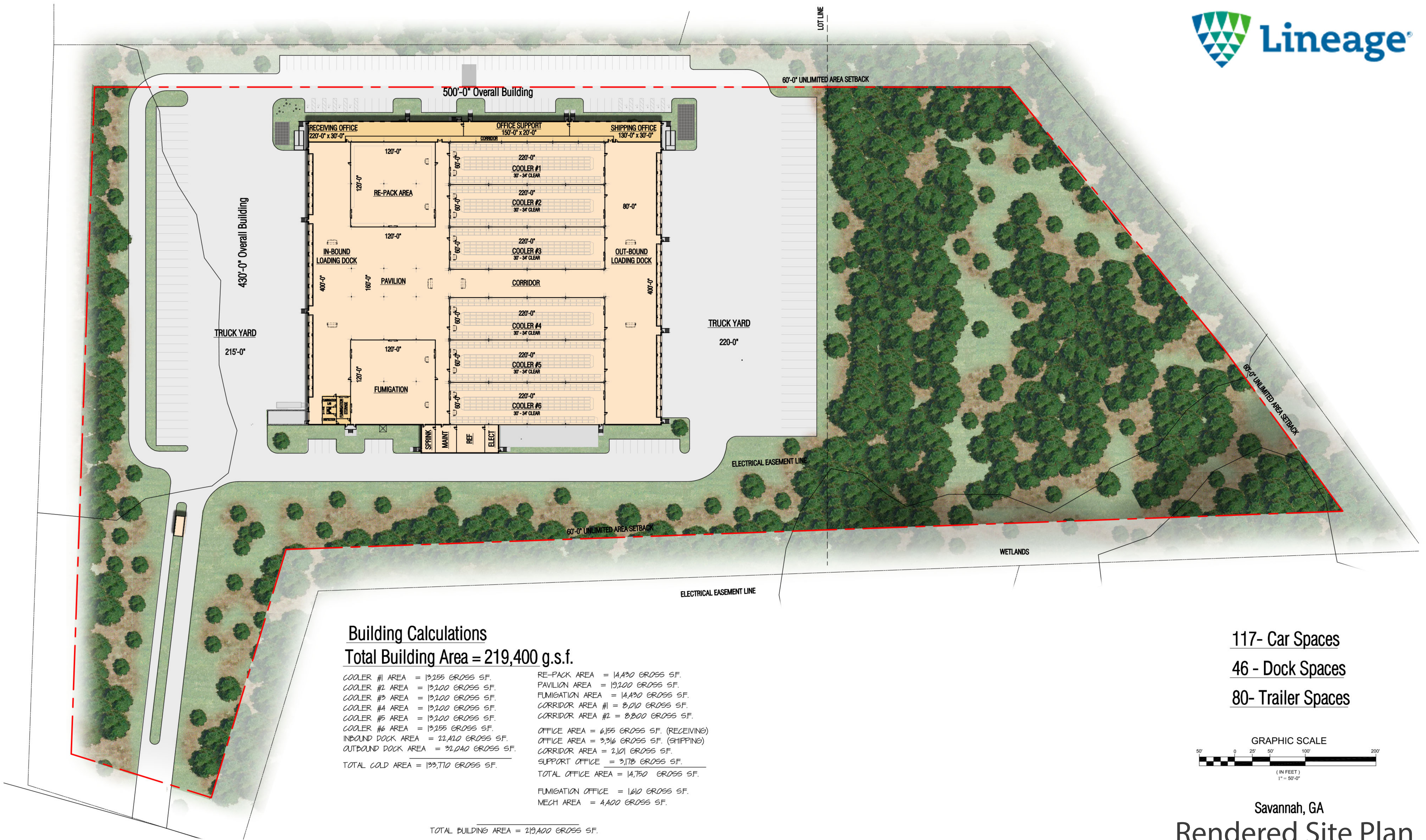
WWW.CITYOFPORTWENTWORTH.COM

Attachment: 7-0977-01-028 HENDLEY RD LINEAGE G-SITE PLAN MAY 2021 - Application (2429 : Site Plan Review Application (General) 7-

Project Timeline

General Site Plan – Lineage Warehouse Hendley Road

- 3/25/2021—Application Received.
- 3/30/2021—Sent email to Chad Zittrouer, Kern & Co, LLC that we were missing the required PDF and 15 copies of the plan.
- 4/27/2021—Sent follow up email to Chad Zittrouer, Kern & Co, LLC that we were still missing the required PDF & 15 copies of the plan.
- 4/29/2021--- Received missing information.



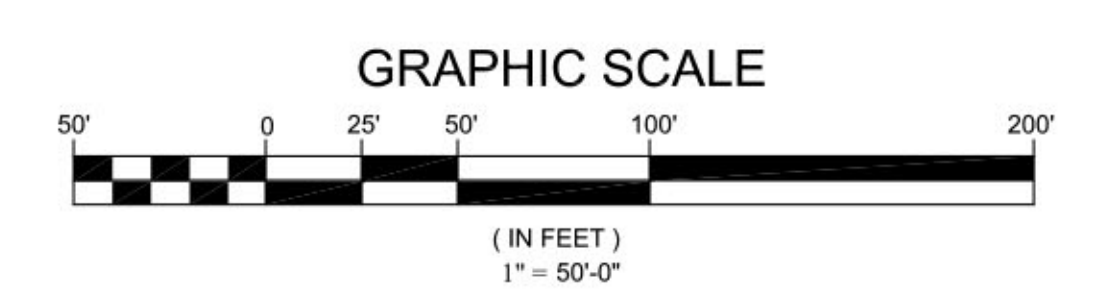
Building Calculations

Total Building Area = 219,400 g.s.f.

COOLER #1 AREA = 13,255 GROSS SF.	RE-PACK AREA = 14,430 GROSS SF.
COOLER #2 AREA = 13,200 GROSS SF.	PAVILION AREA = 19,200 GROSS SF.
COOLER #3 AREA = 13,200 GROSS SF.	FUMIGATION AREA = 14,430 GROSS SF.
COOLER #4 AREA = 13,200 GROSS SF.	CORRIDOR AREA #1 = 8,010 GROSS SF.
COOLER #5 AREA = 13,200 GROSS SF.	CORRIDOR AREA #2 = 8,800 GROSS SF.
COOLER #6 AREA = 13,255 GROSS SF.	OFFICE AREA = 6,155 GROSS SF. (RECEIVING)
INBOUND DOCK AREA = 22,410 GROSS SF.	OFFICE AREA = 3,316 GROSS SF. (SHIPPING)
OUTBOUND DOCK AREA = 32,040 GROSS SF.	CORRIDOR AREA = 2,101 GROSS SF.
TOTAL COLD AREA = 133,710 GROSS SF.	SUPPORT OFFICE = 3,178 GROSS SF.
	TOTAL OFFICE AREA = 14,750 GROSS SF.
	FUMIGATION OFFICE = 1,610 GROSS SF.
	MECH AREA = 4,400 GROSS SF.

TOTAL BUILDING AREA = 219,400 GROSS SF.

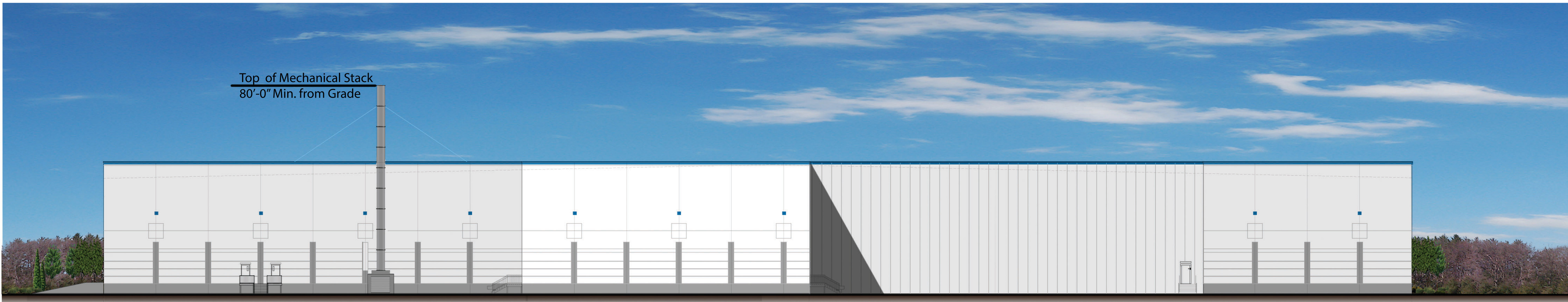
- 117- Car Spaces
- 46 - Dock Spaces
- 80- Trailer Spaces



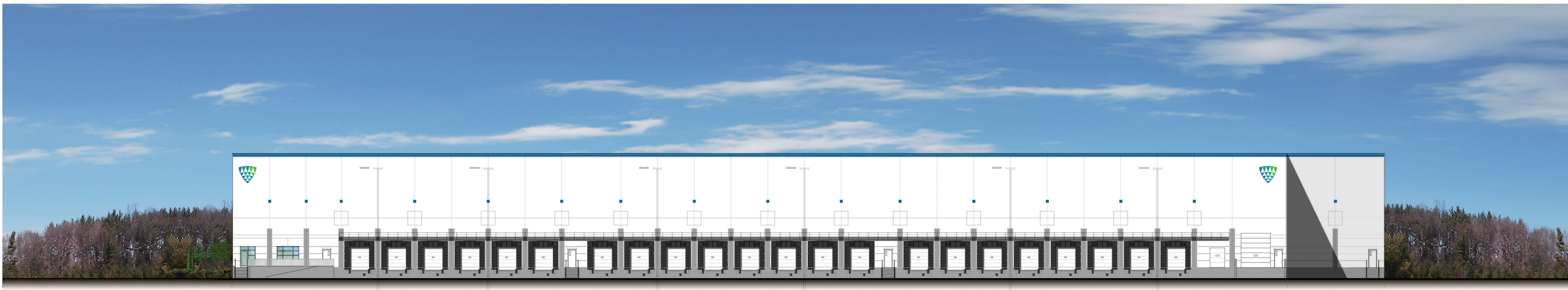
Savannah, GA Rendered Site Plan



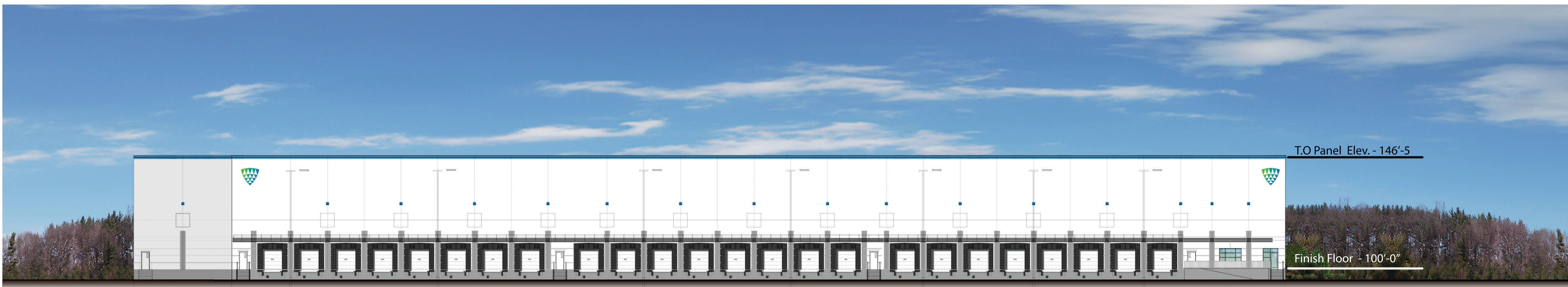
WEST ELEVATION



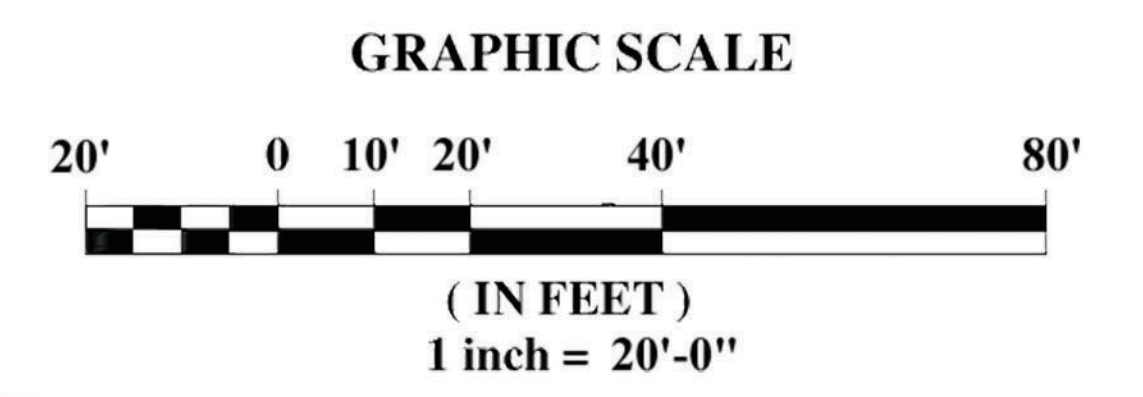

EAST ELEVATION



SOUTH ELEVATION



NORTH ELEVATION

Lineage[®]
Savannah, GA
Rendered Elevations



Planning Commission
305 South Coastal Highway
Port Wentworth, GA 31407

Meeting: 05/10/21 07:00 PM
Department: Development Services
Category: Planning/Zoning Item
Prepared By: Melanie Ellis
Department Head: Brian Harvey

SUBMITTED

AGENDA ITEM (ID # 2427)

DOC ID: 2427

Site Plan Review Application submitted by Pete Schoenauer, Tidewater Engineering, Inc., on behalf of PSM 2021, LLC., for a portion of PIN # 7-0037-02-004 (Magellan Blvd, Home 2 Suites) for a Specific Development Site Plan to allow a Hotel in a P-C-3 (Planned General Business) Zoning District

Issue/Item: Site Plan Review Application submitted by Pete Schoenauer, Tidewater Engineering, Inc., on behalf of PSM 2021, LLC., for a portion of PIN # 7-0037-02-004 (Magellan Blvd, Home 2 Suites) for a Specific Development Site Plan to allow a Hotel in a P-C-3 (Planned General Business) Zoning District

Background: The subject property is currently vacant woodland. There are no buildings or structures on the subject property.

Facts and Findings: The specific site plan consist of a 4 story hotel with 110 rooms. The site will connect to City water and sewer utilities and be accessed from Magellan Blvd. The site plan also includes associated parking, utilities, drainage and infrastructure improvements. This application is currently under review by City Engineers T.R. Long Engineering.

Funding: N/A

Recommendation: The Planning Commission will hear this application on Monday, May 10, 2021 at 7:00 PM.

ATTACHMENTS:

- Magellen Blvd Home 2 Suites Specific Site Plan MAY 2021-Application (PDF)
- Magellen Blvd Home 2 Suites Specific Site Plan MAY 2021-Timeline(PDF)
- Magellen Blvd Home 2 Suites Specific Site Plan MAY 2021-1st Comment Letter TRLONG 5.5.21 (PDF)
- Magellen Blvd Home 2 Suites Specific Site Plan MAY 2021-Site Plan 1.15.21(PDF)

210108

City of Port Wentworth
7224 Highway 21 Port Wentworth Georgia 31407 912-999-2084

8.C.a
RECEIVED
MAR 16 2021
BY: MBE

Site Plan Review Application

Site Plan Application is required for all new construction in a "P" or "MPO" zone as defined in the Zoning Ordinance of the City of Port Wentworth.

Site Plan Type (Check One): General / Concept Specific Development
Site Plan Address: TBD MAGELLAN BLVD
PIN #(s): A PORTION OF 70037 02004
Zoning: P-C-3 Estimated Cost of Construction: \$ _____
Type of Construction: WOOD FRAME

Applicant's Name: TIDEWATER ENGINEERING
Mailing Address: 200 PLANTATION CHASE
ST. SIMONS ISLAND, GA 31522
Phone #: (912) 268-2164 Email: pete@tidewatereng.com

Owner's Name (if Different from Applicant): PSM 2021, LLC
Mailing Address: 4679 US HWY 17
RICHMOND HILL, GA 31324
Phone #: (912) 572-5328 Email: patel.jitan@gmail.com

I hereby acknowledge that the above information is true and correct.

Pete Schorn
Applicant's Signature

3/9/21
Date

[Signature]
Owner's Signature (if Different from Applicant)

3/9/21
Date

Please see page 2 for required submittal checklist

Attachment: Magellan Blvd Home 2 Suites Specific Site Plan MAY 2021-Application (2427 : Site Plan Review Application (Specific) Magellan

City of Port Wentworth
 7224 Highway 21 ▪ Port Wentworth ▪ Georgia ▪ 31407 ▪ 912-999-2084

Site Plan Review Application Submittal Checklist

Documentation below is required for a complete submittal.

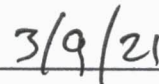
- Signed and Completed Application
- 3 Full size sets of site plan civil drawings or concept plan (depending on type of site plan)
- 15 half size (11" X 17") sets of site plan civil drawings or concept plan (depending on type of site plan)
- 2 copies of hydrology reports (if applicable)
- Names, mailing address, and PIN number of all property owners within 250 feet of all property lines
- 1 8 ½" X 11" of site plan civil drawings or concept plan (depending on type of site plan)
- PDF of entire submittal (either flash drive or CD)
- Other Engineering details or reports may be required once submittal has been received
- Site plan review fee check
 - No Land Disturbance- \$206.00 Site Plan Fee + \$50.00 Admin Fee = Total \$256.00
 - With Land Disturbance - \$836.00 Site Plan Fee + \$50.00 Admin Fee = Total \$886.00

Additional Fee Statement: If engineer review cost to the City exceeds the site plan review fee that is paid at the time of initial application submittal, you may be required to pay additional review cost.

I have read and agree to the above additional fee statement



Applicant's Signature



Date

PORT WESTWORTH

3.5.4 Exhibit 2 Equivalent Residential Unit (ERU) Calculations

The following is designed to compute the total number of equivalent residential units (ERU's), as well as, total water and sewer fees.

PROJECT HOME 2 SUITES MAGELLAN BLVD DATE 1-19-21
 LOCATION TBD MAGELLAN BLVD

RESIDENTIAL USE: EQUIVALENT RESIDENTIAL UNITS (ERU)			
Total Number of Single Family Homes	@ 300 gpd	=	GP
Total Number of One Bedroom Apartments	@ 150 gpd	=	GP
Total Number of Two Bedroom Apartments	@ 200 gpd	=	GP
Total Number of Three Bedroom Apartments	@ 300 gpd	=	GP
(4 or more units per parcel)	TOTAL GPD		
	Divide by 300 gpd (1 ERU)		
	= TOTAL ERU's		
COMMERCIAL USE: GALLONS PER DAY (GPD)			
Offices	30 gallons/200 sq. ft.	=	GPD
Department Store/Retail	5 gallons/100 sq. ft.	=	GPD
Restaurant, Less Than 24 hr Operation	25 gallons/seat	=	GPD
Restaurant, 24 hr Operation	50 gallons/seat	=	GPD
Hotel/Motel	100 gallons per room	=//0	<u>11,000</u> GPD
Schools/Day, Restrooms, gym &	25 gallons/person	=	GPD
Self Service Laundry	200 gallons/machine	=	GPD
Commercial Laundry	1000 gallons/machine	=	GPD
Physician's Office	100 gallons/exam room	=	GPD
Dental Office	150 gallons/chair	=	GPD
Clinic	150 gallons/exam room	=	GPD
Nursing Home	100 gallons/resident	=	GPD
Barber Shop/Beauty Parlor	100 gallons/chair	=	GPD
Banks	30 gallons/200 sq.ft.	=	GPD
Grocery Store	5 gallons/100 sq.ft.	=	GPD
Warehouse	10 gallons/1000 sq.ft.	=	GPD
Other			
	TOTAL GPD <u>11,000</u>		
	= TOTAL ERU's <u>37 ERU's</u>		

Calculated by: Peter Schoenauer Date: 1-19-21

For determination of sewer tap fees reference Port Wentworth Code of Ordinance Article III Section 21-63

For determination of water tap fees reference Port Wentworth Code of Ordinance Article I Section 21-11

For determination of fire protection tap fees reference Port Wentworth Code of Ordinance Article I Section 21-11

CITY OF PORT WENTWORTH
(912) 964-4379

REC#: 00308189 4/05/2021 2:57 PM
OPER: ME TERM: 011
REF#: CK 1001

TRAN: 112.0000 BLDG PERMIT
210108 886.00CR
PSM 2021, LLC
7-0037-02-004
DEV-SPR 886.00CR

TENDERED: 886.00 CHECK
APPLIED: 886.00-

CHANGE: 0.00

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PropAddress_Full	PIN	Owner	Mailing_Address	Mailing_City	Mailing_State	Mailing_Zip
0 HIGHWAY 21	70037 02004	LAND HOLDING LLC	PO BOX 25999	SHAWNEE MISSION	KS	66225
0 MAGELLAN BLVD	70037 02011	LAND HOLDING LLC	PO BOX 25999	SHAWNEE MISSION	KS	66225
0 MAGELLAN BLVD	70037 02012	3681 FIFTH AVENUE LLC & 3687 FIFTH AVENUE	1018 GUILDFORD CT	ENCINITAS	CA	92024
0 MAGELLAN BLVD	70037 02013	LAND HOLDING LLC	PO BOX 25999	SHAWNEE MISSION	KS	66225
0 MAGELLAN BLVD	70037 02014	1311 EUCLID LLC	1128 24TH ST	SANTA MONICA	CA	90403
0 MAGELLAN BLVD	70037 02015	LAND HOLDING LLC	PO BOX 25999	SHAWNEE MISSION	KS	66225
27 CORDAGE CIR	70978A01014	BARRETT SCOTT J	418 LIONS DEN DR	POOLER	GA	31322
29 CORDAGE CIR	70978A01015	DAVIS NORMAN E JR & EVELYN*	139 COBBLETON DR	RINCON	GA	31326
31 CORDAGE CIR	70978A01016	DAVIS NORMAN E JR & EVELYN*	139 COBBLETON DR	RINCON	GA	31326
33 CORDAGE CIR	70978A01017	KOHR S CHAD E & JESSICA JEAN*	No Data	ELIZABETHTOWN	KY	42701
35 CORDAGE CIR	70978A01018	MCCOY TERRY & RUBY JANIE*	35 CORDAGE CIRCLE	PORT WENTWORTH	GA	31407
37 CORDAGE CIR	70978A01019	BIGHAM & OWENS KENNETH & SHANTELL	37 CORDAGE CIR	PT WENTWORTH	GA	31407
39 CORDAGE CIR	70978A01020	GREEN ARIC	39 CORDAGE CIR	PORT WENTWORTH	GA	31407
41 CORDAGE CIR	70978A01021	SCOTT BRUCE C & ALETHIA L	41 CORDAGE CIRCLE	SAVANNAH	GA	31407
43 CORDAGE CIR	70978A01022	HARVEY AIKEN DISHON G	43 CORDAGE CIRCLE	PORT WENTWORTH	GA	31407
45 CORDAGE CIR	70978A01023	HARTZ AUDRA K	15 RIALTO CT	POOLER	GA	31322
47 CORDAGE CIR	70978A01024	COLLINS FREDDIE L II	47 CORDAGE CIR	PORT WENTWORTH	GA	31407
1 HALYARD DR	70978A08014	PRIESTER DAVID	1 HALYARD DR	PORT WENTWORTH	GA	31407
4 HALYARD DR	70978A10007	DERRINGER HOLLY C	4 HALYARD DR	PORT WENTWORTH	GA	31407
2 HALYARD DR	70978A10008	SANCHEZ MARGARITA	PO BOX 4314	SAVANNAH	GA	31407
46 CORDAGE CIR	70978A10015	PICKETT CHRISTOPHER A & ANGEL L*	46 CORDAGE CIRCLE	PT WENTWORTH	GA	31407
44 CORDAGE CIR	70978A10016	BHATT KETAN H	44 CORDAGE CIRCLE	PORT WENTWORTH	GA	31407
55 BEARING CIR	70978A21020	POLLEN TROY A	8 LAFAYETTE CT	PORT WENTWORTH	GA	31407
57 BEARING CIR	70978A21021	DAO CUONG C	210 FISH HAWK LN	SAVANNAH	GA	31410
61 BEARING CIR	70978A21023	HARDEE GROVE INVESTMENTS LLC	120 COMMERCE CT	POOLER	GA	31322
63 BEARING CIR	70978A21024	AVALON COVE INVESTMENTS LLC	120 COMMERCE CT	POOLER	GA	31322
65 BEARING CIR	70978A21025	BRIGHTON BLUFF INVESTMENTS LLC	120 COMMERCE CT	POOLER	GA	31322
67 BEARING CIR	70978A21026	GARNETT RIDGE INVESTMENTS LLC	120 COMMERCE CT	POOLER	GA	31322
69 BEARING CIR	70978A21027	DILLARD PARK INVESTMENTS LLC	120 COMMERCE CT	POOLER	GA	31322
71 BEARING CIR	70978A21028	EDEN LAKE INVESTMENTS LLC	120 COMMERCE CT	POOLER	GA	31322
73 BEARING CIR	70978A21029	CAPITAL AVENUE INVESTMENTS LLC	120 COMMERCE CT	POOLER	GA	31322
75 BEARING CIR	70978A21030	AVALON COVE INVESTMENTS LLC	120 COMMERCE CT	POOLER	GA	31322
77 BEARING CIR	70978A21031	BRIGHTON BLUFF INVESTMENTS LLC	120 COMMERCE CT	POOLER	GA	31322
79 BEARING CIR	70978A21032	GARNETT RIDGE INVESTMENTS LLC	120 COMMERCE CT	POOLER	GA	31322
81 BEARING CIR	70978A21033	DILLARD PARK INVESTMENTS LLC	120 COMMERCE CT	POOLER	GA	31322
83 BEARING CIR	70978A21034	EDEN LAKE INVESTMENTS LLC	120 COMMERCE CT	POOLER	GA	31322
85 BEARING CIR	70978A21035	FISHER ISLE INVESTMENTS LLC	120 COMMERCE CT	POOLER	GA	31322
87 BEARING CIR	70978A21036	FISHER ISLE INVESTMENTS LLC	120 COMMERCE CT	POOLER	GA	31322
89 BEARING CIR	70978A21037	GORDON KAYLA	120 COMMERCE CT	POOLER	GA	31322
91 BEARING CIR	70978A21038	COOK TIFFANY R	89 BEARING CIR	PORT WENTWORTH	GA	31407
93 BEARING CIR	70978A21039	CISCO SHEMEKA M	91 BEARING CIR	PT WENTWORTH	GA	31407
95 BEARING CIR	70978A21040	FLOWERS DETROIT	93 BEARING CIR	PT WENTWORTH	GA	31407
			95 BEARING CIRCLE	PORT WENTWORTH	GA	31407

Attachment: Magellen Blvd Home 2 Suites Specific Site Plan MAY 2021-Application (2427) : Site Plan

97 BEARING CIR	70978A21041	GREEN & DIMATTIO SHAWN & MEGAN	97 BEARING CIR	PORT WENTWORTH	GA	31407
99 BEARING CIR	70978A21042	DEMARCO ROGER OWEN	195 SPANTON CRES	POOLER	GA	31322
101 BEARING CIR	70978A21043	JOHNSON LASHONDA M	101 BEARING CIRCLE	PORT WENTWORTH	GA	31407
103 BEARING CIR	70978A21044	CUPSTID KATIE	103 BEARING CIR	PT WENTWORTH	GA	31407
20 BEARING CIR	70978A21051	COVE AT NEWPORT TOWNHOME ASSOCIATION INC	100 COMMERCE CT	POOLER	GA	31322
64 BEARING CIR	70978A21070	CAPITAL AVENUE INVESTMENTS LLC	120 COMMERCE CT	POOLER	GA	31322
62 BEARING CIR	70978A21071	CAPITAL AVENUE INVESTMENTS LLC	120 COMMERCE CT	POOLER	GA	31322
BEARING CIR	70978A21072	COVE AT NEWPORT TOWNHOME ASSOCIATION INC	100 COMMERCE CT	POOLER	GA	31322
56 BEARING CIR	70978A21074	RAVEN DANTE L	700 BROGDON RD	GUYTON	GA	31312
54 BEARING CIR	70978A21075	MITCHELL JOHN P	54 BEARING CIRCLE	PT WENTWORTH	GA	31407
52 BEARING CIR	70978A21076	DEMPSEY DYNESHA D	52 BEARING CIRCLE	PORT WENTWORTH	GA	31407
50 BEARING CIR	70978A21077	CONNER CHARLES H SR	130 JIM WATERS RD	STATESBORO	GA	30458
48 BEARING CIR	70978A21078	HILL BRYAN A	48 BEARING CIRCLE	PORT WENTWORTH	GA	31407
46 BEARING CIR	70978A21079	CERVONE PAMELA MARIE	46 BEARING CIR	PORT WENTWORTH	GA	31407
59 BEARING CIR	70978A21086	HARVEY HORACE	59 A BEARING CIRCLE	PORT WENTWORTH	GA	31407
59 BEARING CIR	70978A21087	COLLEEN SIMMONS AS TRUSTEE OF THE PATRIC	59 BEARING CIRCLE, UNIT B	PORT WENTWORTH	GA	31407
59 BEARING CIR	70978A21088	VOISINE HELGA J	275 NORTH TOPI TRL	HINESVILLE	GA	31313
59 BEARING CIR	70978A21089	CONYERS SHEILA WILCOX	59 D BEARING CIR	PORT WENTWORTH	GA	31407
BEARING CIR	70978A21090	COVE AT NEWPORT CONDOMINIUM	100 COMMERCE CT	POOLER	GA	31322
44 BEARING CIR	70978A21101	RNJ INVESTMENTS LLC	7640 ABERCORN ST	SAVANNAH	GA	31406
44 BEARING CIR	70978A21102	SPENCER BEULAH	140 CAMBRIDGE DRIVE	RINCON	GA	31326
44 BEARING CIR	70978A21103	SIMMONS MULIK	2 EMMET COURT	SAVANNAH	GA	31419
44 BEARING CIR	70978A21104	REALTY INVESTORS US LLC	105 HILLSIDE DR	RINCON	GA	31326
BEARING CIR	70978A21105	COVE AT NEWPORT CONDOMINIUM	100 COMMERCE CT	POOLER	GA	31322
58 BEARING CIR	70978A21106	RNJ INVESTMENTS LLC	7640 ABERCORN STREET	SAVANNAH	GA	31406
58 BEARING CIR	70978A21107	HUNT BRION R	58B BEARING CIRCLE	PT WENTWORTH	GA	31407
58 BEARING CIR	70978A21108	FOSTER LUANN L	58 C BEARING CIR	PORT WENTWORTH	GA	31407
58 BEARING CIR	70978A21109	MORGAN CHRISTOPHER D.	58 BEARING CIRCLE, UNIT D	PORT WENTWORTH	GA	31407
BEARING CIR	70978A21110	COVE AT NEWPORT CONDOMINIUM	100 COMMERCE CT	POOLER	GA	31322
0 HIGHWAY 21	70037 02016	WPB ESTATE MANAGEMENT LLC	4107 COLUMBIA ROAD	AUGUSTA	GA	30907

Attachment: Magellen Blvd Home 2 Suites Specific Site Plan MAY 2021-Application (2427 : Site Plan

Project Timeline

Specific Site Plan – Home 2 Suites, Magellan Blvd

- 3/16/2021—application received.
- 3/30/2021—emailed Pete Schoenauer, Tidewater Engineering, missing documents (pdf, 15 copies and fee)
- 3/30/2021—received PDF of plans & hydro.
- 4/6/2021—sent full submittal to Trent Long, TR Long Engineering, to start site plan review.
- 4/13/2021—sent follow up email to Trent Long about review status.
- 4/26/2021—sent follow up email to Trent Long about review status.
- 5/5/2021—received 1st comment letter from Trent Long. Forwarded letter to Pete, Tidewater Engineering, and also told Pete that we needed 15 copies by the end of the business day on 5/6/2021.
- 5/6/2021—received 15 copies of the plan

T. R. Long Engineering, P.C.

114 North Commerce Street
Hinesville, Georgia 31313
(912) 368-5664 Office
(912) 368-7206 FAX



308 Commercial Drive
Savannah, Georgia 31406
(912) 335-1046 Office
(912) 335-1642 FAX

May 5, 2021

Mr. Brian Harvey
City of Port Wentworth
7224 Georgia Highway 21
Port Wentworth, Georgia 31407

Re: Site Development Plan
Home 2 Suites TDB Magellan Boulevard
Port Wentworth, Georgia

Dear Mr. Harvey,

T. R. Long Engineering, P.C. has reviewed the specific development plans entitled "Site Development Plans, Home 2 Suites, TBD Magellan Boulevard," prepared by Tidewater Engineering, Inc. dated January 15, 2021. We offer the following comments regarding this assessment:


1. The qualified plan preparer level II certification is expired. Please review and update on all sheets to a current certified level II preparer.
2. Update the introduction paragraph in the drainage report. The first paragraph is incomplete.
3. On sheet 2, Sewer Note # 7, please update the note to match the City of Port Wentworth specification that the height of manhole is to be 3" above ground in unpaved areas.
4. On sheet 2, Water Note # 5, please update the note to match the City of Port Wentworth specification on 2" and smaller piping. See Specification 02510 section 2.01 E & F. in the City of Port Wentworth Comprehensive Development Manual.
5. On sheet 2, Water Note # 6, please update printed identification to read "Caution Water Line Buried Below" per Specification 02510 section 3.06 B.
6. On sheet 2, Water Note # 7, please update the height above finish grade to comply with the City of Port Wentworth Technical Detail W-9 which shows the height to be 1'-6" to the center line of the pump connection.
7. On sheet 2, Roads and Drainage Note # 6, please update the note to refer to the City of Port Wentworth requirements and not Bulloch County.
8. On sheet 2, Roads and Drainage Note # 7, please add to required presence the City of Port Wentworth Facility Inspector needs to be present for all proof rolls.
9. On sheet 3, please add the adjacent property owners and property pin numbers to the drawing.
10. On sheet 5, the standard asphalt detail shows 6" GAB. The City of Port Wentworth requires the base course to be 8" of GAB. Reference the City of Port Wentworth Comprehensive Development Manual.

11. The concrete swales at all intersections referred to as 3' valley gutters in the drawings need concrete fillets added as shown in City of Port Wentworth Detail P-7.
12. All radii shown on the construction drawings need to be identified by size on the staking plan sheet.
13. Need measurements to be added to the staking plan sheet along the curbing for correct lengths.
14. Sidewalk should be installed along the proposed roadway, be sure to include crosswalks and ADA ramps.
15. A sidewalk should be added to connect the hotel sidewalk to the sidewalk along Magellan Boulevard for future guest foot access to surrounding facilities.
16. On sheet 6, Drainage Plan, the pond outlet control structure and outlet pipe are not identified. The drawing does not identify the type of connection to the existing system.
17. On sheet 6, Drainage Plan, the outfall to the pond shows a mitered end section and to see detail on sheet 17. There is not a detail on sheet 17, a detail is shown on sheet on sheet 20 but it is for a HDPE mitered end section. The City of Port Wentworth prefers concrete flared end sections for pipe ends. The detail SD-11 was provided on sheet 24 which is for flared end sections. Please update drawing with these changes.
18. On sheet 7, Utility Plan, please add invert elevations to the manholes where the 6" and 8" sewer lateral connect.
19. On sheet 7, Utility Plan, there is not a note on how to end the domestic water line near the temporary turn around. Please update the drawing with a note and a detail.
20. On sheet 7, Utility Plan, there is a note referring to see the Dead-End Detail on sheet 20. There is no detail to reference.
21. Need to add detail for water meter 3" and larger (W-15) to the plan sheets for domestic water system.
22. Please show concrete vaults on the drawings in addition to the notes. Provide a method to drain water system vaults.
23. Add to sheet 7, Utility plan, a 6" water meter for the fire line.
24. Please note on the drawings the difference between minimum depths of bury for domestic water and reuse water. This should be added to the note identifying the separation distance.
25. On sheet 9 the label identifying the 18" pipe between Sta 7+45 and Sta 7+69 is off the page.
26. Identify all storm structures on the drainage profiles. This should correlate to the structure table.
27. Installation of 8" sanitary sewer across Magellan Blvd does not identify an open cut across the roadway. It does not show curb and gutter being removed and replaced. This should be noted, and the drawings updated.
28. Update the outlet control structure to show the orifice for the skimmer with invert.
29. Inlet sediment traps for all curb inlets need to be changed from Sd2-Bg to Sd2-P. Detail need to be added for Sd2-P.
30. Provide a detail for the concrete washout.
31. Ds1 should be included until the Ds3 is established.
32. On sheet 19, item 11, Effingham County is identified as the MS4, change to the City of Port Wentworth.
33. On sheet 19, item 7 refers to see sheet 14 for the decimal degrees these are not included on that sheet. Please update and correct.
34. On sheet 19, item 50 states all proposed BMPs are on sheet 8-10 and the details are on this sheet. Please update and correct.

35. On sheet 19, item 51 states all BMP details are on sheet 11. Please update and correct.

Should you have any questions, comments or need additional information please contact us.

Sincerely,



Trent R. Long, P.E.

GENERAL NOTES:

- ALL CONSTRUCTION MUST MEET CURRENT CITY OF PORT WENTWORTH STANDARDS AND SPECIFICATIONS.
- ALL NECESSARY PERMITS ARE THE RESPONSIBILITY OF THE CONTRACTOR AND MUST OBTAIN ALL PERMITS PRIOR TO THE COMMENCEMENT OF CONSTRUCTION.
- THE CONTRACTOR MUST TAKE PROPER CARE TO AVOID DAMAGE TO ANY EXISTING UTILITIES, DRAINAGE STRUCTURES, TREES, ETC.
- THE LOCATION OF ALL EXISTING IMPROVEMENTS INCLUDING BUT NOT LIMITED TO UNDERGROUND UTILITIES ARE SHOWN APPROXIMATELY. THE CONTRACTOR MUST FIELD VERIFY THE LOCATIONS, BOTH HORIZONTALLY AND VERTICALLY, OF ALL EXISTING IMPROVEMENTS.
- ANY DAMAGE TO EXISTING IMPROVEMENTS INCLUDING BUT NOT LIMITED TO UTILITIES, PAVEMENT, LANDSCAPING, ETC. MUST BE REPAIRED OR REPLACED TO THE CONDITION IT WAS PRIOR TO CONSTRUCTION.
- IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO CONTACT THE UTILITIES PROTECTION CENTER "CALL BEFORE YOU DIG" AT 1-800-282-7411.
- THE CONTRACTOR MUST CONTACT THE OWNER, ENGINEER AND CITY AT LEAST 48 HOURS PRIOR TO THE START OF ANY CONSTRUCTION. THE CONTRACTOR MUST POSSESS APPROVED FINAL PLANS AND MAINTAIN A COPY OF THESE PLANS ON SITE AT ALL TIMES.
- THE CONTRACTOR MUST FURNISH A COMPLETE SET OF "AS-BUILT" DRAWINGS OF ALL WORK TO BE DONE BY A STATE OF GEORGIA REGISTERED LAND SURVEYOR.
- THE CONTRACTOR MUST NOTIFY THE ENGINEER IMMEDIATELY OF ANY DISCREPANCIES IN THESE AND ANY DEVIATION FROM THE PLANS.
- ALL UNSUITABLE MATERIALS FROM CLEARING, GRUBBING AND EXCAVATION MUST BE DISPOSED OF OFF SITE AT THE CONTRACTOR'S EXPENSE.
- NOT ALL UNDERGROUND UTILITIES MAY BE SHOWN ON THESE PLANS. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO LOCATE ALL OF THESE UTILITIES AND COORDINATE WITH THE PLANS.

DEMOLITION NOTES:

- CONTRACTOR IS RESPONSIBLE FOR CONFIRMING ALL EXISTING UTILITY LOCATIONS AND DEPTH OF BURY.
- IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO HAVE ANY NECESSARY RIGHT OF WAY PERMITS PRIOR TO CONSTRUCTION IN THE RIGHT OF WAY.
- ANY DAMAGE TO ADJACENT PROPERTY MUST BE REPAIRED TO THE CONDITION PRIOR TO CONSTRUCTION.
- ALL DEMOLITION DEBRIS MUST BE REMOVED FROM THE SITE LAWFULLY AND AT THE CONTRACTOR'S EXPENSE.
- CONTRACTOR MUST COORDINATE WITH UTILITY COMPANIES FOR REMOVAL AND ABANDONMENT OR RELOCATION OF ALL UTILITIES INCLUDING BUT NOT LIMITED TO GAS, CABLE, PHONE, ELECTRIC, WATER AND SEWER.

SEWER NOTES:

- PVC FOR GRAVITY SEWER SHALL BE SDR 26 AND SHALL CONFORM TO ASTM D-3034.
- PROVIDE A MINIMUM OF 10' HORIZONTAL SEPARATION BETWEEN WATER AND SEWER MAINS.
- ALL PIPE SHALL BE CLEARLY MARKED WITH SIZE, ASTM INFORMATION, PRESSURE RATING, AND MANUFACTURER'S NAME.
- DETECTOR TAPE AND TRACER WIRE SHALL BE INSTALLED OVER ALL NON-METALIC SEWER LINES.
- PVC PIPE AND FITTING JOINTS WILL BE OF THE INTEGRAL BELL AND SPIGOT TYPE WITH A CONFINED ELASTOMERIC GASKET BEING ABLE TO ABSORB EXPANSION AND CONTRACTION WITHOUT ANY LEAKAGE.
- PARALLEL SEPARATION BETWEEN WATER AND SEWER MAINS WILL BE 10 FEET. SEWER MAINS CROSSING WATER MAINS MUST MAINTAIN A MINIMUM VERTICAL SEPARATION OF 18 INCHES BETWEEN THE INVERT OF THE WATER MAIN AND THE TOP OF THE SEWER MAIN.
- CONTRACTOR SHALL INSTALL MANHOLE FRAME AND COVERS OUTSIDE OF PAVED AREAS A MINIMUM OF 4 INCHES ABOVE THE APPROVED PLAN FINISHED GRADE.
- SEWER INSPECTIONS MUST BE REQUESTED BY CONTRACTOR BY CONTACTING THE CITY OR COUNTY INSPECTIONS DEPARTMENT.
- FOR PROJECTS WITH ON-SITE SEPTIC SYSTEMS, THE OWNER IS RESPONSIBLE FOR THE PROPER PERMIT. THE PERMIT ISSUED BY THE LOCAL ENVIRONMENTAL HEALTH DEPARTMENT SUPERCEDES INFORMATION ON THESE PLANS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO MEET THE REQUIREMENTS OF THE PERMIT.

EARTHWORK:

- ALL UNSUITABLE MATERIAL MUST BE REMOVED FROM THE SITE AND REPLACED WITH SUITABLE MATERIAL.
- SOILS CLASSIFICATIONS ARE AS SHOWN ON THE EROSION AND SEDIMENT CONTROL PLANS.
- CONTRACTOR MUST PROVIDE CERTIFIED COMPACTION TEST RESULTS OF SUBGRADE AND BASE MATERIAL FROM AN INDEPENDENT AND QUALIFIED LABORATORY.

WATER NOTES:

- ALL CONSTRUCTION SHALL CONFORM TO THE CITY OF PORT WENTWORTH WATER AND WASTEWATER SPECIFICATIONS.
- PVC PIPE USED FOR WATERMANS WILL BE BLUE IN COLOR WITH BELLED ENDS FOR PUSH ON TYPE JOINTING. THE PIPE WILL BEAR THE SEAL OF THE NATIONAL SANITATION FOUNDATION AND CONFORM TO ALL REQUIREMENTS OF AWWA C-900 LATEST REVISION.
- 4 INCH TO 12 INCH PIPE WILL BE CLASS 150 WITH A DIMENSION RATION (DR) OF 18.
- 14 INCH TO 16 INCH PIPE WILL CONFORM TO AWWA C-905 AND HAVE A DIMENSION RATION OF 18.
- 2 INCHES AND SMALLER WILL CONFORM TO ASTM D-3139 AND 2241. THE PIPE WILL BE CLASS 200 WITH A DIMENSION RATIO OF 21.
- DETECTABLE MYLAR ENCASED ALUMINUM FOIL MARKING TAPE WILL BE INSTALLED OVER ALL PLASTIC WATER LINES. THE TAPE WILL BE "SAFETY BLUE" IN COLOR, 2.5 INCHES WIDE AND WILL BEAR THE PRINTED IDENTIFICATION "CAUTION: BURIED WATER LINE BELOW". TRACER WIRE WILL ALSO BE INSTALLED CONTINUOUSLY OR PROPERLY SPLICED AND BE NO. 12 AWG SOLID STRAND, PLASTIC COATED. THIS WIRE WILL ALSO BE INSTALLED OVER ALL SERVICES.
- FIRE HYDRANTS WILL CONFORM TO THE LATEST REVISION OF AWWA C-502. LARGE DISCHARGE SHALL BE 16 INCHES ABOVE FINISHED GRADE.
- PARALLEL SEPARATION BETWEEN WATER AND SEWER MAINS WILL BE 10 FEET. SEWER MAINS CROSSING WATER MAINS MUST MAINTAIN A MINIMUM VERTICAL SEPARATION OF 18 INCHES BETWEEN THE INVERT OF THE WATER MAIN AND THE TOP OF THE SEWER MAIN. FOR VERTICAL SEPARATIONS LESS THAN 18 INCHES, REFER TO THE THE CITY OR COUNTY WATER AND SEWER DEPT.
- THE CONTRACTOR SHALL PRESSURE TEST THE PIPE AT 150 PSI FOR A MINIMUM OF 2 HOURS. IF LEAKS ARE DETECTED, THE CONTRACTOR WILL LOCATE, REPAIR AND RETEST UNTIL SATISFACTORY RESULTS ARE ACHIEVED. THE ALLOWABLE LEAKAGE WILL NOT EXCEED 11.65 GPD/MILE/INCH OF NOMINAL DIAMETER AT A PRESSURE OF 150 PSI. REFER TO AWWA C600 AND AWWA C605.
- CONTRACTOR MUST DISINFECT ALL NEWLY INSTALLED POTABLE WATER LINES. A MINIMUM OF 48 HOURS PRIOR TO CHLORINATION, THE CONTRACTOR MUST CONTACT THE CITY OF PORT WENTWORTH UTILITY INSPECTOR. REFER TO AWWA C651 AND EPD RULES FOR SAFE DRINKING WATER.

ROADS AND DRAINAGE:

- ROADWAY FILL MATERIAL SHALL BE FREE OF ALL DEBRIS AND ORGANIC MATERIAL AND BE SUITABLE FOR ROAD CONSTRUCTION PURPOSES AS DETERMINED BY THE DESIGN ENGINEER AND/OR THE CITY OR COUNTY PLANNING DIRECTOR OR INSPECTOR.
- ALL STORM PIPE JOINTS LOCATED UNDER PAVEMENT MUST BE WRAPPED IN FILTER CLOTH.
- ELEVATIONS SHOWN FOR MANHOLES AND INLETS MAY NEED FIELD ADJUSTMENT. CONTRACTOR SHALL MAKE THESE ADJUSTMENTS TO MATCH PAVEMENT GRADES AT NO ADDITIONAL COST.
- ALL PIPE RUNS ENDING IN PONDS OR OUTFALL DITCH SHALL END IN A GDOT APPROVED FLARED END SECTION. ALL FLARED END SECTIONS SHALL BE CONCRETE AND WHERE CONNECTED TO HDPE PIPE, AN APPROVED ADAPTER MUST BE USED.
- WHERE WATER MAINS OR SANITARY SEWER FORCEMANS ARE CROSSING STORM DRAIN PIPE, THE CONTRACTOR MUST CONSTRUCT CROSSING PER BULLOCH COUNTY UTILITY ORDINANCE REQUIREMENTS.
- THE SUBGRADE SHALL BE PROOFED ROLLED WITH A LOADED TANDEM AXLE DUMP TRUCK IN THE PRESENCE OF DESIGN ENGINEER OR ON-SITE TESTING COMPANY RESPRESENTATIVE TO IDENTIFY AREAS THAT NEED REMEDIAL WORK.
- ALL UNSUITABLE MATERIAL MUST BE REMOVED FROM THE SITE AND REPLACED WITH SUITABLE MATERIAL.
- UNSUITABLE FILL BENEATH BUILDING PADS AND PAVED SURFACES MUST BE EXCAVATED AND REPLACED AS RECOMMENDED BY THE GEOTECHNICAL ENGINEER.
- ALL UNDERGROUND UTILITY CROSSINGS MUST BE INSTALLED PRIOR TO PREPARATION OF ROADWAY SUBGRADE.
- IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO OBTAIN ALL NECESSARY PERMITS TO WORK WITHIN THE CITY, COUNTY OR STATE RIGHT-OF-WAY.

LANDSCAPING NOTES:

A. GRADING NOTES:

- CONTRACTOR TO GRADE ALL AREAS SHADED IN THE PLAN, INCLUDING ROW. TOP SOIL SHALL BE STRIPPED FROM ALL CUT AND FILL AREAS, STOCKPILED AND REDISTRIBUTED OVER GRADED AREAS. PROVIDE EROSION AND SEDIMENTATION CONTROLS AROUND STOCKPILES DURING CONSTRUCTION.
- TILL SOIL TO A DEPTH OF 4" MINIMUM.
- REMOVE ALL ROCKS LARGER THAN 1" MEASURED IN LARGEST DIRECTION.
- GRADE ALL AREAS TO MAINTAIN POSITIVE SLOPE AWAY FROM BUILDING.
- ALL GRADED AREAS TO RECEIVE SEED OR SOD, TOP SOIL, STRAW AND WATER UNTIL A HEALTHY STAND OF GRASS IS OBTAINED.

B. LAWN SEEDING AND SODDING NOTES:

- ALL LAWNS FROM FACE OF THE BUILDING AND ON THE SIDE WHERE THERE IS PARKING OR A STREET ARE REQUIRED TO BE FULLY SODDED. ALL OTHER LANDSCAPE AREAS TO RECEIVE SEED.
- AREAS TO RECEIVE SEED OR SOD SHALL BE CLEAN OF DEBRIS AND FREE OF WEEDS.
- SEED MIX TO BE DROUGHT TOLERANCE FESCUE OR REGIONAL SPECIFIC BLEND. 1/2 TO 3/4 OF THE SEED MIXTURE TO BE ANNUAL RYE TO AIDE IN LIMITING EROSION OF PERENNIAL SEED DURING GERMINATION.
- STRAW SHALL BE THRESHED STRAW OF HAY, OATS, WHEAT, BARLEY, OR RYE. SPREAD AT A RATE OF 2 1/2 TONS PER ACRE. STRAW, NETTING, AND OTHER ANTI-EROSION MATERIALS TO BE REMOVED AFTER ESTABLISHED LAWN.
- MAINTENANCE SHALL BEGIN IMMEDIATELY AFTER SEEDING. WATER REGULARLY TO KEEP LAWN AREAS MOIST TO MAXIMIZE GERMINATION AND MAINTAIN OPTIMUM GROWTH AND SURVIVAL TO ACHIEVE AN ACCEPTABLE STAND OF ESTABLISHED LAWN PRIOR TO THE STORE POSSESSION DATE, FREE OF ERODED OR BARE AREAS.

C. LANDSCAPE NOTES:

- PROVISIONS FOR LOCAL AND/OR REGIONAL REQUIREMENTS, INCLUDING IRRIGATION, ARE NOT SHOWN ON THESE DRAWINGS. DEVELOPER SHALL PROVIDE LANDSCAPING IN ACCORDANCE WITH JURISDICTION REQUIREMENTS.
- ALL SOIL USED FOR PLANTING SHALL CONSIST OF REGIONALLY APPROPRIATE SOILS.
- ALL PLANTING BEDS SHALL HAVE A MINIMUM 3" DEPTH OF MULCH, WITH EDGING AS REQUIRED.
- ALL TREES LOCATED IN SOD AREAS SHALL HAVE A MULCH RING AROUND THEM WITH EDGING.
- ALL PLANTINGS SHALL BE THOROUGHLY WATERED BY THE LANDSCAPE CONTRACTOR AT THE TIME OF THE PLANTINGS.
- PRIOR TO FINAL ACCEPTANCE OF STORE BY DOLLAR GENERAL, THE SITE SHALL BE CLEAN OF ALL DEBRIS AND TRASH, AND MEET ALL REQUIREMENTS OUTLINED IN SECTIONS A-C ABOVE.
- MAXIMUM SLOPE CUTS SHALL NOT EXCEED 4:1. ALL DISTURBED GRADES GREATER THAN 8:1 SHALL BE STABILIZED BY SODDING. SODDING PINS ARE TO BE USED ON ALL 4:1 GRADES.
- VEGETATION AT ENTRY SHOULD BE LOW TO ENSURE VISIBILITY OF STORE.
- IF TREES ARE REQUIRED IN FRONT OF BUILDING, SELECT SMALL LEAFED, NON DENSE SPECIES THAT WILL NOT INTERFERE WITH THE VISIBILITY OF STORE. THE SPACING SHALL CREATE VISUAL CORRIDORS TO STORE.

D. IRRIGATION NOTES:

- ALL LANDSCAPE AREAS AND LAWNS ADJACENT TO PAVED AREAS AND/OR STREETS ARE TO BE FULLY IRRIGATED.
- IRRIGATION SYSTEM TO INCLUDE ALL SPRAY HEADS, VALVES AND CONTROLLERS.
- A SEPARATE METER AND BACKFLOW PREVENTER WILL BE REQUIRED.
- LOCATE HEADS A MINIMUM OF 2'-0" FROM EDGE OF PAVEMENT / CURB.



3-5-21

TIDEWATER ENGINEERING, INC.
 200 PLANTATION CHASE, SUITE 14
 ST. SIMONS ISLAND, GEORGIA 31522
 PHONE (912) 268-2164 FAX (912) 289-0361

BY:

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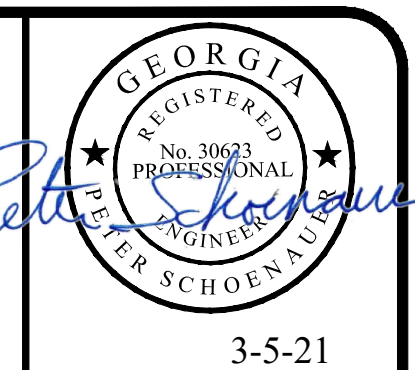
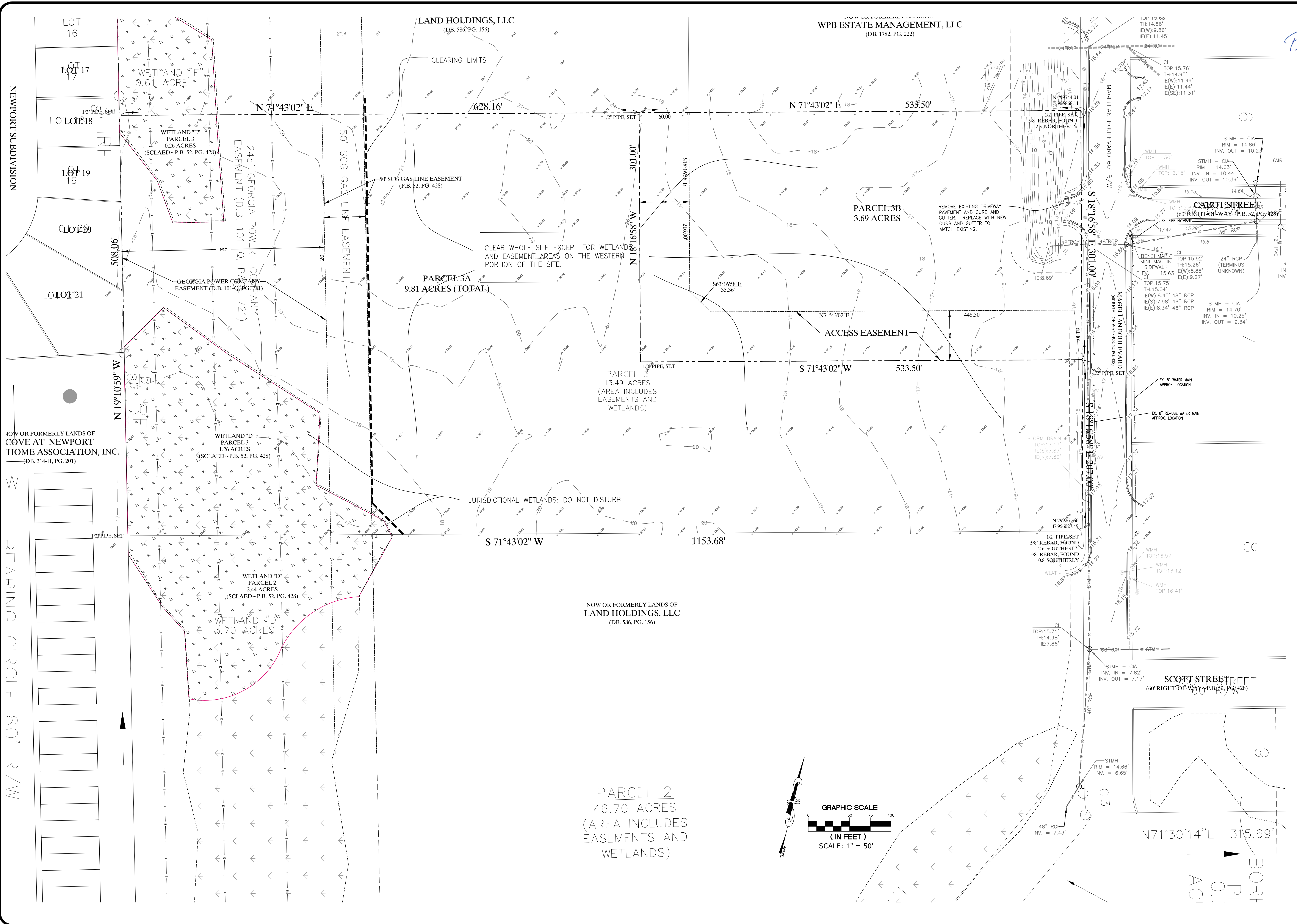
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HOME 2 SUITES
MAGELLAN BOULEVARD
PORT WENTWORTH, GA

GENERAL CONSTRUCTION NOTES

DRAWN: pss
 APPROVED: pss
 DATE: 01-15-21
 PROJ#: 21-022
 SCALE: NA

SHEET
 2 OF 25



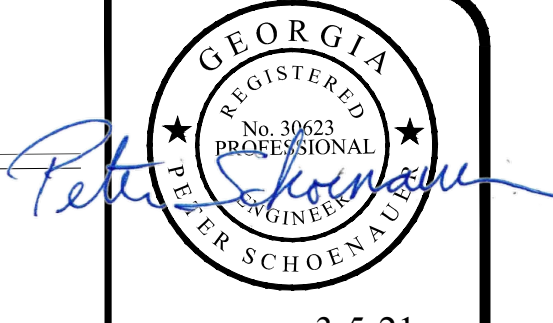
TIDEWATER ENGINEERING, INC.
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 ST. SIMONS ISLAND, GEORGIA 31522
 PHONE (912) 268-2164 FAX (912) 289-0361

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HOME 2 SUITES
MAGELLAN BOULEVARD
PORT WENTWORTH, GA
EX. CONDITIONS & DEMOLITION PLAN

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 DATE: 01-15-21
 PROJ#: 21-022
 SCALE: AS SHOWN

SHEET
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3-5-21

TIDEWATER ENGINEERING, INC.
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PHONE (912) 268-2164 FAX (912) 289-0361

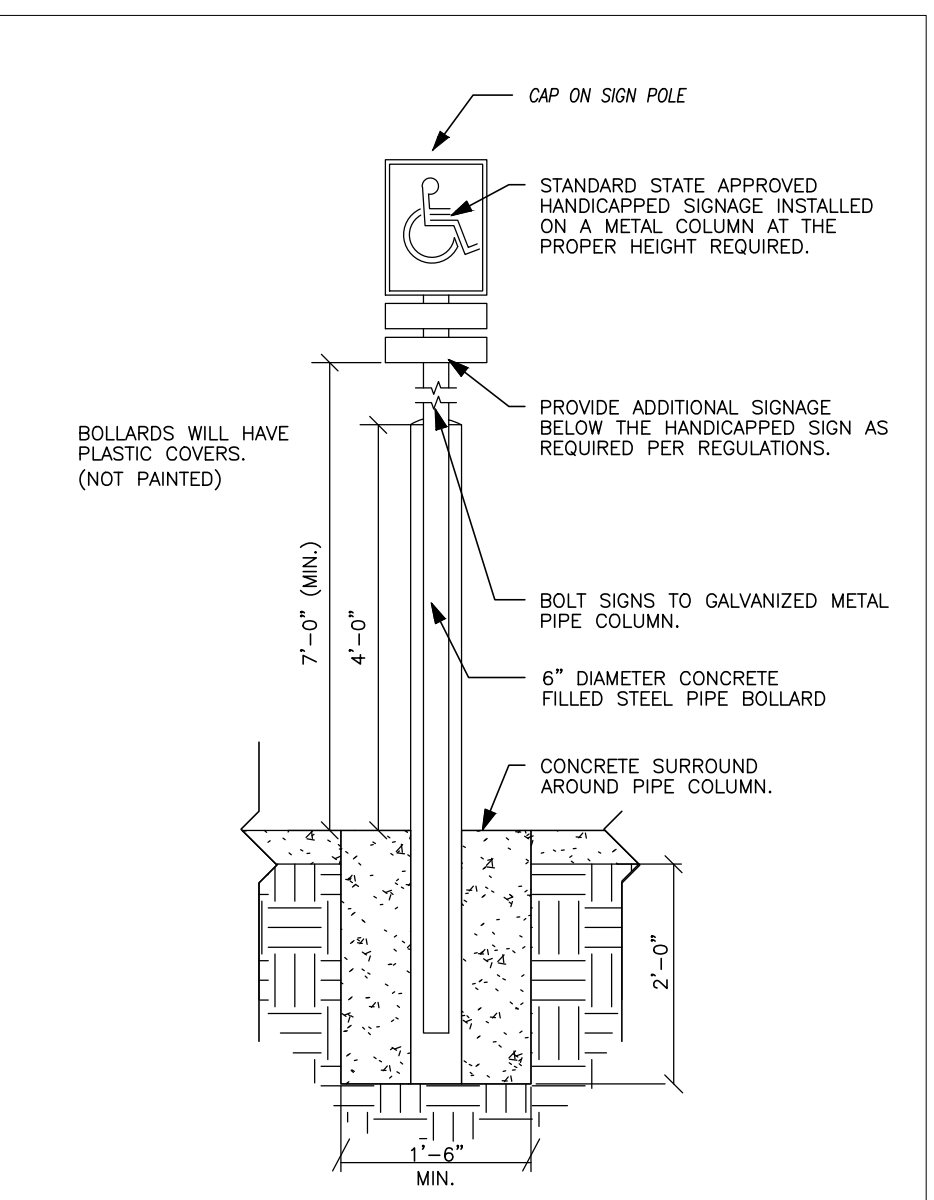
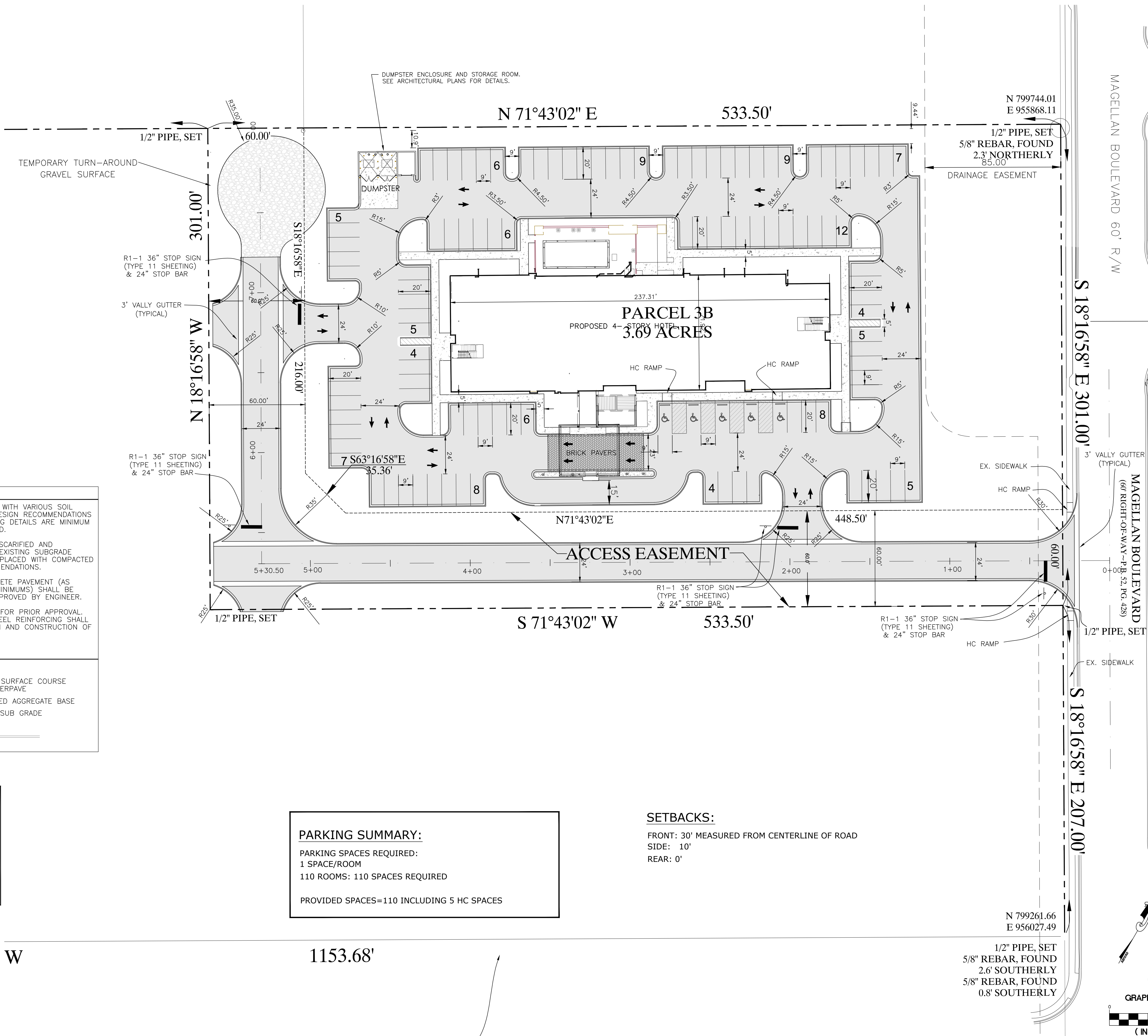
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HOME 2 SUITES
MAGELLAN BOULEVARD
PORT WENTWORTH, GA

STAKING PLAN

DRAWN: pss
APPROVED: pss
DATE: 01-15-21
PROJ#: 21-022
SCALE: AS SHOWN

SHEET
5 OF 25



NOTE:
ALL SIGNAGE REQUIRED FOR HANDICAP ACCESS SHALL MEET STATE AND FEDERAL REQUIREMENTS.

HC PARKING SIGN DETAIL
NTS

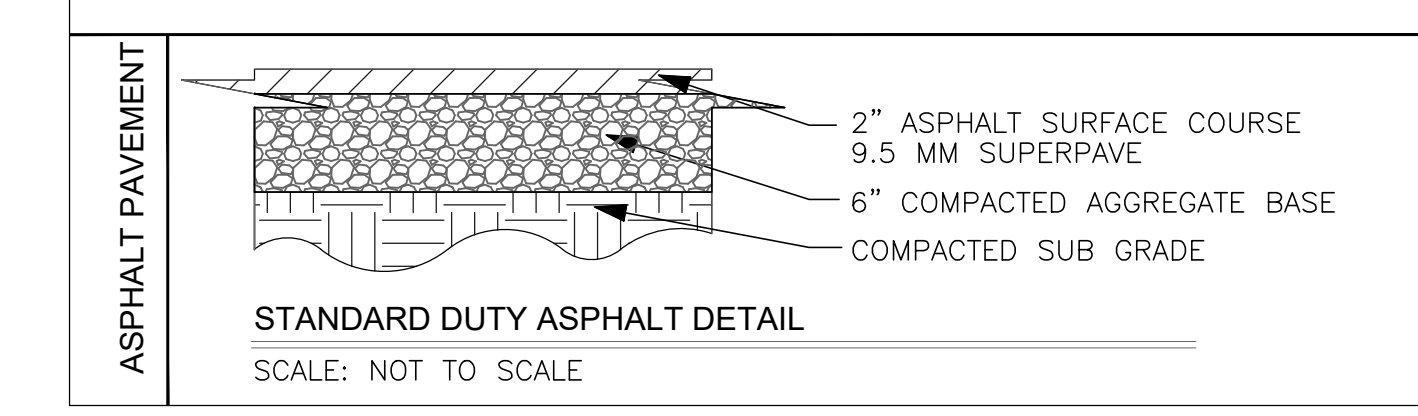
PAVEMENT DETAILS

DETAILS ARE REQUIREMENTS AND MAY INCREASE OR DECREASE WITH VARIOUS SOIL CONDITIONS. A GEOTECHNICAL INVESTIGATION WITH PAVEMENT DESIGN RECOMMENDATIONS SHALL BE COMPLETED FOR EACH DEVELOPMENT. THE FOLLOWING DETAILS ARE MINIMUM REQUIREMENTS. INCREASED RECOMMENDATIONS ARE TO BE USED.

THE SUBGRADE MATERIALS SHALL BE PROOF ROLLED AND/OR SCARIFIED AND COMPACTED PRIOR TO PLACEMENT OF BASE MATERIAL. WHERE EXISTING SUBGRADE MATERIALS ARE UNSUITABLE, THEY SHALL BE REMOVED AND REPLACED WITH COMPACTED SELECT MATERIAL IN ACCORDANCE WITH GEOTECHNICAL RECOMMENDATIONS.

HEAVY DUTY CONCRETE PAVEMENT AND STANDARD DUTY CONCRETE PAVEMENT (AS RECOMMENDED BY THE GEOTECHNICAL REPORT OR REQUIRED MINIMUMS) SHALL BE STEEL REINFORCED. REINFORCEMENT TYPE SHALL BE PRIOR APPROVED BY ENGINEER.

CONCRETE PAVEMENT PLAN SHALL BE PROVIDED TO ENGINEER FOR PRIOR APPROVAL. ALL JOINTS MUST BE SEALED WITH AN APPROVED SEALANT. STEEL REINFORCING SHALL BE USED AT JOINTS. REFER TO ACI 330R (GUIDE FOR DESIGN AND CONSTRUCTION OF CONCRETE PARKING LOTS) FOR JOINT DESIGN AND LAYOUT.



CONCRETE PAVEMENT SPECS:

HEAVY DUTY- LOADING AREA, DUMPSTER PAD AND APRON:
MINIMUM 6" THICK, 4,000 PSI CONCRETE SLAB
4" CRUSHED STONE BASE
PORTLAND TYPE 1 CEMENT

STANDARD DUTY:
MINIMUM 5" THICK, 4,000 PSI CONCRETE SLAB
4" CRUSHED STONE BASE
PORTLAND TYPE 1 CEMENT

PEDESTRIAN SIDEWALKS:
SEE DETAIL SHEETS
*FOR ADDITIONAL INFORMATION REFER TO GEOTECHNICAL REPORT

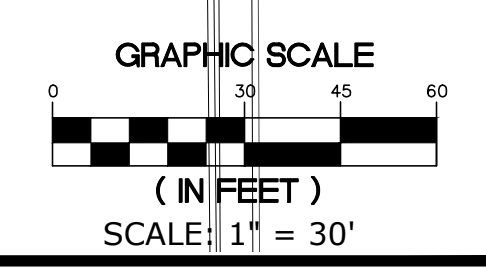
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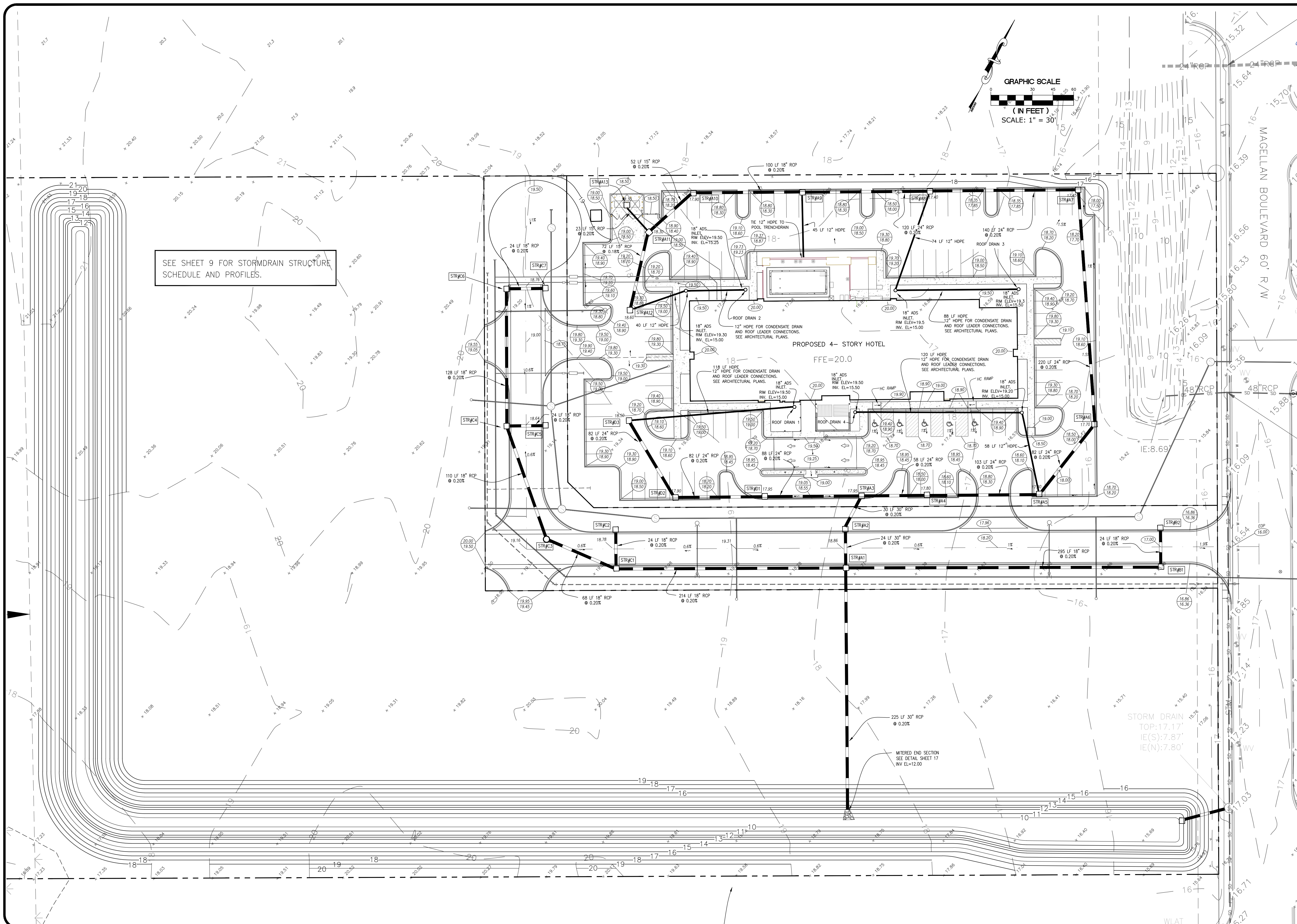
PARKING SPACES REQUIRED:
1 SPACE/ROOM
110 ROOMS: 110 SPACES REQUIRED

PROVIDED SPACES=110 INCLUDING 5 HC SPACES

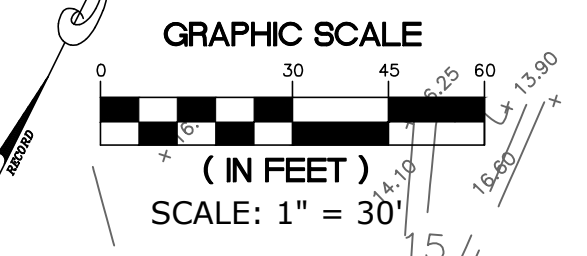
SETBACKS:

FRONT: 30' MEASURED FROM CENTERLINE OF ROAD
SIDE: 10'
REAR: 0'





SEE SHEET 9 FOR STORMDRAIN STRUCTURE SCHEDULE AND PROFILES.



TIDEWATER ENGINEERING, INC.
 200 PLANTATION CHASE, SUITE 14
 ST. SIMONS ISLAND, GEORGIA 31522
 PHONE (912) 268-2164 FAX (912) 289-0361

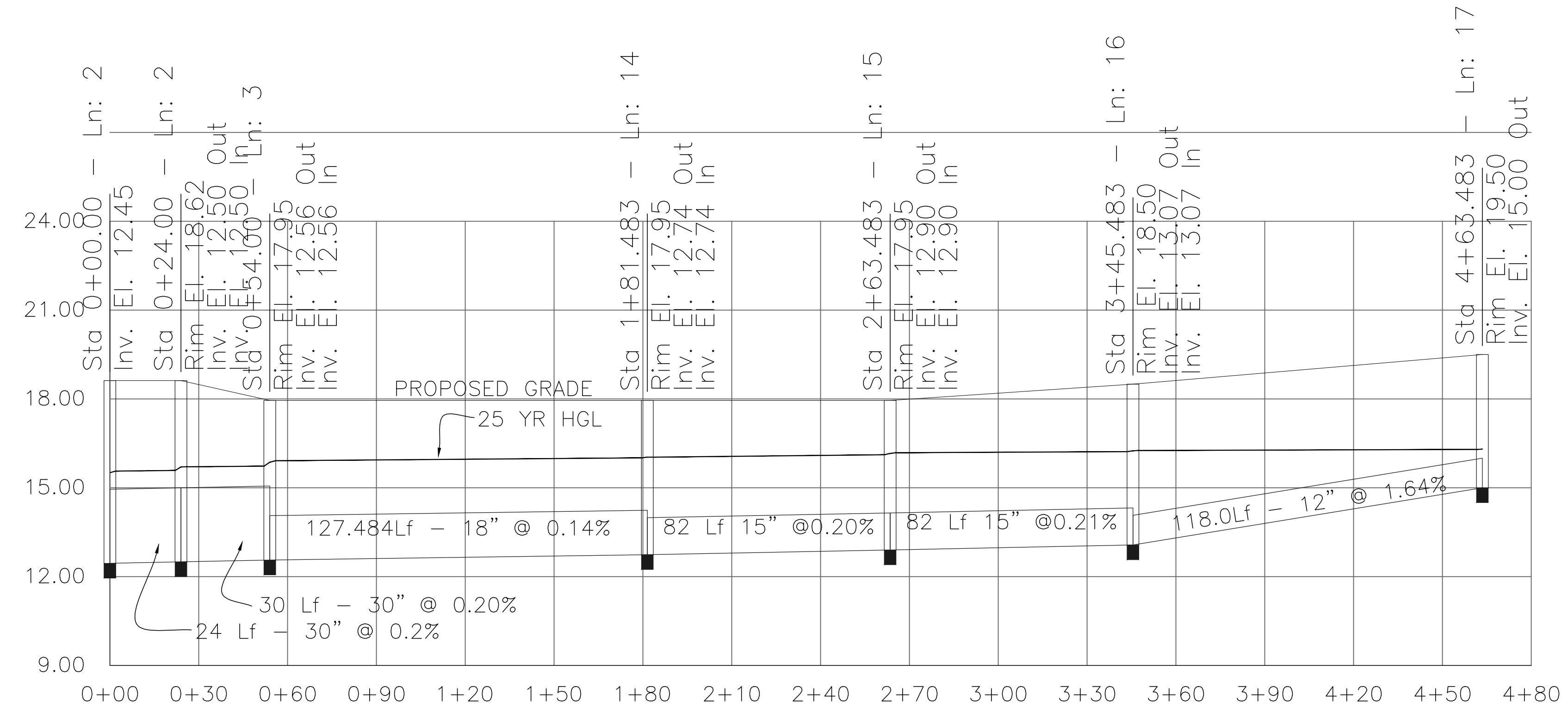
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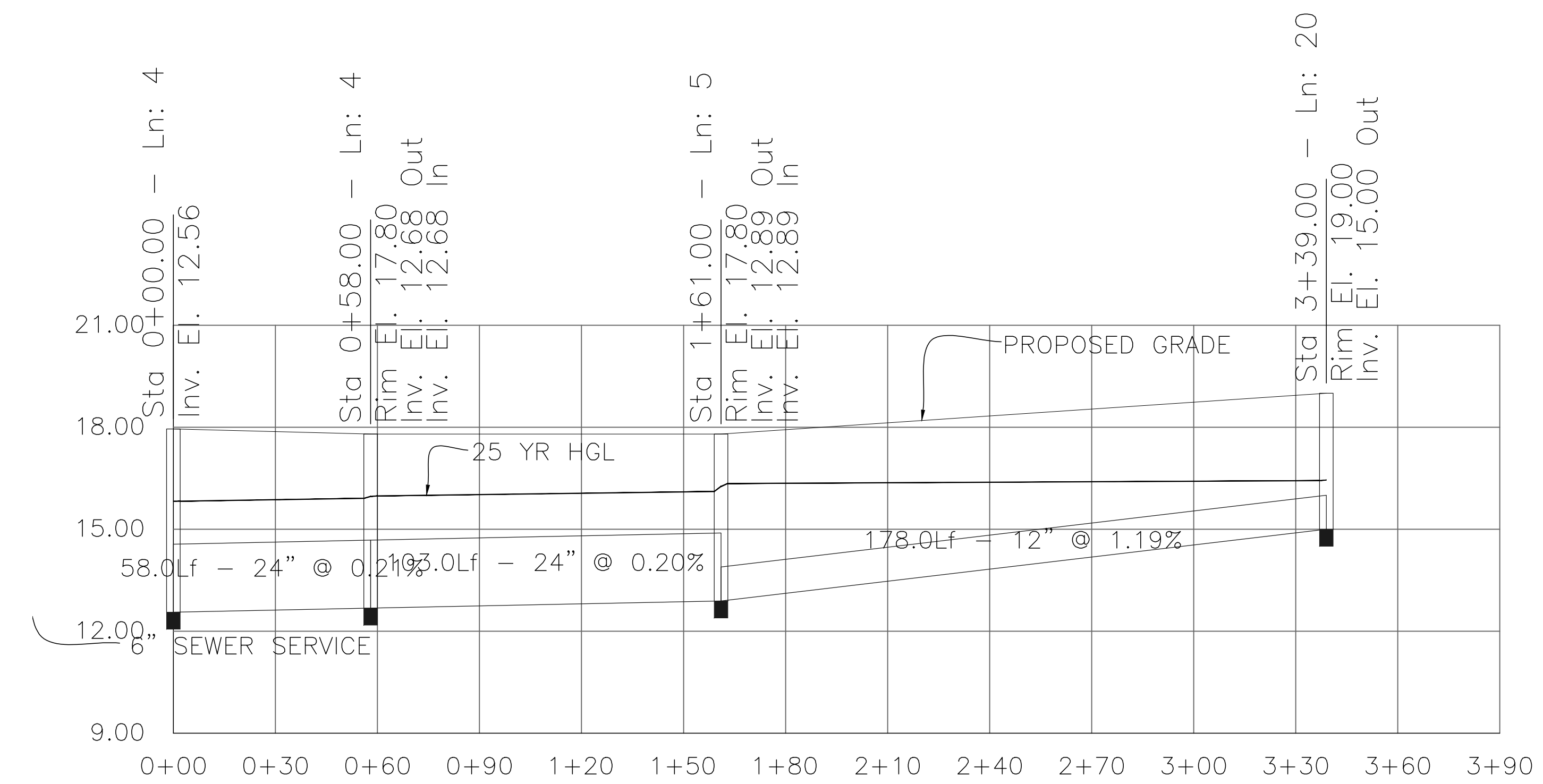
**HOME 2 SUITES
 MAGELLAN BOULEVARD
 PORT WENTWORTH, GA
 GRADING AND DRAINAGE PLAN**

DRAWN: pss
 APPROVED: pss
 DATE: 01-15-21
 PROJ#: AS-022
 SCALE: AS SHOWN

SHEET
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STORM DRAIN PROFILE: STRUCTURE A1 -ROOF DRAIN 1
SCALE: 1"=30' H, 1"=3' V



STORM DRAIN PROFILE: STRUCTURE A3 -ROOF DRAIN 4
SCALE: 1"=30' H, 1"=3' V



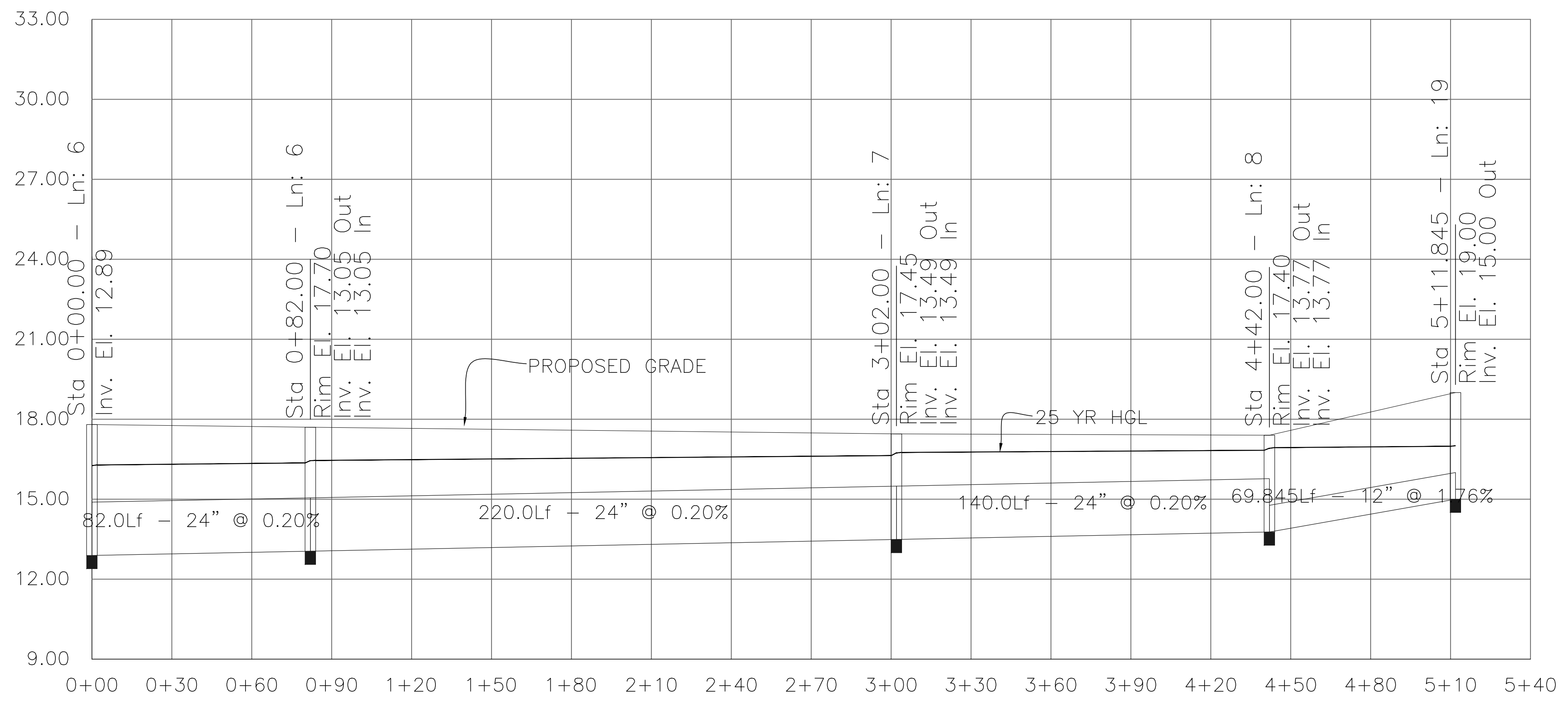
TIDEWATER ENGINEERING, INC.
200 PLANTATION CHASE, SUITE 14
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REV.	DATE	DESCRIPTION	BY:

HOME 2 SUITES
MAGELLAN BOULEVARD
PORT WENTWORTH, GA
STORMDRAIN PROFILES 2

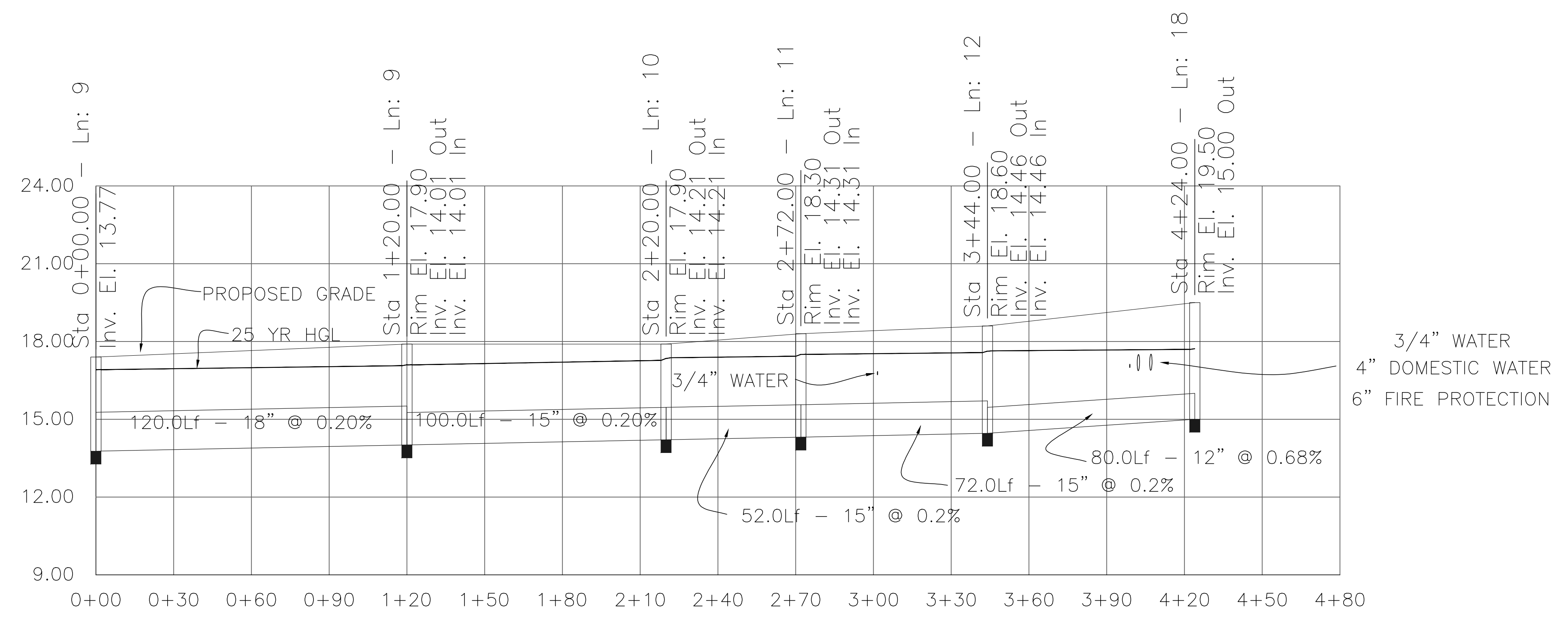
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DATE: 01-15-21
PROJ#: 21-022
SCALE: NA

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10 OF 25



STORM DRAIN PROFILE: STRUCTURE A5 - ROOF DRAIN 3

SCALE: 1"=30' H, 1"=3' V



STORM DRAIN PROFILE: STRUCTURE A8 - ROOF DRAIN 2

SCALE: 1"=30' H, 1"=3' V



3-5-21

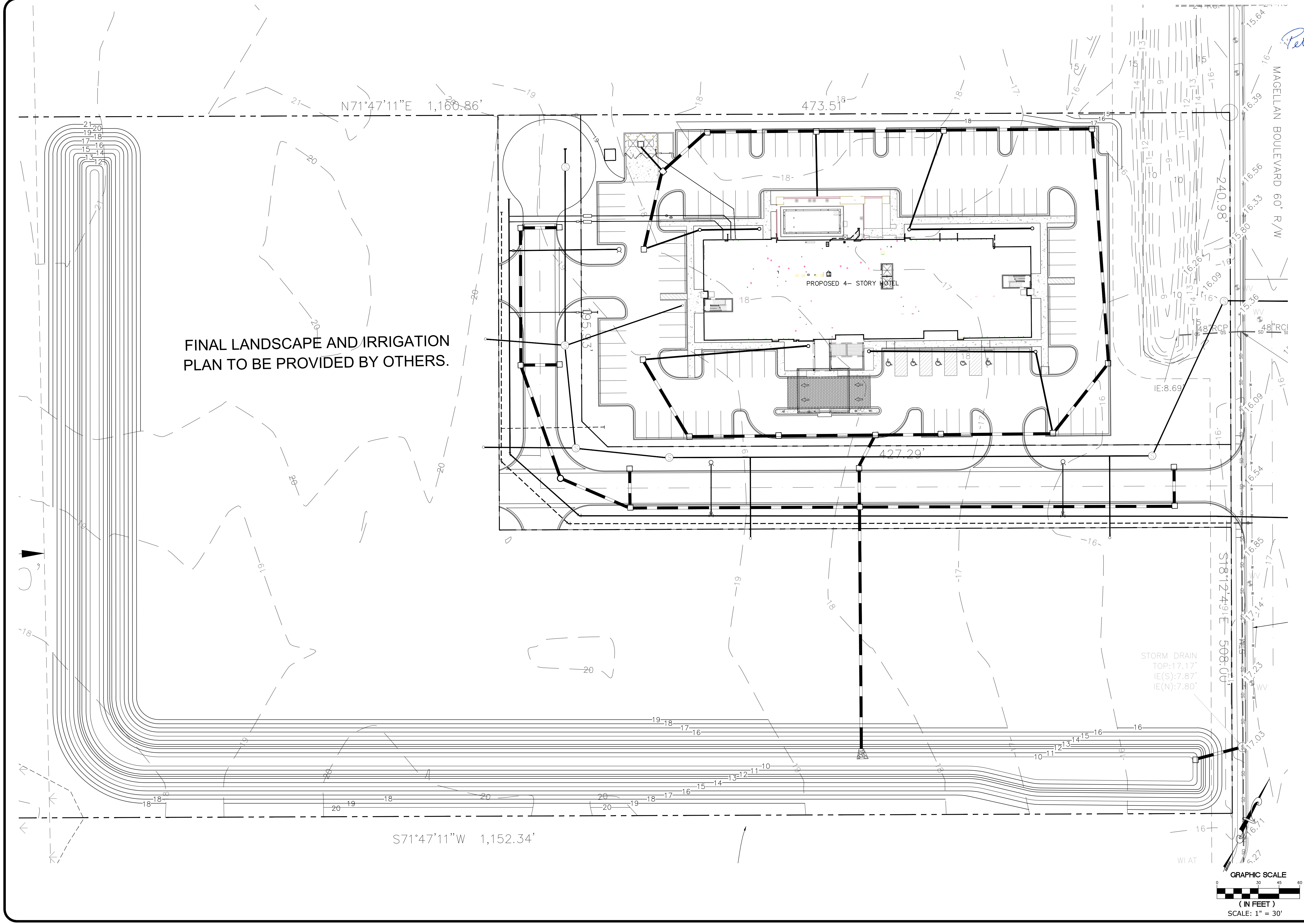
TIDEWATER ENGINEERING, INC.
 200 PLANTATION CHASE, SUITE 14
 ST. SIMONS ISLAND, GEORGIA 31522
 PHONE (912) 268-2164 FAX (912) 289-0361

REV.	DATE	DESCRIPTION	BY

HOME 2 SUITES
MAGELLAN BOULEVARD
PORT WENTWORTH, GA
STORMDRAIN PROFILES 3

DRAWN: pss
 APPROVED: pss
 DATE: 01-15-21
 PROJ#: 21-022
 SCALE: NA

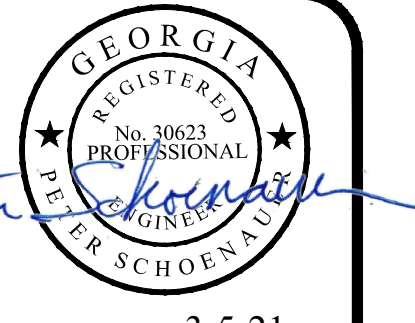
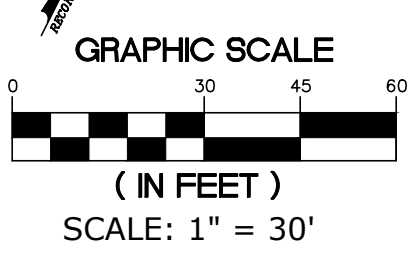
SHEET
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FINAL LANDSCAPE AND IRRIGATION PLAN TO BE PROVIDED BY OTHERS.

PROPOSED 4-STORY HOTEL

STORM DRAIN
TOP: 17.17'
IE(S): 7.87'
IE(N): 7.80'



TIDEWATER
ENGINEERING, INC.
200 PLANTATION CHASE, SUITE 14
ST. SIMONS ISLAND, GEORGIA 31522
PHONE (912) 268-2164 FAX (912) 289-0361

REV.	DATE:	DESCRIPTION

HOME 2 SUITES
MAGELLAN BOULEVARD
PORT WENTWORTH, GA
LANDSCAPE PLAN

DRAWN: pss
APPROVED: pss
DATE: 01-15-21
PROJ#: 21-022
SCALE: AS SHOWN

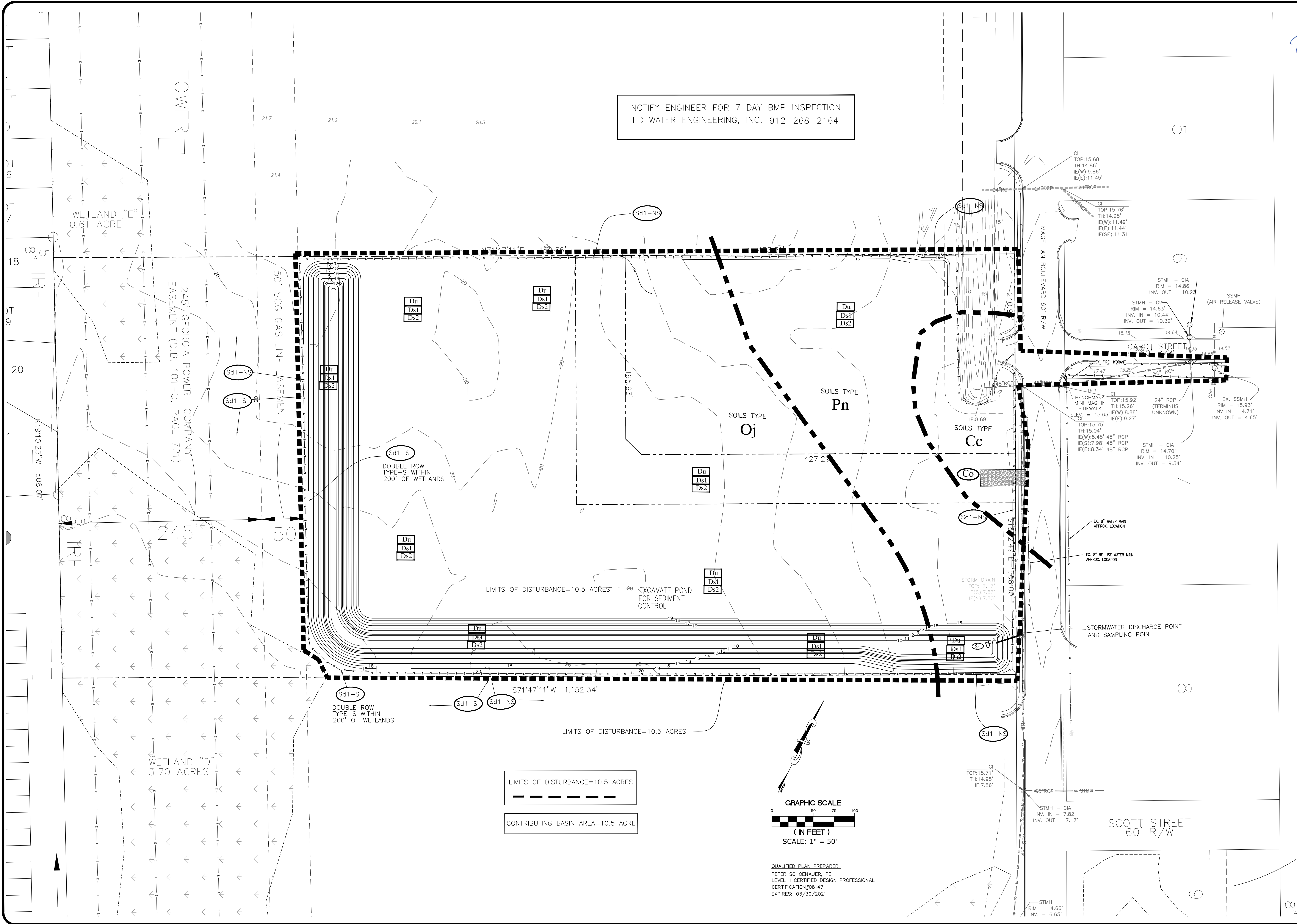
SHEET
13 OF 25



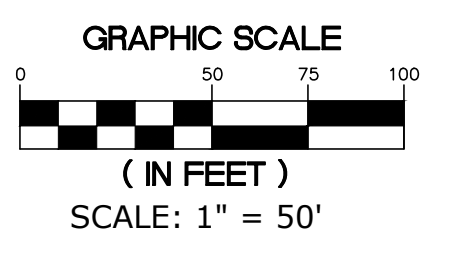
3-5-21

TIDEWATER ENGINEERING, INC.
200 PLANTATION CHASE, SUITE 14
ST. SIMONS ISLAND, GEORGIA 31522
PHONE (912) 268-2164 FAX (912) 289-0361

NOTIFY ENGINEER FOR 7 DAY BMP INSPECTION
TIDEWATER ENGINEERING, INC. 912-268-2164



LIMITS OF DISTURBANCE=10.5 ACRES
CONTRIBUTING BASIN AREA=10.5 ACRE



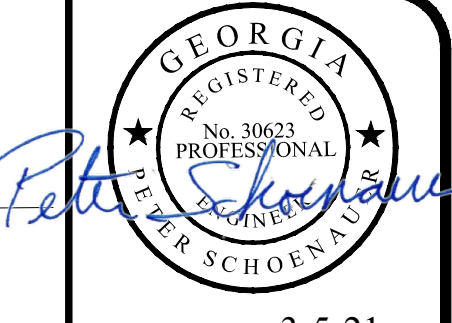
QUALIFIED PLAN PREPARER:
PETER SCHOENAUER, PE
LEVEL II CERTIFIED DESIGN PROFESSIONAL
CERTIFICATION#08147
EXPIRES: 03/30/2021

REV.	DATE	DESCRIPTION

HOME 2 SUITES
MAGELLAN BOULEVARD
PORT WENTWORTH, GA
ESC PHASE 1 PLAN

DRAWN: pss
APPROVED: pss
DATE: 01-15-21
PROJ#: 21-022
SCALE: AS SHOWN

SHEET
14 OF 25

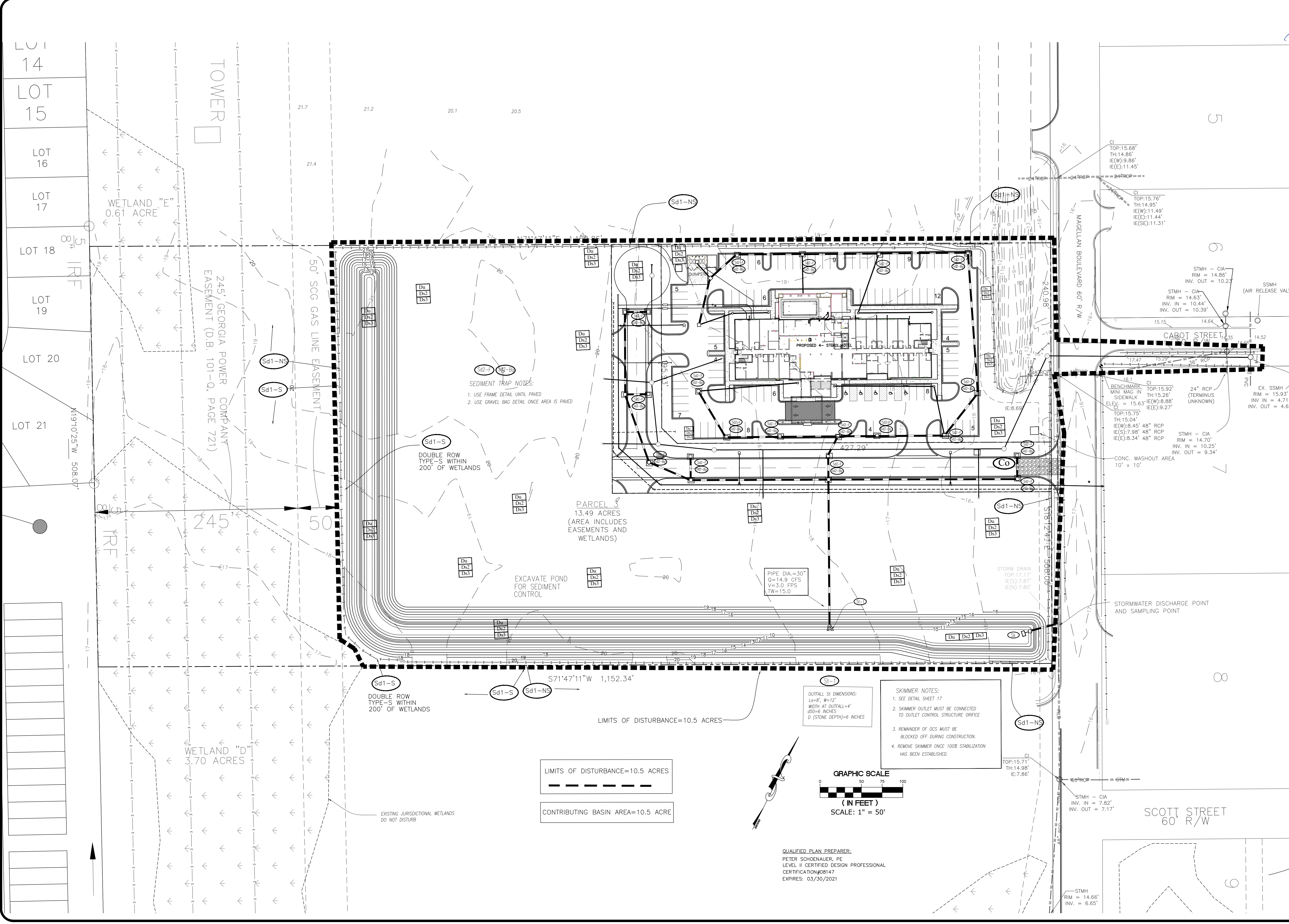


TIDEWATER ENGINEERING, INC.
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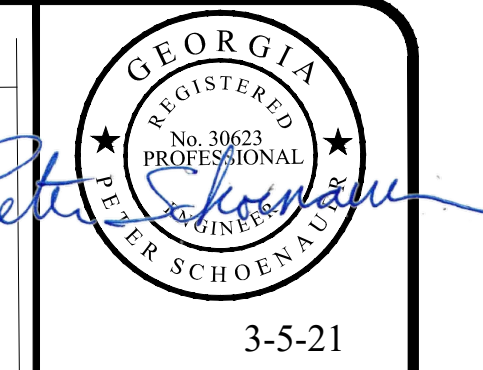
REV.	DATE:	DESCRIPTION

HOME 2 SUITES
MAGELLAN BOULEVARD
PORT WENTWORTH, GA
ESC PHASE 2 PLAN

DRAWN:	pss
APPROVED:	pss
DATE:	01-15-21
PROJ#:	21-022
SCALE:	AS SHOWN
SHEET	15 OF 25



ALL PROTECTIVE, TEMPORARY BMP'S SHALL REMAIN IN PLACE AND MAINTAINED UNTIL THE SITE HAS ACHIEVED STABILIZATION.

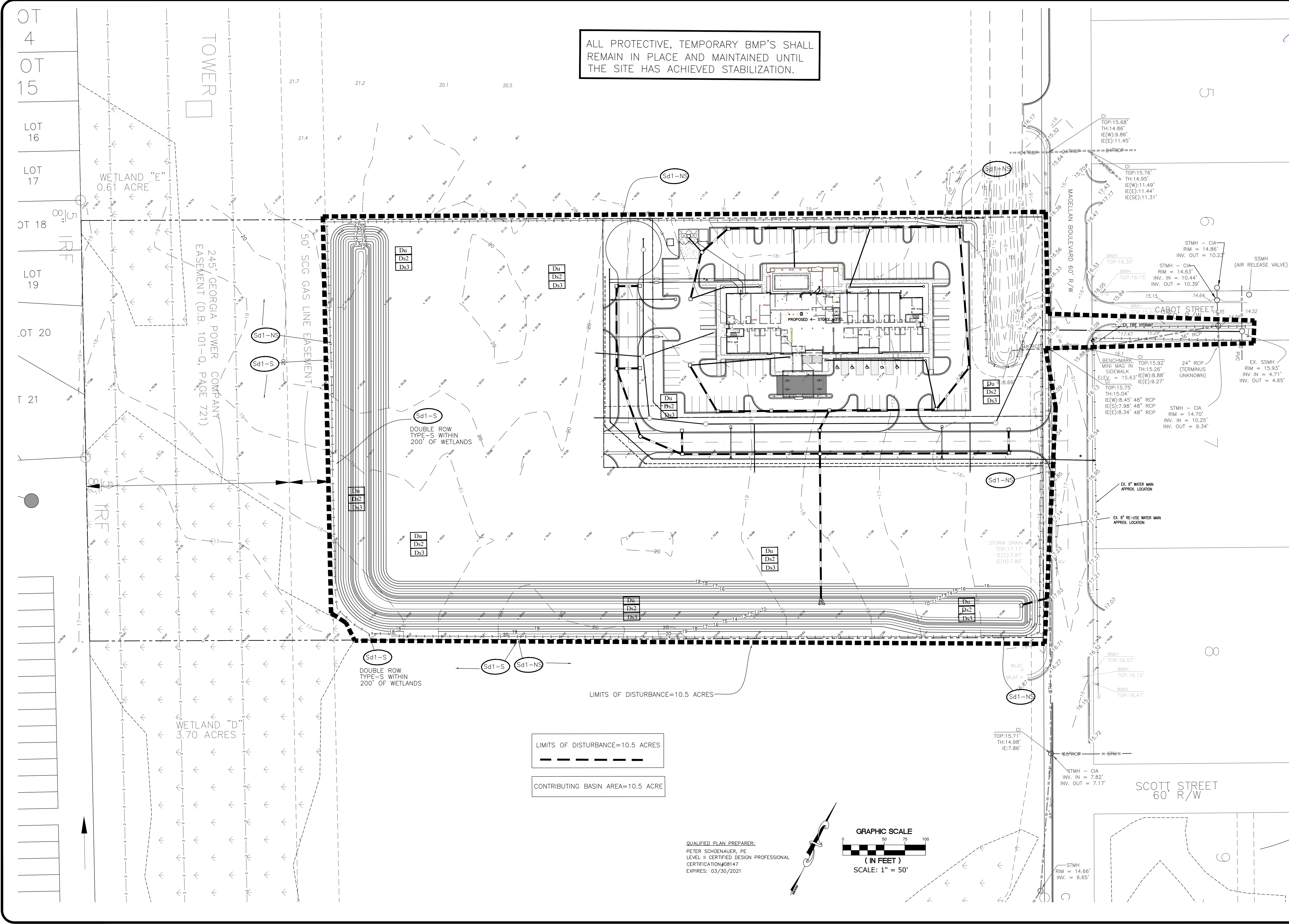


TIDEWATER ENGINEERING, INC.
200 PLANTATION CHASE, SUITE 14
ST. SIMONS ISLAND, GEORGIA 31522
PHONE (912) 268-2164 FAX (912) 289-0361

REV.	DATE:	DESCRIPTION

HOME 2 SUITES
MAGELLAN BOULEVARD
PORT WENTWORTH, GA
ESC PHASE 3 PLAN

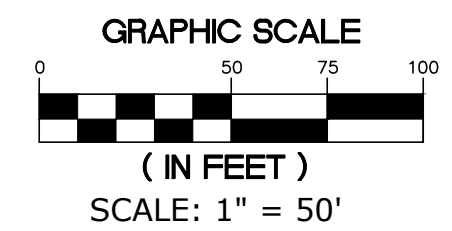
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APPROVED: pss
DATE: 01-15-21
PROJ#: 21-022
SCALE: AS SHOWN
SHEET
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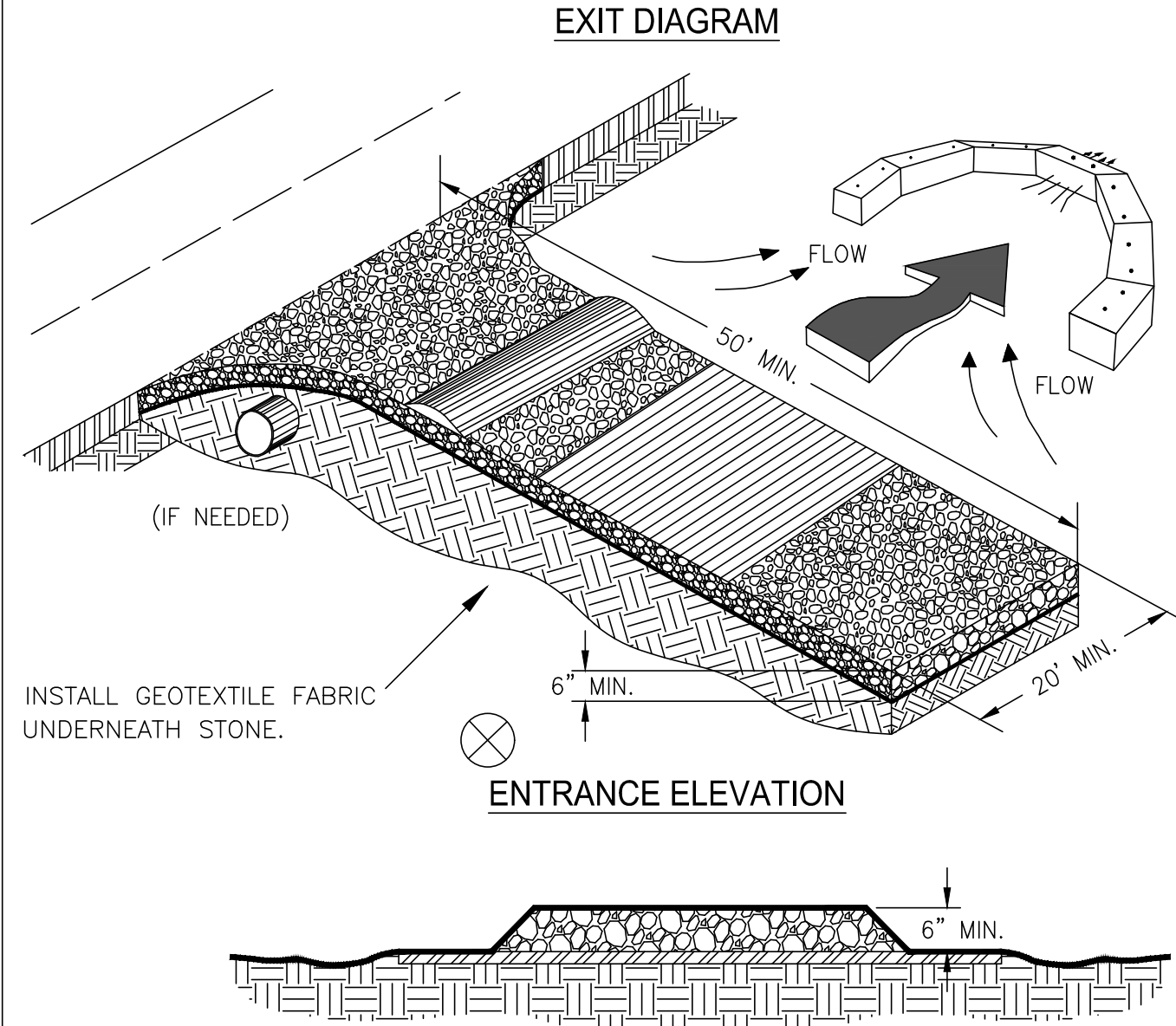
LIMITS OF DISTURBANCE=10.5 ACRES

LIMITS OF DISTURBANCE=10.5 ACRES
CONTRIBUTING BASIN AREA=10.5 ACRE

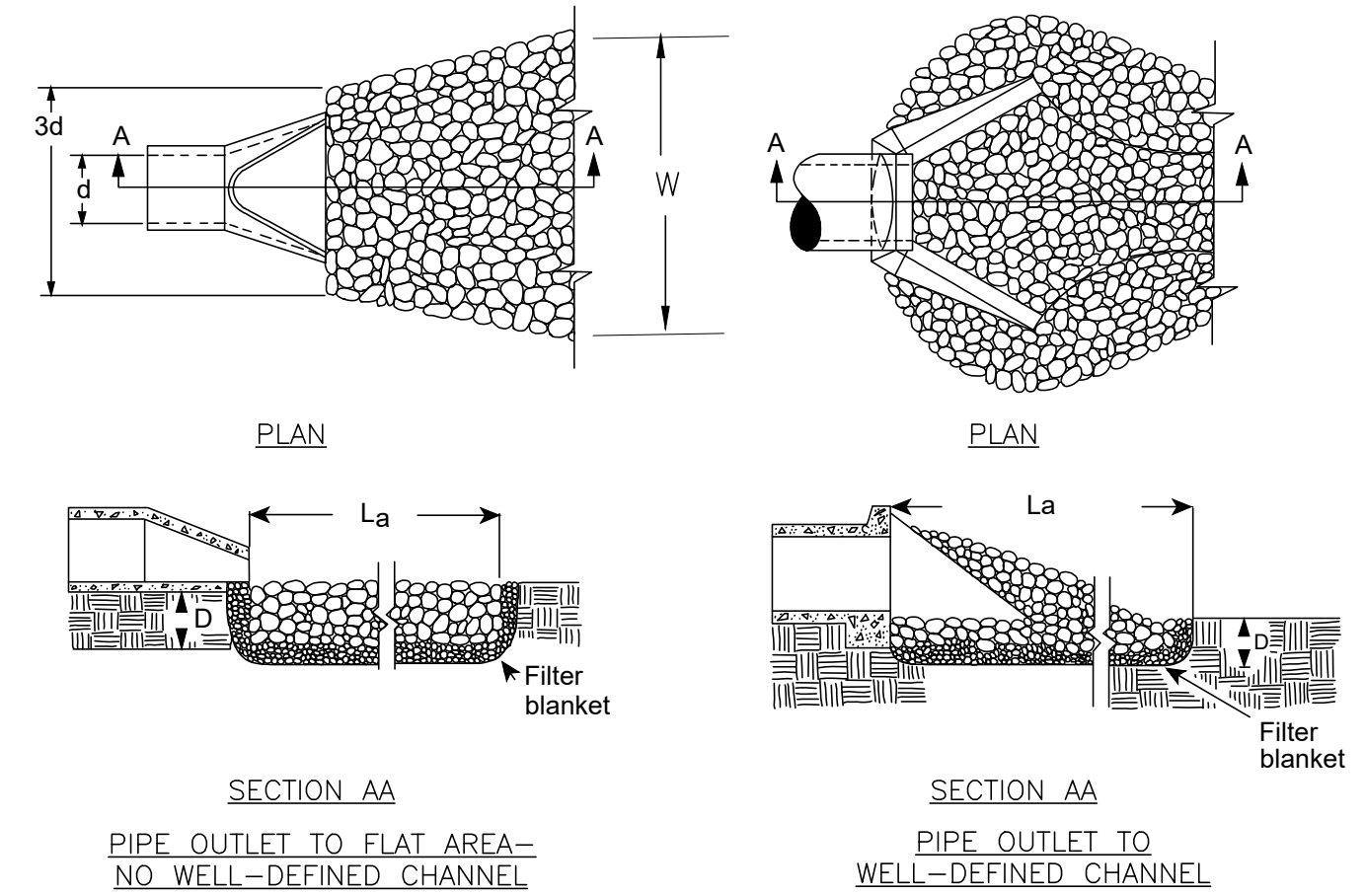
QUALIFIED PLAN PREPARER:
PETER SCHÖNAUER, PE
LEVEL II CERTIFIED DESIGN PROFESSIONAL
CERTIFICATION#08147
EXPIRES: 03/30/2021



CRUSHED STONE CONSTRUCTION EXIT

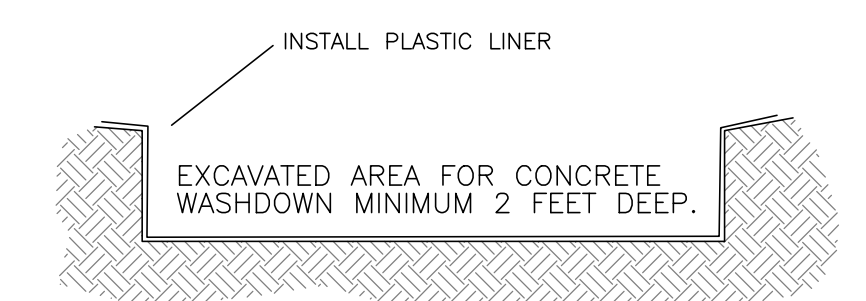


- NOTES:**
1. AVOID LOCATING ON STEEP SLOPES OR AT CURVES ON PUBLIC ROADS.
 2. REMOVE ALL VEGETATION AND OTHER UNSUITABLE MATERIAL FROM THE FOUNDATION AREA, GRADE, AND CROWN FOR POSITIVE DRAINAGE.
 3. AGGREGATE SIZE SHALL BE IN ACCORDANCE WITH NATIONAL STONE ASSOCIATION R-2 (1.5"-3.5" STONE).
 4. GRAVEL PAD SHALL HAVE A MINIMUM THICKNESS OF 6".
 5. PAD WIDTH SHALL BE EQUAL FULL WIDTH AT ALL POINTS OF VEHICULAR EGRESS, BUT NO LESS THAN 20'.
 6. A DIVERSION RIDGE SHOULD BE CONSTRUCTED WHEN GRADE TOWARD PAVED AREA IS GREATER THAN 2%.
 7. INSTALL PIPE UNDER THE ENTRANCE IF NEEDED TO MAINTAIN DRAINAGE DITCHES.
 8. WHEN WASHING IS REQUIRED, IT SHOULD BE DONE ON AN AREA STABILIZED WITH CRUSHED STONE THAT DRAINS INTO AN APPROVED SEDIMENT TRAP OR SEDIMENT BASIN (DIVERT ALL SURFACE RUNOFF AND DRAINAGE FROM THE ENTRANCE TO A SEDIMENT CONTROL DEVICE).
 9. WASHRACKS AND/OR TIRE WASHERS MAY BE REQUIRED DEPENDING ON SCALE AND CIRCUMSTANCE. IF NECESSARY, WASHRACK DESIGN MAY CONSIST OF ANY MATERIAL SUITABLE FOR TRUCK TRAFFIC THAT REMOVE MUD AND DIRT.
 10. MAINTAIN AREA IN A WAY THAT PREVENTS TRACKING AND/OR FLOW OF MUD ONTO PUBLIC RIGHTS-OF-WAYS. THIS MAY REQUIRE TOP DRESSING, REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT.



- NOTES:**
1. L_o IS THE LENGTH OF THE RIPRAP APRON.
 2. $D = 1.5$ TIMES THE MAXIMUM STONE DIAMETER BUT NOT LESS THAN 6".
 3. IN A WELL-DEFINED CHANNEL EXTEND THE APRON UP THE CHANNEL BANKS TO AN ELEVATION OF 6" ABOVE THE MAXIMUM TAILWATER DEPTH OF TO THE TOP OF THE BANK, WHICHEVER IS LESS.
 4. A FILTER BLANKET OR FILTER FABRIC SHOULD BE INSTALLED BETWEEN THE RIPRAP AND SOIL FOUNDATION.

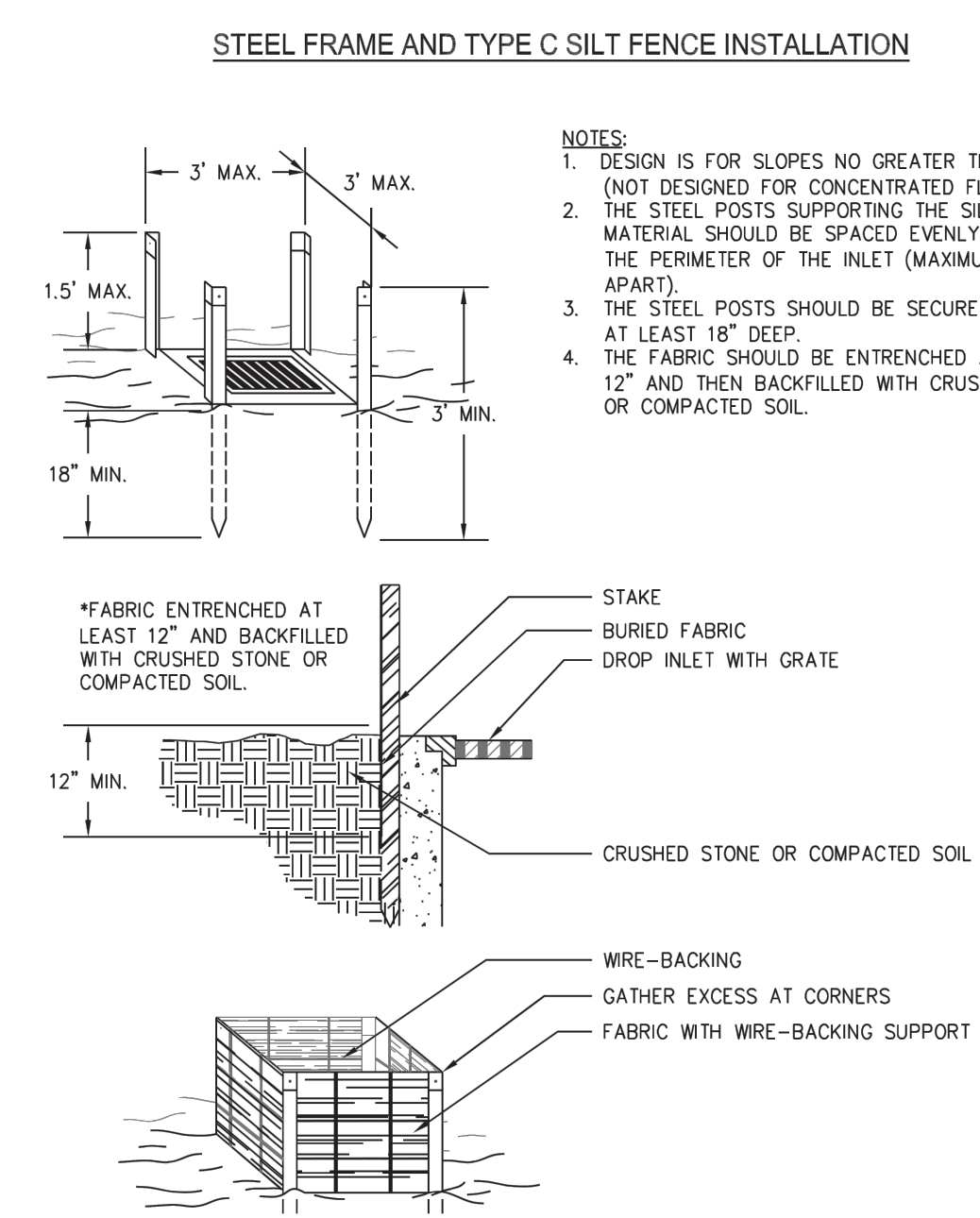
St OUTLET PROTECTION



1. SEE PLAN FOR SIZE AND LOCATION
2. FOR WASHDOWN OF TOOLS, CHUTE AND BACK OF TRUCK ONLY.
3. NO WASHOUT OF DRUM ON SITE PERMITTED.
4. CONCRETE WASHOUT DIMENSIONS: 10' X 10'

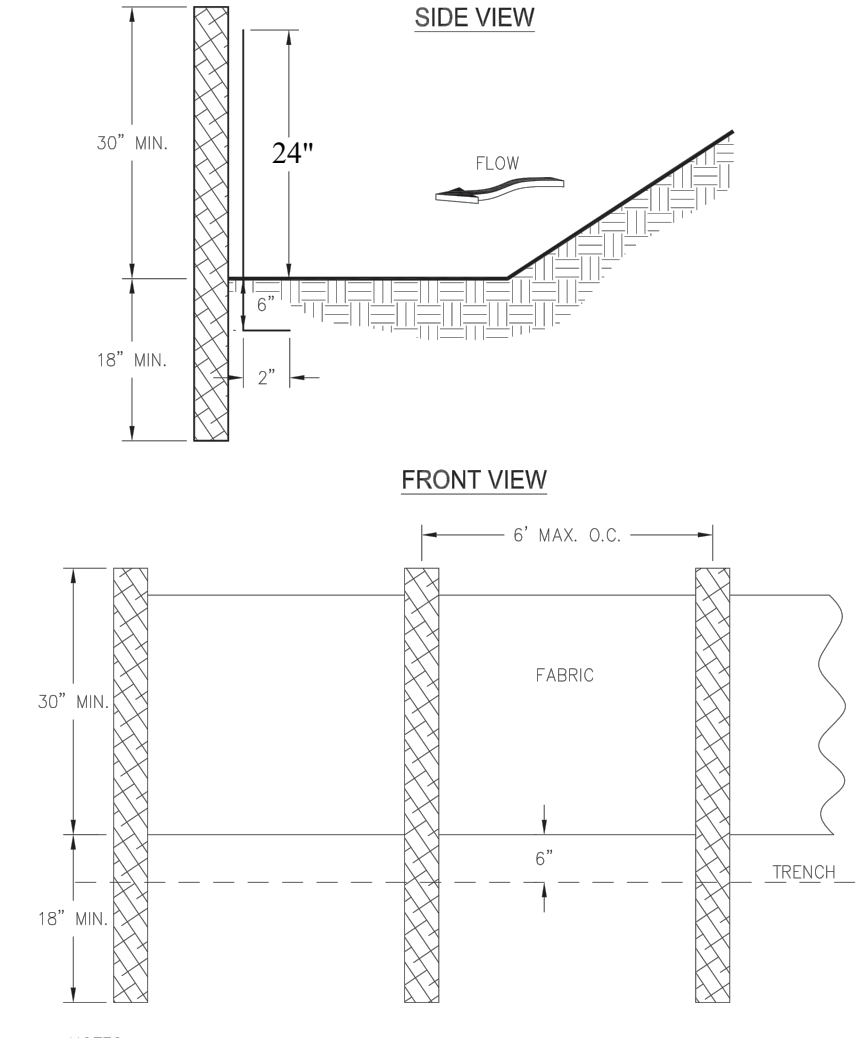
CONCRETE WASH DOWN

FABRIC AND SUPPORTING FRAME FOR INLET PROTECTION



- NOTES:**
1. DESIGN IS FOR SLOPES NO GREATER THAN 5% (NOT DESIGNED FOR CONCENTRATED FLOWS).
 2. THE STEEL POSTS SUPPORTING THE SILT FENCE MATERIAL SHOULD BE SPACED EVENLY AROUND THE PERIMETER OF THE INLET (MAXIMUM OF 3' APART).
 3. THE STEEL POSTS SHOULD BE SECURELY DRIVEN AT LEAST 18" DEEP.
 4. THE FABRIC SHOULD BE ENTRENCHED AT LEAST 12" AND THEN BACKFILLED WITH CRUSHED STONE OR COMPACTED SOIL.

SILT FENCE - TYPE NON-SENSITIVE

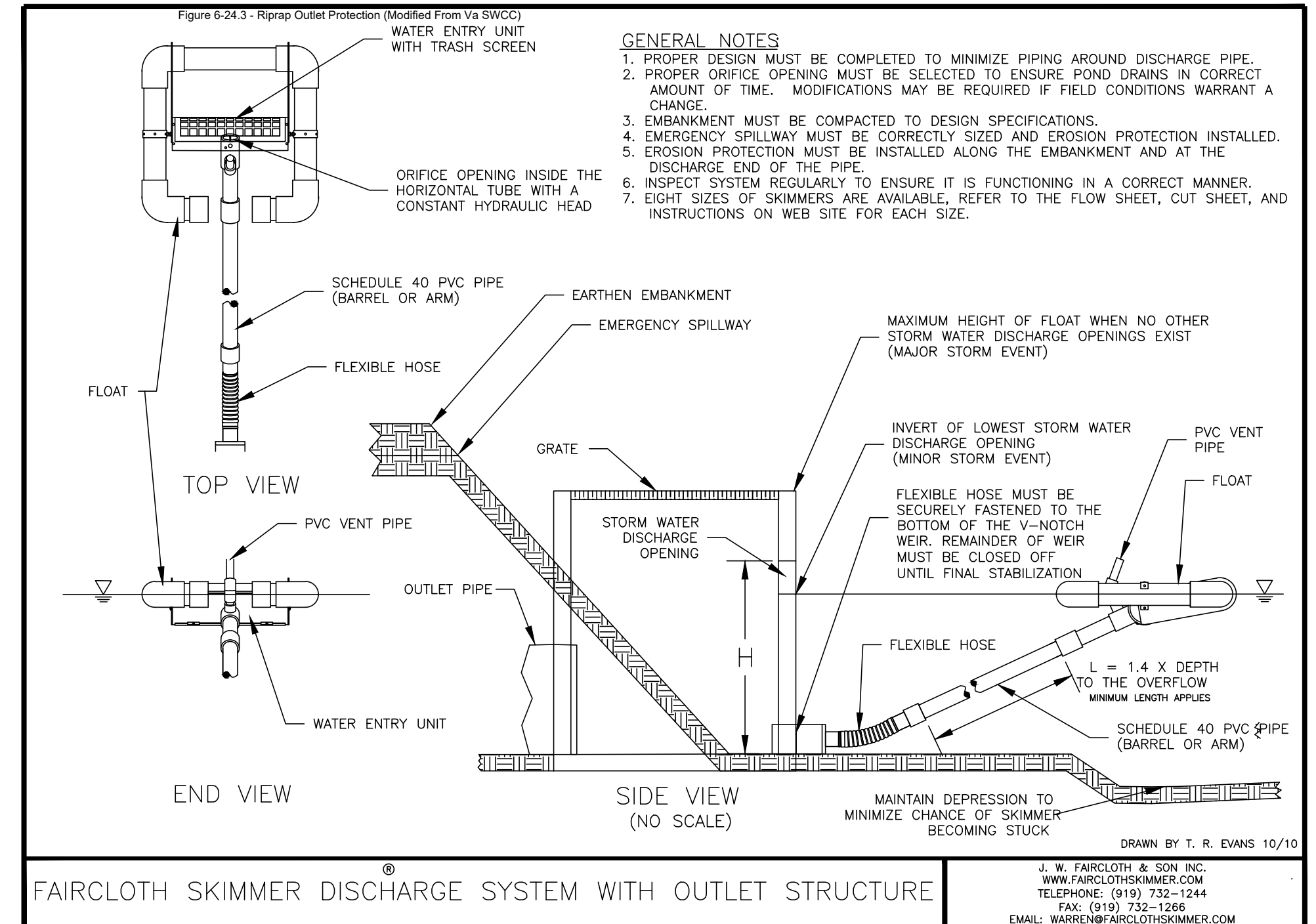


- NOTES:**
1. USE STEEL OR WOOD POSTS OR AS SPECIFIED BY THE EROSION, SEDIMENTATION, AND POLLUTION CONTROL PLAN.
 2. HEIGHT (H) IS TO BE SHOWN ON THE EROSION, SEDIMENTATION, AND POLLUTION CONTROL PLAN.

Sd2-F INLET SEDIMENT TRAP

Sd1-NS SILT FENCE (NON-SENSITIVE)

Co TEMPORARY GRAVEL CONSTRUCTION ENTRANCE/EXIT



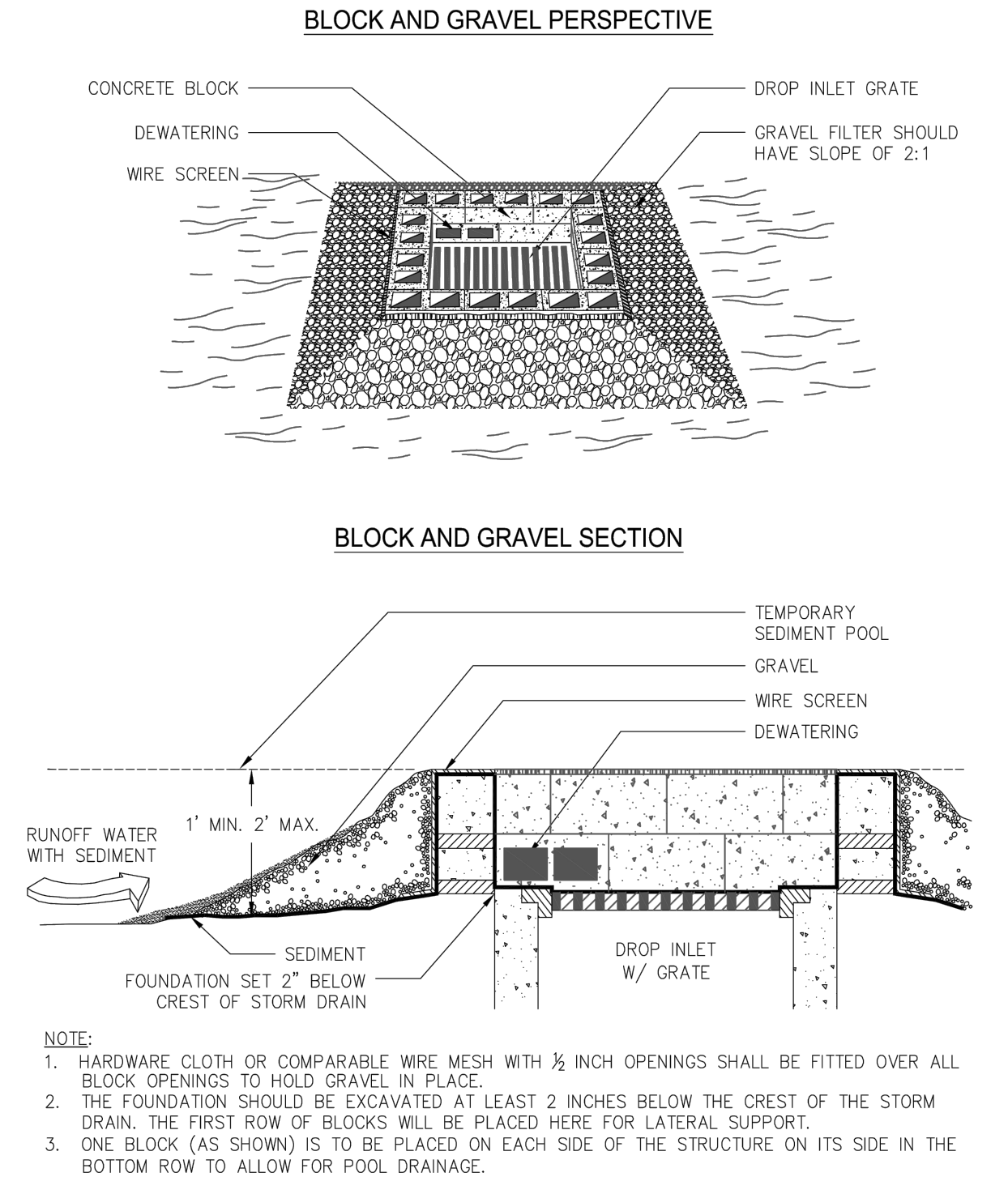
- GENERAL NOTES**
1. PROPER DESIGN MUST BE COMPLETED TO MINIMIZE PIPING AROUND DISCHARGE PIPE.
 2. PROPER ORIFICE OPENING MUST BE SELECTED TO ENSURE POND DRAINS IN CORRECT AMOUNT OF TIME. MODIFICATIONS MAY BE REQUIRED IF FIELD CONDITIONS WARRANT A CHANGE.
 3. EMBANKMENT MUST BE COMPACTED TO DESIGN SPECIFICATIONS.
 4. EMERGENCY SPILLWAY MUST BE CORRECTLY SIZED AND EROSION PROTECTION INSTALLED.
 5. EROSION PROTECTION MUST BE INSTALLED ALONG THE EMBANKMENT AND AT THE DISCHARGE END OF THE PIPE.
 6. INSPECT SYSTEM REGULARLY TO ENSURE IT IS FUNCTIONING IN A CORRECT MANNER.
 7. EIGHT SIZES OF SKIMMERS ARE AVAILABLE. REFER TO THE FLOW SHEET, CUT SHEET, AND INSTRUCTIONS ON WEB SITE FOR EACH SIZE.

FAIRCLOTH SKIMMER DISCHARGE SYSTEM WITH OUTLET STRUCTURE
 J. W. FAIRCLOTH & SON, INC.
 WWW.FAIRCLOTHSKIMMER.COM
 TELEPHONE: (919) 732-1244
 FAX: (919) 332-1266
 EMAIL: WARREN@FAIRCLOTHSKIMMER.COM

SKIMMER INFORMATION:
 POND, TRAP OR BASIN SIZE=98,800 CF
 TIME TO DRAIN=72 HOURS
 SKIMMER DIMENSIONS: 6" SKIMMER: 2.4" ORIFICE RADIUS, 4.8" ORIFICE DIAMETER.
 MANUFACTURER: FAIRCLOTH

Sk SKIMMER DISCHARGE SYSTEM W/ OUTLET STRUCTURE

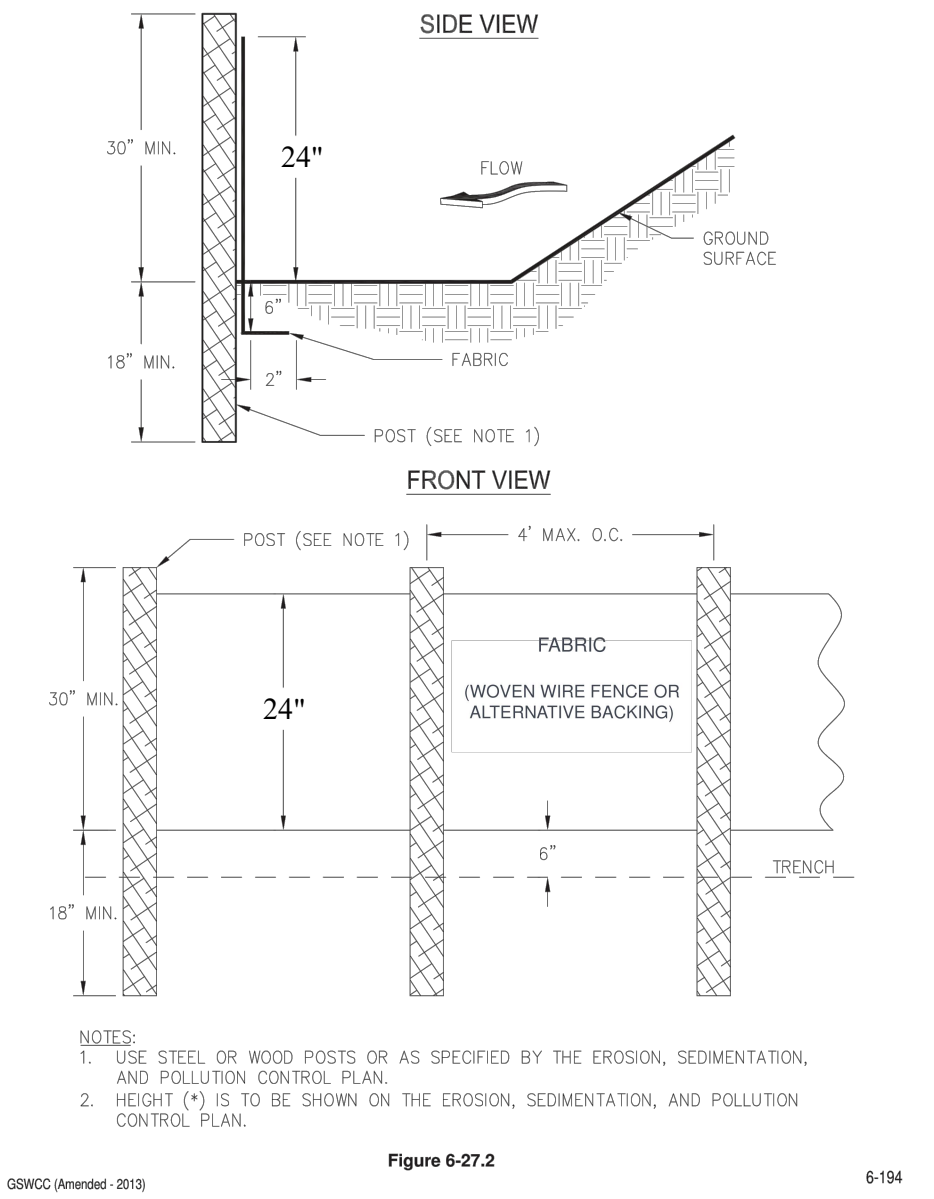
BLOCK AND GRAVEL DROP INLET PROTECTION



- NOTE:**
1. HARDWARE CLOTH OR COMPARABLE WIRE MESH WITH 1/2 INCH OPENINGS SHALL BE FITTED OVER ALL BLOCK OPENINGS TO HOLD GRAVEL IN PLACE.
 2. THE FOUNDATION SHOULD BE EXCAVATED AT LEAST 2 INCHES BELOW THE CREST OF THE STORM DRAIN. THE FIRST ROW OF BLOCKS WILL BE PLACED HERE FOR LATERAL SUPPORT.
 3. ONE BLOCK (AS SHOWN) IS TO BE PLACED ON EACH SIDE OF THE STRUCTURE ON ITS SIDE IN THE BOTTOM ROW TO ALLOW FOR POOL DRAINAGE.

Sd2-Bg INLET SEDIMENT TRAP

SILT FENCE - TYPE SENSITIVE



- NOTES:**
1. USE STEEL OR WOOD POSTS OR AS SPECIFIED BY THE EROSION, SEDIMENTATION, AND POLLUTION CONTROL PLAN.
 2. HEIGHT (H) IS TO BE SHOWN ON THE EROSION, SEDIMENTATION, AND POLLUTION CONTROL PLAN.

Sd1-S SILT FENCE (SENSITIVE)



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 200 PLANTATION CHASE, SUITE 14
 ST. SIMONS ISLAND, GEORGIA 31522
 PHONE (912) 268-2164 FAX (912) 289-0361

REV.	DATE:	DESCRIPTION

HOME 2 SUITES
 MAGELLAN BOULEVARD
 PORT WENTWORTH, GA
 ESC DETAILS

DRAWN: pss
 APPROVED: pss
 DATE: 01-15-21
 PROJ#: 21-022
 SCALE: AS SHOWN

SHEET
 17 OF 25

QUALIFIED PLAN PREPARER:
 PETER SCHOENAUER, PE
 LEVEL II CERTIFIED DESIGN PROFESSIONAL
 CERTIFICATION#08147
 EXPIRES: 03/30/2021

NO WASTE WILL BE DISPOSED OF INTO STORM WATER INLETS OR WATERS OF THE STATE. ALL WASTE MATERIALS WILL BE COLLECTED AND STORED IN A SECURELY LIDDED METAL DUMPSTER...

HAZARDOUS WASTE: ALL HAZARDOUS WASTE MATERIALS WILL BE DISPOSED OF IN THE MANNER SPECIFIED BY LOCAL, STATE AND/OR FEDERAL REGULATIONS AND BY THE MANUFACTURER OF SUCH PRODUCTS...

THE CONTRACTOR WILL IMPLEMENT THE SPILL PREVENTION CONTROL AND COUNTERMEASURES (SPCC) PLAN FOUND WITHIN THIS ESPCC AND WILL TRAIN ALL PERSONNEL IN THE PROPER CLEANUP AND HANDLING OF SPILLED MATERIALS...

SANITARY WASTE: A MINIMUM OF ONE PORTABLE SANITARY UNIT WILL BE PROVIDED FOR EVERY TEN (10) WORKERS ON THE SITE. ALL SANITARY WASTE WILL BE COLLECTED FROM THE PORTABLE UNITS...

SOIL CLEANUP AND CONTROL PRACTICES: LOCAL, STATE AND MANUFACTURERS' RECOMMENDED METHODS FOR SPILL CLEANUP WILL BE CLEARLY POSTED AND PROCEDURES WILL BE MADE AVAILABLE TO SITE PERSONNEL...

THE CONTRACTOR SHALL NOTIFY THE LICENSED PROFESSIONAL WHO PREPARED THIS PLAN IF MORE THAN 1320 GALLONS OF PETROLEUM IS STORED ONSITE (THIS INCLUDES THE CAPACITIES OF EQUIPMENT) OR IF ANY ONE PIECE OF EQUIPMENT HAS A CAPACITY GREATER THAN 660 GALLONS...

INSPECTIONS, REPORTING AND SAMPLING: INSPECTIONS, REPORTING AND SAMPLING MUST TAKE PLACE IN ACCORDANCE WITH SECTION IV OF THE DEPT OF NATURAL RESOURCES ENVIRONMENTAL PROTECTION DIVISION GENERAL PERMIT NO. GAR100001, GAR100002 OR GAR100001, AS APPLICABLE.

Table with columns for SURFACE DRAINAGE AREA, SQUARE MILES and rows for turbidity units (0-4.99, 1.00-10, 10.01-25, 25.01-50, 50.01-100, 100.01+).

EROSION CONTROL NOTES: 1. THE PRIMARY PERMITTEE MUST RETAIN THE DESIGN PROFESSIONAL WHO PREPARED THE EROSION, SEDIMENTATION & POLLUTION CONTROL PLAN... 2. INSPECTIONS OF THE PROJECT SHALL BE PERFORMED BY THE PRIMARY AND SECONDARY PERMITTEES...

PAINTS/FINISHES/SOLVENTS - ALL PRODUCTS WILL BE STORED IN TIGHTLY SEALED ORIGINAL CONTAINERS WHEN NOT IN USE. EXCESS PRODUCT WILL NOT BE DISCHARGED TO THE STORM WATER COLLECTION SYSTEM...

CONCRETE TRUCK WASHING - NO CONCRETE TRUCKS WILL BE ALLOWED TO WASH OUT OR DISCHARGE SURPLUS CONCRETE OR DRUM WASH WATER ON-SITE. A DESIGNATED WASHOUT AREA IS PROVIDED...

FERTILIZERS/HERBICIDES - THESE PRODUCTS WILL BE APPLIED AT RATES THAT DO NOT EXCEED THE MANUFACTURERS' SPECIFICATIONS OR ABOVE THE GUIDELINES SET FORTH IN THE CROP ESTABLISHMENT OR IN THE GWSSC MANUAL FOR EROSION AND SEDIMENT CONTROL IN GEORGIA...

BUILDING MATERIALS - NO BUILDING OR CONSTRUCTION MATERIALS WILL BE BURIED OR DISPOSED OF ONSITE. ALL SUCH MATERIAL WILL BE DISPOSED OF IN PROPER WASTE DISPOSAL PROCEDURES.

STANDARD PERMIT CONDITIONS - GDNR ENVIRONMENTAL PROTECTION DIVISION SECTION VI:

- 1. Each permittee must comply with all applicable conditions of this permit. Any permit noncompliance constitutes a violation of the Georgia Water Quality Control Act (O.C.G.A. §812-5-20, et seq.) and is grounds for enforcement action... 2. Each permittee must document in their records any and all known violations of this permit at his/her site within seven (7) days of his/her knowledge of the violation... 3. Penalties for violations of permit conditions. The Federal Clean Water Act and the Georgia Water Quality Control Act (O.C.G.A. §812-5-20, et seq.) provide that any person who falsifies, tampers with, or knowingly renders inaccurate any monitoring device or method required to be maintained under this permit...

SAMPLING REQUIREMENTS (CONT.):

- SAMPLING POINTS: 1. FOR CONSTRUCTION ACTIVITIES THE PRIMARY PERMITTEE MUST SAMPLE ALL RECEIVING WATER(S), OR ALL OUTFALL(S), OR A COMBINATION OF RECEIVING WATER(S) AND OUTFALL(S). 2. THE UPSTREAM SAMPLE FOR EACH RECEIVING WATER(S) MUST BE TAKEN IMMEDIATELY UPSTREAM OF THE CONFLUENCE OF THE FIRST STORM WATER DISCHARGE FROM THE PERMITTED ACTIVITY... 3. CERTIFIED PERSONNEL (PROVIDED BY THE PRIMARY PERMITTEE) SHALL INSPECT THE FOLLOWING AT LEAST ONCE EVERY SEVEN (7) CALENDAR DAYS AND WITHIN 24 HOURS OF THE END OF A STORM THAT IS 0.5 INCHES RAINFALL OR GREATER... 4. CERTIFIED PERSONNEL (PROVIDED BY THE PRIMARY PERMITTEE) SHALL INSPECT AT LEAST ONCE PER MONTH DURING THE TERM OF THE PERMIT... 5. BASED ON THE RESULTS OF EACH INSPECTION, THE SITE DESCRIPTION AND THE POLLUTION PREVENTION AND CONTROL MEASURES IDENTIFIED IN THE EROSION, SEDIMENTATION AND POLLUTION CONTROL PLAN... 6. A REPORT OF EACH INSPECTION THAT INCLUDES THE NAME(S) OF CERTIFIED PERSONNEL MAKING EACH INSPECTION, THE DATE(S) OF EACH INSPECTION, CONSTRUCTION PHASE (I.E., INITIAL, INTERMEDIATE OR FINAL), MAJOR OBSERVATIONS RELATING TO THE IMPLEMENTATION OF THE EROSION, SEDIMENTATION AND POLLUTION CONTROL PLAN...

- SAMPLING FREQUENCY: 1. THE PRIMARY PERMITTEE MUST SAMPLE IN ACCORDANCE WITH THE PLAN AT LEAST ONCE FOR EACH RAINFALL EVENT DESCRIBED BELOW. FOR A QUALIFYING EVENT, THE PERMITTEE SHALL SAMPLE AT THE BEGINNING OF ANY STORM WATER DISCHARGE TO MONITORED RECEIVING WATER AND/OR FROM A MONITORED OUTFALL LOCATION WITHIN FORTY-FIVE (45) MINUTES OR AS SOON AS POSSIBLE. 2. HOWEVER, WHERE MANUAL AND AUTOMATIC SAMPLING ARE IMPOSSIBLE (AS DEFINED IN THIS PERMIT), OR ARE BEYOND THE PERMITTEE'S CONTROL, THE PERMITTEE SHALL TAKE SAMPLES AS SOON AS POSSIBLE, BUT IN NO CASE MORE THAN TWELVE (12) HOURS AFTER THE BEGINNING OF THE STORM WATER DISCHARGE. 3. SAMPLING BY THE PERMITTEE SHALL OCCUR FOR THE FOLLOWING QUALIFYING EVENTS:

- A. FOR EACH AREA OF THE SITE THAT DISCHARGES TO A RECEIVING WATER OR FROM AN OUTFALL, THE FIRST RAIN EVENT THAT REACHES OR EXCEEDS 0.5 INCH WITH A STORM WATER DISCHARGE THAT OCCURS DURING NORMAL BUSINESS HOURS AS DEFINED IN THIS PERMIT AFTER ALL CLEARING AND GRUBBING OPERATIONS HAVE BEEN COMPLETED, BUT PRIOR TO COMPLETION OF MASS GRADING OPERATIONS, IN THE DRAINAGE AREA OF THE LOCATION SELECTED AS THE SAMPLING LOCATION; B. IN ADDITION TO (A) ABOVE, FOR EACH AREA OF THE SITE THAT DISCHARGES TO A RECEIVING WATER OR FROM AN OUTFALL, THE FIRST RAIN EVENT THAT REACHES OR EXCEEDS 0.5 INCH WITH A STORM WATER DISCHARGE THAT OCCURS DURING NORMAL BUSINESS HOURS AS DEFINED IN THIS PERMIT EITHER 90 DAYS AFTER THE FIRST SAMPLING EVENT OR AFTER ALL MASS GRADING OPERATIONS HAVE BEEN COMPLETED, BUT PRIOR TO SUBMITTAL OF A NOT, IN THE DRAINAGE AREA OF THE LOCATION SELECTED AS THE SAMPLING LOCATION, WHICHEVER COMES FIRST; C. AT THE TIME OF SAMPLING PERFORMED PURSUANT TO (A) AND (B) ABOVE, IF BMPs IN ANY AREA OF THE SITE THAT DISCHARGES TO A RECEIVING WATER OR FROM AN OUTFALL ARE NOT PROPERLY DESIGNED, INSTALLED AND MAINTAINED, CORRECTIVE ACTION SHALL BE DEFINED AND IMPLEMENTED WITHIN TWO (2) BUSINESS DAYS, AND TURBIDITY SAMPLES SHALL BE TAKEN FROM DISCHARGES FROM THAT AREA OF THE SITE FOR EACH SUBSEQUENT RAIN EVENT THAT REACHES OR EXCEEDS 0.5 INCH DURING NORMAL BUSINESS HOURS UNTIL THE SELECTED TURBIDITY STANDARD IS ATTAINED, OR UNTIL POST-STORM EVENT INSPECTIONS DETERMINE THAT BMPs ARE PROPERLY DESIGNED, INSTALLED AND MAINTAINED; D. WHERE SAMPLING PURSUANT TO (A), (B) OR (C) ABOVE IS REQUIRED BUT NOT POSSIBLE (OR NOT REQUIRED BECAUSE THERE WAS NOT DISCHARGE), THE PERMITTEE, IN ACCORDANCE WITH PART LV.D.4.A (6), MUST INCLUDE A WRITTEN JUSTIFICATION IN THE INSPECTION REPORT OF WHY SAMPLING WAS NOT PERFORMED. PROVIDING THIS JUSTIFICATION DOES NOT RELIEVE THE PERMITTEE OF ANY SUBSEQUENT SAMPLING OBLIGATIONS UNDER (A), (B) OR (C) ABOVE; AND E. EXISTING CONSTRUCTION ACTIVITIES, I.E., THOSE THAT ARE OCCURRING ON OR BEFORE THE EFFECTIVE DATE OF THIS PERMIT, THAT HAVE MET THE SAMPLING REQUIRED BY (A) ABOVE SHALL SAMPLE IN ACCORDANCE WITH (B). THOSE EXISTING CONSTRUCTION ACTIVITIES THAT HAVE MET THE SAMPLING REQUIRED BY (B) ABOVE SHALL NOT BE REQUIRED TO CONDUCT ADDITIONAL SAMPLING OTHER THAN AS REQUIRED BY (C) ABOVE.

*NOTE THAT THE PERMITTEE MAY CHOOSE TO MEET THE REQUIREMENTS OF (A) AND (B) ABOVE BY COLLECTING TURBIDITY SAMPLES FROM ANY RAIN EVENT THAT REACHES OR EXCEEDS 0.5 INCH AND ALLOWS FOR SAMPLING AT ANY TIME OF THE DAY OR WEEK.

REPORTING:

- 1. THE APPLICABLE PERMITTEES ARE REQUIRED TO SUBMIT THE SAMPLING RESULTS TO THE EPD AT THE ADDRESS SHOWN IN PART I.I.C. BY THE FIFTEENTH DAY OF THE MONTH FOLLOWING THE REPORTING PERIOD. REPORTING PERIODS ARE MONTHS DURING WHICH SAMPLES ARE TAKEN IN ACCORDANCE WITH THIS PERMIT. SAMPLING RESULTS SHALL BE IN A CLEARLY LEGIBLE FORMAT. UPON WRITTEN NOTIFICATION, EPD MAY REQUIRE THE APPLICABLE PERMITTEE TO SUBMIT THE SAMPLING RESULTS ON A MORE FREQUENT BASIS. SAMPLING AND ANALYSIS OF ANY STORM WATER DISCHARGE(S) OR THE RECEIVING WATER(S) BEYOND THE MINIMUM FREQUENCY STATED IN THIS PERMIT MUST BE REPORTED IN A SIMILAR MANNER TO THAT REQUIRED IN THIS PERMIT. THE SAMPLING REPORTS MUST BE SIGNED IN ACCORDANCE WITH PART V.G.2. SAMPLING REPORTS MUST BE SUBMITTED TO EPD USING THE ELECTRONIC SUBMITTAL SERVICE PROVIDED BY EPD. SAMPLING REPORTS MUST BE SUBMITTED TO EPD UNTIL SUCH TIME AS A NOT IS SUBMITTED IN ACCORDANCE WITH PART VI. 2. ALL SAMPLING REPORTS SHALL INCLUDE THE FOLLOWING INFORMATION: A. THE RAINFALL AMOUNT, DATE, EXACT PLACE AND TIME OF SAMPLING OR MEASUREMENTS; B. THE NAME(S) OF THE CERTIFIED PERSONNEL WHO PERFORMED THE SAMPLING AND MEASUREMENTS; C. THE DATE(S) ANALYSES WERE PERFORMED; D. THE TIME(S) ANALYSES WERE INITIATED; E. THE NAME(S) OF THE CERTIFIED PERSONNEL WHO PERFORMED THE ANALYSES; F. REFERENCES AND WRITTEN PROCEDURES, WHEN AVAILABLE, FOR THE ANALYTICAL TECHNIQUES OR METHODS USED; G. THE RESULTS OF SUCH ANALYSES, INCLUDING THE BENCH SHEETS, INSTRUMENT READOUTS, COMPUTER DISKS OR TAPES, ETC., USED TO DETERMINE THESE RESULTS; H. RESULTS WHICH EXCEED 1000 NTU SHALL BE REPORTED AS "EXCEEDS 1000 NTU"; AND I. CERTIFICATION STATEMENT THAT SAMPLING WAS CONDUCTED AS PER THE PLAN. 3. ALL WRITTEN CORRESPONDENCE REQUIRED SHALL BE SUBMITTED BY RETURN RECEIPT CERTIFIED MAIL (OR SIMILAR SERVICE) TO THE APPROPRIATE DISTRICT OFFICE OF THE EPD ACCORDING TO THE SCHEDULE IN APPENDIX A OF THIS PERMIT. THE PERMITTEE SHALL RETAIN A COPY OF THE PROOF OF SUBMITTAL AT THE CONSTRUCTION SITE OR THE PROOF OF SUBMITTAL SHALL BE READILY AVAILABLE AT A DESIGNATED LOCATION FROM COMMENCEMENT OF CONSTRUCTION UNTIL SUCH TIME AS A NOT IS SUBMITTED IN ACCORDANCE WITH PART VI.

RETENTION OF RECORDS

- 1. THE PRIMARY PERMITTEE SHALL RETAIN THE FOLLOWING RECORDS AT THE CONSTRUCTION SITE OR THE RECORDS SHALL BE READILY AVAILABLE AT A DESIGNATED ALTERNATE LOCATION FROM COMMENCEMENT OF CONSTRUCTION UNTIL SUCH TIME AS A NOT IS SUBMITTED IN ACCORDANCE WITH PART VI: A. A COPY OF ALL NOTICES OF INTENT SUBMITTED TO EPD; B. A COPY OF THE EROSION, SEDIMENTATION AND POLLUTION CONTROL PLAN REQUIRED BY THIS PERMIT; C. THE DESIGN PROFESSIONAL'S REPORT OF THE RESULTS OF THE INSPECTION CONDUCTED IN ACCORDANCE WITH PART IV.A.5 OF THIS PERMIT; D. A COPY OF ALL SAMPLING INFORMATION, RESULTS, AND REPORTS REQUIRED BY THIS PERMIT; E. A COPY OF ALL INSPECTION REPORTS GENERATED IN ACCORDANCE WITH PART LV.D.4.A. OF THIS PERMIT; F. A COPY OF ALL VIOLATION SUMMARIES AND VIOLATION SUMMARY REPORTS GENERATED IN ACCORDANCE WITH PART III.D.2. OF THIS PERMIT; AND DAILY G. RAINFALL INFORMATION COLLECTED IN ACCORDANCE WITH PART IV.D.4.A.(2). OF THIS PERMIT. 2. COPIES OF ALL NOTICES OF INTENT, NOTICES OF TERMINATION, INSPECTION REPORTS, SAMPLING REPORTS (INCLUDING ALL CALIBRATION AND MAINTENANCE RECORDS AND ALL ORIGINAL STRIP CHART RECORDINGS FOR CONTINUOUS MONITORING INSTRUMENTATION) OR OTHER REPORTS REQUESTED BY THE EPD, EROSION, SEDIMENTATION AND POLLUTION CONTROL PLANS, RECORDS OF ALL DATA USED TO COMPLETE THE NOTICE OF INTENT TO BE COVERED BY THIS PERMIT AND ALL OTHER RECORDS REQUIRED BY THIS PERMIT SHALL BE RETAINED BY THE PERMITTEE WHO EITHER PRODUCED OR USED IT FOR A PERIOD OF AT LEAST THREE YEARS FROM THE DATE THAT THE NOT IS SUBMITTED IN ACCORDANCE WITH PART VI. OF THIS PERMIT. THESE RECORDS MUST BE MAINTAINED AT THE PERMITTEE'S PRIMARY PLACE OF BUSINESS OR AT A DESIGNATED ALTERNATIVE LOCATION ONCE THE CONSTRUCTION ACTIVITY HAS CEASED AT THE PERMITTED SITE. THIS PERIOD MAY BE EXTENDED BY REQUEST OF THE EPD AT ANY TIME UPON WRITTEN NOTIFICATION TO THE PERMITTEE.

STORM WATER SAMPLING:

- SAMPLE ANALYSIS: 1. STORM WATER SAMPLES ARE TO BE ANALYZED IN ACCORDANCE WITH METHODOLOGY AND TEST PROCEDURES ESTABLISHED BY 40 CFR PART 136 AND THE GUIDANCE DOCUMENT TITLED "NPDES STORM WATER SAMPLING GUIDANCE DOCUMENT EPA 833-B-92-001." 2. STORM WATER IS TO BE SAMPLED FOR NEPHELOMETRIC TURBIDITY UNITS (NTU) AT THE OUTFALL LOCATION. 3. A DISCHARGE OF STORM WATER RUNOFF FROM DISTURBED AREAS WHERE BEST MANAGEMENT PRACTICES HAVE NOT BEEN PROPERLY DESIGNED, INSTALLED AND MAINTAINED SHALL CONSTITUTE A SEPARATE VIOLATION FOR EACH DAY ON WHICH SUCH CONDITION RESULTS IN THE TURBIDITY OF THE DISCHARGE EXCEEDING 75, THE VALUE THAT WAS SELECTED FROM APPENDIX B IN PERMIT NO. GAR 100001. THE NTU IS BASED UPON THE DISTURBED ACREAGE FOR THE PROJECT SITE, THE SURFACE WATER DRAINAGE AREA OF 0.003 SQUARE MILES, AND RECEIVING WATER WHICH SUPPORTS WARM WATER FISHERIES.

SAMPLING REQUIREMENTS:

THIS PERMIT REQUIRES THE MONITORING OF NEPHELOMETRIC TURBIDITY IN RECEIVING WATER(S) OR OUTFALLS IN ACCORDANCE WITH THIS PERMIT. THIS PARAGRAPH SHALL NOT APPLY TO ANY LAND DISTURBANCE ASSOCIATED WITH THE CONSTRUCTION OF SINGLE-FAMILY HOMES WHICH ARE NOT PART OF A SUBDIVISION OR PLANNED COMMON DEVELOPMENT UNLESS FIVE (5) ACRES OR MORE WILL BE DISTURBED. THE FOLLOWING PROCEDURES CONSTITUTE EPD'S GUIDELINES FOR SAMPLING TURBIDITY.

SAMPLING REQUIREMENTS SHALL INCLUDE THE FOLLOWING:

- 1. A USGS TOPOGRAPHIC MAP, A TOPOGRAPHIC MAP OR A DRAWING (REFERRED TO AS A TOPOGRAPHIC MAP) THAT IS A SCALE EQUAL TO OR MORE DETAILED THAN A 1:24000 MAP SHOWING THE LOCATION OF THE SITE OR THE STAND ALONE CONSTRUCTION; (A) THE LOCATION OF PERENNIAL AND INTERMITTENT STREAMS AND OTHER WATER BODIES AS SHOWN ON A USGS TOPOGRAPHIC MAP, AND ALL OTHER PERENNIAL AND INTERMITTENT STREAMS AND OTHER WATER BODIES LOCATED DURING MANDATORY FILED VERIFICATION, INTO WHICH THE STORM WATER IS DISCHARGED AND (B) THE RECEIVING WATER AND/OR OUTFALL SAMPLING LOCATIONS. WHEN THE PERMITTEE HAS CHOSEN TO USE A USGS TOPOGRAPHIC MAP AND THE RECEIVING WATER(S) MUST BE HAND-DRAWN ON THE USGS TOPOGRAPHIC MAP FROM WITHIN THE STORM WATER(S) ENTERS THE RECEIVING WATER(S) TO THE POINT WHERE THE RECEIVING WATER(S) COMBINES WITH THE FIRST BLUE LINE STREAM SHOWN ON THE USGS TOPOGRAPHIC MAP; 2. A WRITTEN NARRATIVE OF SITE SPECIFIC ANALYTICAL METHODS USED TO COLLECT, HANDLE AND ANALYZE THE SAMPLES INCLUDING QUALITY CONTROL/QUALITY ASSURANCE PROCEDURES. THIS NARRATIVE MUST INCLUDE PRECISE SAMPLING METHODOLOGY FOR EACH SAMPLING LOCATION; 3. WHEN THE PERMITTEE HAS DETERMINED THAT SOME OR ALL OUTFALLS WILL BE SAMPLED, A RATIONALE MUST BE INCLUDED ON THE PLAN FOR THE NTU LIMIT(S) SELECTED FROM APPENDIX B. THIS RATIONALE MUST INCLUDE THE SIZE OF THE CONSTRUCTION SITE, THE CALCULATION OF THE SIZE IF THE SURFACE WATER DRAINAGE AREA, AND THE TYPE OF RECEIVING WATER(S) (I.E., TROUT STREAM OR SUPPORTING WARM WATER FISHERIES); AND 4. ANY ADDITIONAL INFORMATION EPD DETERMINES NECESSARY TO BE PART OF THE PLAN. EPD WILL PROVIDE WRITTEN NOTICE TO THE PERMITTEE OF THE INFORMATION NECESSARY AND THE TIME LINE FOR SUBMITTAL.

SAMPLE TYPE:

- 1. ALL SAMPLING SHALL BE COLLECTED BY "GRAB SAMPLES" AND THE ANALYSIS OF THESE SAMPLES MUST BE CONDUCTED IN ACCORDANCE WITH METHODOLOGY AND TEST PROCEDURES ESTABLISHED BY 40 CFR PART 136 (UNLESS OTHER TEST PROCEDURES HAVE BEEN PROVIDED IN THE GUIDANCE DOCUMENT TITLED "NPDES STORM WATER SAMPLING GUIDANCE DOCUMENT, EPA 833-B-92-001" AND ANALYSIS DOCUMENTS THAT MAY BE PREPARED BY THE EPD. 2. SAMPLE CONTAINERS SHOULD BE LABELED PRIOR TO COLLECTING THE SAMPLES. 3. SAMPLES SHOULD BE WASH MIXED BEFORE TRANSFERRING TO A SECONDARY CONTAINER. 4. LARGE MOUTH, WELL CLEANED AND RINSED GLASS OR PLASTIC JARS SHOULD BE USED FOR COLLECTING SAMPLES. THE JARS SHOULD BE CLEANED THOROUGHLY TO AVOID CONTAMINATION. 5. MANUAL, AUTOMATIC OR RISING STAGE SAMPLING MAY BE UTILIZED. SAMPLES REQUIRED BY THIS PERMIT SHOULD BE ANALYZED IMMEDIATELY, BUT IN NO CASE LATER THAN 48 HOURS AFTER COLLECTION. HOWEVER, SAMPLES FROM AUTOMATIC SAMPLES MUST BE COLLECTED NO LATER THAN THE NEXT BUSINESS DAY AFTER THEIR ACCUMULATION, UNLESS FLOW THROUGH AUTOMATED ANALYSIS IS UTILIZED. IF AUTOMATIC SAMPLING IS UTILIZED AND THE AUTOMATIC SAMPLER IS NOT ACTIVATED DURING THE QUALIFYING EVENT, THE PERMITTEE MUST UTILIZE MANUAL SAMPLING OR RISING STAGE SAMPLING DURING THE NEXT QUALIFYING EVENT. DILUTION OF SAMPLES IS NOT REQUIRED. SAMPLES MAY BE ANALYZED DIRECTLY WITH A PROPERLY CALIBRATED TURBIDIMETER. SAMPLES ARE NOT REQUIRED TO BE COOLED. 6. SAMPLING AND ANALYSIS OF THE RECEIVING WATER(S) OR OUTFALLS BEYOND THE MINIMUM FREQUENCY STATED IN THIS PERMIT MUST BE REPORTED TO EPD AS SPECIFIED IN PART LV.E.



3-5-21

TIDEWATER ENGINEERING, INC. 200 PLANTATION CHASE, SUITE 14 ST. SIMONS ISLAND, GEORGIA 31522 PHONE (912) 208-2164 FAX (912) 289-0361

Table with columns: BY, DATE, REV, DATE, DESCRIPTION

HOME 2 SUITES MAGELLAN BOULEVARD PORT WENTWORTH, GA ESC NOTES DRAWN: pss APPROVED: pss DATE: 01-15-21 PROJ#: 21-022 SCALE: NA SHEET 18 OF 25 QUALIFIED PLAN PREPARER: PETER SCHOENAUER, PE LEVEL I CERTIFIED DESIGN PROFESSIONAL CERTIFICATION#08147 EXPIRES: 03/30/2021

3/28/2008 9:28:29 AM 132887-2001-109701070270011111.dwg, user: pss, sheet: 1019A, plot: 1019A, plotter: HP-GL/2

NOTE: SEE STANDARD 109-A-B DROP BRICK INLETS- FOR DETAIL OF GRATING FRAME, HOOD, ETC., WHERE NEEDED.

NOTE: OPENING FOR PIPE SHALL BE THE OUTSIDE DIAMETER OF THE REDD PIPE PLUS 7" MIN. OPENING SHALL HAVE CORRUGATIONS

NOTE: THIS SWIRL SECTION SHALL BE USED UNLESS THE MIN. THICKNESS OF SAND AND GRAVEL IS 24" MIN. IN WHICH CASE, TYPE "C" IS RECOMMENDED.

NOTE: SEE STANDARD 109A (BRICK) AND STANDARD 1040 FOR CONSTRUCTION ALTERNATES BRICK MASONRY AND CIRCULAR PRECAST SECTIONS RESPECTIVELY.

NOTE: REINFORCING STEEL SHALL BE NO. 4 STEEL BARS AT 12" O.C. BOTH WAYS OR EQUIVALENT WIRE FABRIC REINFORCING.

SPECIAL NOTE: STANDARD 109A INLETS ARE FOR USE AT LOW POINTS AND WHERE HYDRAULIC LOW CAPACITY GRATES ARE SUFFICIENT AND/OR HIGHER CAPACITY GRATES ARE NEEDED ON A CONTINUOUS GRADE, STANDARD 109B IS RECOMMENDED.

METHOD OF CONNECTING PIPE

STEP 1
CUT CONCRETE PIPE LEAVING APPROXIMATELY 3" OF REINFORCING WIRE EXPOSED.

STEP 2
POSITION PIPE APPROXIMATELY 3" INTO OPENING OF WALL.

STEP 3
POSITION CONCRETE CORE NODE OF PIPE AND SEAL WITH JOINT REMOVED CORE SET AND RUB ABOUT TO SEAL JOINTS.

ALTERNATE METHOD OF CONNECTION SKEWED PIPE

VAR. 1
VAR. 2
VAR. 3

PLAN

ALTERNATE METHODS OF CONNECTING SKEWED PIPES MAY INCLUDE PIPE ELBOWS OR CIRCULAR PRECAST BASE UNITS. SEE SEPARATE STANDARDS.

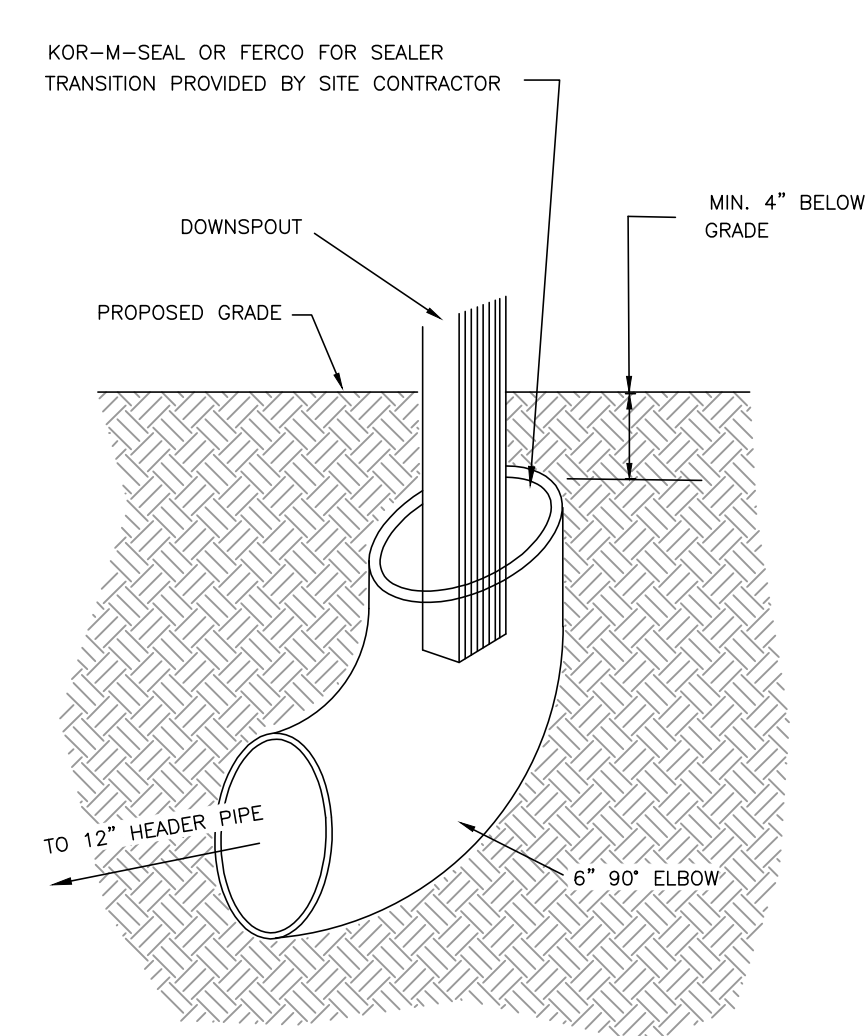
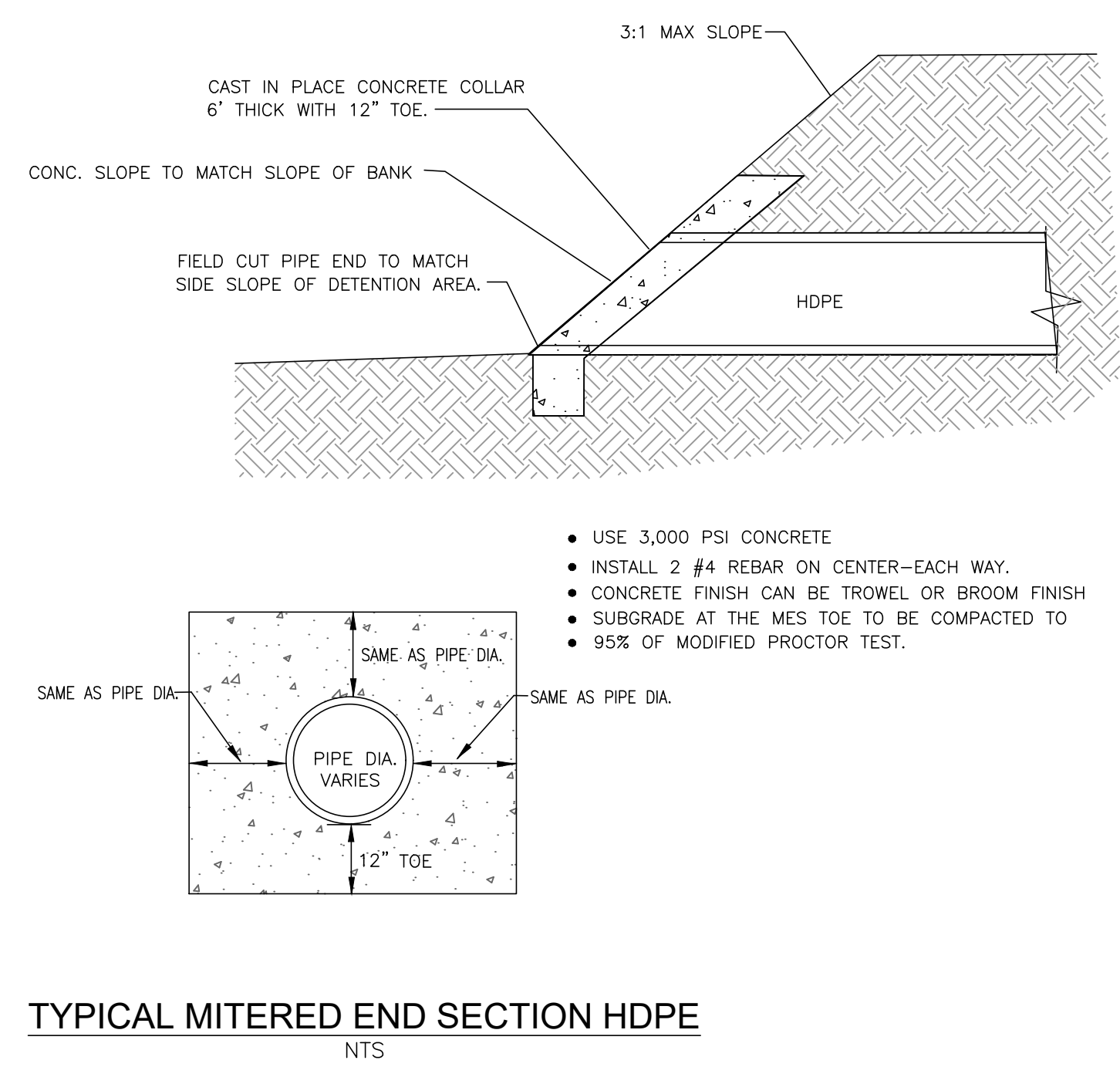
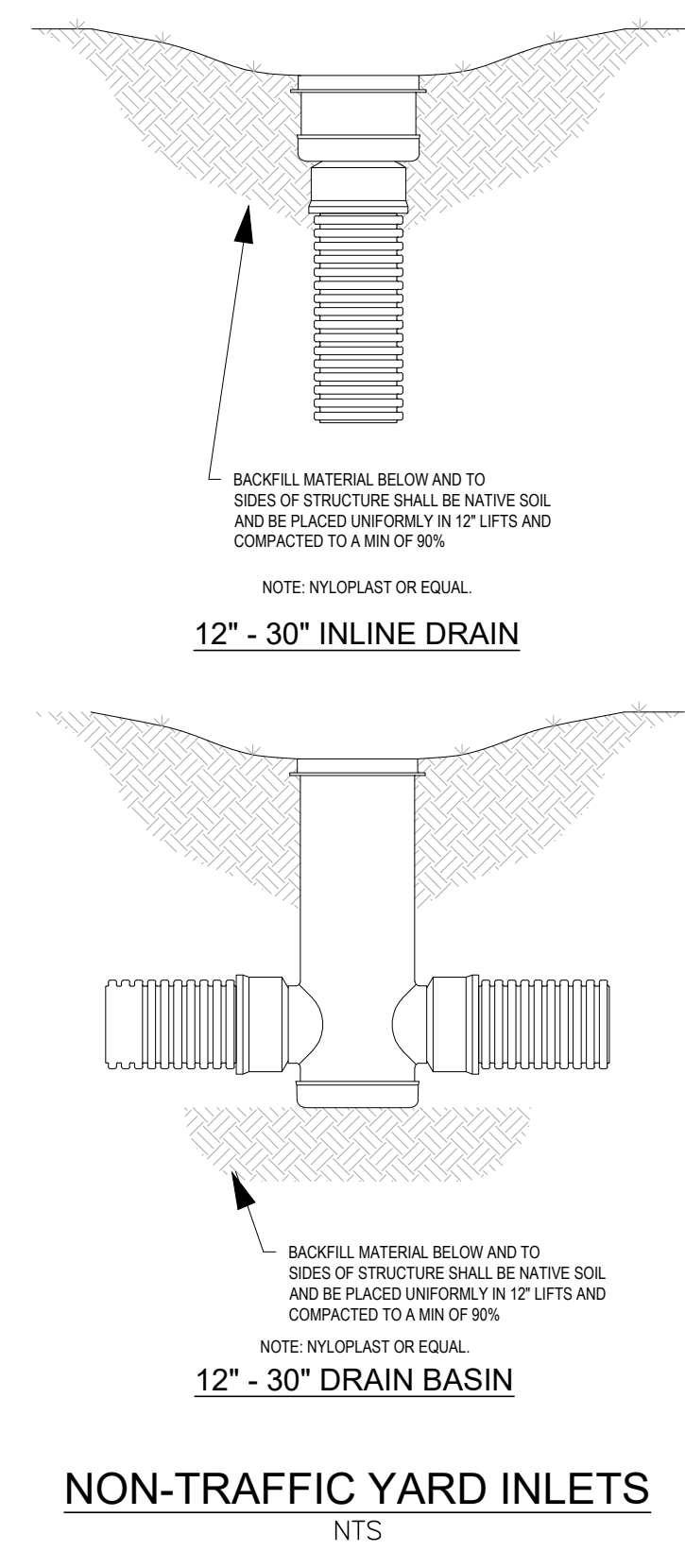
**DEPARTMENT OF TRANSPORTATION
STATE OF GEORGIA**

**STANDARD
PRECAST DROP INLETS**

SCALE AS SHOWN

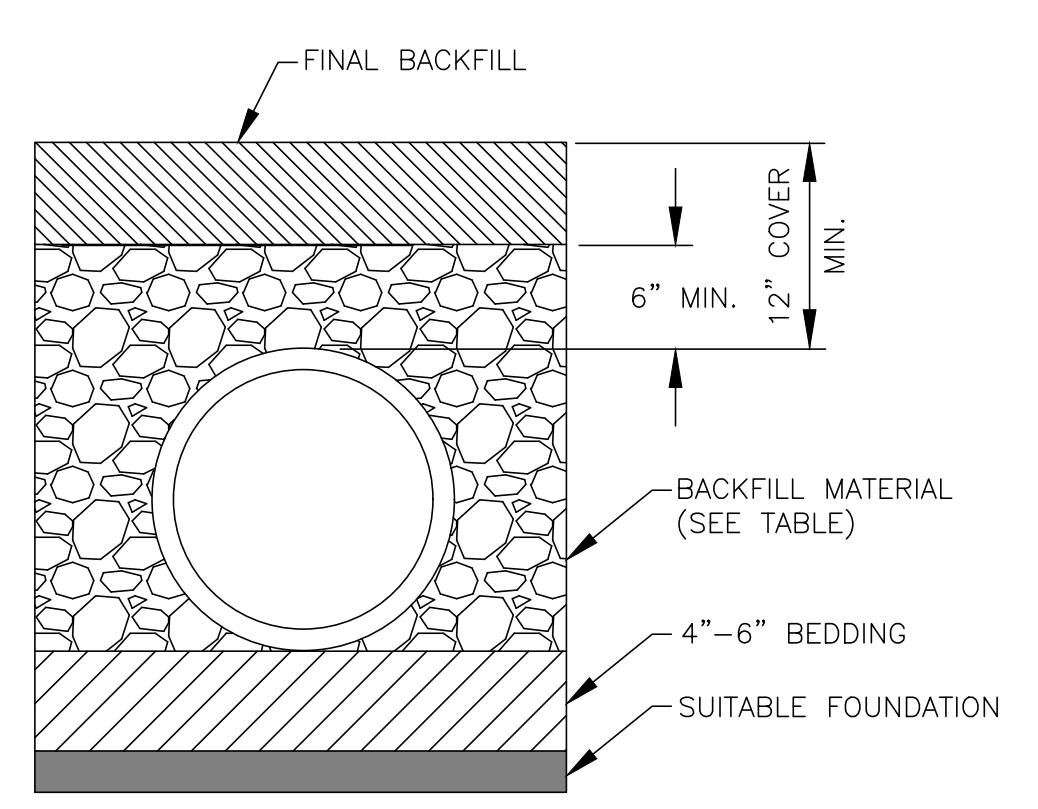
DESIGNED: *[Signature]* AUG. 1999
DRAWN: *[Signature]* NUMBER
CHECKED: *[Signature]* 1019A
APPROVED: *[Signature]* PRECAST
ENGINEER

PIPE SIZE	TYPE "A"		TYPE "B"		TYPE "C"		TYPE "E"	
	MLH	MLH	MLH	MLH	MLH	MLH	MLH	MLH
6"	2'-0"	2'-8 1/2"	2'-7"	3'-3 1/2"	2'-0"	2'-7"	3'-3 1/2"	2'-7"
8"	2'-8 1/2"	3'-0"	2'-0"	3'-5 1/2"	2'-0"	2'-0"	3'-5 1/2"	2'-0"
12"	3'-0"	0'-0"	4'-3 1/2"	5'-0"	0'-0"	4'-7"	5'-3 1/2"	0'-0"
18"	3'-6"	0'-0"	4'-9 1/2"	5'-6"	0'-0"	5'-2"	5'-0"	0'-0"
24"	4'-0"	0'-0"	5'-0 1/2"	6'-0"	0'-0"	5'-9"	6'-3 1/2"	0'-0"
30"	4'-6"	0'-0"	5'-6 1/2"	6'-6"	0'-0"	6'-0"	7'-0"	0'-0"
36"	5'-0"	0'-0"	6'-0 1/2"	7'-0"	0'-0"	6'-6"	7'-6"	0'-0"
48"	5'-6"	0'-0"	6'-6 1/2"	7'-6"	0'-0"	7'-0"	8'-0"	0'-0"
54"	6'-0"	0'-0"	7'-0 1/2"	8'-0"	0'-0"	7'-6"	8'-6"	0'-0"
60"	6'-6"	0'-0"	7'-6 1/2"	8'-6"	0'-0"	8'-0"	9'-0"	0'-0"



NOTE: USE KOR-N-SEAL OR FERNO ELASTIC RUBBER OR NEOPRENE FLEXIBLE COUPLING WITH STAINLESS STEEL ADJUSTABLE BANDS FOR TRANSITION BETWEEN DOWNSPOUTS AND DRAINPIPE.

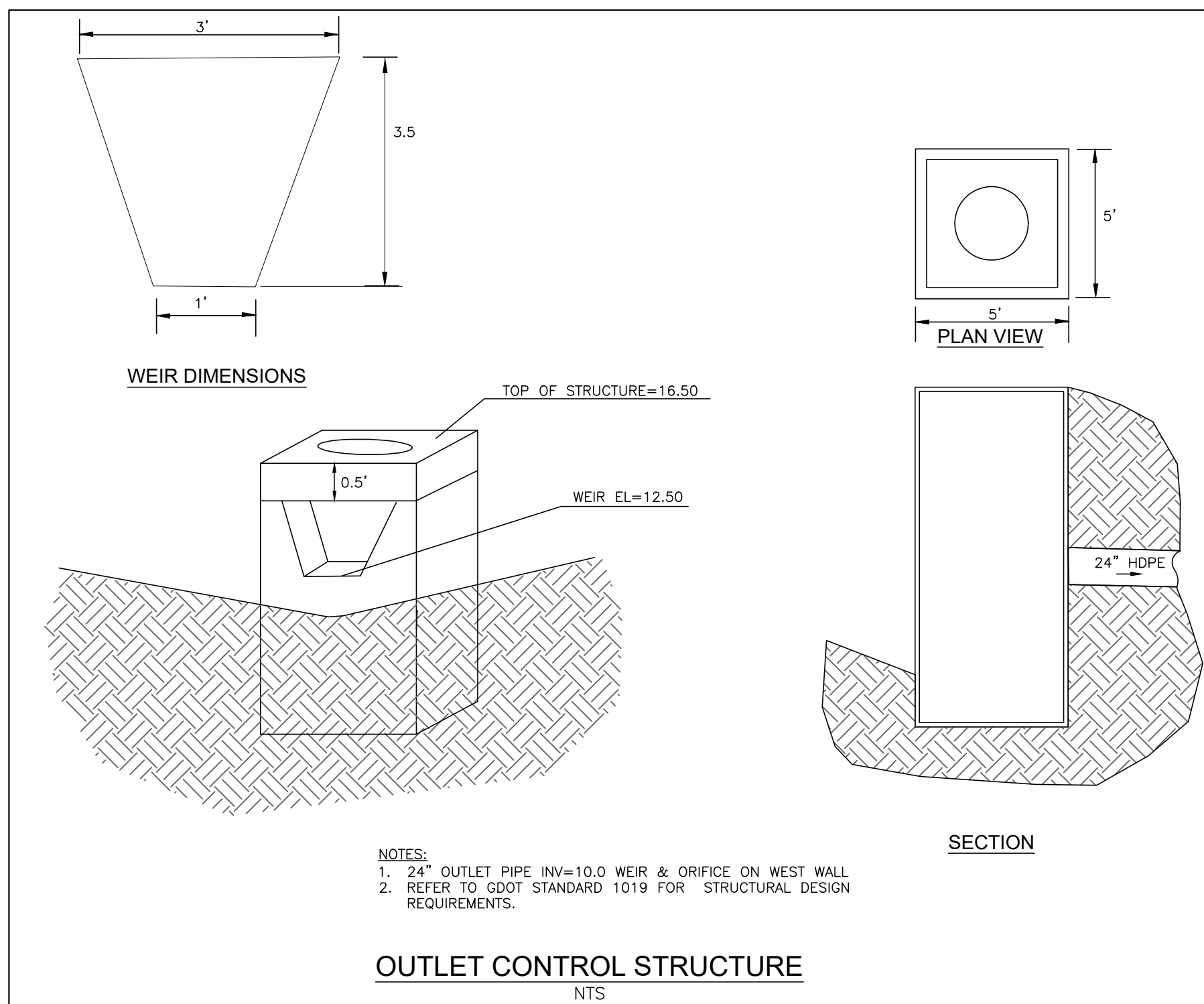
DOWNSPOUT DETAIL
NTS



SOIL CLASS	MIN. PROCTOR DENSITY
CLASS I	DUMPED*
CLASS II	85%
CLASS III	90%

*REMOVE ALL VOIDS
CLASS IV FILL MATERIAL IS NOT PERMITTED
BACKFILL LAYER HEIGHTS NOT TO EXCEED 1/2 PIPE DIAMETER

HDPE BACKFILL FOR 12" TO 48" STORM DRAIN PIPE
NTS



NOTES:
1. 24" OUTLET PIPE INV.=10.0 WEIR & ORIFICE ON WEST WALL
2. REFER TO GDOT STANDARD 1019 FOR STRUCTURAL DESIGN REQUIREMENTS.

OUTLET CONTROL STRUCTURE
NTS



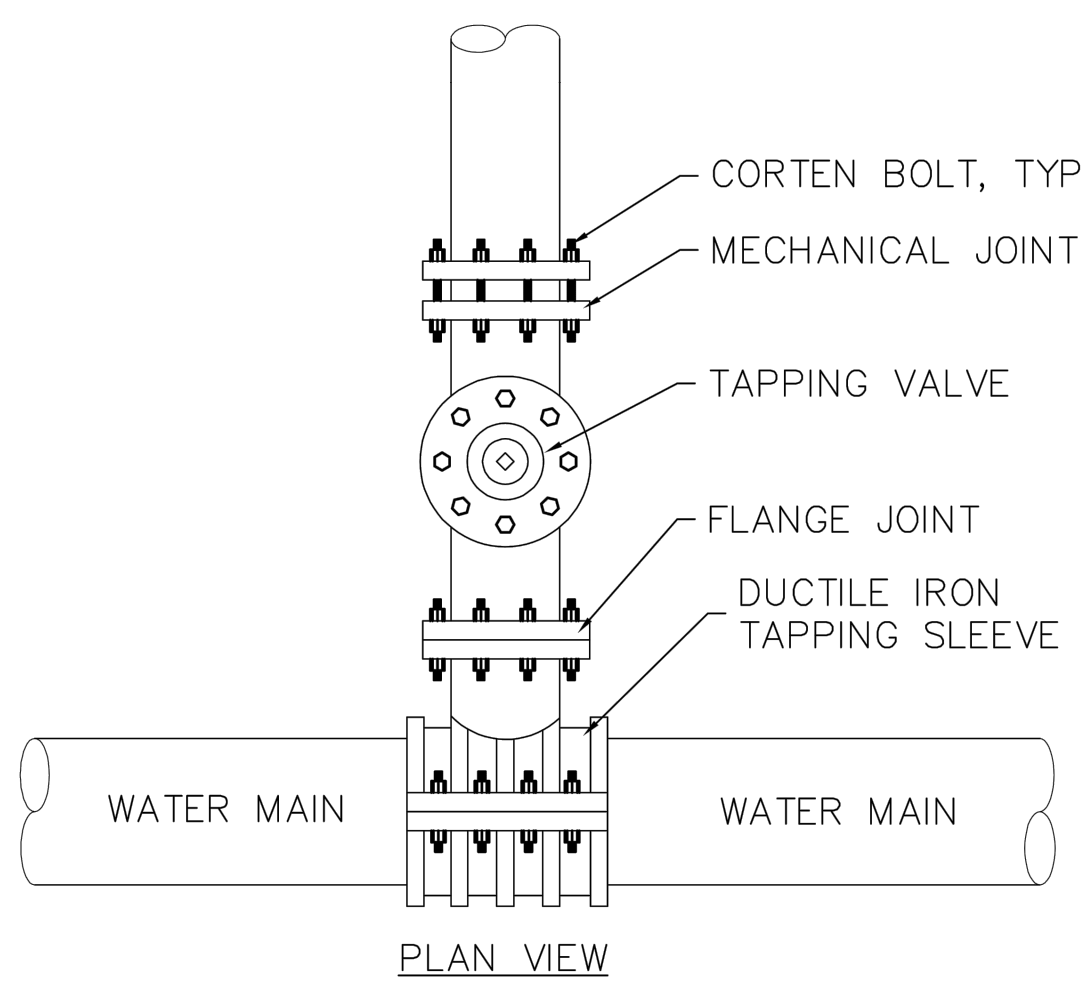
**TIDEWATER
ENGINEERING, INC.**
200 PLANTATION CHASE, SUITE 14
ST. SIMONS ISLAND, GEORGIA 31522
PHONE: (912) 268-2164 FAX (912) 289-0361

REV.	DATE	DESCRIPTION

**HOME 2 SUITES
MAGELLAN BOULEVARD
PORT WENTWORTH, GA
DRAINAGE DETAILS**

DRAWN: pss
APPROVED: pss
DATE: 01-15-21
PROJ#: 21-022
SCALE: AS SHOWN

SHEET
20 OF 25



NOTE:
1. THE TAPPING SLEEVE AND VALVE MUST BE INSTALLED IN A MANHOLE. SEE DETAIL W-14 FOR THE MANHOLE DETAIL.

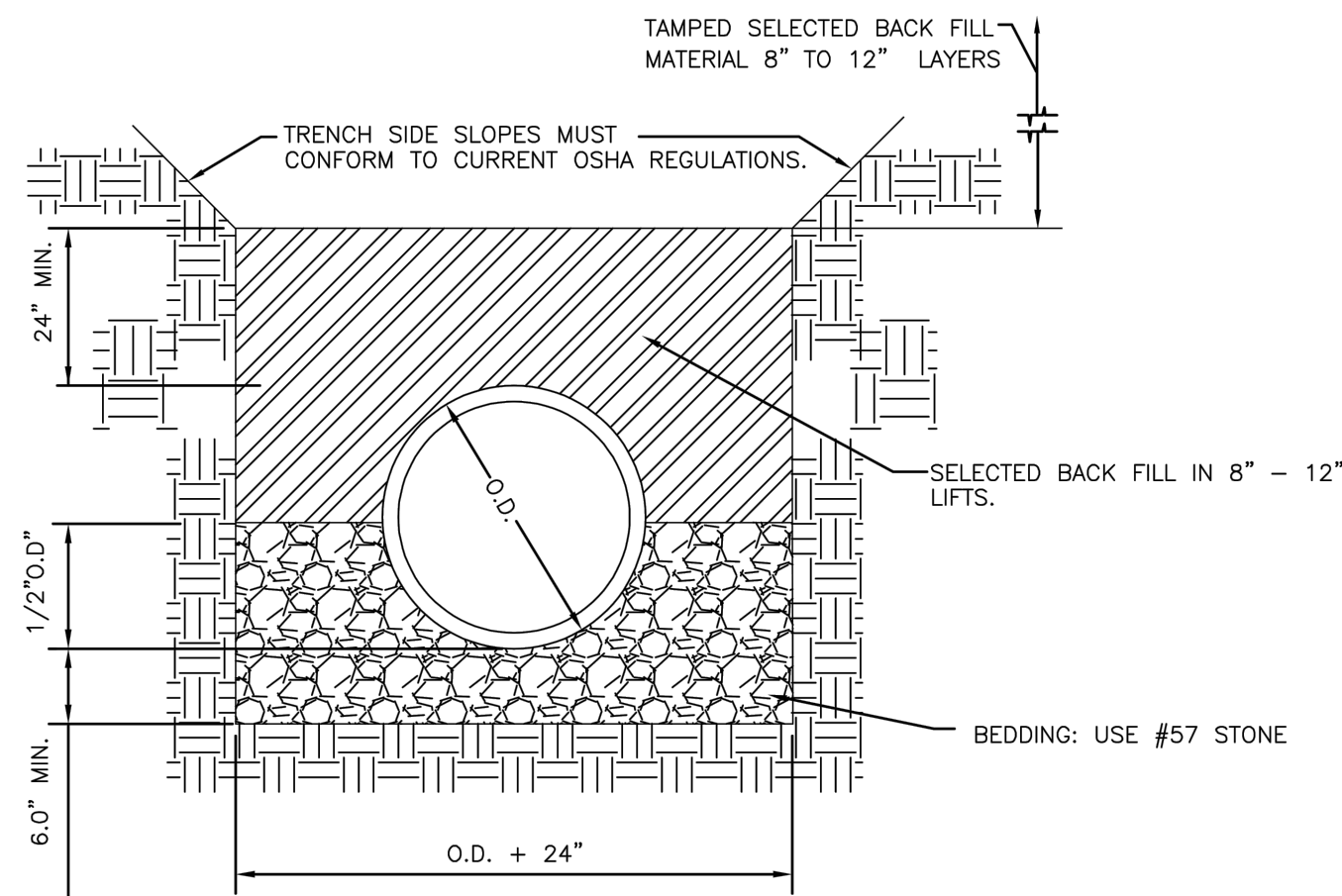
STANDARD TAPPING SLEEVE

City of Port Wentworth
TECHNICAL DETAILS

W-5

PREPARED BY SAUSSY ENGINEERING, LLC.

SCALE: N.T.S.
DATED: FEBRUARY 2007



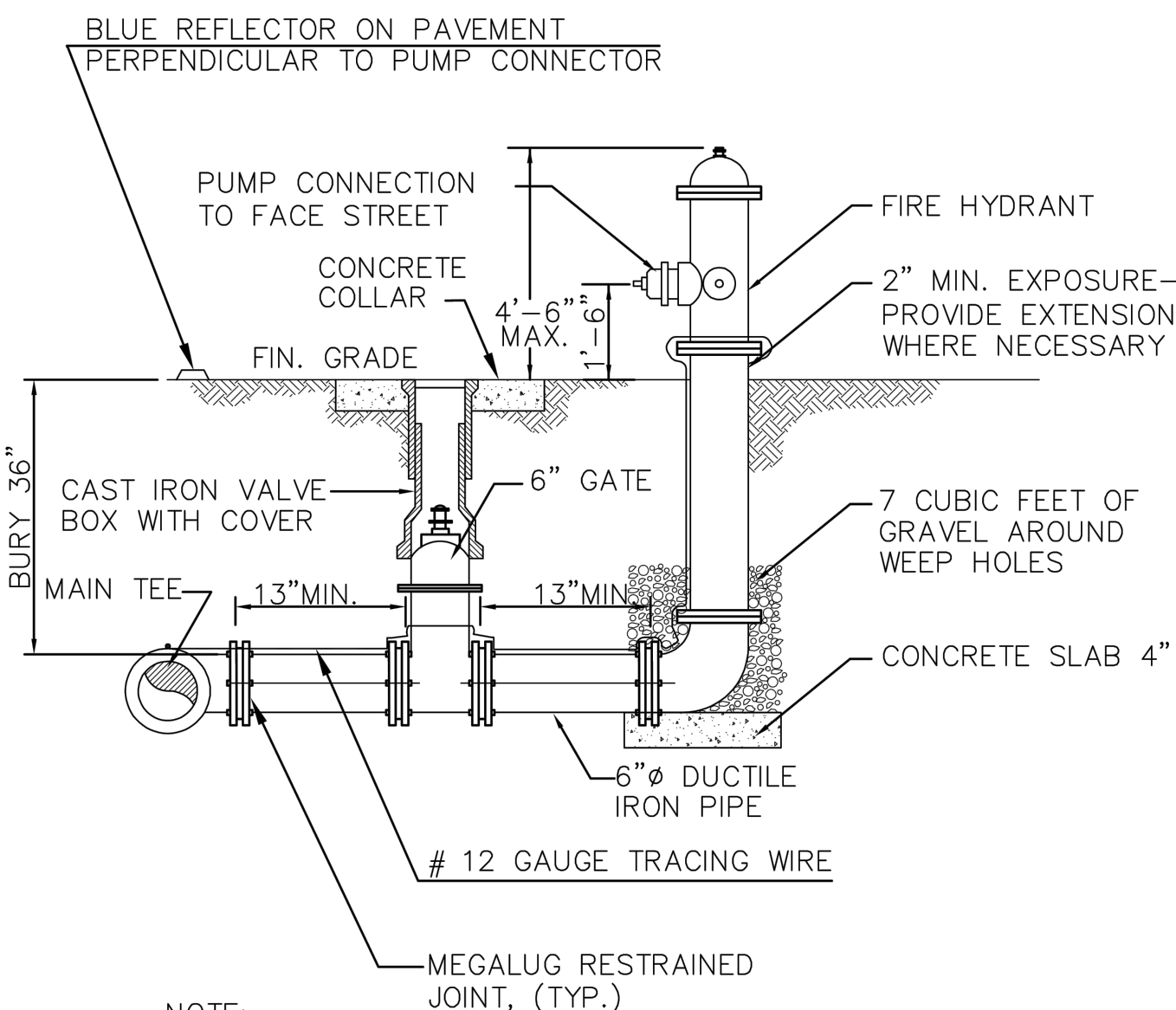
PIPE BEDDING

City of Port Wentworth
TECHNICAL DETAILS

W-8

PREPARED BY SAUSSY ENGINEERING, LLC.

SCALE: N.T.S.
DATED: FEBRUARY 2007



NOTE:
1. ALL JOINTS FROM MAIN TO HYDRANT SHALL BE RESTRAINED.
2. PROTECT BOLTS AND THREADS FROM CONCRETE.

STANDARD FIRE HYDRANT

City of Port Wentworth
TECHNICAL DETAILS

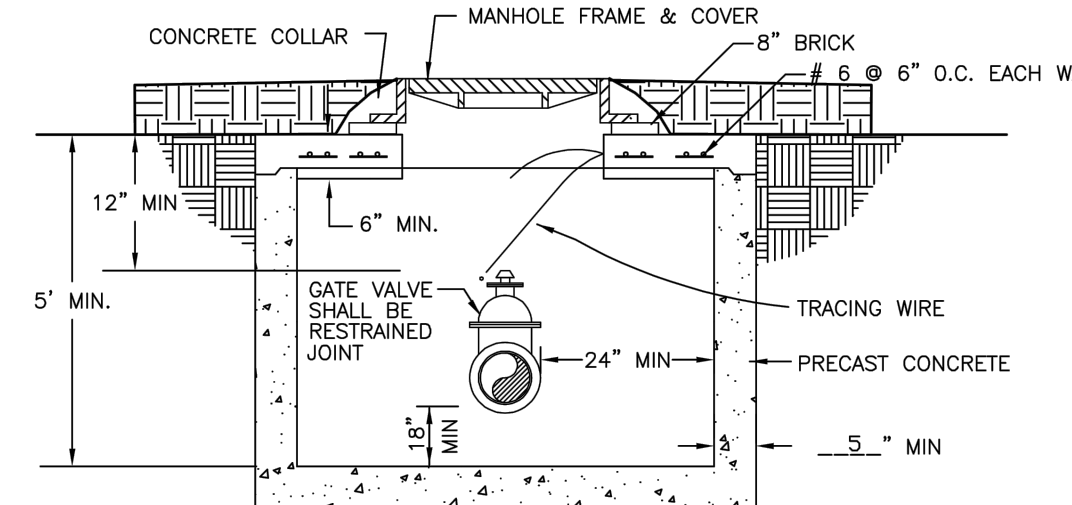
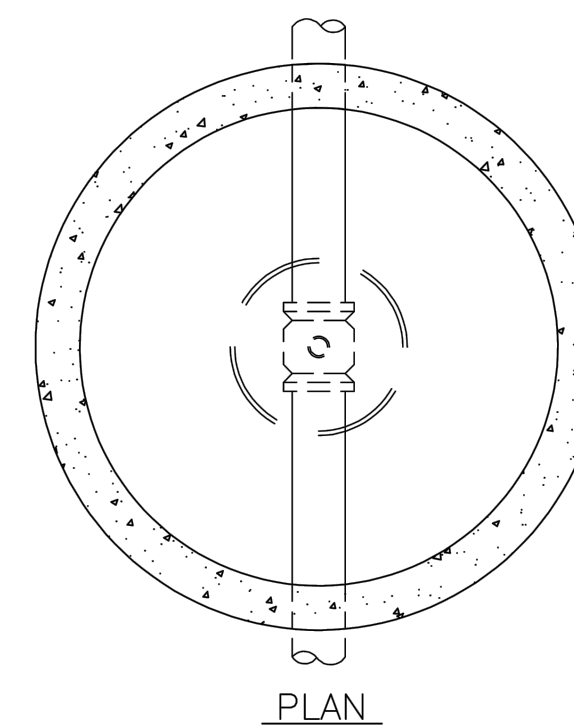
W-9

PREPARED BY SAUSSY ENGINEERING, LLC.

SCALE: N.T.S.
DATED: FEBRUARY 2007

NOTES:

1. MANHOLE FRAME AND COVER SHALL BE NEENAH FOUNDRY CO. CATALOG NO. R-1668, TYPE C, LABELED "WATER".
2. THE BOTTOM OF THE MANHOLE FRAME SHALL NOT BE MORE THAN 12" ABOVE THE TOP OF THE MANHOLE STRUCTURE.
3. PRECAST CONCENTRIC CONE RISERS MAY BE USED WHERE REQUIRED FOR DEPTH.
4. THE MANHOLE FRAME AND COVER MUST BE CENTERED OVER THE VALVE.



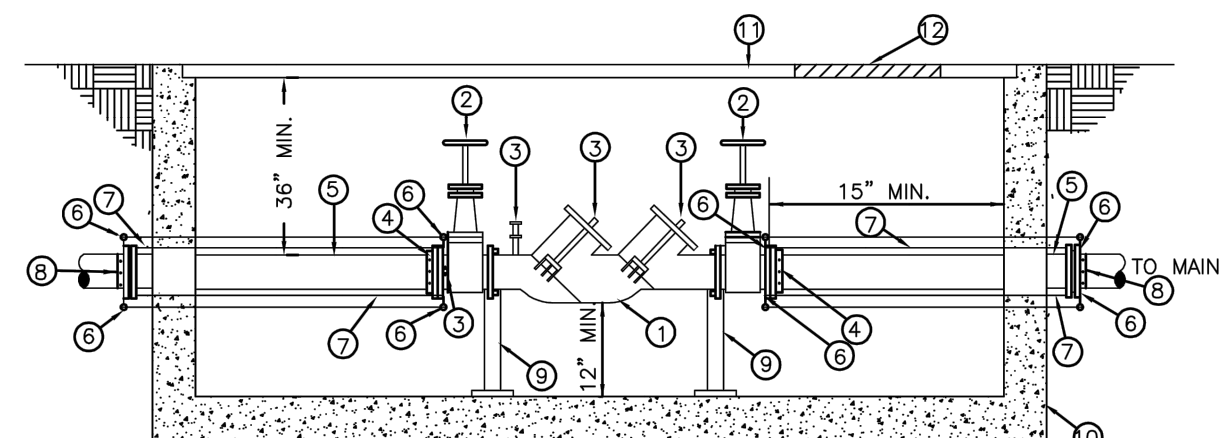
VALVE MANHOLE FOR 8" & GREATER GATE VALVE

City of Port Wentworth
TECHNICAL DETAILS

W-14

PREPARED BY SAUSSY ENGINEERING, LLC.

SCALE: N.T.S.
DATED: FEBRUARY 2007



ITEM	QUAN.	DESCRIPTION
1	1	DOUBLE CHECK VALVE ASSEMBLY
2	2	NON-RISING RESILIENT SEAT GATE VALVES
3	4	TEST COCKS
4	2	COMPANION FLANGE
5		DUCTILE IRON PIPE, CUT TO FIT
6	8	CARBON STEEL EYE BOLTS
7		3/4 GALV. ALL THREAD ROD
8		MEGA LUG OR EQUIVALENT FOR DUCTILE PIPE
9	2	2" SCH. 40 GALV. PIPE STAND & BASE BOLTED TO FLANGE
10		PIT-CEMENT BLOCK, POURED CONCRETE, OR PREFABRICATED BOX PER CITY SPECS.
11		3/8 ALUM. FLOOR PLATE / HATCH COVER W/FLUSH HANDLE
12		2' X 2' MIN. HATCH

NOTE:
1. FOR FINAL APPROVAL, ASSEMBLY MUST BE CENTERED IN ENCLOSURE (IF APPLICABLE). UNDER NO CONDITION WILL ANY CONNECTION BE ALLOWED BETWEEN THE SERVICE METER AND A BACKFLOW PREVENTER USED FOR SYSTEM CONTAINMENT. BACKFLOW PREVENTER SHALL ALWAYS BE INSTALLED DOWNSTREAM OF METER.
2. IF A PRESSURE MONITOR IS TO BE INSTALLED, ADD A TEE, VALVE, FITTINGS, AND MOUNT ON SUPPLY SIDE PRIOR TO BACKFLOW PREVENTION DEVICE. UNDER NO CIRCUMSTANCE, SHALL TEST PORTS BE MODIFIED OR UTILIZED FOR THIS OR OTHER APPLICATION, OTHER THAN BACKFLOW DEVICE TESTING.

TYPICAL BELOW GRADE INSTALLATION
(3", 4", 6", 8", & 10" SIZES)

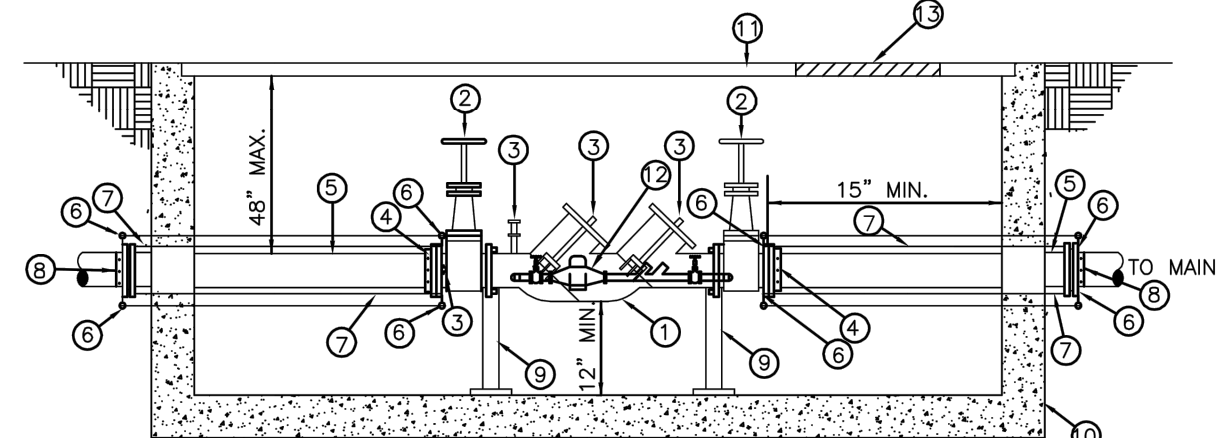
DOMESTIC DOUBLE CHECK VALVE ASSEMBLY (B)

City of Port Wentworth
TECHNICAL DETAILS

W-21

PREPARED BY SAUSSY ENGINEERING, LLC.

SCALE: N.T.S.
DATED: FEBRUARY 2007



ITEM	QUAN.	DESCRIPTION
1	1	DOUBLE DETECTOR CHECK VALVE ASSEMBLY
2	2	OS&Y RESILIENT SEAT GATE VALVES
3	4	TEST COCKS
4	2	COMPANION FLANGE (UNION SHALL BE USED FOR 2")
5		DUCTILE IRON PIPE, CUT TO FIT
6	8	CARBON STEEL EYE BOLTS
7		3/4 GALV. ALL THREAD ROD
8		MEGA LUG OR EQUIVALENT FOR DUCTILE PIPE
9	2	2" SCH. 40 GALV. PIPE STAND & BASE BOLTED TO FLANGE
10		PIT-CEMENT BLOCK, POURED CONCRETE, OR PREFABRICATED BOX PER CITY SPECS.
11		3/8 ALUMINUM FLOOR PLATE / HATCH COVER
12	1	3/4 CUBIC FT. BYPASS METER
13		2' X 2' MIN. HATCH

NOTES:
1. FOR FINAL APPROVAL, ASSEMBLY MUST BE CENTERED IN ENCLOSURE (IF APPLICABLE). UNDER NO CONDITION WILL ANY CONNECTION BE ALLOWED BETWEEN THE SERVICE METER AND A BACKFLOW PREVENTER USED FOR THE SYSTEM CONTAINMENT. BACKFLOW PREVENTER SHALL ALWAYS BE INSTALLED DOWNSTREAM OF METER.
2. IF A PRESSURE MONITOR IS TO BE INSTALLED, ADD A TEE, VALVE, FITTINGS, AND MOUNT ON SUPPLY SIDE PRIOR TO BACKFLOW PREVENTER. UNDER NO CIRCUMSTANCE SHALL TEST PORTS BE MODIFIED OR UTILIZED FOR THIS OR OTHER APPLICATION, OTHER THAN BACKFLOW DEVICE TESTING.
3. IF ADDITIONAL SIAMISE CONNECTION IS REQUIRED FOR FIRE SERVICE, SEE DETAIL SHEET STD. FIRE SERVICE SYSTEM FOR BUILDINGS.

TYPICAL BELOW GRADE INSTALLATION
(2", 3", 4", 6", 8", & 10" SIZES)

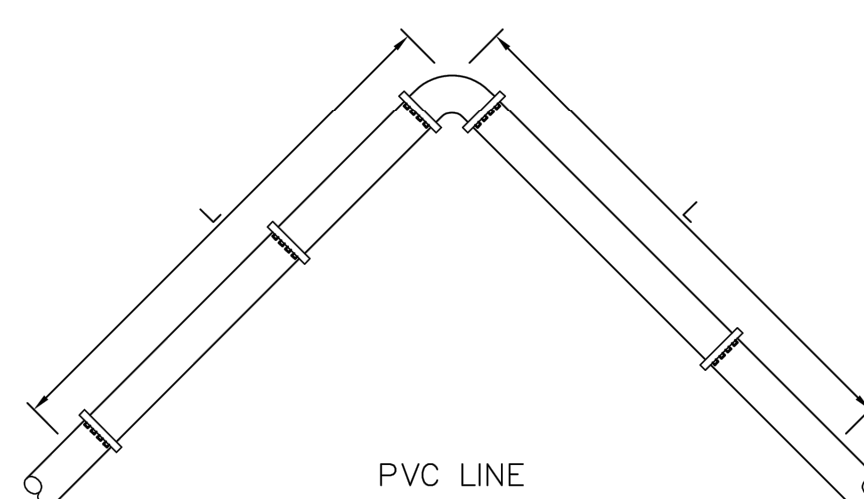
FIRE SYTEM DOUBLE DETECTOR CHECK VALVE

City of Port Wentworth
TECHNICAL DETAILS

W-22

PREPARED BY SAUSSY ENGINEERING, LLC.

SCALE: N.T.S.
DATED: FEBRUARY 2007



PIPE DIA.	BEND ANGLE			
	11 1/4'	22 1/2'	45'	90'
4	3	6	12	29
6	4	8	17	41
8	5	11	22	53
10	6	13	26	64
12	7	15	31	75

PIPE DIA.	BEND ANGLE			
	11 1/4'	22 1/2'	45'	90'
4	2	4	8	20
6	3	6	12	28
8	4	7	15	36
10	4	9	18	43
12	5	10	21	51
16	6	13	27	65
20	8	16	33	79
24	9	18	38	92

MINIMUM RESTRAINED LENGTH (L)
NOTES:
1. LENGTH OF RESTRAINT SHOWN IS IN FEET.
2. WHERE LINES CONSIST OF BOTH DUCTILE IRON AND PVC WITHIN THE LIMITS OF REQUIRED RESTRAINT, LIMITS FOR PVC SHALL APPLY.

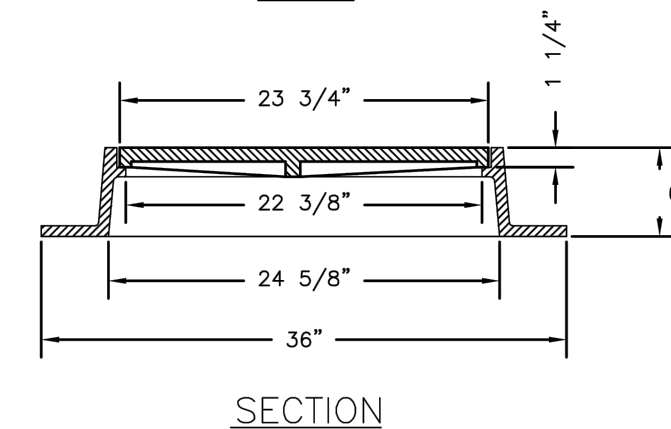
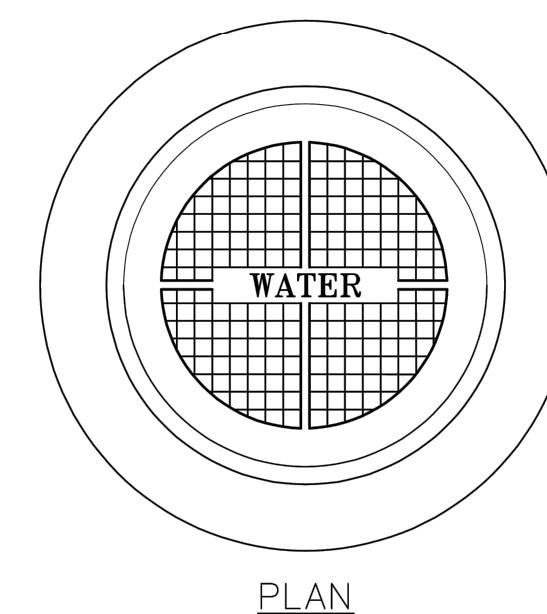
STANDARD HORIZONTAL BEND RESTRAINT

City of Port Wentworth
TECHNICAL DETAILS

W-27

PREPARED BY SAUSSY ENGINEERING, LLC.

SCALE: N.T.S.
DATED: FEBRUARY 2007



NOTE:
MANHOLE RING & COVER SHALL BE HEAVY DUTY RATED EQUAL TO U. S. FOUNDRY CO. USF 195-ORS. TOTAL WEIGHT 325# TYPE "C" LID TO HAVE MACHINED BEARING SURFACES. LID TO BE LETTERED 2 1/2" - 3" LETTER HEIGHT "WATER" (NON VENTED). MANHOLE RING SHALL INCLUDE A WATER TIGHT GASKET. STACKING CLEATS ON THE BOTTOM OF THE COVER SHALL NOT BE ALLOWED.

MANHOLE RING & COVER

City of Port Wentworth
TECHNICAL DETAILS

W-34

PREPARED BY SAUSSY ENGINEERING, LLC.

SCALE: N.T.S.
DATED: FEBRUARY 2007

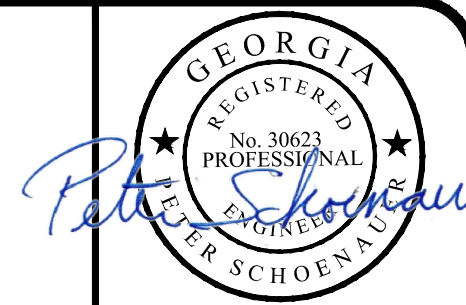
DESCRIPTION

REV. DATE:

HOME 2 SUITES
MAGELLAN BOULEVARD
PORT WENTWORTH, GA
WATER DETAILS

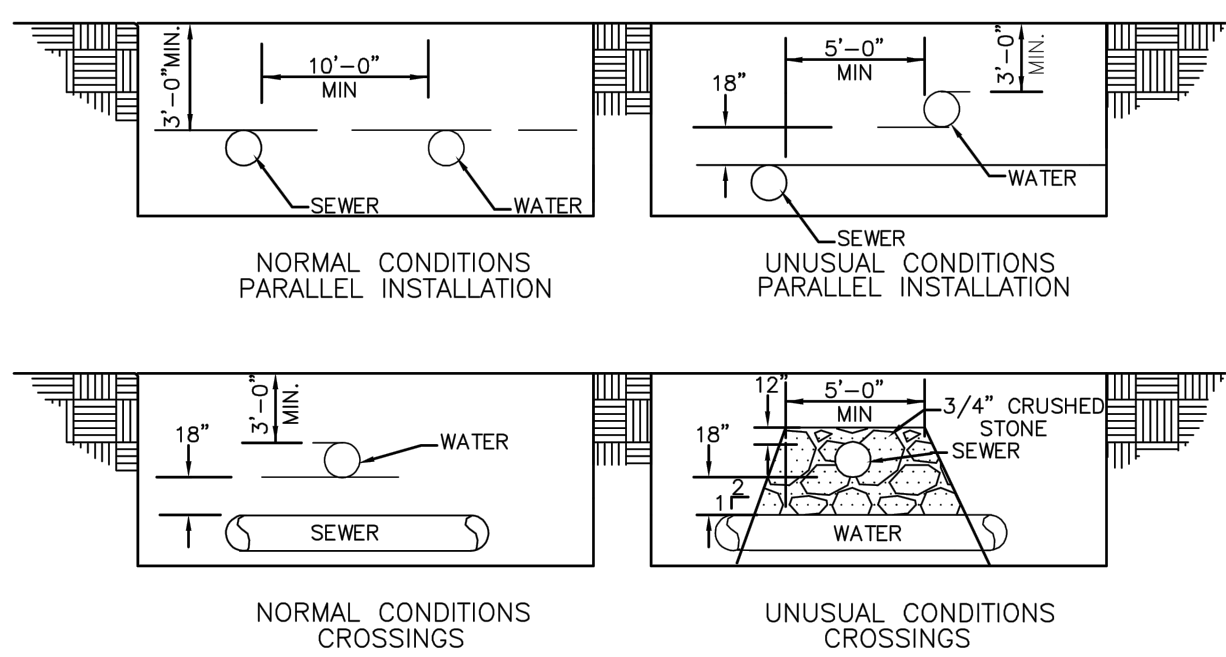
DRAWN: pss
APPROVED: pss
DATE: 01-15-21
PROJ#: 21-022
SCALE: AS SHOWN

SHEET
21 OF 25



3-5-21

TIDEWATER
ENGINEERING, INC.
200 PLANTATION CHASE, SUITE 14
ST. SIMONS ISLAND, GEORGIA 31522
PHONE (912) 268-2164 FAX (912) 289-0361



NOTES:

THE SEPARATION OF WATER MAINS AND SEWERS SHALL COMPLY WITH THE GEORGIA ENVIRONMENTAL PROTECTION DIVISION MINIMUM STANDARDS FOR PUBLIC WATER SYSTEMS, WHICH ARE GENERALLY AS FOLLOWS:

A. PARALLEL INSTALLATION:

- 1. NORMAL CONDITIONS: THE INSIDE EDGE OF A WATER LINE SHALL BE LAID AT LEAST 10 FEET HORIZONTALLY FROM THE INSIDE EDGE OF ANY SANITARY SEWER, STORM SEWER OR SEWER MANHOLE.
- 2. UNUSUAL CONDITIONS: WHEN LOCAL CONDITIONS PREVENT A HORIZONTAL SEPARATION OF 10 FEET, AND WHEN APPROVED BY THE ENGINEER, THE INSIDE EDGE OF A WATER MAIN MAY BE LAID A MINIMUM OF 5 FEET FROM THE INSIDE EDGE OF A SEWER PROVIDED THAT THE BOTTOM OF THE WATER MAIN IS AT LEAST 18 INCHES HIGHER THAN THE TOP OF THE SEWER (SEE DETAIL), AND THE WATER MAIN IS LAID IN A SEPARATE TRENCH OR ON AN UNDISTURBED EARTH SHELF.

B. CROSSINGS:

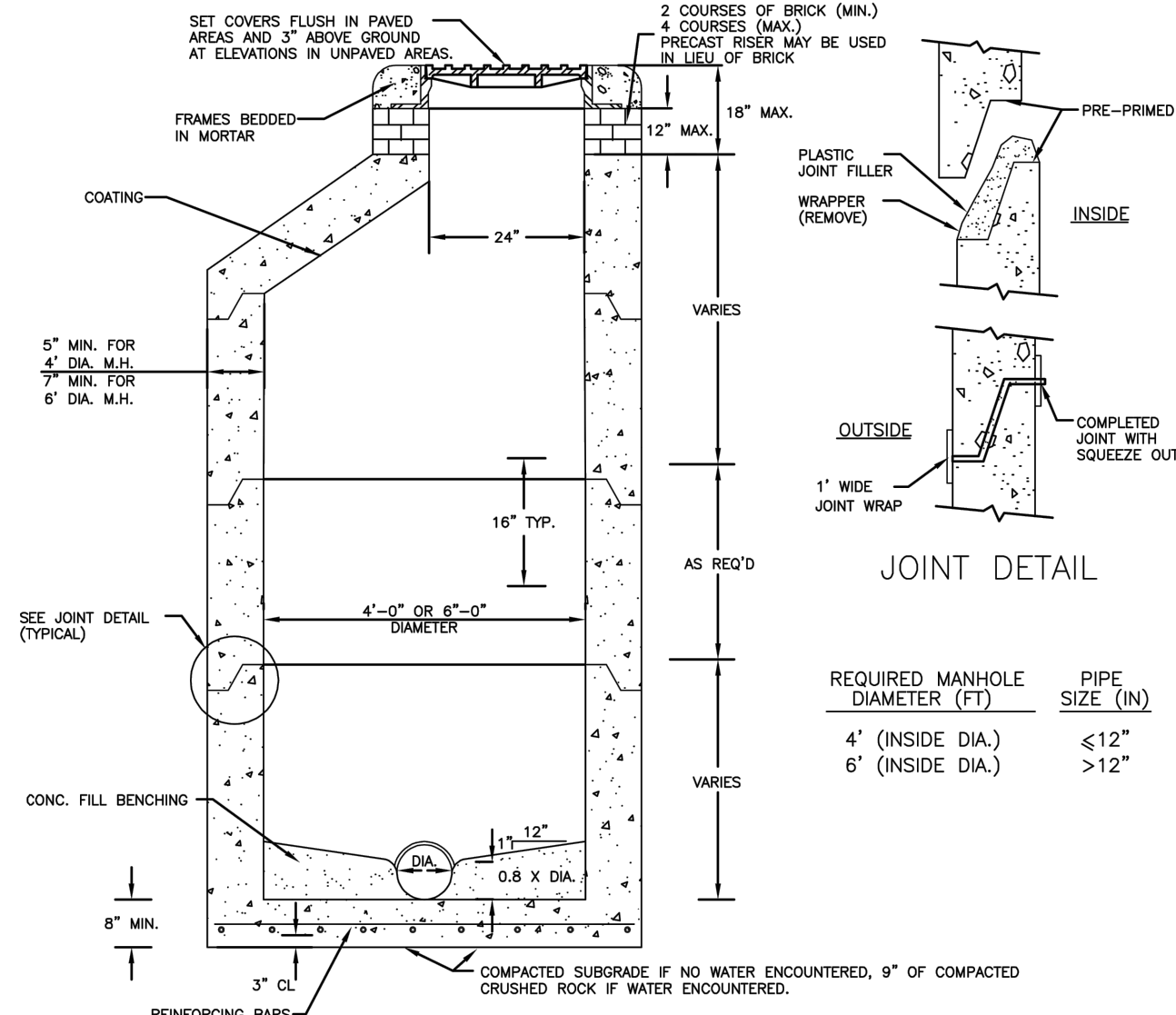
- 1. NORMAL CONDITIONS: WHENEVER POSSIBLE, THE BOTTOM OF THE WATER MAIN SHALL BE AT LEAST 18 INCHES HIGHER THAN THE TOP OF THE SEWER.
- 2. UNUSUAL CONDITIONS: IF A WATER MAIN MUST CROSS UNDER A SEWER, THE TOP OF THE WATER MAIN PIPE SHALL BE AT LEAST 18 INCHES LOWER THAN THE BOTTOM OF THE SEWER, THE WATER MAIN PIPE SHALL BE CENTERED AT THE CROSSING SO THAT THE JOINTS ARE EQUIDISTANT AND AS FAR AS POSSIBLE FROM THE SEWER, AND ADEQUATE STRUCTURAL SUPPORT SHALL BE PROVIDED FOR THE SEWER TO PREVENT EXCESSIVE DEFLECTION OF THE SEWER AT THE CROSSING. ADEQUATE STRUCTURAL SUPPORT SHALL INCLUDE BACKFILLING THE ENTIRE UTILITY CROSSING AREA WITH 3/4" CRUSHED STONE AS SHOWN IN THE DETAIL.

MINIMUM WATER & SEWER PIPE SEPARATION

	City of Port Wentworth	U-3
TECHNICAL DETAILS		

PREPARED BY SAUSSY ENGINEERING, LLC.

SCALE: N.T.S.
DATED: FEBRUARY 2007



NOTES:

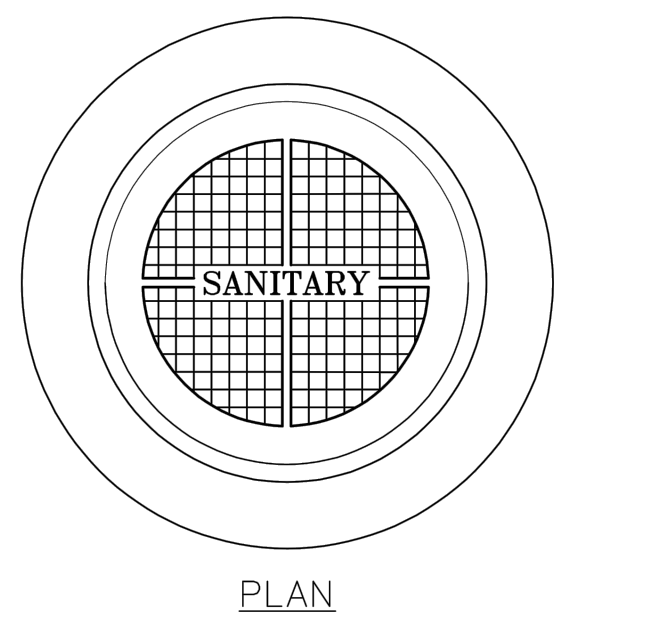
- 1. PRECAST REINFORCED CONCRETE TOPS, RISERS, BASES AND REBARS SHALL CONFORM TO LATEST ASTM C-478 STD. SPECIFICATIONS.
- 2. INTERIOR OF MANHOLE SHALL BE COATED IN ACCORDANCE WITH CITY OF PORT WENTWORTH STD. SPECIFICATIONS. THE EXTERIOR OF MANHOLE SHALL BE COATED WITH CONSEAL CS-55 DAMP-PROOF COATING OR EQUAL.
- 3. MANUFACTURER CERTIFICATION THAT MANHOLE MEETS ASTM SPECIFICATION SHALL BE SUBMITTED TO CITY OF PORT WENTWORTH.
- 4. SEE DETAIL SHEET FOR MANHOLE COVER & FRAME.
- 5. BUOYANCY MAY NEED TO BE CHECKED IF NECESSARY.
- 6. ALL PIPE PENETRATIONS SHALL HAVE A BOOT CONNECTION. SEE DETAIL S-6.

PRECAST CONCRETE MANHOLE

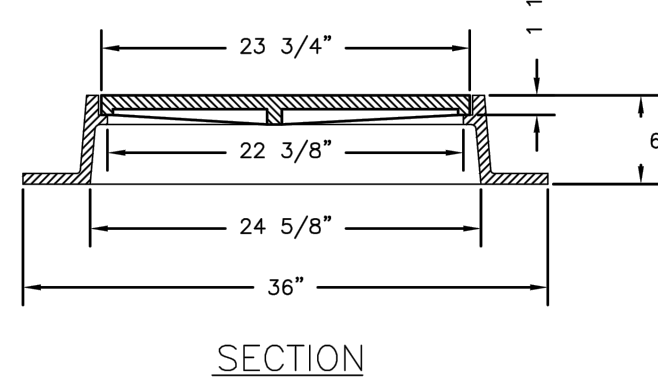
	City of Port Wentworth	S-1
TECHNICAL DETAILS		

PREPARED BY SAUSSY ENGINEERING, LLC.

SCALE: N.T.S.
DATED: FEBRUARY 2007



PLAN



SECTION

NOTE:

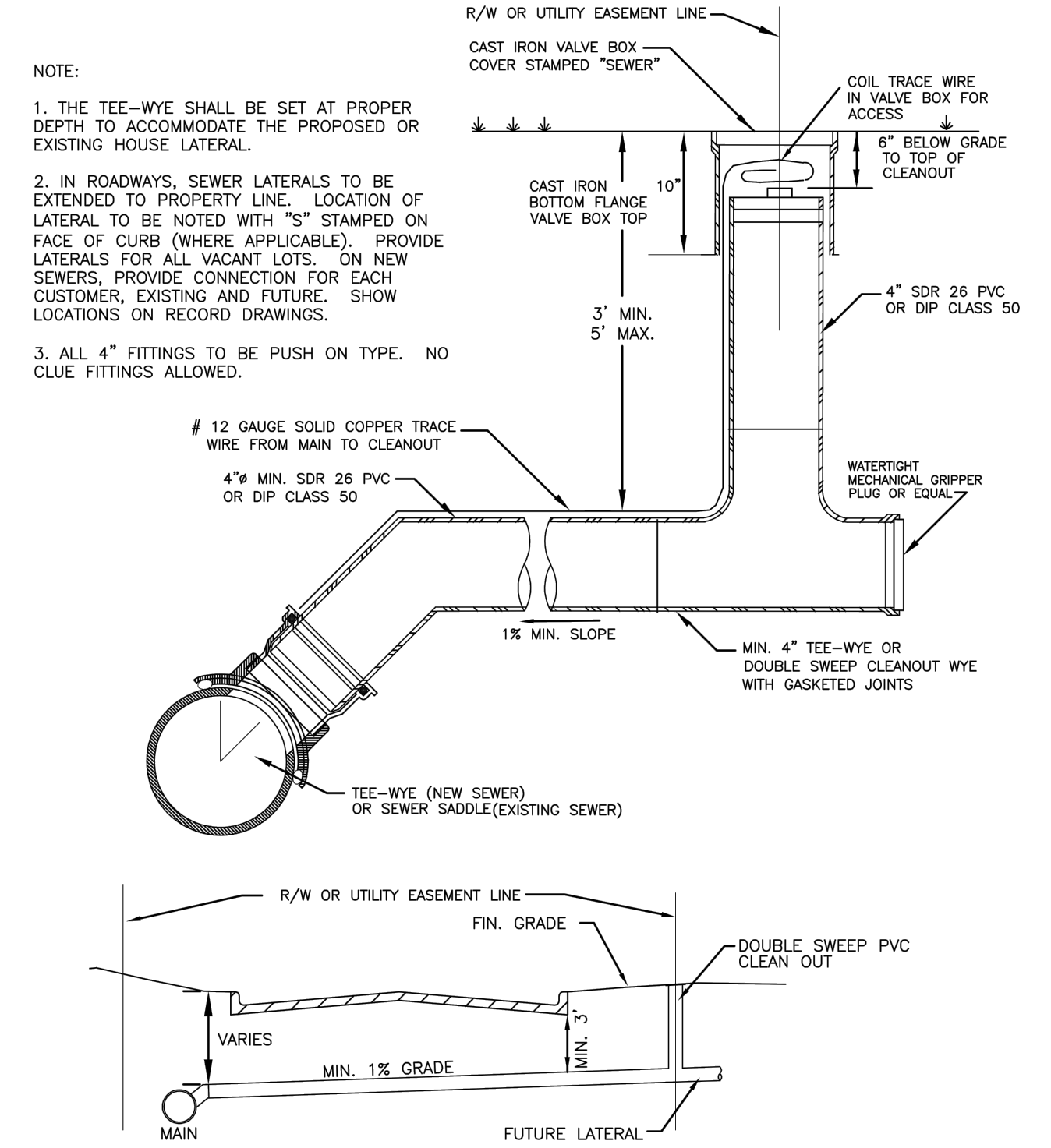
MANHOLE RING & COVER SHALL BE HEAVY DUTY RATED EQUAL TO U. S. FOUNDRY CO. USF 195-ORS. TOTAL WEIGHT 325# TYPE 'C' LID TO HAVE MACHINED BEARING SURFACES. LID TO BE LETTERED 2 1/2" - 3" LETTER HEIGHT "SANITARY" (NON VENTED). MANHOLE RING SHALL INCLUDE A WATERTIGHT GASKET. STACKING CLEARANCE ON THE BOTTOM OF THE COVER SHALL NOT BE ALLOWED.

MANHOLE RING & COVER

	City of Port Wentworth	S-2
TECHNICAL DETAILS		

PREPARED BY SAUSSY ENGINEERING, LLC.

SCALE: N.T.S.
DATED: FEBRUARY 2007

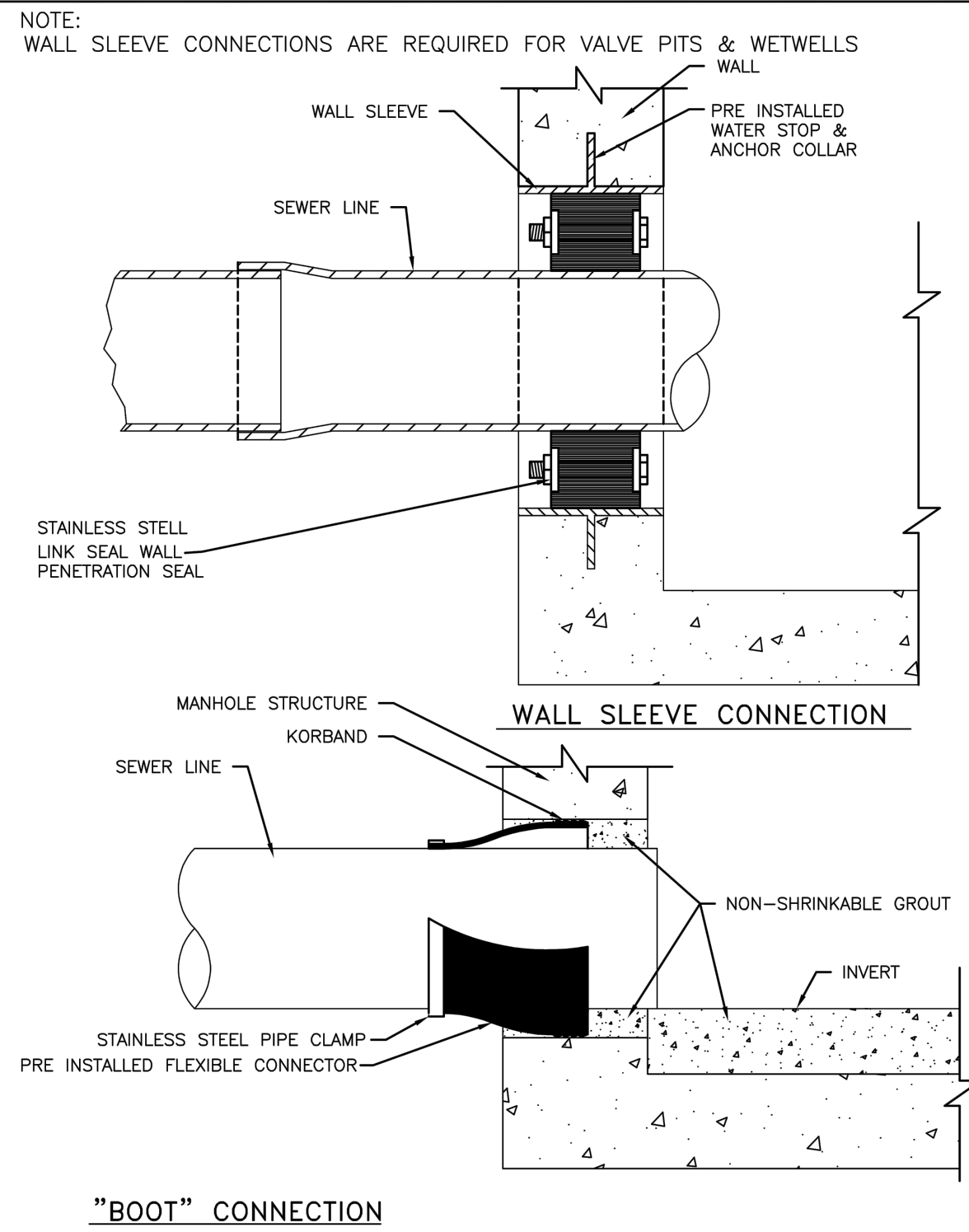


SANITARY SEWER SERVICE CONNECTION

	City of Port Wentworth	S-4
TECHNICAL DETAILS		

PREPARED BY SAUSSY ENGINEERING, LLC.

SCALE: N.T.S.
DATED: FEBRUARY 2007

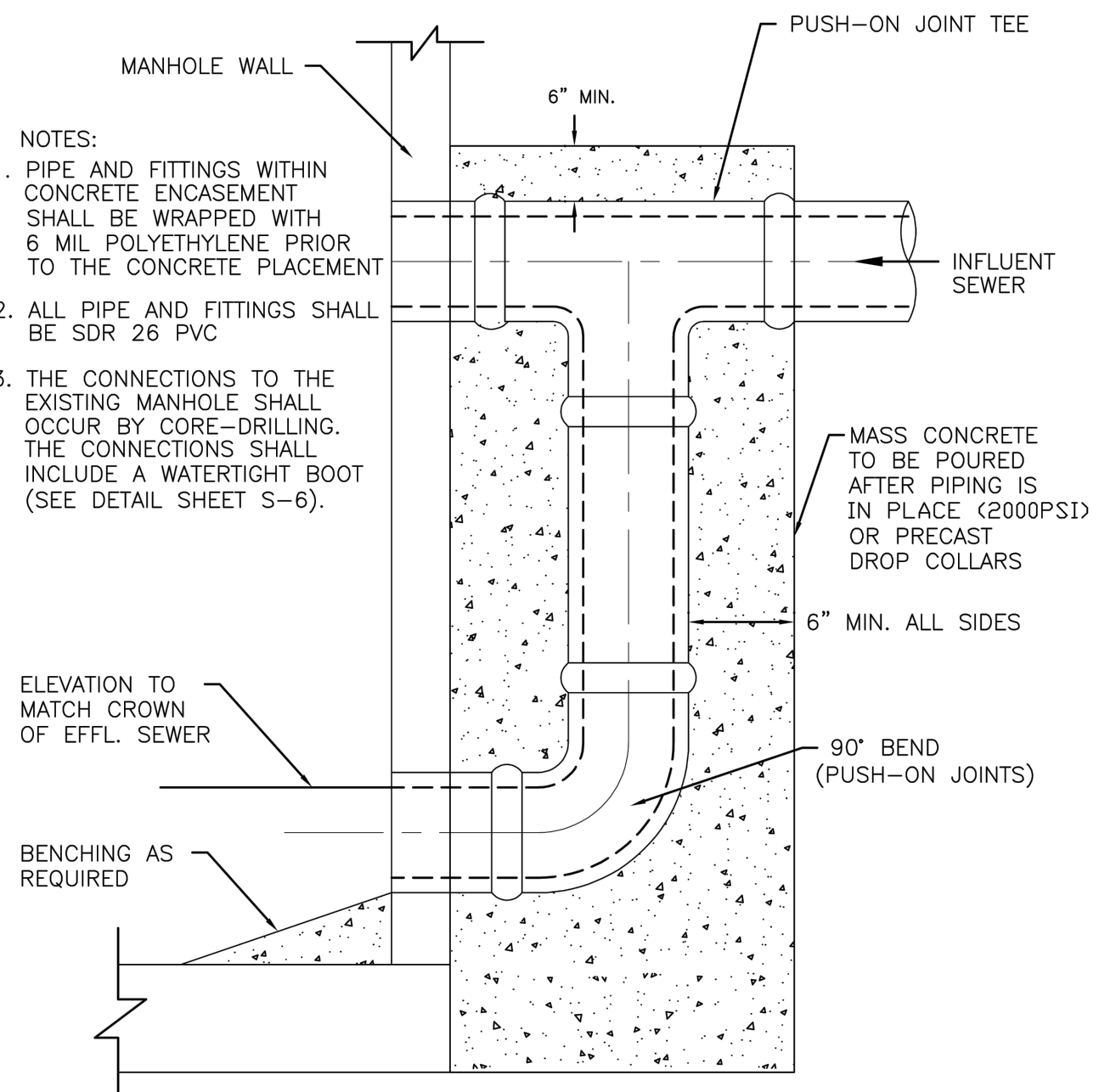


PRECAST STRUCTURE PIPE CONNECTION

	City of Port Wentworth	S-6
TECHNICAL DETAILS		

PREPARED BY SAUSSY ENGINEERING, LLC.

SCALE: N.T.S.
DATED: FEBRUARY 2007

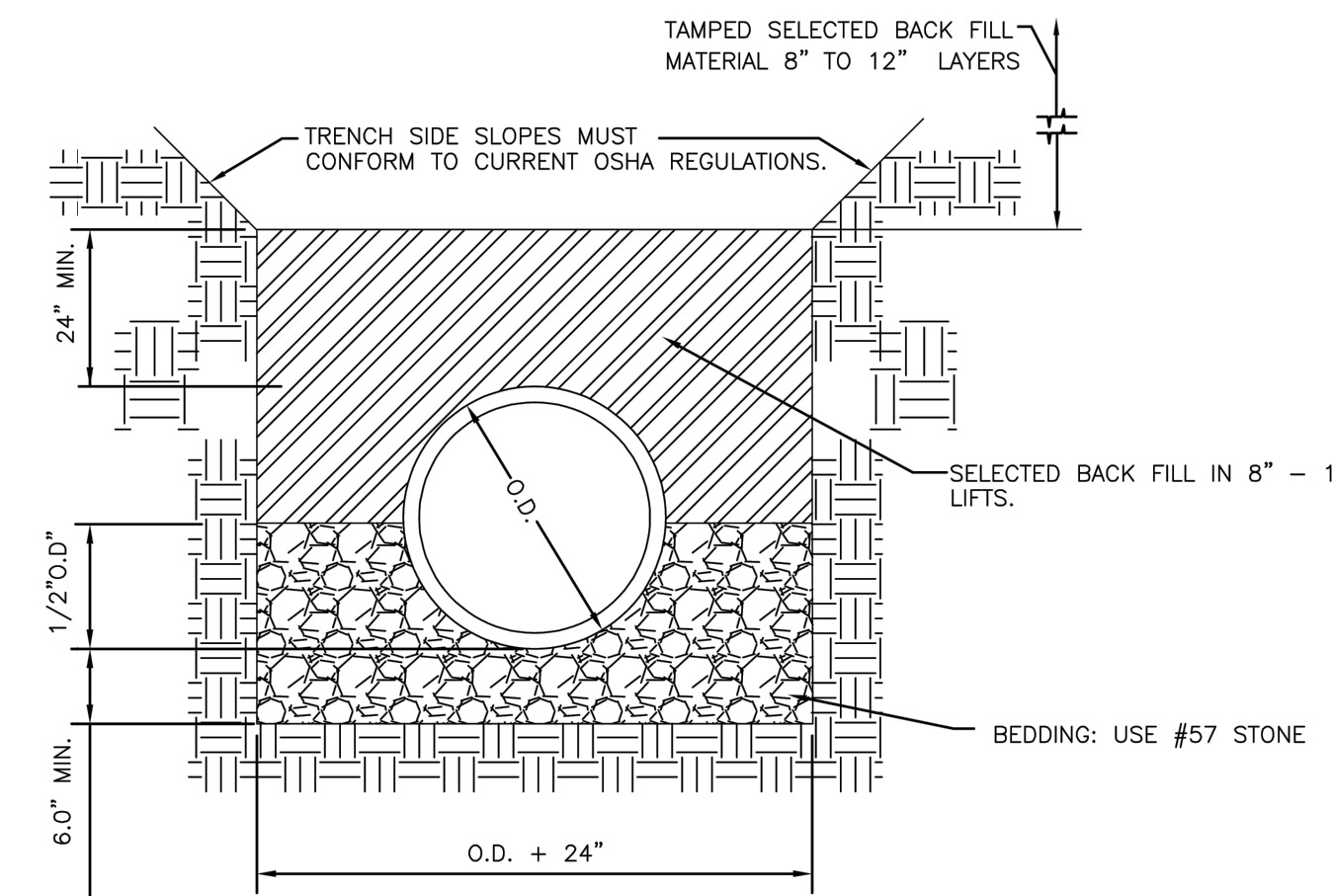


DROP MANHOLE CONNECTION

	City of Port Wentworth	S-7
TECHNICAL DETAILS		

PREPARED BY SAUSSY ENGINEERING, LLC.

SCALE: N.T.S.
DATED: FEBRUARY 2007



PIPE BEDDING

	City of Port Wentworth	S-8
TECHNICAL DETAILS		

PREPARED BY SAUSSY ENGINEERING, LLC.

SCALE: N.T.S.
DATED: FEBRUARY 2007



TIDEWATER ENGINEERING, INC.
 200 PLANTATION CHASE, SUITE 14
 ST. SIMONS ISLAND, GEORGIA 31522
 PHONE (912) 268-2164 FAX (912) 289-0361

REV.	DATE:	DESCRIPTION

HOME 2 SUITES
MAGELLAN BOULEVARD
PORT WENTWORTH, GA
SEWER DETAILS

DRAWN: pss
 APPROVED: pss
 DATE: 01-15-21
 PROJ#: 21-022
 SCALE: AS SHOWN
 SHEET
22 OF 25

FLARE DIMENSIONS						
PIPE DIA.	A	B	C	L	E	R-1
15"	6"	2'-3"	3'-10"	6'-1"	2'-6"	1'-0"
18"	9"	2'-3"	3'-10"	6'-1"	3'-0"	1'-4"
24"	10"	3'-8"	2'-6"	6'-2"	4'-0"	1'-5"
30"	12"	4'-6"	1'-8"	6'-2"	5'-0"	1'-6"
36"	16"	5'-3"	2'-11"	8'-2"	6'-0"	2'-0"
42"	21"	5'-3"	2'-11"	8'-2"	6'-6"	2'-4"

REINFORCEMENT CONFORMS TO ASTM A-82

FLARED END SECTION

City of Port Wentworth

TECHNICAL DETAILS

SD-11

PREPARED BY SAUSSY ENGINEERING, LLC. SCALE: N.T.S. DATED: FEBRUARY 2007

PLAN OF CURB INLET

City of Port Wentworth

TECHNICAL DETAILS

SD-1

PREPARED BY SAUSSY ENGINEERING, LLC. SCALE: N.T.S. DATED: FEBRUARY 2007

CURB INLET SECTION A - A

City of Port Wentworth

TECHNICAL DETAILS

SD-3

PREPARED BY SAUSSY ENGINEERING, LLC. SCALE: N.T.S. DATED: FEBRUARY 2007

CURB INLET SECTION B - B

City of Port Wentworth

TECHNICAL DETAILS

SD-4

PREPARED BY SAUSSY ENGINEERING, LLC. SCALE: N.T.S. DATED: FEBRUARY 2007

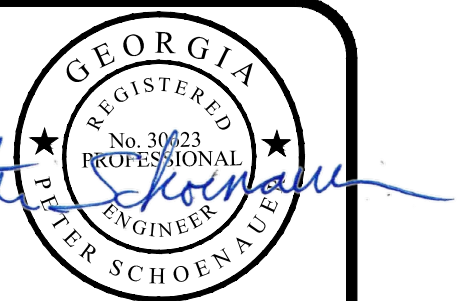
INLET FRAME & COVER

City of Port Wentworth

TECHNICAL DETAILS

SD-5

PREPARED BY SAUSSY ENGINEERING, LLC. SCALE: N.T.S. DATED: FEBRUARY 2007



TIDEWATER ENGINEERING, INC.
 200 PLANTATION CHASE, SUITE 14
 ST. SIMONS ISLAND, GEORGIA 31522
 PHONE (912) 268-2164 FAX (912) 289-0361

REV.	DATE:	DESCRIPTION

HOME 2 SUITES
 MAGELLAN BOULEVARD
 PORT WENTWORTH, GA
 STORM DRAIN DETAILS

DRAWN: pss
 APPROVED: pss
 DATE: 01-15-21
 PROJ#: 21-022
 SCALE: AS SHOWN

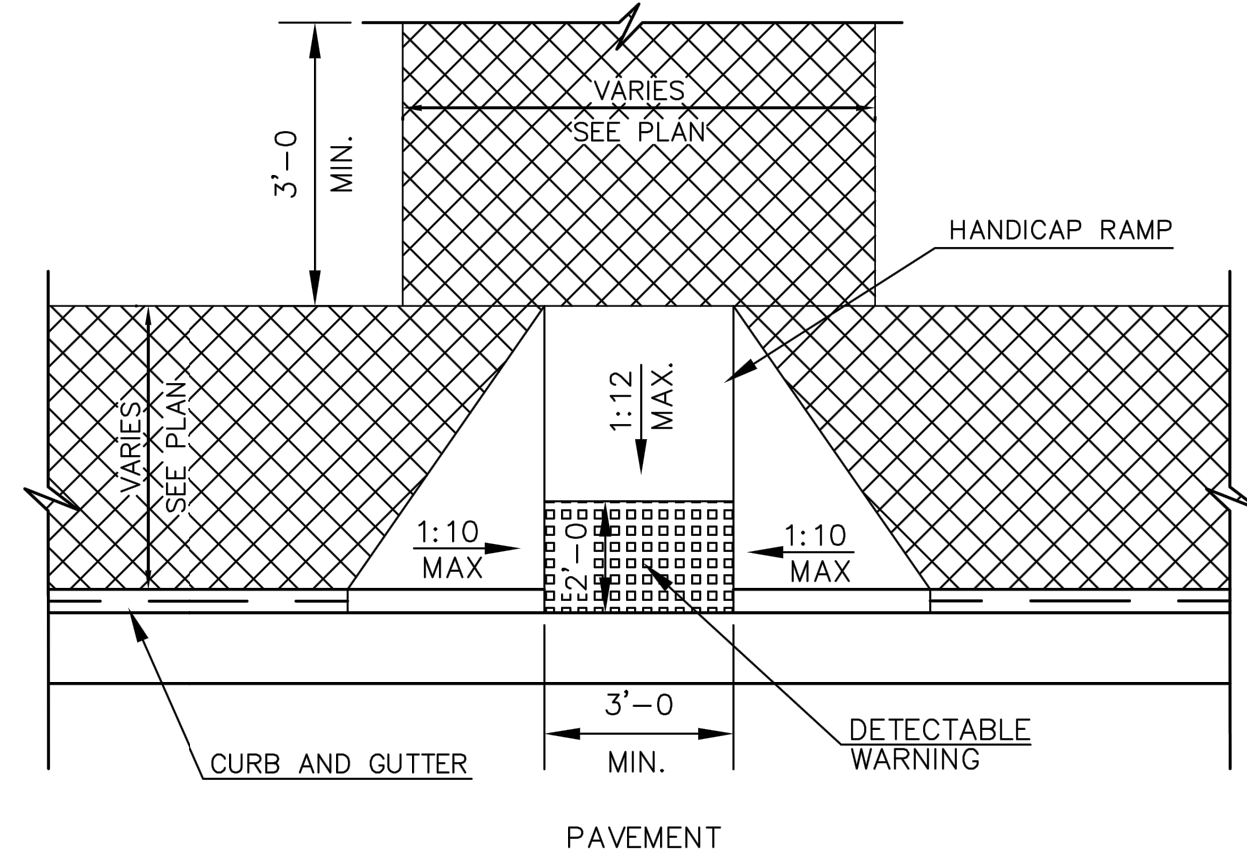
SHEET
 24 OF 25

DETECTABLE WARNINGS ON WALKING SURFACE OF HANDICAP RAMP

DETECTABLE WARNINGS SHALL CONSIST OF RAISED TRUNCATED DOMES WITH A DIAMETER OF NOMINAL 0.9 IN (23mm). A HEIGHT OF NOMINAL 0.2 IN (5mm) AND A CENTER-TO-CENTER SPACING OF NOMINAL 2.35 IN (60mm) AND SHALL CONTRAST VISUALLY WITH ADJOINING SURFACES, EITHER LIGHT-ON-DARK, OR DARK-ON-LIGHT.

THE MATERIAL USED TO PROVIDE CONTRAST SHALL BE INTEGRAL PART OF THE WALKING SURFACE. DETECTABLE WARNINGS USED ON SURFACES SHALL DIFFER FROM ADJOINING WALKING SURFACES IN RESILIENCY OR SOUND-ON-CANE

SURFACES SHALL MEET THE ADA ACCESSIBILITY GUIDELINES SECTION 4.29.2.



HANDICAP RAMP TYPE "A"

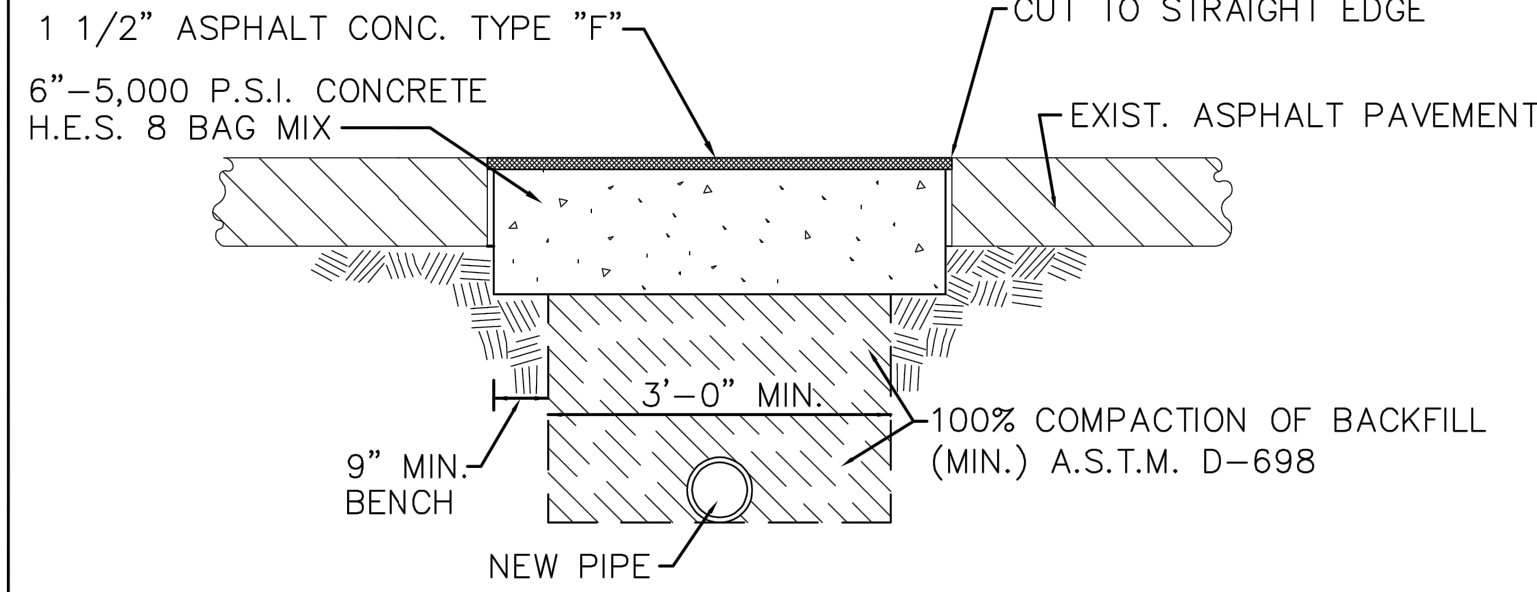


City of Port Wentworth
TECHNICAL DETAILS

P-4

PREPARED BY SAUSSY ENGINEERING, LLC.

SCALE: N.T.S.
DATED: FEBRUARY 2007



- NOTE:
1. ALL LATERAL STREET CUTS MUST BE COVERED WITH STEEL PLATES OF SUFFICIENT THICKNESS TO SPAN THE CUT WITHOUT NOTICEABLE DEFLECTION. PLATES TO REMAIN IN PLACE UNTIL THE CONCRETE BASE HAS GAINED SUFFICIENT STRENGTH TO WITHSTAND TRAFFIC LOADS (24 HOUR MINIMUM).
 2. LONGITUDINAL CUTS EXCEEDING 150 FT. IN LENGTH, THE CONCRETE IN TRENCH WILL BE BROUGHT FLUSH WITH THE EXISTING PAVEMENT. THE EXIST. PAVING WILL BE SAW CUT TO A STRAIGHT EDGE AND THE ENTIRE WIDTH OF ROADWAY RESURFACED WITH A MINIMUM OF 1" OF TYPE "F" ASPHALT TOPPING OR SURFACE COURSE.

BITUMINOUS PAVEMENT REPLACEMENT

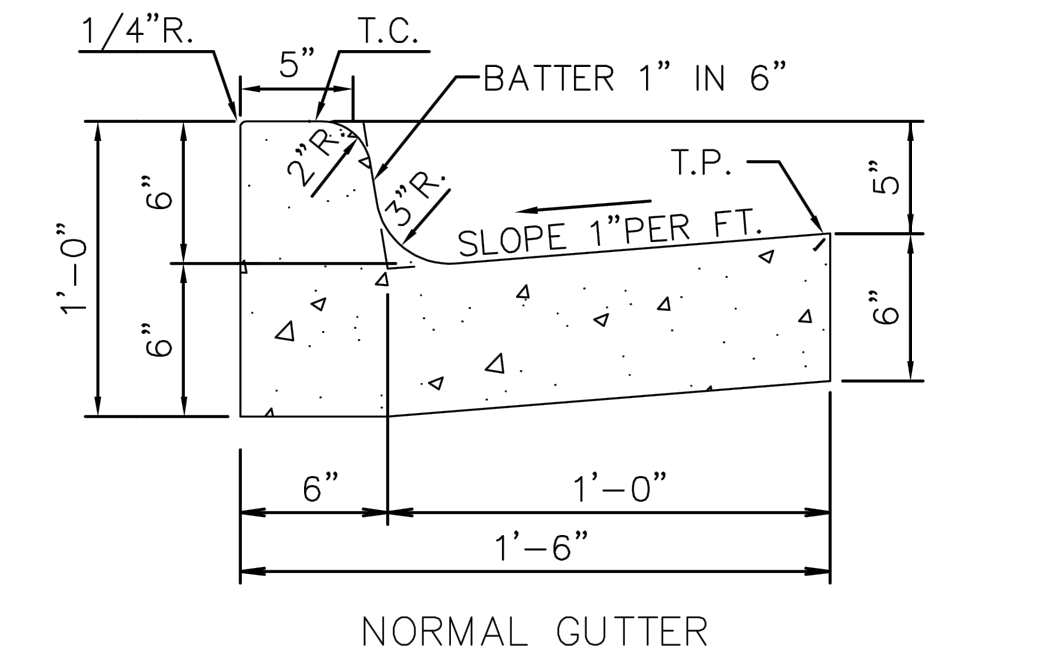


City of Port Wentworth
TECHNICAL DETAILS

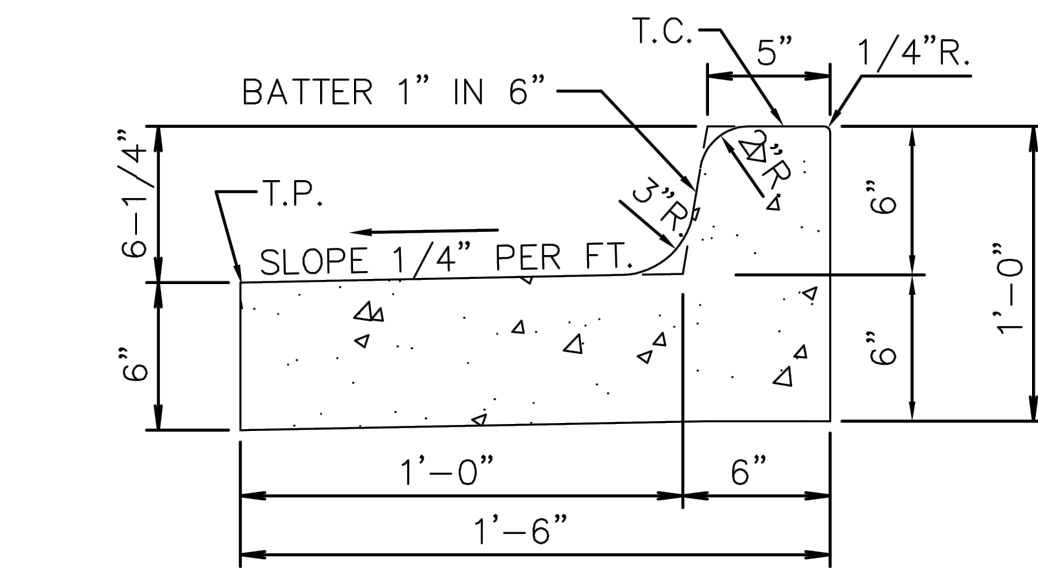
P-9

PREPARED BY SAUSSY ENGINEERING, LLC.

SCALE: N.T.S.
DATED: FEBRUARY 2007



NORMAL GUTTER



PITCHED GUTTER

NOTE: COMPACT SUBGRADE TO 98%
(ASTM D698-00aef)

18" CURB & GUTTER

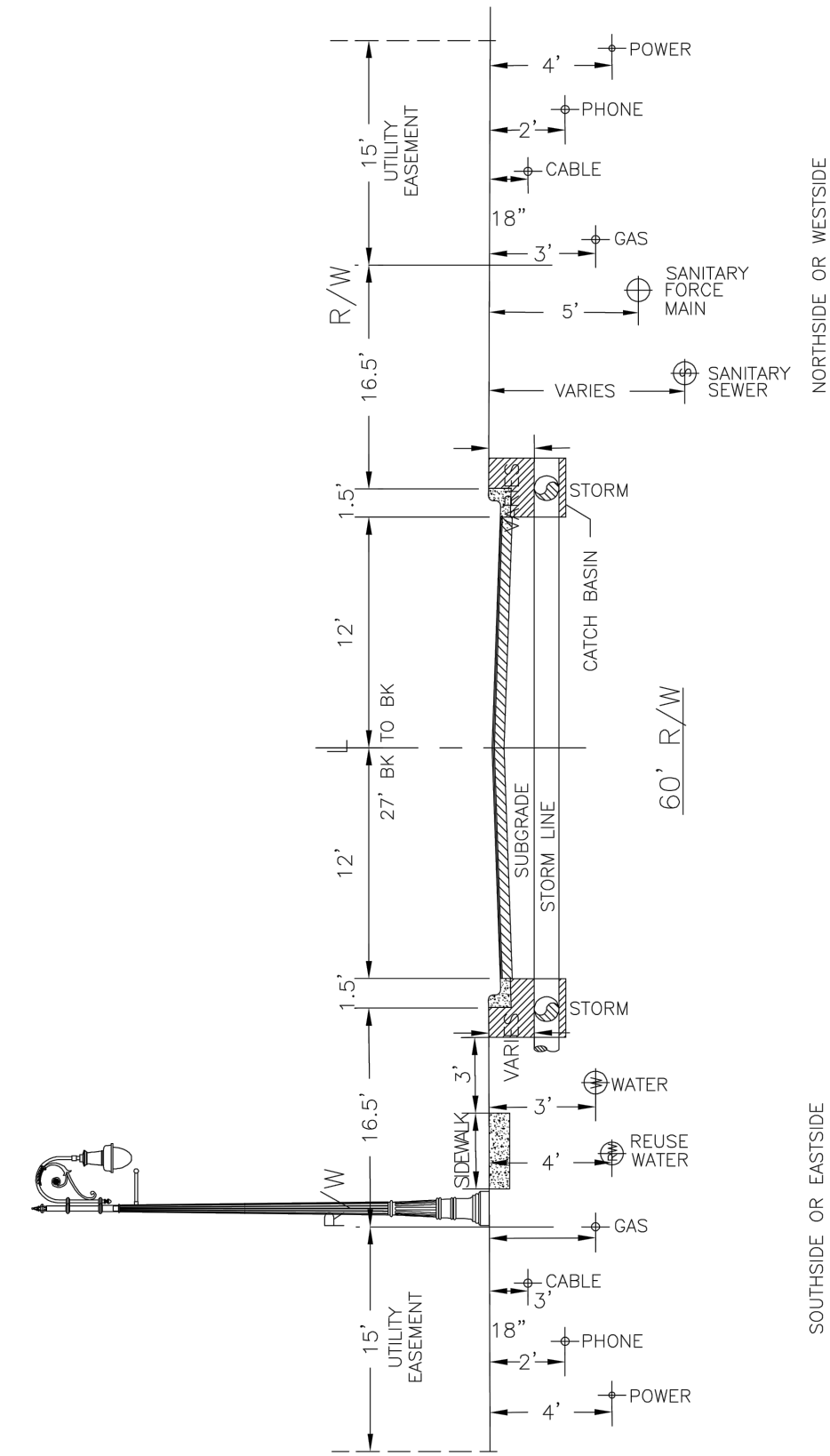


City of Port Wentworth
TECHNICAL DETAILS

P-3

PREPARED BY SAUSSY ENGINEERING, LLC.

SCALE: N.T.S.
DATED: FEBRUARY 2007



TYP. SECTION UNDERGROUND UTILITY INSTALLATION

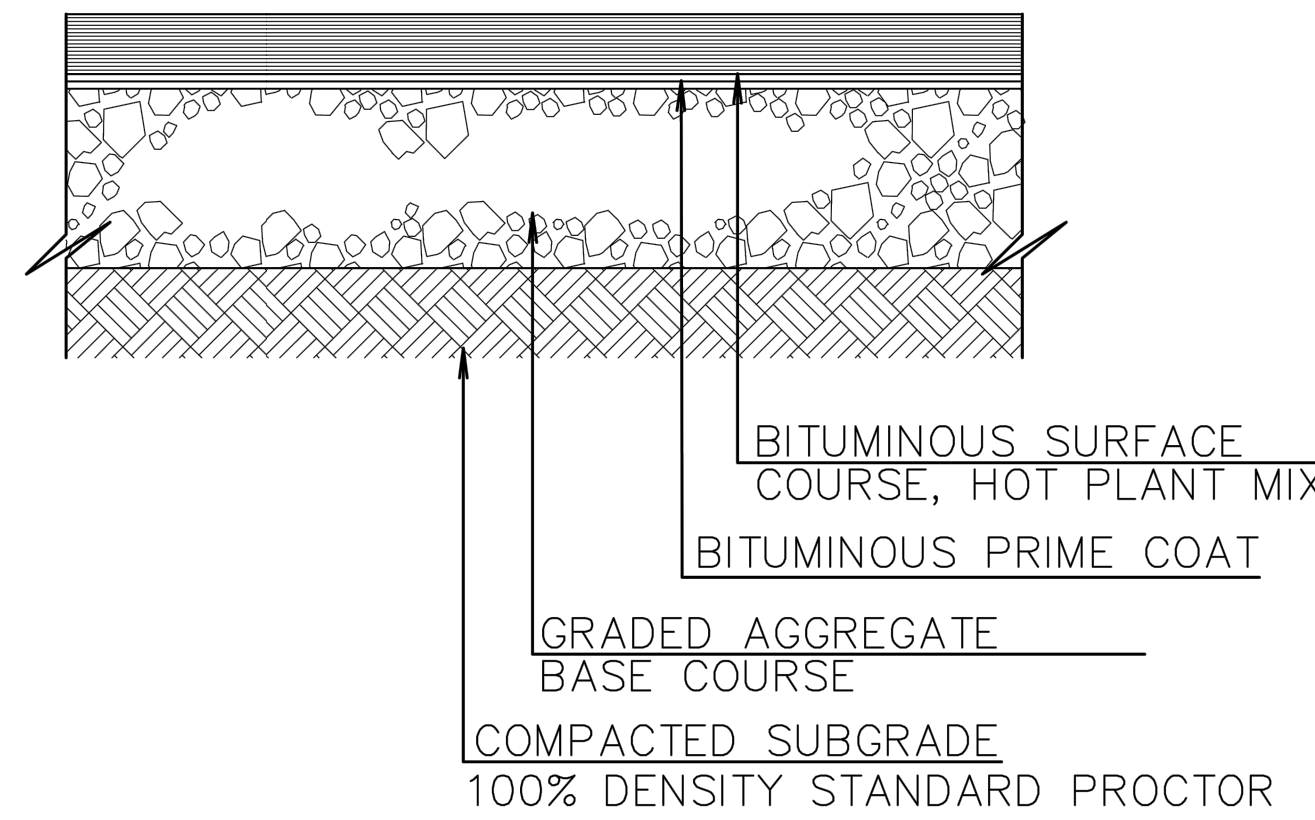


City of Port Wentworth
TECHNICAL DETAILS

U-1

PREPARED BY SAUSSY ENGINEERING, LLC.

SCALE: N.T.S.
DATED: FEBRUARY 2007



TYPICAL BITUMINOUS PAVING SECTION

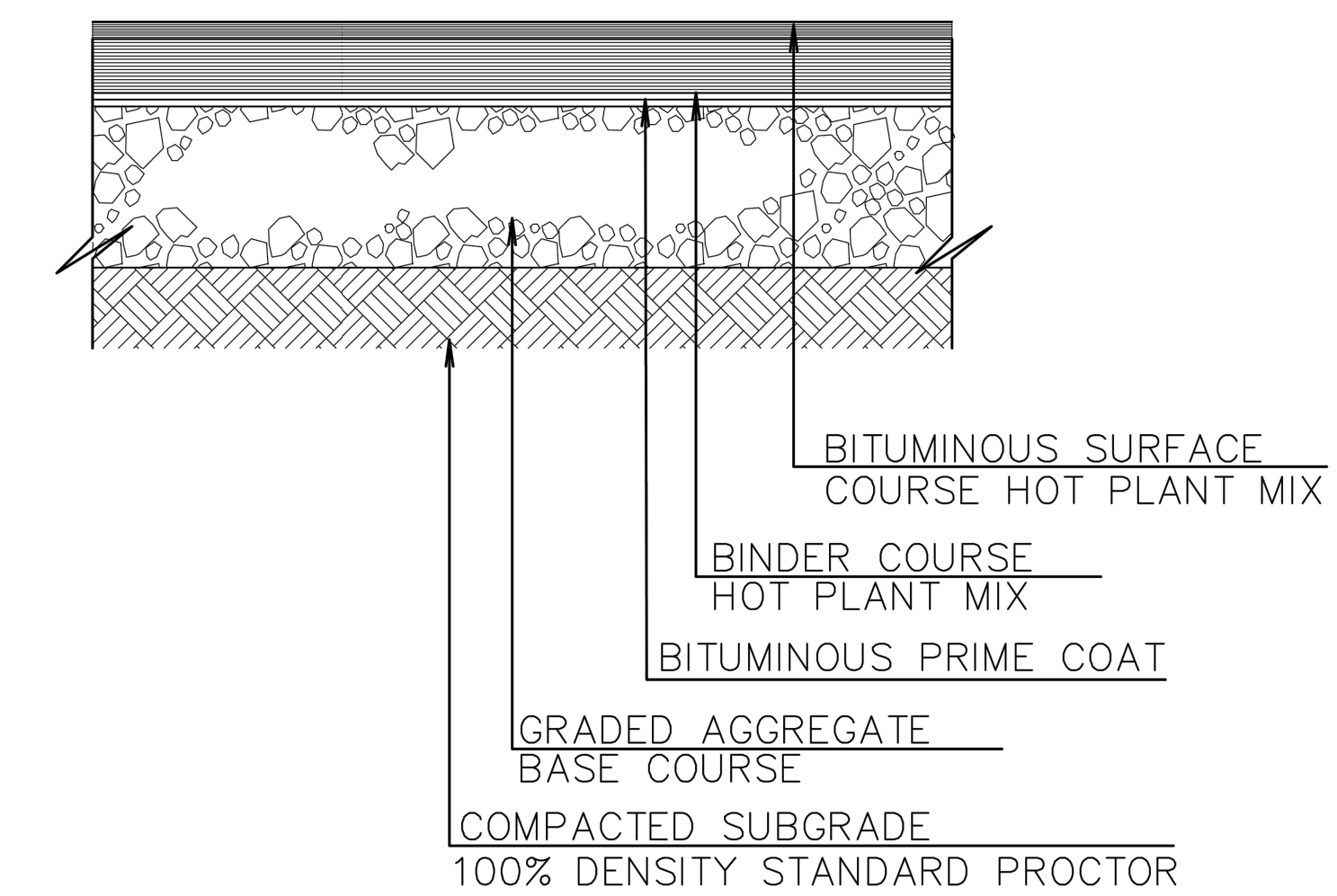


City of Port Wentworth
TECHNICAL DETAILS

P-1

PREPARED BY SAUSSY ENGINEERING, LLC.

SCALE: N.T.S.
DATED: FEBRUARY 2007



HEAVY DUTY BITUMINOUS PAVE SECTION



City of Port Wentworth
TECHNICAL DETAILS

P-2

PREPARED BY SAUSSY ENGINEERING, LLC.

SCALE: N.T.S.
DATED: FEBRUARY 2007



TIDEWATER
ENGINEERING, INC.
200 PLANTATION CHASE, SUITE 14
ST. SIMONS ISLAND, GEORGIA 31522
PHONE (912) 268-2164 FAX (912) 289-0361

REV.	DATE:	DESCRIPTION

HOME 2 SUITES
MAGELLAN BOULEVARD
PORT WENTWORTH, GA
STREET AND SITE DETAILS

DRAWN: pss
APPROVED: pss
DATE: 01-15-21
PROJ#: 21-022
SCALE: AS SHOWN

SHEET
25 OF 25



Planning Commission
305 South Coastal Highway
Port Wentworth, GA 31407

Meeting: 05/10/21 07:00 PM
Department: Development Services
Category: Planning/Zoning Item
Prepared By: Melanie Ellis
Department Head: Brian Harvey

SUBMITTED

AGENDA ITEM (ID # 2428)

DOC ID: 2428

Subdivision Application submitted by Lamar Mercer, PE., Thomas & Hutton, on behalf of BEP Rice Hope LLC., for PIN # 7-0906-04-076 (Cold Creek Pass) located in a M-P-O (Master Plan Overlay) Zoning District for a Final Plat of a Major Subdivision (Lakeside at Rice Hope Phase 1C-2) for the purpose of Single-Family Homes

Issue/Item: Subdivision Application submitted by Lamar Mercer, PE., Thomas & Hutton, on behalf of BEP Rice Hope LLC., for PIN # 7-0906-04-076 (Cold Creek Pass) located in a M-P-O (Master Plan Overlay) Zoning District for a Final Plat of a Major Subdivision (Lakeside at Rice Hope Phase 1C-2) for the purpose of Single-Family Homes

Background: This is the Final Plat submittal for Lakeside Phase 1C-2 in the Rice Hope Subdivision. Lakeside Phase 1C-2 includes fifty-eight (58) single-family lots on approximately 11.8 acres. The lots will be accessed off Cold Creek Pass and are served by City water and sewer utilities.

Facts and Findings: The construction of this phase complies with the City of Port Wentworth Development Standards, and all requirements of the Subdivision Ordinances have been met.

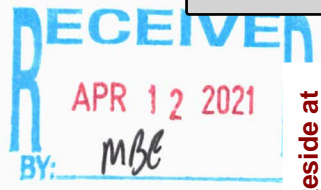
Funding: N/A

Recommendation: The Planning Commission will hear this application on Monday, May 10, 2021 at 7:00 PM.

ATTACHMENTS:

- SUBDIVISION APPLICATION LAKESIDE PH 1C-2 FINAL PLAT MAY 2021- Application (PDF)
- SUBDIVISION APPLICATION LAKESIDE PH 1C-2 FINAL PLAT MAY 2021- Timeline (PDF)
- SUBDIVISION APPLICATION LAKESIDE PH 1C-2 FINAL PLAT MAY 2021- Final Plat 5.6.21 (PDF)

SUBDIVISION APPLICATION FORM FOR THE CITY OF PORT WENTWORTH



Application Form Required

This application form is to accompany all subdivisions submitted for Port Wentworth Planning Commission review and is to be filled out in its entirety. Plats/subdivisions not accompanied by this application will not be accepted for processing. All subdivisions with their completed applications must be received by the City of Port Wentworth at least 20 business days prior to the Planning Commission meeting at which they are to be considered. Revisions to a subdivision under review by the Port Wentworth Planning Commission must be received 10 business days prior to the Port Wentworth Planning Commission at which each subdivision is scheduled to be heard.

Subdivision Name: Lakeside at Rice Hope Phase 1C-2

Location: Port Wentworth, Georgia

Number of Lots: 58

Number of Acres: 11.8 Acres

PIN #: 7-0906-04-076

Current Zoning: MPO

Type of Subdivision: (Check applicable blanks from each column)

- A. Sketch Plan, Master Plan, Preliminary Plat, Final Plat (checked), Revision to a Recorded Plat
B. Major Subdivision (checked, 4 or more lots or a new road), Minor Subdivision (3 or less lots & no new road)

Purpose of Subdivision:

- Single-Family (checked), Multi-Family, Retail, Other Business, Industrial, Institutional, Other, Sign

Variances: (List all variances being requested)

Attachment: SUBDIVISION APPLICATION LAKESIDE PH 1C-2 FINAL PLAT MAY 2021- Application (2428 : Subdivision Application Lakeside at

Georgia DOT Review

In all applications in which property being subdivided lies along a State Highway or access is needed from a State Highway, all applicants are required to submit a plat to the Georgia Department of Transportation for review. The subdivision application will not be considered by the Port Wentworth Planning Commission until the Georgia Department of Transportation has commented on the subdivision. The comments must accompany the application.

Previous Submittal

Has this tract of land being proposed for subdividing been submitted to the Port Wentworth Planning Commission under a different subdivision name?

Yes _____ No X

If yes, what name? _____

Date Submitted: _____ PWPC File No: _____

Number of Required Prints

All submittals, regardless of type, shall include fifteen (15) prints. **Final Plats must include a copy of the plat scanned to a CD along with the fifteen (15) printed copies. Stamp must be in contrasting ink.**

Statements as to Covenants/Deed Restrictions: (Check One)

_____ A copy of all existing deed restrictions or subdivision covenants applicable to this property are attached.

X There are no added restrictions or subdivision covenants on this property.

Contact Person (s): (Type or Print Legibly)

Engineer/Surveyor: Thomas And Hutton Lamar Mercer, PE

Address: 50 Park of Commerce Way, Savannah, Georgia Zip Code: 31405

Phone #: 912-234-5300 Fax #: 912-234-2950

Owner: BEP Rice Hope, LLC

Address: 3071 Slate Mills Road, Sperryville, Virginia Zip Code: 22740

Phone #: 540-987-3164 Fax #: _____

Date of Submittal: April 7, 2021

Please list all property owners that are adjacent to the parcel to be subdivided including those across the public right-of-way:

- 7-0906-04-076 BEP Rice Hope LLC - 100 Lakeside Blvd., Port Wentworth GA 31407

- 7-0906A-08-002 Rice Hope Plantation Community Association - 14 E. State St., Savannah GA 31401

- 7-0906A-04-003 BEP Rice Hope LLC - 100 Lakeside Blvd., Port Wentworth GA 31407

- 7-0906A-04-004 Latoya D. Young - 408 Lakeside Blvd., Port Wentworth GA 31407

- 7-0906A-04-005 BEP Rice Hope LLC - 100 Lakeside Blvd., Port Wentworth GA 31407

- 7-0906A-04-006 Susan E. & James N. Gordon - 412 Lakeside Blvd., Port Wentworth GA 31407

- 7-0906A-04-007 Village Park Homes - 414 Lakeside Blvd., Port Wentworth GA 31407

- 7-0906A-04-009 Rice Hope Plantation Community Association - 14 E. State St., Savannah GA 31401

1. I hereby certify that this proposed subdivision/plan does not violate any covenants or deed restrictions currently in effect for the property being subdivided.
2. I hereby certify that all taxes applicable to this property have been paid and that there are no delinquent taxes outstanding.
3. I hereby certify that I am the owner of the property being proposed for subdivision.
4. I hereby certify that all the information pertained in this application is true and correct.

Paul F. Lane

Signature of Owner

Comments: Place any pertinent comments you wish to make in the following space:

Submit this form along with the proposed subdivision and any accompanying information to:

**CITY OF PORT WENTWORTH
7306 HIGHWAY 21, SUITE 301
PORT WENTWORTH, GEORGIA 31407**

Attachment: SUBDIVISION APPLICATION LAKESIDE PH 1C-2 FINAL PLAT MAY 2021- Application (2428 : Subdivision Application Lakeside at

CITY OF PORT WENTWORTH
(912) 964-4379

REC#: 00310649 4/21/2021 2:05 PM
OPER: ME TERM: 011
REF#: CK 1688

TRAN: 112.0000 BLDG PERMIT
210150 3,271.00CR
BEP RICE HOPE LLC
7-0906-04-076
I-SUBDIV 3,271.00CR

TENDERED: 3,271.00 CHECK
APPLIED: 3,271.00-

CHANGE: 0.00

WWW.CITYOFPORTWENTWORTH.COM

Attachment: SUBDIVISION APPLICATION LAKESIDE PH 1C-2 FINAL PLAT MAY 2021- Application (2428 : Subdivision Application Lakeside at


THOMAS & HUTTON

50 PARK OF COMMERCE WAY
 SAVANNAH, GA 31405 | 912.234.5300
 WWW.THOMASANDHUTTON.COM

April 16, 2020

Mr. Brian Harvey, CBO, CFM
 Director of Development Services
 City of Port Wentworth, Georgia
 7306 Highway 21, Suite 301
 Pt. Wentworth, GA 31407

Re: Lakeside at Rice Hope Phase 1C-2
 58 Lot Subdivision, Pt. Wentworth, GA
 J-24526.0007

Dear Brian:

The water and wastewater systems and the paving, grading and storm drainage system for 58 lots at Lakeside Phase 1C2 at Rice Hope have been completed. Thomas & Hutton provided observation services at times appropriate to stages of construction. To the best of our knowledge, information and belief, installation of the water, sewer and storm drainage systems have been installed in general accordance with the approved plans and specifications. Based on periodic geotechnical and construction observations by Whitaker Laboratories, the roadway was installed in general conformance of the plans and specifications with the exception of one core indicating thin asphalt. Written reports and proof rolls are included for your reference.

The water system consists of approximately 1,959 linear feet of 8-inch diameter water main, approximately 256 linear feet of 10-inch diameter water main, approximately 105 linear feet of 12-inch diameter water main, three (3) fire hydrants, nine (9) gate valves in manholes and appurtenances. The wastewater system consists of approximately 1,313 linear feet of 8-inch diameter gravity sewer, nine (9) manholes, and appurtenances. The storm drainage system consists of approximately 90 linear feet of 15-inch diameter HDPE pipe, approximately 114 linear feet of 18-inch diameter HDPE pipe, approximately 284 linear feet of 18-inch diameter RCP, approximately 148 linear feet of 24-inch diameter RCP, approximately 543 linear feet of 30-inch diameter RCP, approximately 410 linear feet of 36-inch diameter RCP, seven (7) grate inlets, nine (9) curb inlets, one (1) storm manhole, 1,740 LF of roadway and a detention basin.

Please find the following enclosed items:

1. Water Pressure Testing Results
2. Sanitary Sewer Testing Results
3. Roadway Test Results
4. Roadway Proof Roll Test Results

Mr. Brian Harvey
City of Port Wentworth, Georgia
April 12, 2021
Page 2

5. Utilities and Roadway Maintenance Bond Determinations
6. Pond Certification Letter
7. Storm Water Maintenance Agreement
8. Final Plat Application and Check
9. Preliminary Plat
10. Preliminary Record Drawings

It is our understanding the Utilities and Roadway Maintenance Bond for Phase 1C will be extended. Final record drawings and plat will be provided after the City's review. We would appreciate placing this project on the City of Pt. Wentworth's City Council Meeting agenda for May for acceptance of this project. If you need any additional information or have any questions or concerns, please contact Keith Strong at (912) 667-9793 at your earliest convenience.

Sincerely,

THOMAS & HUTTON



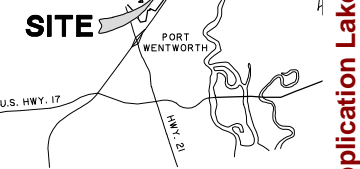
Joseph L. Mercer, P.E.

JLM/krs
Enclosures

Project Timeline

Lakeside Phase 1C-2 at Rice Hope Final Plat

- 4/12/2021—Application Received. (incomplete)
- 4/19/2021—Full submittal documents received.
- 4/21/2021—Submittal review by Development Services office
- 4/27/2021—Plat review comments sent to Keith Strong, Thomas & Hutton
- 5/5/2021—Received revised plat PDF and ROW deeds from Lamar Mercer, T&H, emailed Lamar that I needed 15 half size copies of the plat by the end of the day on 5/6/21.
- 5/5/2021—Brian sent copy of ROW Deed to City Attorney, Jimmy Coursey, by email for approval.
- 5/6/2021—Brian sent email out to owners and Lamar Mercer stating that the maintenance bonds for this subdivision will need to be in our office by 12:00 on 5/7/2021 or the item would be pulled from the Planning Commission Agenda.
- 5/6/2021 (4:15 PM)—Received 15 copies of preliminary plat, record drawings, & close out package
- 5/7/2021—received PDF of the “Final Plat”, still waiting on 15 copies for the PC packets.
- 5/7/2021—received 15 copies of the “Final Plat” draft.



VICINITY MAP not to scale

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ACREAGE TABLE
TOTAL 11.988 AC

SURVEYOR'S CERTIFICATION
AS REQUIRED BY SUBSECTION (d) OF O.C.G.A. SECTION 15-1-15...



FINAL SUBDIVISION PLAT
LAKE SIDE PHASE 1C-2
RICE HOPE PLANTATION

8TH G.M.D., CITY OF PORT WENTWORTH, CHATHAM COUNTY, GEORGIA

prepared for
BEP RICE HOPE, LLC

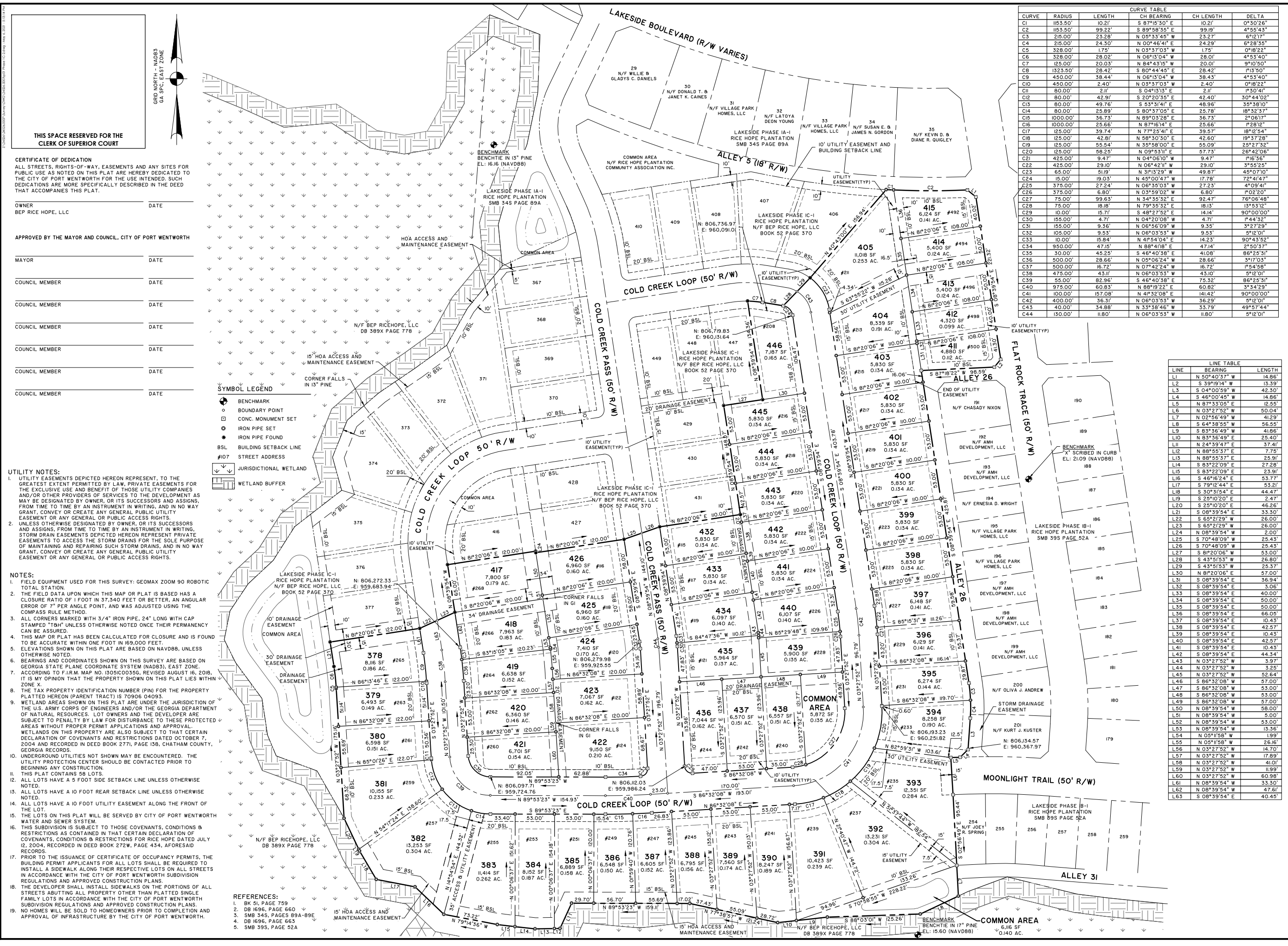


50 Park of Commerce Way, Savannah, GA 31405 • 912.234.5300

Scale bar and revision table.

CURVE TABLE with columns: CURVE, RADIUS, LENGTH, CH BEARING, CH LENGTH, DELTA.

LINE TABLE with columns: LINE, BEARING, LENGTH.



THIS SPACE RESERVED FOR THE CLERK OF SUPERIOR COURT

CERTIFICATE OF DEDICATION
ALL STREETS, RIGHTS-OF-WAY, EASEMENTS AND ANY SITES FOR PUBLIC USE...

Approval table with columns: OWNER, DATE, APPROVED BY THE MAYOR AND COUNCIL, CITY OF PORT WENTWORTH, MAYOR, DATE, COUNCIL MEMBER, DATE.

SYMBOL LEGEND with symbols for benchmark, boundary point, conc. monument set, iron pipe set, iron pipe found, building setback line, street address, jurisdictional wetland, wetland buffer.

UTILITY NOTES:
1. UTILITY EASEMENTS DEPICTED HEREON REPRESENT, TO THE GREATEST EXTENT PERMITTED BY LAW, PRIVATE EASEMENTS FOR THE EXCLUSIVE USE AND BENEFIT OF THOSE UTILITY COMPANIES...

- NOTES:
1. FIELD EQUIPMENT USED FOR THIS SURVEY: GEOMAX ZOOM 90 ROBOTIC TOTAL STATION...
2. THE FIELD DATA UPON WHICH THIS MAP OR PLAT IS BASED HAS A CLOSURE RATIO OF 1 FOOT IN 37,340 FEET OR BETTER...

REFERENCES:
1. BK 51, PAGE 759
2. DB 1696, PAGE 660
3. SMB 345, PAGES 89A-89E
4. DB 1696, PAGE 663
5. SMB 395, PAGE 52A

Attachment: SUBDIVISION APPLICATION LAKE SIDE PH 1C-2 FINAL PLAT MAY 2021 - Final Plat 5.6.21 (2428 : Subdivision Application Lakeside



Planning Commission
305 South Coastal Highway
Port Wentworth, GA 31407

Meeting: 05/10/21 07:00 PM
Department: Development Services
Category: Planning/Zoning Item
Prepared By: Melanie Ellis
Department Head: Brian Harvey

SUBMITTED

AGENDA ITEM (ID # 2412)

DOC ID: 2412

Subdivision Application submitted by Neil P. McKenzie, P.E., Coleman Company Inc., on behalf of Bald Eagle Partners for PIN # 7-0906-04-091 (Rice Hope Road) located in a M-P-O (Master Plan Overlay) Zoning District for a Final Plat of a Major Subdivision (Mulberry Tract Phase II) for the purpose of Single-Family Homes

Issue/Item: Subdivision Application submitted by Neil P. McKenzie, P.E., Coleman Company Inc., on behalf of Bald Eagle Partners for PIN # 7-0906-04-091 (Rice Hope Road) located in a M-P-O (Master Plan Overlay) Zoning District for a Final Plat of a Major Subdivision (Mulberry Tract Phase II) for the purpose of Single-Family Homes

Background: This is the Final Plat submittal for Mulberry Phase II in the Rice Hope Subdivision. Mulberry Phase II includes twenty-six (26) single-family lots on approximately 5.181 acres. The lots will be accessed off Weavers Way and will be served by City water and sewer utilities.

Facts and Findings: The construction of this phase complies with the City of Port Wentworth Development Standards, and all requirements of the Subdivision Ordinances have been met.

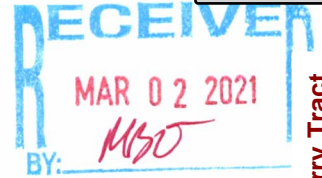
Funding: N/A

Recommendation: The Planning Commission will hear this application on Monday, May 10, 2021 at 7:00 PM.

ATTACHMENTS:

- SUBDIVISION APPLICATION MULBERRY PH II FINAL PLAT MAY 2021-Application (PDF)
- SUBDIVISION APPLICATION MULBERRY PH II FINAL PLAT MAY 2021-Timeline (PDF)
- SUBDIVISION APPLICATION MULBERRY PH II FINAL PLAT MAY 2021-Final Plat (PDF)

SUBDIVISION APPLICATION FORM FOR THE CITY OF PORT WENTWORTH



Attachment: SUBDIVISION APPLICATION MULBERRY PH II FINAL PLAT MAY 2021-Application (2412 : Subdivision Application Mulberry Tract

Application Form Required

This application form is to accompany all subdivisions submitted for Port Wentworth Planning Commission review and is to be filled out in its entirety. Plats/subdivisions not accompanied by this application will not be accepted for processing. All subdivisions with their completed applications must be received by the City of Port Wentworth at least 20 business days prior to the Planning Commission meeting at which they are to be considered. Revisions to a subdivision under review by the Port Wentworth Planning Commission must be received 10 business days prior to the Port Wentworth Planning Commission at which each subdivision is scheduled to be heard.

Subdivision Name: Mulberry Subdivision; Phase 2

Location: Rice Hope Road, Port Wentworth, Ga

Number of Lots: 26 Number of Acres: 5.181 ac

PIN #: 70906 04091 Current Zoning: R-A

Type of Subdivision: (Check applicable blanks from each column)

- A. Sketch Plan, Master Plan, Preliminary Plat, Final Plat (checked), Revision to a Recorded Plat
B. Major Subdivision (checked, 4 or more lots or a new road), Minor Subdivision (3 or less lots & no new road)

Purpose of Subdivision:

- Single-Family (checked), Multi-Family, Retail, Other Business, Industrial, Institutional, Other, Sign

Variances: (List all variances being requested)

Georgia DOT Review

In all applications in which property being subdivided lies along a State Highway or access is needed from a State Highway, all applicants are required to submit a plat to the Georgia Department of Transportation for review. The subdivision application will not be considered by the Port Wentworth Planning Commission until the Georgia Department of Transportation has commented on the subdivision. The comments must accompany the application.

Previous Submittal

Has this tract of land being proposed for subdividing been submitted to the Port Wentworth Planning Commission under a different subdivision name?

Yes _____ No X

If yes, what name? _____

Date Submitted: _____ PWPC File No: _____

Number of Required Prints

All submittals, regardless of type, shall include fifteen (15) prints. **Final Plats must include a copy of the plat scanned to a CD along with the fifteen (15) printed copies. Stamp must be in contrasting ink.**

Statements as to Covenants/Deed Restrictions: (Check One)

_____ A copy of all existing deed restrictions or subdivision covenants applicable to this property are attached.

_____ There are no added restrictions or subdivision covenants on this property.

Contact Person (s): (Type or Print Legibly)

Engineer/Surveyor: Neil McKenzie or Joshua Akins / Coleman Company, Inc

Address: 1480 Chatham Parkway Suite 100, Savannah, Ga Zip Code: 31405

Phone #: 912-200-3041 Fax #: _____

Owner: BEP RH Tract 1, LLC

Address: 3071 Slate Mills Road, Sperryville, VA Zip Code: _____

Phone #: _____ Fax #: _____

Date of Submittal: 2/23/2021

Attachment: SUBDIVISION APPLICATION MULBERRY PH II FINAL PLAT MAY 2021-Application (2412 : Subdivision Application Mulberry Tract


Please list all property owners that are adjacent to the parcel to be subdivided including those across the public right-of-way:

- Rice Hope Plantation Community - Parcel A - 70906 04091

- Ardmore Port Wentworth, LLC - Parcel B - 70906 04092

Certifications

1. I hereby certify that this proposed subdivision/plan does not violate any covenants or deed restrictions currently in effect for the property being subdivided.
2. I hereby certify that all taxes applicable to this property have been paid and that there are no delinquent taxes outstanding.
3. I hereby certify that I am the owner of the property being proposed for subdivision.
4. I hereby certify that all the information pertained in this application is true and correct.



 Signature of Owner

Comments: Place any pertinent comments you wish to make in the following space:

Submit this form along with the proposed subdivision and any accompanying information to:

CITY OF PORT WENTWORTH
305 SOUTH COASTAL HIGHWAY
PORT WENTWORTH, GEORGIA 31407

Owner Name	Mailing Address 1	Mailing Address 2	City	State	Zip
Neil McKenzie	1480 Chatham Parkway, Suite 100		Savannah	GA	31405
Clayton Properties Group, LLC	441 Western Lane		Irmo	SC	29063
Ardmore Port Wentworth, LLC	1400 W Northwood St		Greensboro	NC	27408
BEP Rice Hope, LLC	100 Lakeside Blvd		Port Wentworth	GA	31407
Homeowner	10 Wild Silk Way		Port Wentworth	GA	31407
Homeowner	12 Wild Silk Way		Port Wentworth	GA	31407
Homeowner	14 Wild Silk Way		Port Wentworth	GA	31407
Homeowner	15 Wild Silk Way		Port Wentworth	GA	31407
Homeowner	16 Wild Silk Way		Port Wentworth	GA	31407
Homeowner	17 Wild Silk Way		Port Wentworth	GA	31407
Homeowner	18 Wild Silk Way		Port Wentworth	GA	31407
Homeowner	19 Wild Silk Way		Port Wentworth	GA	31407
Homeowner	20 Wild Silk Way		Port Wentworth	GA	31407
Homeowner	21 Wild Silk Way		Port Wentworth	GA	31407
Homeowner	23 Wild Silk Way		Port Wentworth	GA	31407
Homeowner	25 Wild Silk Way		Port Wentworth	GA	31407
Homeowner	34 Wild Silk Way		Port Wentworth	GA	31407
Homeowner	3 Weavers Way		Port Wentworth	GA	31407

Attachment: SUBDIVISION APPLICATION MULBERRY PH II FINAL PLAT MAY 2021-Application (2412 : Subdivision Application Mulberry Tract

8.E.a

CITY OF PORT WENTWORTH

(912) 964-4379

REC#: 00306076 3/12/2021 1:20 PM
OPER: ME TERM: 011
REF#: CK 1673

TRAN: 112.0000 BLDG PERMIT
210079 1,671.00CR
BEP RICE HOPE LLC
7-0906-04-091
I-SUBDIV 1,671.00CR

TENDERED: 1,671.00 CHECK
APPLIED: 1,671.00-

CHANGE: 0.00

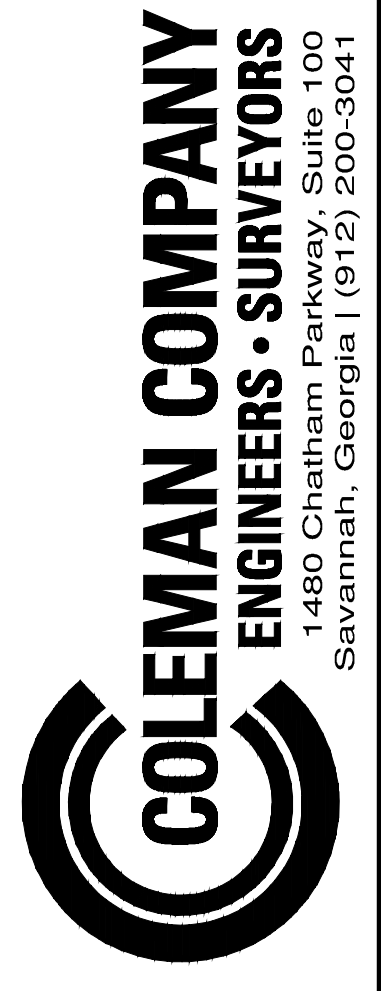
Attachment: SUBDIVISION

Packet Pg. 74

Project Timeline

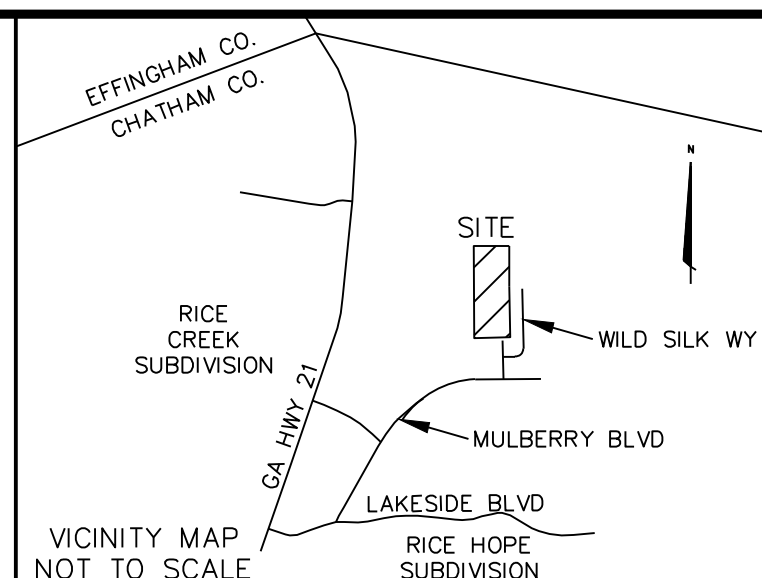
Mulberry Phase II at Rice Hope Final Plat

- 3/2/2021—application received.
- 3/31/2021—application pulled from April Planning Commission meeting agenda due to subdivision construction not being completed.
- 4/26/2021—final plat reviewed by Development Services office
- 4/28/2021—plat review comments sent to Neil McKenzie, Coleman Company Inc.
- 4/28/2021—received revised plat.
- 5/6/2021—Brian sent email out to owners and Neil McKenzie stating that the maintenance bonds for this subdivision will need to be in our office by 12:00 on 5/7/2021 or the item would be pulled from the Planning Commission Agenda.
-



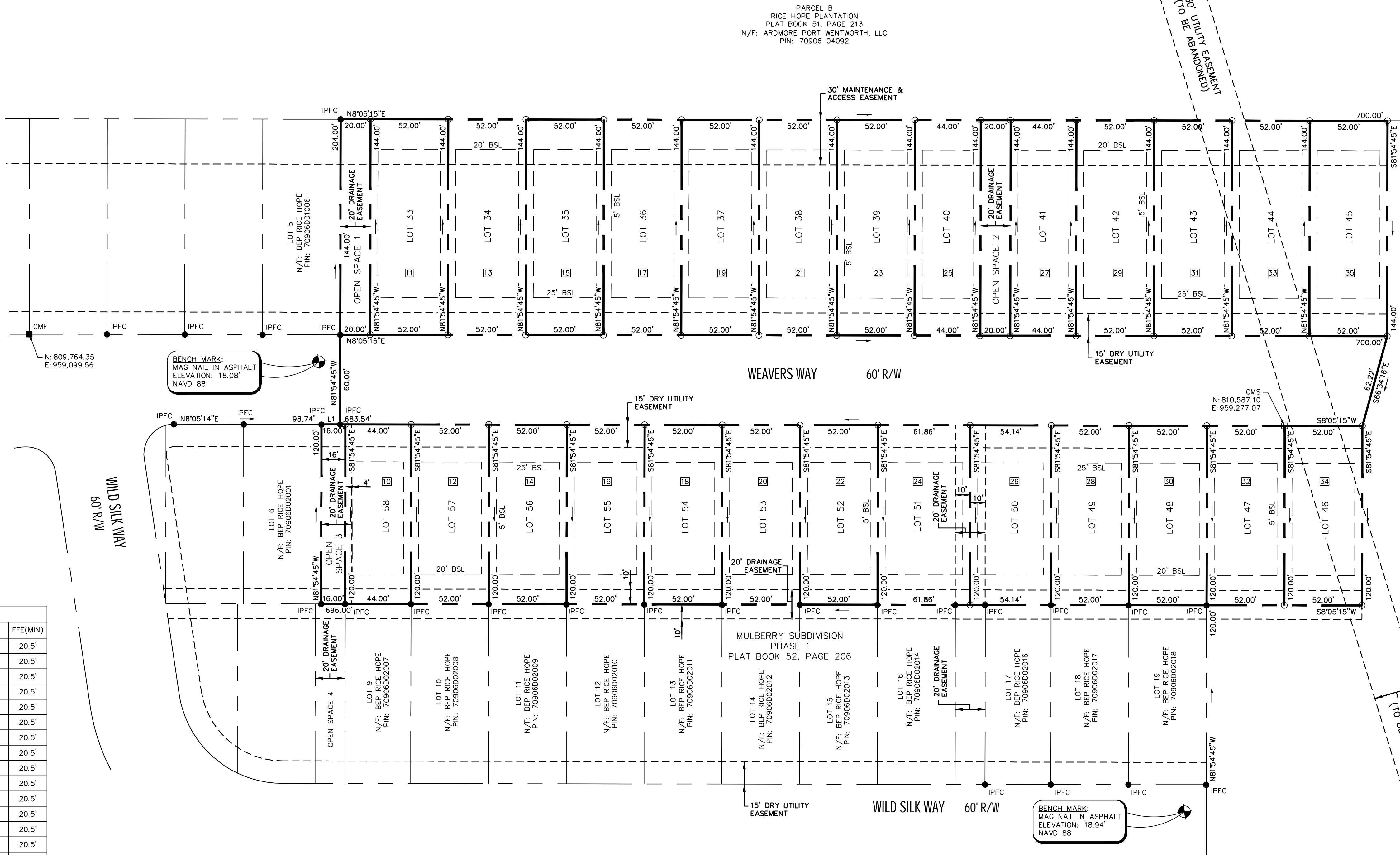
MULBERRY SUBDIVISION, PHASE 2
A MAJOR SUBDIVISION OF PARCEL A, BEING A MINOR SUBDIVISION OF A PORTION OF TRACT A-2, AND LOT 12,
BEING A PORTION OF THE JULIAN R. CHISHOLM TRACT AND BEING A PORTION OF RICE HOPE PLANTATION,
8TH G.M. DISTRICT, CITY OF PORT WENTWORTH, CHATHAM COUNTY, GEORGIA
PREPARED FOR: BALD EAGLE PARTNERS

Attachment: SUBDIVISION APPLICATION MULBERRY PH II FINAL PLAT MAY 2024-Final Plat (2412) : Subdivision Application Mulberry Tract Phase II FINAL PLAT (MAY 2021)



- LEGEND
BENCH MARK
IPFC 1" IRON PIPE FOUND WITH CAP (CCI)
IPFS 1" IRON PIPE SET
CMS CONCRETE MONUMENT SET
CMF CONCRETE MONUMENT FOUND
[Symbol] STREET ADDRESS

- NOTES:
1. THIS SUBDIVISION CONTAINS 26 LOTS.
2. TOTAL AREA: 5.181 AC; 225,826 SF
3. LOTS ARE TO BE SERVED BY CITY OF PORT WENTWORTH WATER AND SANITARY SEWER SYSTEMS.
4. PARENT PROPERTY ADDRESS: RICE HOPE ROAD PORT WENTWORTH, GA 31407
5. PARENT PARCEL IDENTIFICATION NUMBER: 70906 04091.
6. THIS PROPERTY IS CURRENTLY ZONED R-A.
7. THE HORIZONTAL DATUM OF THIS PLAT IS BASED ON GRID NORTH, GEORGIA STATE PLANE, EAST ZONE, NAD 83.
8. AS OF THE DATE OF THIS SURVEY, BASED ON MY OBSERVATION THIS PROPERTY IS LOCATED IN ZONE X, NOT A SPECIAL FLOOD HAZARD AREA AS DETERMINED BY FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA) FLOOD INSURANCE RATE MAP NUMBERS 1305100300 & 1305100350, EFFECTIVE DATE: AUGUST 16, 2018. FEMA MAPS ARE SUBJECT TO REVISIONS AND AMENDMENTS AND SHOULD BE REVIEWED PRIOR TO CONSTRUCTION.
9. ALL BUILDING SETBACKS ARE TO CONFORM TO LOCAL ZONING ORDINANCES.
10. THIS PROPERTY IS SUBJECT TO ANY AND ALL EASEMENTS, COVENANTS, OR RESTRICTIONS EITHER RECORDED OR UNRECORDED. ALL WETLANDS ARE UNDER THE JURISDICTION OF THE CORPUS OF ENGINEERS AND/OR STATE OF GEORGIA DEPARTMENT OF NATURAL RESOURCES. LOT OWNERS AND THE DEVELOPER ARE SUBJECT TO PENALTY BY LAW FOR DISTURBANCE TO THESE PROTECTED AREA WITHOUT PROPER PERMIT APPLICATION & APPROVAL.
12. PRIOR TO ISSUANCE OF CERTIFICATE OF OCCUPANCY PERMITS, THE BUILDING PERMIT APPLICANTS FOR ALL LOTS SHALL BE REQUIRED TO INSTALL A SIDEWALK ALONG THEIR RESPECTIVE LOTS ON ALL STREETS IN ACCORDANCE WITH THE CITY OF PORT WENTWORTH SUBDIVISION REGULATIONS AND APPROVED CONSTRUCTION PLANS.
13. "ALL STREETS, RIGHTS-OF-WAY, EASEMENTS, AND ANY SITES FOR PUBLIC USE, AS NOTED ON THIS PLAT ARE HEREBY DEDICATED TO THE CITY OF PORT WENTWORTH FOR THE USE INTENDED. SUCH DEDICATIONS ARE MORE SPECIFICALLY DESCRIBED IN THE DEED THAT ACCOMPANIES THIS PLAT."



LOT TABLE with columns: LOT #, ACRE, SF, ADDRESS, PARCEL ID #, FFE(MIN)

- REFERENCE:
1. PLAT BOOK 52, PAGE 206.
2. SUBDIVISION MAP BOOK 195, PAGE 17.
3. SUBDIVISION MAP BOOK 205, PAGE 33.
4. SUBDIVISION MAP BOOK 275, PAGE 5.
5. SUBDIVISION MAP BOOK 275, PAGE 11.
6. SUBDIVISION MAP BOOK 405, PAGE 58.
7. SUBDIVISION MAP BOOK 405, PAGE 59.
8. SUBDIVISION MAP BOOK 42P, PAGE 61.
9. PLAT RECORD BOOK 4P, PAGE 3.
10. PLAT RECORD BOOK 6P, PAGE 23.
11. PLAT RECORD BOOK 14P, PAGE 39.
12. PLAT RECORD BOOK 14P, PAGE 178.
13. PLAT RECORD BOOK 15P, PAGE 76.
14. PLAT RECORD BOOK 29P, PAGE 55.
15. PLAT RECORD BOOK 29P, PAGES 24A-L.
16. PLAT RECORD BOOK 13, PAGE 270.
17. DEED BOOK 794, PAGE 561.
18. PLAT BOOK 51, PAGE 213.

MINIMUM BUILDING SETBACKS
FRONT SETBACK: 25'
REAR SETBACK: 20'
SIDE SETBACK: 5'

SURVEY DATE: 1/30/2020
EQUIPMENT USED: ELECTRONIC TOTAL STATION
ANGULAR ERROR PER "Δ" = 03"
ADJUSTED BY LEAST SQUARES:
PLAT ERROR OF CLOSURE: 1/420,678
FIELD ERROR OF CLOSURE: 1/137,870

LINE TABLE with columns: LINE #, LENGTH, DIRECTION

THE FOLLOWING GOVERNMENTAL BODIES HAVE APPROVED THIS MAP, PLAT, OR PLAN FOR FILING:
APPROVED BY MAYOR AND COUNCIL, PORT WENTWORTH
MAYOR _____ DATE _____
COUNCILMAN _____ COUNCILMAN _____
COUNCILMAN _____ COUNCILMAN _____
COUNCILMAN _____ COUNCILMAN _____
APPROVED BY THE CHATHAM COUNTY DEPARTMENT OF PUBLIC HEALTH, DIVISION OF ENVIRONMENTAL HEALTH
DIRECTOR _____ DATE _____

SURVEYORS CERTIFICATION
AS REQUIRED BY SUBSECTION (D) OF O.C.G.A. SECTION 15-6-67, THIS PLAT HAS BEEN PREPARED BY A LAND SURVEYOR AND APPROVED BY ALL APPLICABLE LOCAL JURISDICTIONS FOR RECORDING AS EVIDENCED BY APPROVAL CERTIFICATES, SIGNATURES, STAMPS, OR STATEMENTS HEREON. SUCH APPROVALS OR AFFIRMATIONS SHOULD BE CONFIRMED WITH THE APPROPRIATE GOVERNMENTAL BODIES BY ANY PURCHASER OR USER OF THIS PLAT AS TO INTENDED USE OF ANY PARCEL. FURTHERMORE, THE UNDERSIGNED LAND SURVEYOR CERTIFIES THAT THIS PLAT COMPLIES WITH THE MINIMUM TECHNICAL STANDARDS FOR PROPERTY SURVEYS IN GEORGIA AS SET FORTH IN THE RULES AND REGULATIONS OF THE GEORGIA BOARD OF REGISTRATION FOR PROFESSIONAL ENGINEERS AND LAND SURVEYORS AND AS SET FORTH IN O.C.G.A. SECTION 15-6-67.
TERRY MACK COLEMAN
GA REG. LAND SURVEYOR NO. 2486
COLEMAN COMPANY, INC.
CERTIFICATE OF AUTHORIZATION: LSF 1167



JOB NUMBER: 19-663
DATE: 2/15/2021
DRAWN BY: JPA
CHECKED BY: JPA
SCALE: 1" = 40'
FINAL PLAT
SHEET: 1/1