



CITY OF PORT WENTWORTH

PLANNING COMMISSION

MARCH 14, 2022

Council Meeting Room

Regular Meeting

6:30 PM

7224 GA HIGHWAY 21
PORT WENTWORTH, GA 31407

1. CALL MEETING TO ORDER

2. PRAYER AND PLEDGE OF ALLEGIANCE

3. ROLL CALL - SECRETARY

4. APPROVAL OF AGENDA

5. ADOPTION OF MINUTES

A. Planning Commission - Regular Meeting - Feb 14, 2022 6:30 PM

6. ZONING MAP AMENDMENTS (REZONING)

A. Zoning Map Amendment Application submitted by Charles Teel, Hunter, Maclean, Exley & Dunn, P.C., on behalf of Lula Ghyll Roberts Cheatham for PIN # 7-0975-02-010 (Highway 21) to Rezone from R-A (Residential Agriculture) to P-C-1 (Planned Neighborhood Business) Zoning District for the purpose of a Motorcycle Repair & Parts Shop.

- Public Hearing
- Action

7. ZONING TEXT AMENDMENTS (ORDINANCES)

8. SITE PLAN/SUBDIVISION APPROVAL

A. Subdivision Application submitted by Lamar Mercer, PE., Thomas & Hutton Engineering Inc., on behalf of BEP Rice Hope, LLC., for PIN # 7-0906-04-069 (100 Lakeside Blvd) located in a M-P-O (Master Plan Overlay) Zoning District for a Final Plat of a Major Subdivision (Parkside Phase 1D-2) for the purpose of Single-Family Homes

- Public Hearing
- Action

B. Site Plan Review Application submitted by Paul Lerner for PIN #:7-0906-04-091 & 7-0906-04-063 (Mulberry Blvd Extension) for a Specific Development Site Plan to Extend Mulberry Blvd in a M-P-O (Master Plan Overlay) Zoning District.

- Public Hearing
- Action

C. Subdivision Application submitted by Jessica Vick, Roberts Civil Engineering, LLC., on behalf of Landmark 24 Homes of Savannah, LLC., for PIN # 7-0906-01-031 (Miller Park Circle) located in a P-R-M (Planned Residential Multi-Family) Zoning District for a Preliminary Plat of a Major Subdivision (Rice Creek Tract C-2 Phase V) for the purpose of Single-Family Homes

- Public Hearing

➤Action

- D. Subdivision Application submitted by Jessica Vick, Roberts Civil Engineering, LLC., on behalf of Landmark 24 Homes of Savannah, LLC., for PIN # 7-0906-01-031 (Miller Park Circle) located in a P-R-M (Planned Residential Multi-Family) Zoning District for a Preliminary Plat of a Major Subdivision (Rice Creek Tract C-1 Phase VI) for the purpose of Single-Family Homes

- Public Hearing
- Action

9. NEW BUSINESS

1. A Resolution of the Mayor and City Council of the City of Port Wentworth to Amend the Zoning Ordinance Regarding the Approval of Final Plats

- Public Hearing
- Action

10. ADJOURNMENT



CITY OF PORT WENTWORTH

PLANNING COMMISSION

FEBRUARY 14, 2022

Council Meeting Room

Regular Meeting

6:30 PM

7224 GA HIGHWAY 21
PORT WENTWORTH, GA 31407

1. CALL MEETING TO ORDER

Chairman CJ Neesmith called the meeting to order.

2. PRAYER AND PLEDGE OF ALLEGIANCE

Commissioner Herrin led the Prayer and Pledge of Allegiance.

3. ROLL CALL - SECRETARY

Attendee Name	Title	Status	Arrived
Bill Herrin	Planning Commissioner	Present	
Rosetta Franklin	Planning Commissioner	Present	
Wanda Rollf	Planning Commissioner	Present	
Lauree Morris	Planning Commissioner	Present	
CJ Neesmith	Planning Commissioner	Present	
Janet Hester	Planning Commissioner	Present	
Jeff Sopson	Planning Commissioner	Present	
Brian Harvey	Director of Development Services	Present	
Melanie Ellis	Building Inspector	Present	

4. APPROVAL OF AGENDA

- Approval of Agenda

RESULT: ADOPTED [UNANIMOUS]
MOVER: Rosetta Franklin, Planning Commissioner
SECONDER: Bill Herrin, Planning Commissioner
AYES: Herrin, Franklin, Rollf, Morris, Hester, Sopson

5. ADOPTION OF MINUTES

- Planning Commission - Regular Meeting - Jan 10, 2022 6:30 PM

RESULT: ACCEPTED [UNANIMOUS]
MOVER: Bill Herrin, Planning Commissioner
SECONDER: Rosetta Franklin, Planning Commissioner
AYES: Herrin, Franklin, Rollf, Morris, Hester, Sopson

6. ZONING MAP AMENDMENTS (REZONING)

7. ZONING TEXT AMENDMENTS (ORDINANCES)

8. SITE PLAN/SUBDIVISION APPROVAL

Minutes Acceptance: Minutes of Feb 14, 2022 6:30 PM (ADOPTION OF MINUTES)

- A. Alcoholic Beverage License Application submitted by Susan Mueller for a Beer / Wine License for Chop Barbershop dba Chop Port Wentworth, LLC., (4 Magnolia Blvd, STE 300) located in a MPO (Master Plan Overlay) Zoning District

The applicant, Susan Mueller, was present and offered to answer any questions the commission may have. Commissioner Sopson asked how they monitor who gets a beer. Ms. Mueller stated that each client gets offered one beer when they come in the door and that the alcohol is kept behind the front counter. Commissioner Herrin asked if beer is the only thing offered. Ms. Mueller responded they offer only one beer but also offer soft drinks as well. There were no public comments. Commissioner Morris made a motion to approve the application. Commissioner Rolf seconded the motion to approve. The vote was unanimous.

RESULT: APPROVED [UNANIMOUS]
MOVER: Lauree Morris, Planning Commissioner
SECONDER: Wanda Rolf, Planning Commissioner
AYES: Herrin, Franklin, Rolf, Morris, Hester, Sopson

- B. Site Plan Review Application submitted by Phillip McCorkle, McCorkle, Johnson & McCoy LLP., of behalf of LRE Crossgate North, LLC., for PIN # 7-0035-01-007 (Northeast corner of Crossgate Rd & Jimmy Deloach Parkway) for a General Development Site Plan to allow a warehouse development in a P-I-1 (Planned Industrial) Zoning District

The applicant, Phillip McCorkle, was present and gave a brief presentation of the project. Commissioner Morris asked if there would be a stop sign at the at the intersection of the project and Crossgate Road. Mr. McCorkle responded there would be a stop sign. Commissioner Hester asked if the proposed berm would affect the natural flow of water and would it affect flooding in the neighborhood. Jason Chambless, Thomas & Hutton, responded they would consider all the drainage when designing the site plan. Commissioner Rolf asked if the speed limit could be reduced due to the number of car parking spaces that is required by this development. Mr. McCorkle responded that would be a City decision. There were no public comments. Commissioner Franklin made a motion to approve the application. Commissioner Herrin seconded the motion to approve. The vote was unanimous.

RESULT: APPROVED [UNANIMOUS]
MOVER: Rosetta Franklin, Planning Commissioner
SECONDER: Bill Herrin, Planning Commissioner
AYES: Herrin, Franklin, Rolf, Morris, Hester, Sopson

- C. Subdivision Application submitted by Neil P. McKenzie, P.E., Coleman Company Inc., on behalf of BEP Rice Hope, LLC., for PIN # 7-0906-04-091 (Mulberry Blvd) located in a M-P-O (Master Plan Overlay) Zoning District for a Preliminary Plat of a Major Subdivision (Mulberry Tract Phase 3) for the purpose of Single-Family Homes

The applicant, Neil McKenzie, was present and gave a brief presentation of the project. Commissioner Hester asked where the stormwater would go off site. Mr. McKenzie responded it would flow through the other BEP property and discharge into Knoxboro Creek. There were no public comments. Commissioner Morris made a motion to approve the application. Commissioner Hester seconded the motion to approve. The vote was unanimous.

Minutes Acceptance: Minutes of Feb 14, 2022 6:30 PM (ADOPTION OF MINUTES)

RESULT: **APPROVED [UNANIMOUS]**
MOVER: Lauree Morris, Planning Commissioner
SECONDER: Janet Hester, Planning Commissioner
AYES: Herrin, Franklin, Rolf, Morris, Hester, Sopson

- D. Site Plan Review Application submitted by Neil P. McKenzie, P.E., Coleman Company, LLC., on behalf of BEP Rice Hope, LLC., for PIN # 7-0906-04-091 (Mulberry Blvd) for a Specific Development Site Plan to allow a Residential Subdivision (Mulberry Tract Phase 3) in a MPO (Master Plan Overlay) Zoning District.

The applicant, Neil McKenzie, was present and gave a brief presentation of the project. There were no questions from the Commission. There were no public comments. Commissioner Herrin made a motion to approve the application. Commissioner Franklin seconded the motion to approve. The vote was unanimous.

RESULT: **APPROVED [UNANIMOUS]**
MOVER: Bill Herrin, Planning Commissioner
SECONDER: Rosetta Franklin, Planning Commissioner
AYES: Herrin, Franklin, Rolf, Morris, Hester, Sopson

9. NEW BUSINESS

- A. Officer Elections

Commissioner Rolf made the motion to nominate CJ Neesmith for Chairman, Lauree Morris for Vice-Chairman, and Brian Harvey for Secretary. Commissioner Franklin seconded the motion. The vote was unanimous.

10. ADJOURNMENT

- A. Adjournment

RESULT: **ADOPTED [UNANIMOUS]**
MOVER: Bill Herrin, Planning Commissioner
SECONDER: Rosetta Franklin, Planning Commissioner
AYES: Herrin, Franklin, Rolf, Morris, Hester, Sopson

Chairman

The foregoing minutes are true and correct and approved by me on this _____ day of _____, 2022.

Minutes Acceptance: Minutes of Feb 14, 2022 6:30 PM (ADOPTION OF MINUTES)

Secretary

Minutes Acceptance: Minutes of Feb 14, 2022 6:30 PM (ADOPTION OF MINUTES)



Planning Commission
305 South Coastal Highway
Port Wentworth, GA 31407

Meeting: 03/14/22 06:30 PM
Department: Development Services
Category: Planning/Zoning Item
Prepared By: Melanie Ellis
Department Head: Brian Harvey

SUBMITTED

AGENDA ITEM (ID # 2616)

DOC ID: 2616

Zoning Map Amendment Application submitted by Charles Teel, Hunter, Maclean, Exley & Dunn, P.C., on behalf of Lula Ghyll Roberts Cheatham for PIN # 7-0975-02-010 (Highway 21) to Rezone from R-A (Residential Agriculture) to P-C-1 (Planned Neighborhood Business) Zoning District for the purpose of a Motorcycle Repair & Parts Shop.

Issue/Item: Zoning Map Amendment Application submitted by Charles Teel, Hunter, Maclean, Exley & Dunn, P.C., on behalf of Lula Ghyll Roberts Cheatham for PIN # 7-0975-02-010 (Highway 21) to Rezone from R-A (Residential Agriculture) to P-C-1 (Planned Neighborhood Business) Zoning District for the purpose of a Motorcycle Repair & Parts Shop.

Background: The subject property is currently vacant land. There are no buildings or structures on the subject property.

Facts and Findings: The number of acres to be rezoned is approximately .92. If rezoned the owner intends to construct a motorcycle repair & parts shop.

Funding: N/A

Recommendation: The Planning Commission will hear this application on Monday, March 14, 2022 at 6:30 P.M.

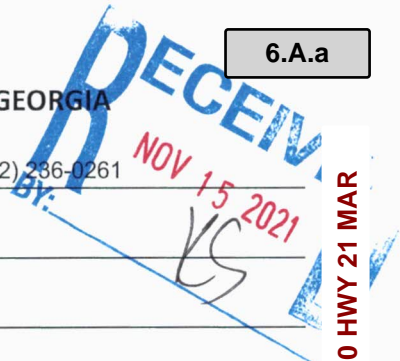
ATTACHMENTS:

- ZMA 7-0975-02-010 HWY 21 RA TO PC1 MAR 22 - Application (PDF)
- ZMA 7-0975-02-010 HWY 21 RA TO PC1 MAR 22 - Timeline (DOCX)
- ZMA 7-0975-02-010 HWY 21 RA TO PC1 MAR 22 - Site Plan (PDF)

210460

6.A.a

APPLICATION TO AMEND THE ZONING MAP OF PORT WENTWORTH, GEORGIA



Name of Applicant: Charles Teel | Hunter, Maclean, Exley & Dunn, P.C. Phone #: (912) 286-0261

Mailing Address: 200 E. Saint Julian Street, P.O. Box 9848, Savannah, GA 31412

Name of Property Owner: Lula Ghyll Roberts Cheatham Phone #: (Use back if more than one owner)

Address of Property: 0 Highway 21, Port Wentworth, GA 31407

PIN #: 70975 02010 Number of Acres: 0.92

Zoning Classification: Present R-A Requested C-1 / P-C-1

Use of Property: Present vacant / raw land Requested motorcycle repair and parts shop

If the requested change is to extend an existing adjacent zoning district to include this property, explain below why the proposed change should be made.

X If the requested change is not to extend an adjacent zoning district, explain below why this property should be placed in a different zoning district than all adjoining properties. (How does it differ from adjoining properties and why should it be subject to different restrictions than those applying to adjoining properties?)

The proposed rezoning will provide an opportunity for additional service-oriented and retail businesses to develop and serve the Highway 21 corridor between Port Wentworth and Rincon. Several other service businesses operate along the mile stretches to the north and south of the Property, so the proposed rezoning is not incongruent or incompatible with the existing zoning and development patterns.

Attach the following documents:

- 1. Written legal description of the property (e.g. copy of deed) – full metes and bounds description rather than plat reference.
2. Name, PIN #, property address and mailing address of owners of all properties within 250 feet of this property.
3. Plat showing property lines with lengths and bearings, adjoining streets, locations of existing buildings, north arrow and scale. Submit fifteen (15) copies of the plat in 11"x17" or larger and one copy in 8.5"x11".
4. Site Plan of proposed use of property. Submit fifteen (15) copies in 11"x17" or larger and one copy in 8.5"x11".
5. Disclosure of Campaign Contributions and Gifts form.
6. Disclosure of Financial Interests form.
7. If property owner and applicant are not the same, Authorization by Property Owner form or Authorization of Attorney form.
8. Filing fee of \$356 + \$50 per acre + \$50 Administrative Fee, payable to the City of Port Wentworth.

APPLICATION MUST BE FILED 20 BUSINESS DAYS PRIOR TO THE PLANNING COMMISSION MEETING AT WHICH THEY ARE TO BE CONSIDERED.

I hereby authorize the staff of the City of Port Wentworth to inspect the premises of the above described property and to post this property with the duly required notices. I hereby depose and say that all statements herein and attached statements submitted are true and correct to the best of my knowledge and belief.

Sworn to and subscribed before me this 12th day of November, 2021.

Notary Public signature



Signature of Applicant

Attachment: ZMA 7-0975-02-010 HWY 21 RA TO PC1 MAR 22 - Application (2616 : Zoning Map Amendment PIN # 7-0975-02-010 HWY 21 MAR

DISCLOSURE OF FINANCIAL INTERESTS

(Required by Title 36, Chapter 67A, Official Code of Georgia Annotated)

Reference: Application filed on _____, 20_____, to rezone real property described as follows:

The undersigned official of the City of Port Wentworth has a property interest (Note 1) in said property as follows:

The undersigned official of the City of Port Wentworth has financial interest (Note 2) in a business entity (Note 3) which has property interest in said property, which financial interest is as follows:

The undersigned official of the City of Port Wentworth has a member of the family (Note 4) having a property interest in said property or a financial interest in a business entity which has a property interest in said property, which family member and property interest or financial interest are as follows:

Note 1: Property Interest – Direct ownership of real property, including any percentage of ownership less than total ownership

Note 2: Financial Interest – All direct ownership interests of the total assets or capital stock of a business entity where such ownership interest is 10 percent or more

Note 3: Business Entity – Corporation, partnership, limited partnership, firm, enterprise, franchise, association or trust

Note 4: Member of the family – Spouse, mother, father, brother, sister, son or daughter

I hereby depose and say that all statements herein are true, correct and complete to the best of my knowledge and belief.

Sworn to and subscribed before me this _____ day of _____, 20_____.

Signature of Official

Notary Public

Attachment: ZMA 7-0975-02-010 HWY 21 RA TO PC1 MAR 22 - Application (2616 : Zoning Map Amendment PIN # 7-0975-02-010 HWY 21 MAR

AUTHORIZATION OF PROPERTY OWNER
Application for Rezoning or Variance

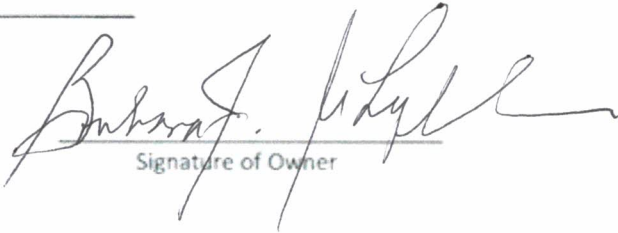
I swear that I am the owner of the property which is the subject matter of the attached application, as is shown in the records of Port Wentworth, Georgia.

I authorize the person named below to act as applicant in the pursuit of a variance or for the rezoning of this property.

Name of Applicant: Charles Teel and his agents,
Stuart Wallace & Joshua Yellin of Hunter, Maclean, Exley & Dunn, P.C.

Address: 200 E. Saint Julian Street, P.O. Box 9848, Savannah, GA 31412

Telephone Number: (912) 236-0261


Signature of Owner

Personally appeared before me
Barbara J. Ghyll

who swears that the information contained in this authorization is true and correct to the best of his or her knowledge and belief.

Alec Wes Alimagno
Notary Public

09/03/2021
Date

ALEC WES ALIMAGNO
NOTARY PUBLIC - STATE OF NEW YORK
NO. 01AL6410020
QUALIFIED IN NASSAU COUNTY
COMMISSION EXPIRES 10/13/2024

Attachment: ZMA 7-0975-02-010 HWY 21 RA TO PC1 MAR 22 - Application (2616 : Zoning Map Amendment PIN # 7-0975-02-010 HWY 21 MAR

DISCLOSURE OF CAMPAIGN CONTRIBUTIONS

(Required by Title 36, Chapter 67A, Official Code of Georgia Annotated)

Reference: Application filed on November 12, 20 21, to rezone real property described as follows:

See attached Exhibit A.

Within the two years preceding the above filing date, the applicant has made campaign contributions aggregating \$250.00 or more to each member of the City Council of the City of Port Wentworth who will consider the application and is listed below. List (1) the name and official position of the local government official and (2) the dollar amount, description and date of each such campaign contribution.

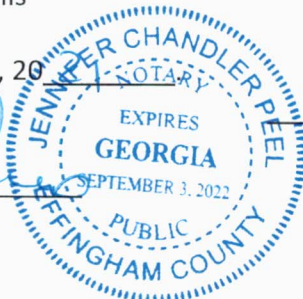
N/A

I hereby depose and say that all statements herein are true, correct and complete to the best of my knowledge and belief.

Sworn to and subscribed before me this

12th day of November, 20

Jennifer Chandler Peel
Notary Public



[Signature]
Signature of Applicant

Attachment: ZMA 7-0975-02-010 HWY 21 RA TO PC1 MAR 22 - Application (2616 : Zoning Map Amendment PIN # 7-0975-02-010 HWY 21 MAR

EXHIBIT A

Legal Description
From Vesting Deed

Attachment: ZMA 7-0975-02-010 HWY 21 RA TO PC1 MAR 22 - Application (2616 : Zoning Map Amendment PIN # 7-0975-02-010 HWY 21 MAR

Clock#: 421129
FILED FOR RECORD

7/24/2003 10:35am

PAID: 12.00

Susan D. Prouse, Clerk
Superior Court of Chatham County
Chatham County, Georgia

Return to: M. Lane Morrison, Esq.
Hunter, Maclean, Exley & Dunn, P.C.
200 East Saint Julian Street
Savannah, Georgia 31401

STATE OF GEORGIA)
)
COUNTY OF CHATHAM)

2556
BOOK
575
PAGE

QUITCLAIM DEED

THIS INDENTURE, made the 16th day of May, 2002, by and between VIRGIE JENKINS, of Miami, Florida, as Party of the First Part and LULA GHYLL ROBERTS CHEATHEM, of Post Office Box 4306, Port Wentworth, Georgia 31407, as Party of the Second Part.

WITNESSETH:

That Party of the First Part, for the sum of ten dollars (\$10.00) and other good and valuable consideration, in hand paid, the receipt of which is hereby acknowledged, does hereby grant, bargain, sell, convey and quitclaim to Party of the Second Part, all of his right, title and interest in and to the following described property (the "Property") to wit:

All that portion of said trust designated on the map or plat hereinbefore referred to as Parcel "E", containing ninety eight one hundredths (.98) which has ninety eight and eighty one hundredths (98.81) feet on the East side of Georgia Highway 21, and having such metes and bounds as shown on said map and plat and being bounded as follows: on the north by Parcel "D" of said tract and on the East by lands now or formerly owned by Amy Height, on the South by Parcel "F" of said tract, and on the West by Georgia Highway 21; all of which is more particularly shown on the map or plat, hereinbefore referred to which is incorporated into and made a part of this description.

This is the same property conveyed to LAURA GRANT by Deed of Partition dated August, 1966 and recorded on September 9, 1966 in Record Book 90-U, Folio 305 in the Office of the Clerk of the Superior Court of Chatham County, Georgia.

{408095-3}

Attachment: ZMA 7-0975-02-010 HWY 21 RA TO PC1 MAR 22 - Application (2616 : Zoning Map Amendment PIN # 7-0975-02-010 HWY 21 MAR

TO HAVE AND TO HOLD the Property unto Party of the First Part, so that neither the Party of the First Part nor the heirs, successors and/or assigns of Party of the First Part, nor any other person or persons claiming under Party of the First Part shall at any time, by any means or ways, have, claim or demand any right or title to the Property or appurtenances or any rights thereof.

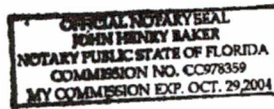
IN WITNESS WHEREOF, Party of the First Part has executed this instrument under seal on the day and year first above written as the date hereof.

Virgie Mary Jenkins (L.S.)
VIRGIE JENKINS

Signed, sealed and delivered this
16 day of MAY, 2002
in the presence of:

Alfred Jenkins
Witness

John Henry Baker
Notary Public



BOOK
255G

PAGE
576

{408095-3}

- 2 -



Attachment: ZMA 7-0975-02-010 HWY 21 RA TO PC1 MAR 22 - Application (2616 : Zoning Map Amendment PIN # 7-0975-02-010 HWY 21 MAR

EXHIBIT B

Name, PIN #, Property Address & Mailing Address
of Owners within 250 feet of Property

Attachment: ZMA 7-0975-02-010 HWY 21 RA TO PC1 MAR 22 - Application (2616 : Zoning Map Amendment PIN # 7-0975-02-010 HWY 21 MAR

Dear Mayor Norton, Members of Council, and Members of the Planning Board:

We own property next to and are the neighboring property owners to Lula Ghyll Roberts Cheatham's property. We fully support the requested rezoning of the Cheatham property to the proposed C-1, C-2, or planned commercial districts, which will permit and encourage development of property, while at the same time protecting our nearby properties from the possible adverse effects of heavier commercial activity.

This rezoning will encourage the best and most useful use of the Cheatham property, relative to our adjacent properties, and will promote the general welfare of not only of our property, along Highway 21, but for all residents of the City of Port Wentworth.

Thank you.

Sincerely,

<u>Name (Parcel ID)</u>	<u>Address</u>	<u>Signature(s)</u>
*Eric C. Smith (70975 02009)	7508 Highway 21, Port Wentworth	_____
*David Wilson & Ed Johnson (70975 02011)	7500 Highway 21, Port Wentworth	
*BEP RH Tract 2 LLC (70906 04024)	Highway 21, Port Wentworth	_____
Brenda Sue Christian (70975 02008)	Highway 21, Port Wentworth	_____
James Woo Industries LLC (70975 02007)	7512 Highway 21, Port Wentworth	_____
Ed Johnson (70975 02012)	Highway 21, Port Wentworth	
Fieldstone Group LLC (70975 02013, 14 & 15)	Highway 21, Port Wentworth	_____
Rice Hope - CJ LLC (70906 04037)	100 Magnolia Blvd, Port Wentworth	_____
Sam L. Varndoe, Jr., et al (70976 02035)	Saussy Road, Port Wentworth	_____
Gary Wiggins (70975 01025)	Jeffers Road, Port Wentworth	_____
_____	_____	_____
_____	_____	_____
_____	_____	_____

* = adjacent property owner

Attachment: ZMA 7-0975-02-010 HWY 21 RA TO PC1 MAR 22 - Application (2616 : Zoning Map Amendment PIN # 7-0975-02-010 HWY 21 MAR

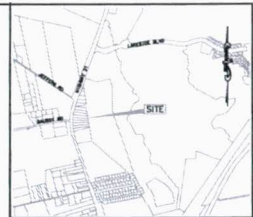
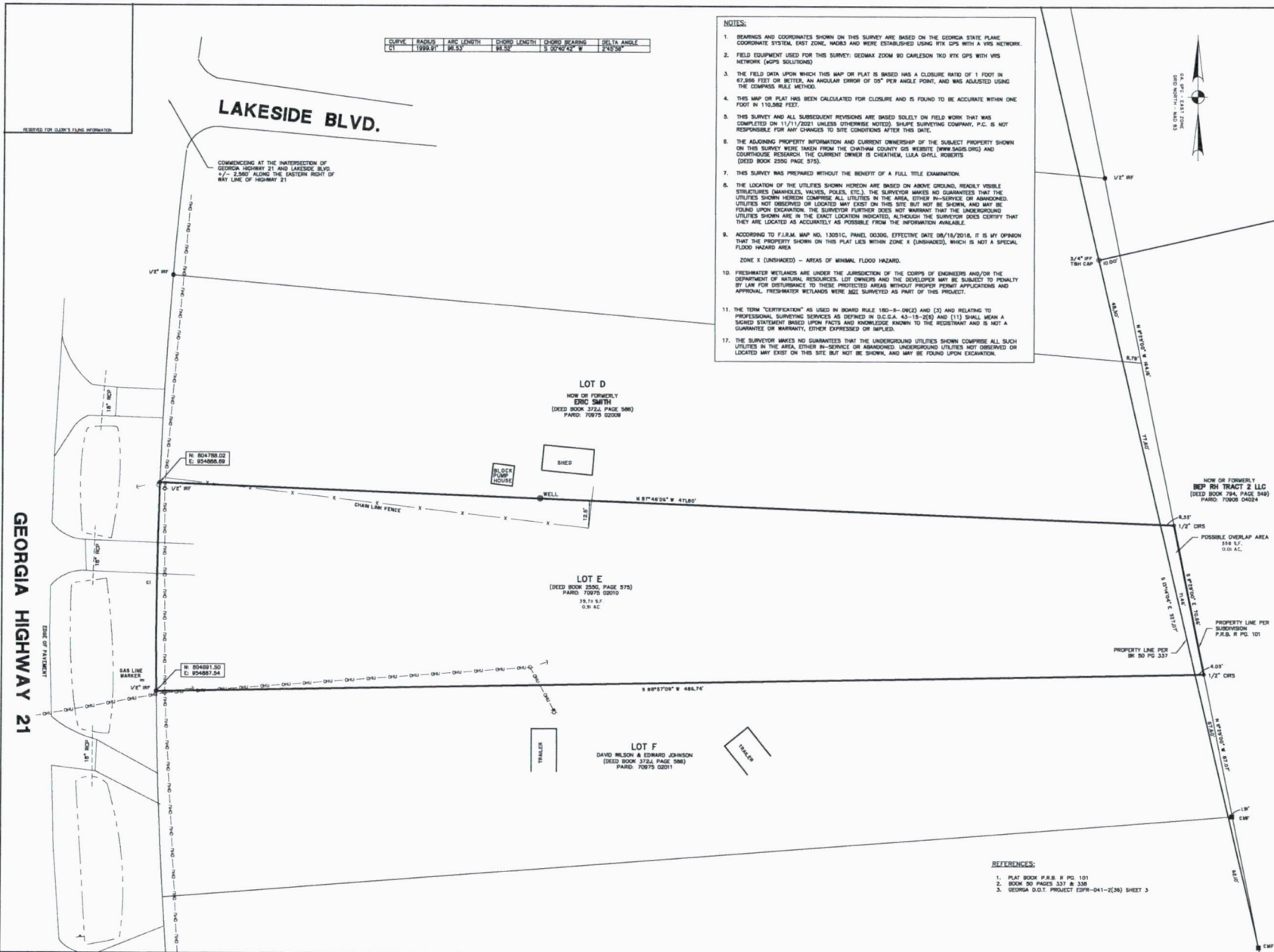
Mailing Addresses

*ERIC C. SMITH	PO BOX 2264, RINCON, GA 31326
*DAVID WILSON & ED JOHNSON	2119 BISCAYNE DRIVE, SAVANNAH, GA 31406
*BEP RH TRACT 2 LLC	100 LAKESIDE BLVD, PORT WENTWORTH, GA 31407
BRENDA SUE CHRISTIAN	PO BOX 35, SAVANNAH, GA 31405
JAMES WOO INDUSTRIES LLC	136 POST HOUSE TRL, POOLER, GA 31322-9624
ED JOHNSON	2127 MASON DR, SAVANNAH, GA 31404-5652
FIELDSTONE GROUP LLC	204 WILEY BOTOM ROAD, SAVANNAH, GA 31411
RICE HOPE - CJ LLC	PO BOX 450233, ATLANTA, GA 31145
SAM L. VARNDOE, JR., ET AL	PO BOX 2379, TYBEE ISLAND, GA 31328-2379
GARY WIGGINS	660 E 39TH ST, SAVANNAH, GA 31401

Attachment: ZMA 7-0975-02-010 HWY 21 RA TO PC1 MAR 22 - Application (2616 : Zoning Map Amendment PIN # 7-0975-02-010 HWY 21 MAR

EXHIBIT C
Survey of Property

Attachment: ZMA 7-0975-02-010 HWY 21 RA TO PC1 MAR 22 - Application (2616 : Zoning Map Amendment PIN # 7-0975-02-010 HWY 21 MAR



THIS DOCUMENT AND ALL REPRODUCIBLE COPIES OF THIS DOCUMENT ARE THE PROPERTY OF SHUPE SURVEYING COMPANY, P.C. REPRODUCTION OF THIS DOCUMENT IS NOT PERMITTED WITHOUT WRITTEN CONSENT OF SHUPE SURVEYING COMPANY, P.C. UNLESS THIS DOCUMENT BECOMES A MATTER OF PUBLIC RECORD. ALTERATIONS TO THIS DOCUMENT ARE NOT PERMITTED.

SURVEYORS RECORDING CERTIFICATION

THIS PLAT IS A RETRACEMENT OF AN EXISTING PARCEL OR PARCELS OF LAND AND DOES NOT SUBDIVIDE OR CREATE A NEW PARCEL, OR MAKE ANY CHANGES TO ANY REAL PROPERTY BOUNDARIES. THE RECORDING INFORMATION ON THIS DOCUMENT WERE PLATS OR OTHER INSTRUMENTS WHICH CREATED THE PARCEL OR PARCELS ARE STATED HEREON. RECORDATION OF THIS PLAT DOES NOT IMPLY APPROVAL OF ANY LOCAL JURISDICTION, AVAILABILITY OF PERMITS, COMPLIANCE WITH LOCAL REGULATIONS OR REQUIREMENTS, OR LIABILITY FOR ANY USE OR PURPOSE OF THE LAND. FURTHERMORE, THE UNDERGROUND LAND SURVEYOR CERTIFIES THAT THIS PLAT COMPLES WITH THE MINIMUM TECHNICAL STANDARDS FOR PROPERTY SURVEYS IN GEORGIA AS SET FORTH IN THE RULES AND REGULATIONS OF THE GEORGIA BOARD OF REGISTRATION FOR PROFESSIONAL ENGINEERS AND LAND SURVEYORS AND AS SET FORTH IN O.C.G.A. SECTION 18-6-8-17.

NO. _____ REVISION _____ BY _____ DATE _____

RETRACEMENT BOUNDARY SURVEY FOR

LOT E
7504 HIGHWAY 21
PARID: 70975 0210

8 C.M.D.
PORT WENTWORTH
CHATHAM COUNTY, GEORGIA

PREPARED FOR:
CHARLES TEETER

THOMAS G. BARNHORN, SA P.L.S. #3009

SHUPE SURVEYING COMPANY, P.C.
120 CANAL STREET, SUITE 501
POOLEY, GA 31322
912-265-0550

CERTIFICATE OF AUTHORIZATION: LPF317

SCALE: 1" = 20'

FILE: 21481 DRAWN BY: STB
DRAWING: 21481 CHECKED BY: PM

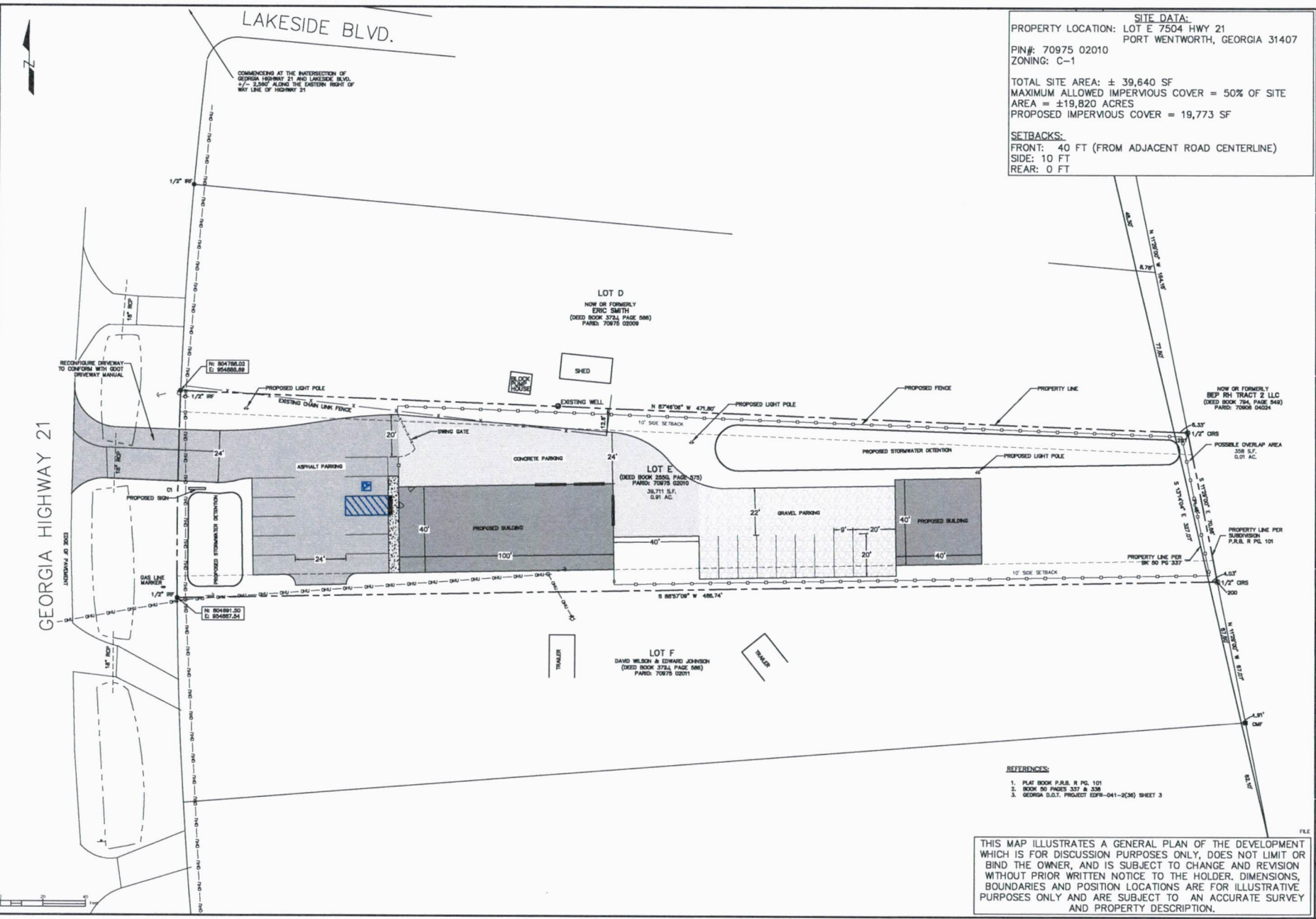
SHEET 1 OF 1

DRAWING DATE: 11/11/2021

Attachment: ZMA 7-0975-02-010 HWY 21 RA TO PC1 MAR 22 - Application (2616 : Zoning Map

Thursday, December 31, 2020 2:48:05 PM

C:\shared\draws\Projects\Drawings\Terrain\Drawings\Lot\Site\Site_Plan.dwg



SITE DATA:
 PROPERTY LOCATION: LOT E 7504 HWY 21
 PORT WENTWORTH, GEORGIA 31407
 PIN#: 70975 02010
 ZONING: C-1
 TOTAL SITE AREA: ± 39,640 SF
 MAXIMUM ALLOWED IMPERVIOUS COVER = 50% OF SITE
 AREA = ±19,820 ACRES
 PROPOSED IMPERVIOUS COVER = 19,773 SF

SETBACKS:
 FRONT: 40 FT (FROM ADJACENT ROAD CENTERLINE)
 SIDE: 10 FT
 REAR: 0 FT

- REFERENCES:**
1. PLAT BOOK P.A.B. R PG. 101
 2. BOOK 50 PAGES 337 & 338
 3. GEORGIA D.C.T. PROJECT EDPH-041-2(36) SHEET 3

THIS MAP ILLUSTRATES A GENERAL PLAN OF THE DEVELOPMENT WHICH IS FOR DISCUSSION PURPOSES ONLY, DOES NOT LIMIT OR BIND THE OWNER, AND IS SUBJECT TO CHANGE AND REVISION WITHOUT PRIOR WRITTEN NOTICE TO THE HOLDER. DIMENSIONS, BOUNDARIES AND POSITION LOCATIONS ARE FOR ILLUSTRATIVE PURPOSES ONLY AND ARE SUBJECT TO AN ACCURATE SURVEY AND PROPERTY DESCRIPTION.

Pitman Engineering Co., LLC
 2591 Hwy 17S Suite 303
 Richmond Hill, GA 31324
 912-445-0578

SITE PLAN EXHIBIT
 7504 HWY 21
 PORT WENTWORTH, GEORGIA

Project No. 21
 Drawn By: LRB
 Designed By: LRB
 Checked By: RWL
 Scale: 1" = 10'
 Date: 12/2/20

EXHIBIT

Attachment: ZMA 7-0975-02-010 HWY 21 RA TO PC1 MAR 22 - Application (2616 : Zoning Map

EXHIBIT D

Lula Cheatham
Probate Documents

Attachment: ZMA 7-0975-02-010 HWY 21 RA TO PC1 MAR 22 - Application (2616 : Zoning Map Amendment PIN # 7-0975-02-010 HWY 21 MAR

PROBATE COURT OF CHATHAM COUNTY

STATE OF GEORGIA

IN RE: ESTATE OF

Lula Gaulfin Cheatham,
DECEASED

) ESTATE NO. C-6809
)
) PETITION TO PROBATE WILL IN
) SOLEMN FORM

ORDER

It being shown to the Court in the matter of the alleged Last Will and Testament of the above-named decedent, propounded by Barbara Joyce Ghyll in said County; and that due notice of the intention of said propounder(s) to proceed with the proof in solemn form has been served on all of the heirs of said decedent, all in accordance with the laws of this State, and all other requirements of law having been fulfilled, and the said Will having been (self-proved) (proved by one of the witnesses) thereto to be the Last Will and Testament of said decedent as alleged by the propounder(s); and no objection having been filed;

IT IS ORDERED by this Court, that said Will be established as the Last Will and Testament of said decedent; that the same be admitted to record, as proved in solemn form; and that said Executor(s) have leave to qualify as such by taking the required oath, and upon so doing, that Letters Testamentary issue to said Executor(s).

IT IS FURTHER ORDERED that said Executor(s) shall disburse all property according to the terms of the Will and shall maintain all records of income and disbursements until they are discharged.

IT IS FURTHER ORDERED that the clerk/deputy clerk shall serve the Executor(s) with a copy of this Order by first class mail and shall file a certificate of service showing such service.

(initial if applicable)

_____ IT IS FURTHER ORDERED that Letters of Testamentary Guardianship and/or Conservatorship shall issue to the individuals so designated in said Will.

SO ORDERED this 5th day of March, 2012.

Stannis Luzzi
Probate Judge

Attachment: ZMA 7-0975-02-010 HWY 21 RA TO PC1 MAR 22 - Application (2616 : Zoning Map Amendment PIN # 7-0975-02-010 HWY 21 MAR

GEORGIA DEATH CERTIFICATE

A. BIRTH CERTIFICATE NUMBER 1. DECEASED'S FULL NAME (LAST, FIRST, MIDDLE, INITIAL) **Lula Cheatham** 2. SEX **Female** 3a. DATE OF DEATH (month/year) **12/17/2011**

B. STATE FILE NUMBER 3. SOCIAL SECURITY NUMBER **09** 4a. AGE (YEARS) **09** 4b. MONTHS **09** 4c. UNDER 1 DAY **09** 5. DATE OF BIRTH (month/year) **11/30/1922**

6. BIRTHPLACE (CITY AND STATE OR TERRITORY) **Savannah GA.** 7a. STREET AND NUMBER OF RESIDENCE **7955 Hwy 21 South** 7b. ZIP CODE **31407** 7c. CITY OR TOWN OF RESIDENCE **Port Wentworth**

8. COUNTY OF RESIDENCE **Chatham** 9. STATE OF RESIDENCE **GA.** 10. COUNTRY **USA** 11. INSIDE CITY LIMITS Yes No Unknown 12. ARMED FORCES Yes No Unknown

13. OCCUPATION **RN** 14. NATURE OF BUSINESS **Medical** 15. EMPLOYER **NY City Department Health**

16. MARITAL STATUS Married Married, but separated Widowed Never married Unknown 17. SPOUSE'S NAME (LAST, FIRST, MIDDLE) **Thomas Cheatham** 18. FATHER'S NAME (LAST, FIRST, MIDDLE) **Samuel Gaulfin**

19. BROTHER'S NAME PRIOR TO FIRST MARRIAGE (LAST, FIRST, MIDDLE) **Barbara Ghyll** 20. DECEDENT'S EDUCATION (HIGHEST LEVEL) 8th grade or less HS - 12th grade, no diploma High school graduate or GED completed Some college credit, but no degree Associate degree (e.g., AA, AS) Bachelor's degree (e.g., BA, AB, BS) Master's degree (e.g., MA, MS, MEd, MEng, MFin, MSty) Doctorate (e.g., PhD, EdD) or professional degree (e.g., MD, DDS, DVM, LL.M., JD) Unknown

21. RELATIONSHIP TO DECEDENT **Daughter** 22. MAILING ADDRESS (STREET AND NUMBER, CITY, COUNTY, STATE, ZIP CODE) **1595 Berkeley Ave. N. Baldwin NY 11207 NASSAU**

23. RACIAN ORIGIN No, not Spanish/Hispanic/Latino Yes, Puerto Rican Yes, Mexican, Mexican American, Chicano Yes, Cuban Yes, other Spanish/Hispanic/Latino (specify) Unknown 24. DECEDENT'S RACE White Black/African American Samoan Japanese Korean American Indian/Alaska Native Asian Indian Vietnamese Other Asian Chinese Native Hawaiian Other Pacific Islander Filipino Guamanian/Chamorro Other Unknown

25. IF DEATH OCCURRED IN HOSPITAL Inpatient Emergency Room/Outpatient Dead on Arrival 26. IF DEATH OCCURRED OTHER THAN HOSPITAL Hospice Facility Nursing Home/Long Term Care Facility Decedent's Home Other Unknown

27. FACILITY NAME **Hospice House** 28. FACILITY ADDRESS (STREET AND NUMBER, CITY, STATE, ZIP CODE) **1352 Eisenhower Dr. Sav, Ga. 31406** 29. COUNTY OF DEATH **Chatham**

30. METHOD OF DISPOSITION Burial Donation Removal from State Other 31. PLACE OF DISPOSITION (NAME AND COMPLETE ADDRESS) **Richmond Baptist Cemetery 31406** 32. DATE OF DISPOSITION (month/year) **12/21/2011**

33. EMBALMER'S NAME AND CERTIFIED INITIALS **Troy Lawton JLT** 34. LICENSE NUMBER **4455**

35. FUNERAL HOME NAME **Smalls Funeral Home** 36. FUNERAL HOME ADDRESS (STREET AND NUMBER, CITY, STATE, ZIP CODE) **P.O. Box 26 Guyton Effingham Ga. 31312**

37. FUNERAL DIRECTOR'S NAME (PRINT) **Troy Lawton** 38. SIGNATURE OF FUNERAL DIRECTOR *Troy Lawton* 39. LICENSE NUMBER **4866**

40. DATE PRONOUNCED DEAD (month/year) **12/17/2011** 41. TIME PRONOUNCED DEAD **7:30 Am** 42. PRONOUNCER'S NAME AND TITLE (PRINT) **Janet Ritter Yeager RN**

43. PRONOUNCER'S LICENSE NUMBER **RN192720** 44. ACTUAL OR PRESUMED TIME OF DEATH **7:30 AM**

45. Part I. Enter the chain of events, diseases, injuries, or complications that directly caused the death. DO NOT abbreviate. IMMEDIATE CAUSE (Final disease or condition resulting in death) **Generalized debility** 46. Approximate interval between onset and death **months**

47. Due to, or as a consequence of **months**

48. Due to, or as a consequence of

49. Due to, or as a consequence of

50. Part II. Enter other significant conditions contributing to death but not resulting in the underlying cause given in Part I. **Dementia, atrial fibrillation**

51. WERE AUTOPSY FINDINGS AVAILABLE TO COMPLETE THE CAUSE OF DEATH? Yes Unknown No

52. WAS AN INQUIRY OF ANY KIND INDICATED IN THE CAUSE OF DEATH FOR PART I OR PART II WITH THE DECEDENT? Yes Unknown No

53. WAS CASE REFERRED TO MEDICAL EXAMINER OR CORONER? Yes No Unknown

54. TOBACCO USE CONTRIBUTE TO DEATH? Yes No Unknown

55. IF FEMALE Not applicable Not pregnant within the past year Not pregnant, but pregnant within 43 days of death Not pregnant, but pregnant 43 days to 1 year before death Pregnant at the time of death Unknown if pregnant within the past year

56. MANNER OF DEATH Natural Accident Could not be determined Pending investigation Homicide Suicide

57. DATE OF INJURY (month/year) 58. TIME OF INJURY 59. PLACE OF INJURY (e.g., Roadside, home, restaurant, bar, restaurant, hotel, school, workplace, etc.) 60. INJURY AT WORK Yes No Unknown

61. LOCATION OF INJURY (STREET AND NUMBER, CITY, STATE, COUNTY, ZIP CODE) 62. DESCRIBE HOW INJURY OCCURRED 63. IF TRANSPORTATION INJURY Driver/Operator Passenger Pedestrian Other

64. To the best of my knowledge death occurred at the time, date, place, and due to by cause(s) stated. Medical Examiner (Name, Title, License No.) (PRINT AND SIGN) **Kelly Erola, M.D. 039097** 65. On the basis of examination and/or investigation, in my opinion death occurred at the time, date, place, and due to the cause(s) stated. Medical Examiner (Name, Title, License No.) (PRINT AND SIGN) **Kelly Erola, M.D. 039097**

66. DATE SIGNED (month/year) **December 23, 2011** 67. HOUR OF DEATH **7:30 AM**

68. PERSON COMPLETING CAUSE OF DEATH (NAME, ADDRESS, COUNTY, ZIP CODE) **Kelly Erola, M.D. 1352 Eisenhower Pr., Savannah, GA. 31406** 69. DATE FILED (REGISTRAR) (month/year) **DEC 28 2011**

70. REGISTRAR SIGNATURE (PRINT AND SIGN) **Thelma W. Campbell**

This certificate does not constitute a certified copy without the appropriate certification on the back.

CERTIFICATE OF RECORD

This is the exact copy of the Death Certificate received for filing in Chatham County, Georgia.

Local Custodian: *Thelma W Campbell* Signed by: *Thelma W Campbell*

Date: **DEC 28 2011** County of Chatham

Attachment: ZMA 7-0975-02-010 HWY 21 RA TO PC1 MAR 22 - Application (2616 : Zoning Map Amendment PIN # 7-0975-02-010 HWY 21 MAR

EXHIBIT E

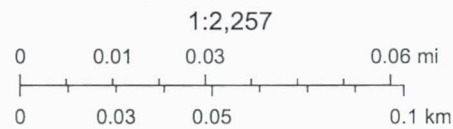
Aerial Satellite View

SAGIS Map Viewer



9/2/2021, 10:14:31 AM

Property Boundaries (Parcels)



SAGIS

SAGIS

Attachment: ZMA 7-0975-02-010 HWY 21 RA TO PC1 MAR 22 - Application (2616 : Zoning Map

EXHIBIT F
Aerial Zoning Map

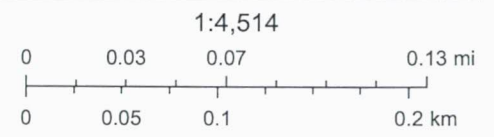
Attachment: ZMA 7-0975-02-010 HWY 21 RA TO PC1 MAR 22 - Application (2616 : Zoning Map Amendment PIN # 7-0975-02-010 HWY 21 MAR

SAGIS Zoning Map



9/2/2021, 10:18:32 AM

-  Zoning
-  Property Boundaries (Parcels)



Esri, HERE, Garmin, (c) OpenStreetMap contributors, and the GIS user

SAGIS

CITY OF PORT WENTWORTH
(912) 964-4379

REC#: 00334042 11/16/2021 10:57 AM
OPER: ME TERM: 011
REF#: CK 1135

TRAN: 112.0000 BLDG PERMIT
210460 452.00CR
CHEATHAM, LUA GHYLL ROBER
7-0975-02-010
DEV-ZMA 452.00CR

TENDERED: 452.00 CHECK
APPLIED: 452.00-

CHANGE:
0.00

WWW.CITYOFPORTWENTWORTH.COM

Attachment: ZMA 7-0975-02-010 HWY 21 RA TO PC1 MAR 22 - Application (2616 : Zoning Map Amendment PIN # 7-0975-02-010 HWY 21 MAR

Project Timeline

Project Number: 210460

Project Name: 7-0975-02-010 Hwy 21 RA to PC1 – Rezoning Application

Applicant / Engineer: Stuart Wallace, HunterMclean

Owner: Lula Ghyll Roberts Cheatham

City Review Engineer: N/A

- 11/15/2021- Application Received: Incomplete – missing information: original signed authorization of property owner form, correct check amount of \$452.00 (check received was for \$456.00), concept site plan.
- 11/15/2021 – sent email to Stuart Wallace for missing information.
- 11/16/2021 – received correct check amount
- 1/6/2022 – received concept plan & original authorization form
- 1/10/2022 – sent email to Stuart Wallace that I need a PDF of the site plan.
- 1/10/2022 – PDF received.
- 1/14/2022 – ordered zoning signs.
- 2/24/2022 – sent public hearing notice to the Savannah Morning News
- 2/25/2022 – Public hearing notice published in the Savannah Morning News
- 2/25/2022 – Public hearing notice letters mailed
- 2/25/2022 – Public hearing notice signed posted on property.



LAKESIDE BLVD.

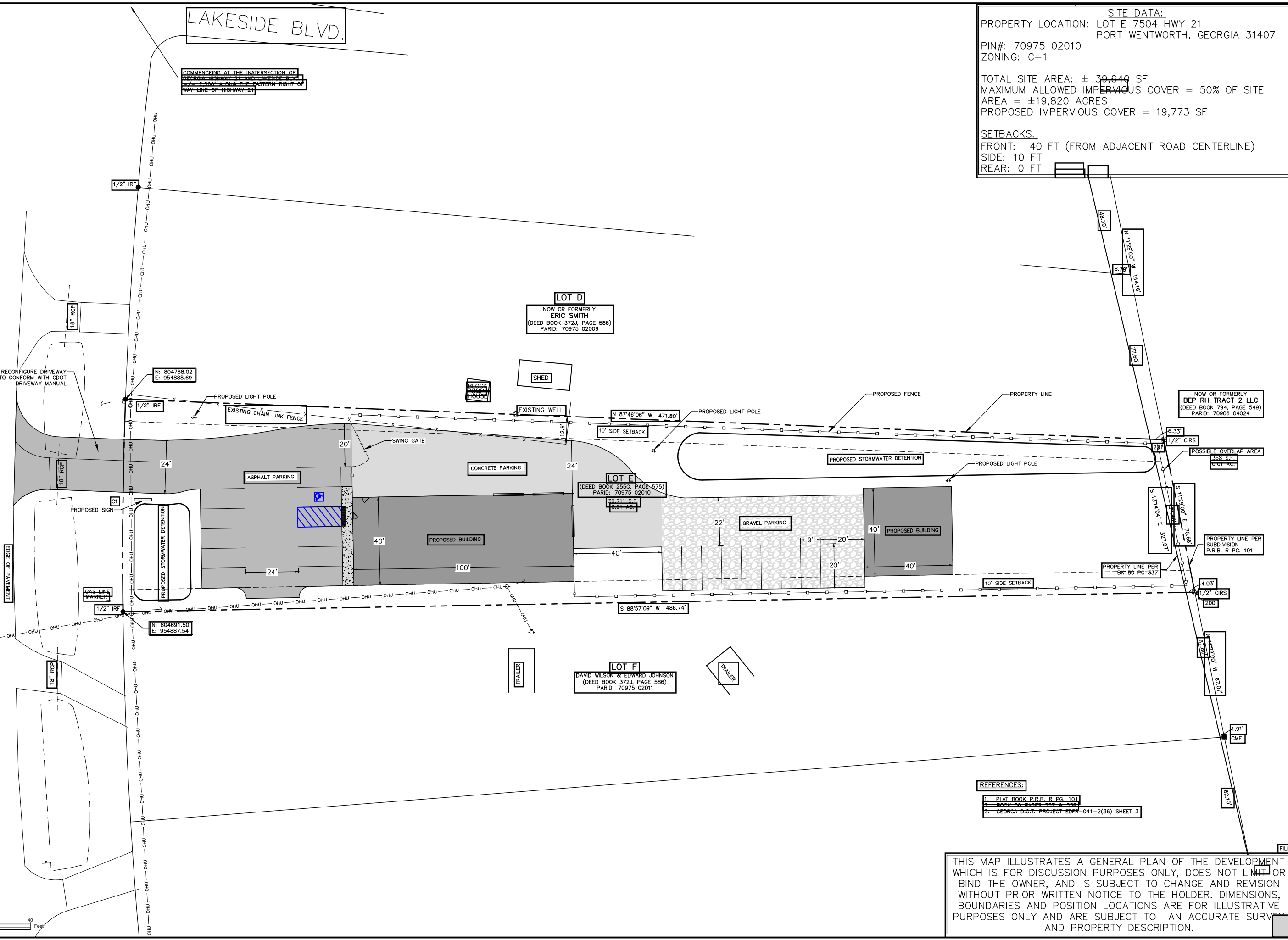
COMMENCING AT THE INTERSECTION OF
PROPERTY LINE AND PROPOSED DRIVEWAY
7.5' SETBACK ALONG THE EASTERN RIGHT-OF-
WAY LINE OF HIGHWAY 21

SITE DATA:
 PROPERTY LOCATION: LOT E 7504 HWY 21
 PORT WENTWORTH, GEORGIA 31407
 PIN#: 70975 02010
 ZONING: C-1

TOTAL SITE AREA: ± 39,640 SF
 MAXIMUM ALLOWED IMPERVIOUS COVER = 50% OF SITE
 AREA = ±19,820 ACRES
 PROPOSED IMPERVIOUS COVER = 19,773 SF

SETBACKS:
 FRONT: 40 FT (FROM ADJACENT ROAD CENTERLINE)
 SIDE: 10 FT
 REAR: 0 FT

GEORGIA HIGHWAY 21



6.A.c

Pittman Engineering Co., LLC
 2591 Hwy 17S Suite 303
 Richmond Hill, GA 31324
 912-445-0578

SITE PLAN EXHIBIT
 7504 HWY 21
 PORT WENTWORTH, GEORGIA

Project No: 21-
 Drawn By: LRD
 Designed By: JJB
 Checked By: RAP
 Scale: 1"=
 Date: 12/

EXHIBIT Packet Pg. 30

- REFERENCES:**
1. PLAT BOOK P.R.B. R PG. 101
 2. BOOK 50 PAGES 337 & 338
 3. GEORGIA D.O.T. PROJECT EDR-041-2(36) SHEET 3

THIS MAP ILLUSTRATES A GENERAL PLAN OF THE DEVELOPMENT WHICH IS FOR DISCUSSION PURPOSES ONLY, DOES NOT LIMIT OR BIND THE OWNER, AND IS SUBJECT TO CHANGE AND REVISION WITHOUT PRIOR WRITTEN NOTICE TO THE HOLDER. DIMENSIONS, BOUNDARIES AND POSITION LOCATIONS ARE FOR ILLUSTRATIVE PURPOSES ONLY AND ARE SUBJECT TO AN ACCURATE SURVEY AND PROPERTY DESCRIPTION.

Attachment: ZMA 7-0975-02-010 HWY 21 RA TO PC1 MAR 22 - Site Plan (2616 : Zoning Map Amendment PIN # 7-0975-02-010 HWY 21 MAR 2022)



Planning Commission
305 South Coastal Highway
Port Wentworth, GA 31407

Meeting: 03/14/22 06:30 PM
Department: Development Services
Category: Planning/Zoning Item
Prepared By: Melanie Ellis
Department Head: Brian Harvey

SUBMITTED

AGENDA ITEM (ID # 2617)

DOC ID: 2617

Subdivision Application submitted by Lamar Mercer, PE., Thomas & Hutton Engineering Inc., on behalf of BEP Rice Hope, LLC., for PIN # 7-0906-04-069 (100 Lakeside Blvd) located in a M-P-O (Master Plan Overlay) Zoning District for a Final Plat of a Major Subdivision (Parkside Phase 1D-2) for the purpose of Single-Family Homes

Issue/Item: Subdivision Application submitted by Lamar Mercer, PE., Thomas & Hutton Engineering Inc., on behalf of BEP Rice Hope, LLC., for PIN # 7-0906-04-069 (100 Lakeside Blvd) located in a M-P-O (Master Plan Overlay) Zoning District for a Final Plat of a Major Subdivision (Parkside Phase 1D-2) for the purpose of Single-Family Homes

Background: This is the Final Plat submittal for Parkside Phase 1D-2 of the Rice Hope Subdivision. Parkside Phase 1D-2 includes fifteen (15) single family lots on approximately 2.9 acres. The lots will be accessed off Cypress Loop. The subdivision is served by public water and sewer utilities.

Facts and Findings: The construction of this phase complies with the City of Port Wentworth Development Standards, and all requirements of the Subdivision Ordinances have been met.

Funding: N/A

Recommendation: The Planning Commission will hear this application on Monday, March 14, 2022 at 6:30 P.M.

ATTACHMENTS:

- PARKSIDE PH 1D-2 FINAL PLAT MAR 22 - Application (PDF)
- PARKSIDE PH 1D-2 FINAL PLAT MAR 22 - Timeline (DOCX)
- PARKSIDE PH 1D-2 FINAL PLAT MAR 22 - Final Plat (PDF)

22004

8.A.a

SUBDIVISION APPLICATION FORM
FOR THE
CITY OF PORT WENTWORTH

RECEIVED
JAN 04 2022
BY: *MBO*

Application Form Required

This application form is to accompany **all** subdivisions submitted for Port Wentworth Planning Commission review and is to be filled out in its **entirety**. Plats/subdivisions not accompanied by this application will not be accepted for processing. All subdivisions with their completed applications must be received by the City of Port Wentworth at least 20 business days prior to the Planning Commission meeting at which they are to be considered. Revisions to a subdivision under review by the Port Wentworth Planning Commission must be received 10 business days prior to the Port Wentworth Planning Commission at which each subdivision is scheduled to be heard.

Subdivision Name: Rice Hope - Parkside Phase 1D-2

Location: 100 Lakeside Blvd., Port Wentworth, Georgia

Number of Lots: 15 Number of Acres: 2.9 acres

PIN #: 7-0906-04-069 Current Zoning: MPO

Type of Subdivision: (Check applicable blanks from each column)

- | | |
|--|--|
| A. <input type="checkbox"/> Sketch Plan
<input type="checkbox"/> Master Plan
<input type="checkbox"/> Preliminary Plat
<input checked="" type="checkbox"/> Final Plat
<input type="checkbox"/> Revision to a Recorded Plat | B. <input checked="" type="checkbox"/> Major Subdivision
(4 or more lots or a new road)

<input type="checkbox"/> Minor Subdivision
(3 or less lots & no new road) |
|--|--|

Purpose of Subdivision:

- | | |
|---|--|
| <input checked="" type="checkbox"/> Single-Family | <input type="checkbox"/> Industrial |
| <input type="checkbox"/> Multi-Family | <input type="checkbox"/> Institutional |
| <input type="checkbox"/> Retail | <input type="checkbox"/> Other |
| <input type="checkbox"/> Other Business | <input type="checkbox"/> Sign |

Variances: (List all variances being requested)

Attachment: PARKSIDE PH 1D-2 FINAL PLAT MAR 22 - Application (2617 : Subdivision Application Parkside Phase 1D-2 Final Plat MAR 22)

Georgia DOT Review

In all applications in which property being subdivided lies along a State Highway or access is needed from a State Highway, all applicants are required to submit a plat to the Georgia Department of Transportation for review. The subdivision application will not be considered by the Port Wentworth Planning Commission until the Georgia Department of Transportation has commented on the subdivision. The comments must accompany the application.

Previous Submittal

Has this tract of land being proposed for subdividing been submitted to the Port Wentworth Planning Commission under a different subdivision name?

Yes _____ No X

If yes, what name? _____

Date Submitted: _____ PWPC File No: _____

Number of Required Prints

All submittals, regardless of type, shall include fifteen (15) prints. **Final Plats must include a copy of the plat scanned to a CD along with the fifteen (15) printed copies. Stamp must be in contrasting ink.**

Statements as to Covenants/Deed Restrictions: (Check One)

X A copy of all existing deed restrictions or subdivision covenants applicable to this property are attached.

_____ There are no added restrictions or subdivision covenants on this property.

Contact Person (s): (Type or Print Legibly)

Engineer/Surveyor: Thomas and Hutton Engineering Inc., Lamar Mercer, PE

Address: 50 Park of Commerce Way, Savannah, Georgia **Zip Code:** 31405

Phone #: 912-234-5300 **Fax #:** _____

Owner: BEP Rice Hope, LLC.

Address: 3071 Slate Mills Road, Sperryville, Virginia **Zip Code:** 22740

Phone #: 540-987-3164 **Fax #:** _____

Date of Submittal: January 4, 2022

Attachment: PARKSIDE PH 1D-2 FINAL PLAT MAR 22 - Application (2617 : Subdivision Application Parkside Phase 1D-2 Final Plat MAR 22)

Please list all property owners that are adjacent to the parcel to be subdivided including those across the public right-of-way:

7-09068-09-003	Amanda J. Caldemeyer	209 Parkside Blvd, Port Wentworth, GA 31407-3355	---
7-09068-09-002	AMH DEV LLC	211 Parkside Blvd, Port Wentworth, GA 31407-3355	---
7-09068-09-001	AMH DEV LLC	213 Parkside Blvd, Port Wentworth, GA 31407-3355	---
7-09068-08-002	AMH DEV LLC	215 Parkside Blvd, Port Wentworth, GA 31407-3354	---
7-09068-08-001	AMH DEV LLC	217 Parkside Blvd, Port Wentworth, GA 31407-3354	---
7-09068-08-003	BEP RH TRACT 2 LLC	219 Parkside Blvd, Port Wentworth, GA 31407 (mailing 100 Lakeside Blvd, Port Wentworth, GA 31407-3391)	---
7-09068-08-004	BEP RH TRACT 2 LLC	221 Parkside Blvd, Port Wentworth, GA 31407 (mailing 100 Lakeside Blvd, Port Wentworth, GA 31407-3391)	---
7-09068-08-005	BEP RH TRACT 2 LLC	223 Parkside Blvd, Port Wentworth, GA 31407 (mailing 100 Lakeside Blvd, Port Wentworth, GA 31407-3391)	---
7-09060-4069	BEP RH TRACT 2 LLC	Hickory Street, Port Wentworth, GA 31407 (mailing 100 Lakeside Blvd, Port Wentworth, GA 31407-3391)	---
7-09068-09-004	BEP RH TRACT 2 LLC	2 Cypress Loop, Port Wentworth, GA 31407 (mailing 100 Lakeside Blvd, Port Wentworth, GA 31407-3391)	---
7-09068-16-001	BEP RH TRACT 2 LLC	208 Crabapple Circle, Port Wentworth, GA 31407 (mailing 100 Lakeside Blvd, Port Wentworth, GA 31407-3391)	---
7-09068-16-002	BEP RH TRACT 2 LLC	210 Crabapple Circle, Port Wentworth, GA 31407 (mailing 100 Lakeside Blvd, Port Wentworth, GA 31407-3391)	---
7-09068-16-003	BEP RH TRACT 2 LLC	212 Crabapple Circle, Port Wentworth, GA 31407 (mailing 100 Lakeside Blvd, Port Wentworth, GA 31407-3391)	---

Certifications

1. I hereby certify that this proposed subdivision/plan does not violate any covenants or deed restrictions currently in effect for the property being subdivided.
2. I hereby certify that all taxes applicable to this property have been paid and that there are no delinquent taxes outstanding.
3. I hereby certify that I am the owner of the property being proposed for subdivision.
4. I hereby certify that all the information pertained in this application is true and correct.



 Signature of Owner

Comments: Place any pertinent comments you wish to make in the following space:

Submit this form along with the proposed subdivision and any accompanying information to:

**CITY OF PORT WENTWORTH
 7306 HIGHWAY 21, SUITE 301
 PORT WENTWORTH, GEORGIA 31407**

Attachment: PARKSIDE PH 1D-2 FINAL PLAT MAR 22 - Application (2617 : Subdivision Application Parkside Phase 1D-2 Final Plat MAR 22)

CITY OF PORT WENTWORTH
(912) 964-4379

REC#: 00338844 1/04/2022 2:43 PM
OPER: ME TERM: 011
REF#: CK 1788

TRAN: 112.0000 BLDG PERMIT
220004 1,131.00CR
BEP RICE HOPE LLC
PARKSIDE PH 1D-2
I-SUBDIV 1,131.00CR

TENDERED: 1,131.00 CHECK
APPLIED: 1,131.00-

CHANGE: 0.00

WWW.CITYOFPORTWENTWORTH.COM

Attachment: PARKSIDE PH 1D-2 FINAL PLAT MAR 22 - Application (2617 : Subdivision Application Parkside Phase 1D-2 Final Plat MAR 22)

Project Timeline

Project Number: 220004

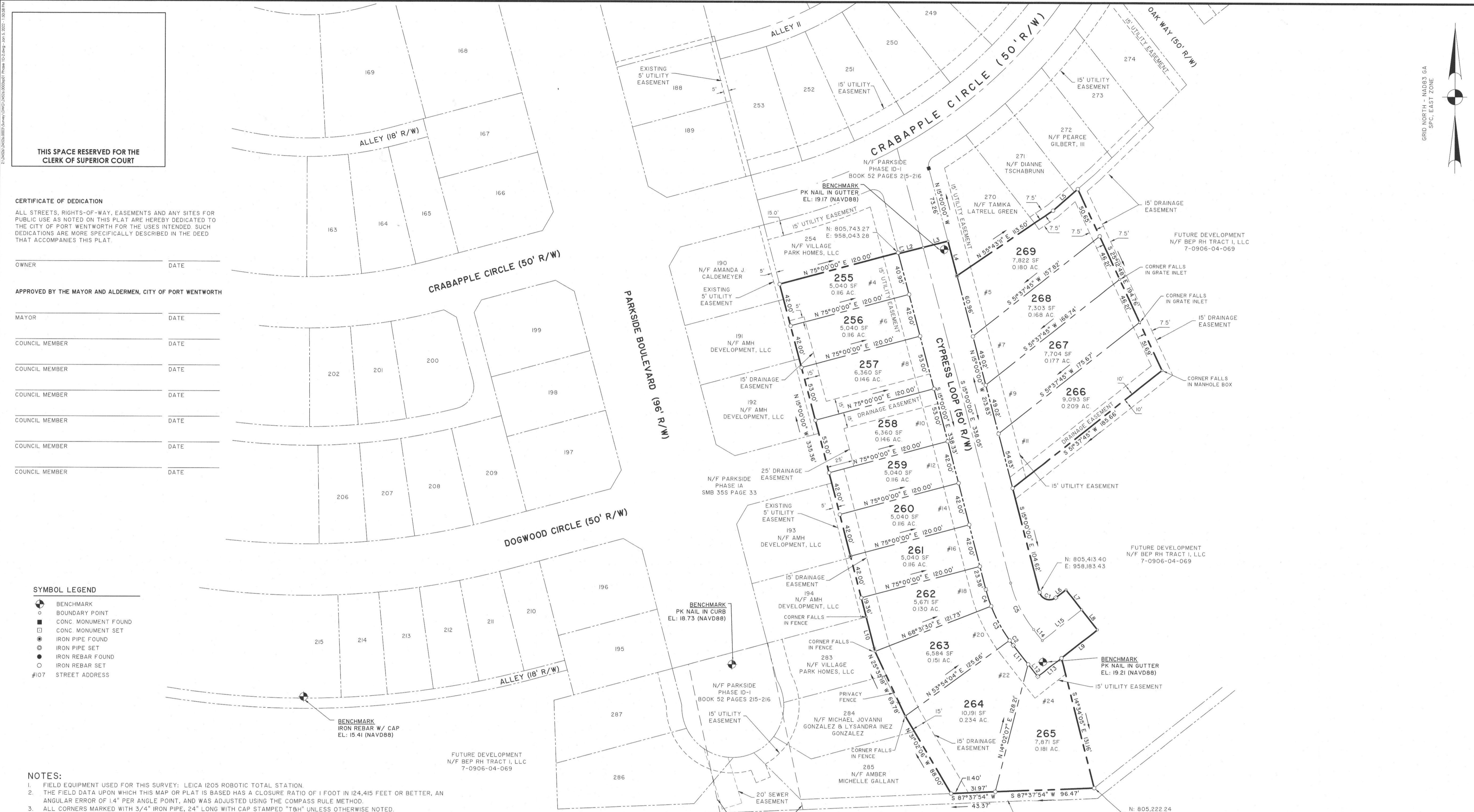
Project Name: Parkside Phase 1D-2 – Final Plat

Applicant / Engineer: Lamar Mercer, Thomas & Hutton

Owner: BEP Rice Hope

City Staff Review: Omar Senati

- 1/4/2022 – Application Received; Incomplete – need PIN number to be verified, pdf, 15 half size and 3 full size copies.
- 1/4/2022 – sent email to Lamar Mercer for missing information.
- 1/6/2022 – missing information received
- 2/11/2022 – Omar sent 1st review comments to Paul Larner & Thomas & Hutton.
- 2/24/2022 – public hearing notice sent to Savannah Morning News
- 2/25/2022 – public hearing notice published in the Savannah Morning News
- 2/25/2022 – Public hearing notice letters mailed.



THIS SPACE RESERVED FOR THE CLERK OF SUPERIOR COURT

CERTIFICATE OF DEDICATION
 ALL STREETS, RIGHTS-OF-WAY, EASEMENTS AND ANY SITES FOR PUBLIC USE AS NOTED ON THIS PLAT ARE HEREBY DEDICATED TO THE CITY OF PORT WENTWORTH FOR THE USES INTENDED. SUCH DEDICATIONS ARE MORE SPECIFICALLY DESCRIBED IN THE DEED THAT ACCOMPANIES THIS PLAT.

OWNER _____ DATE _____

APPROVED BY THE MAYOR AND ALDERMEN, CITY OF PORT WENTWORTH

MAYOR _____ DATE _____

COUNCIL MEMBER _____ DATE _____

COUNCIL MEMBER _____ DATE _____

COUNCIL MEMBER _____ DATE _____

COUNCIL MEMBER _____ DATE _____

COUNCIL MEMBER _____ DATE _____

SYMBOL LEGEND

- BENCHMARK
- BOUNDARY POINT
- CONC MONUMENT FOUND
- CONC MONUMENT SET
- IRON PIPE FOUND
- IRON PIPE SET
- IRON REBAR FOUND
- IRON REBAR SET
- #107 STREET ADDRESS

NOTES:

- FIELD EQUIPMENT USED FOR THIS SURVEY: LEICA 1205 ROBOTIC TOTAL STATION.
- THE FIELD DATA UPON WHICH THIS MAP OR PLAT IS BASED HAS A CLOSURE RATIO OF 1 FOOT IN 124,415 FEET OR BETTER, AN ANGULAR ERROR OF 14" PER ANGLE POINT, AND WAS ADJUSTED USING THE COMPASS RULE METHOD.
- ALL CORNERS MARKED WITH 3/4" IRON PIPE, 24" LONG WITH CAP STAMPED "TBH" UNLESS OTHERWISE NOTED.
- THIS MAP OR PLAT HAS BEEN CALCULATED FOR CLOSURE AND IS FOUND TO BE ACCURATE WITHIN ONE FOOT IN 429,000 FEET. ELEVATIONS SHOWN ON THIS PLAT ARE BASED ON NAVD88, UNLESS OTHERWISE NOTED.
- BEARINGS AND COORDINATES SHOWN ON THIS SURVEY ARE BASED ON GEORGIA STATE PLANE COORDINATE SYSTEM (NAD83), EAST ZONE.
- ACCORDING TO F.I.R.M. MAP NO. 1305IC00306, REVISED AUGUST 16, 2018, IT IS MY OPINION THAT THE PROPERTY SHOWN ON THIS PLAT LIES WITHIN ZONE X.
- THE TAX PROPERTY IDENTIFICATION NUMBER (PIN) FOR THE PROPERTY PLATTED HEREON (PARENT TRACT) IS 7-0906-04-069.
- WETLAND AREAS SHOWN ON THIS PLAT ARE UNDER THE JURISDICTION OF THE U.S. ARMY CORPS OF ENGINEERS AND/OR THE GEORGIA DEPARTMENT OF NATURAL RESOURCES. LOT OWNERS AND THE DEVELOPER ARE SUBJECT TO PENALTY BY LAW FOR DISTURBANCE TO THESE PROTECTED AREAS WITHOUT PROPER PERMIT APPLICATIONS AND APPROVAL. WETLANDS ON THIS PROPERTY ARE ALSO SUBJECT TO THAT CERTAIN DECLARATION OF COVENANTS AND RESTRICTIONS DATED OCTOBER 7, 2004 AND RECORDED IN DEED BOOK 2771, PAGE 158, CHATHAM COUNTY, GEORGIA RECORDS.
- UNDERGROUND UTILITIES NOT SHOWN MAY BE ENCOUNTERED. THE UTILITY PROTECTION CENTER SHOULD BE CONTACTED PRIOR TO BEGINNING ANY CONSTRUCTION.
- THIS PLAT CONTAINS 15 LOTS.
- MINIMUM BUILDING SETBACKS FOR THIS PROPERTY ARE:
 FRONT SETBACK: 0'
 REAR SETBACK: 5'
 SIDE LOTS: MINIMUM 10' BUILDING SEPARATION, EXCLUDING FIREPLACES, BOX/BAY WINDOWS, STEPS, ETC.
- THE LOTS ON THIS PLAT WILL BE SERVED BY CITY OF PORT WENTWORTH WATER AND SEWER SYSTEM.
- THIS SUBDIVISION IS SUBJECT TO THOSE COVENANTS, CONDITIONS & RESTRICTIONS AS CONTAINED IN THAT CERTAIN DECLARATION OF COVENANTS, CONDITIONS & RESTRICTIONS FOR RICE HOPE DATED JULY 12, 2004, RECORDED IN DEED BOOK 272W, PAGE 434, AFORSAID RECORDS.
- PRIOR TO THE ISSUANCE OF CERTIFICATE OF OCCUPANCY PERMITS, THE BUILDING PERMIT APPLICANTS FOR ALL LOTS SHALL BE REQUIRED TO INSTALL A SIDEWALK ALONG THEIR RESPECTIVE LOTS ON ALL STREETS IN ACCORDANCE WITH THE CITY OF PORT WENTWORTH SUBDIVISION REGULATIONS AND APPROVED CONSTRUCTION PLANS.
- THE DEVELOPER SHALL INSTALL SIDEWALKS ON THE PORTIONS OF ALL STREETS ABUTTING ALL PROPERTY OTHER THAN PLATTED SINGLE FAMILY LOTS IN ACCORDANCE WITH THE CITY OF PORT WENTWORTH SUBDIVISION REGULATIONS AND APPROVED CONSTRUCTION PLANS.
- REFERENCES: DEED BOOK 794, PAGE 549, DEED BOOK 385K, PAGE 726, SMB 355, PAGE 33A-H, SMB 365, PAGE 54A-F

UTILITY NOTES:

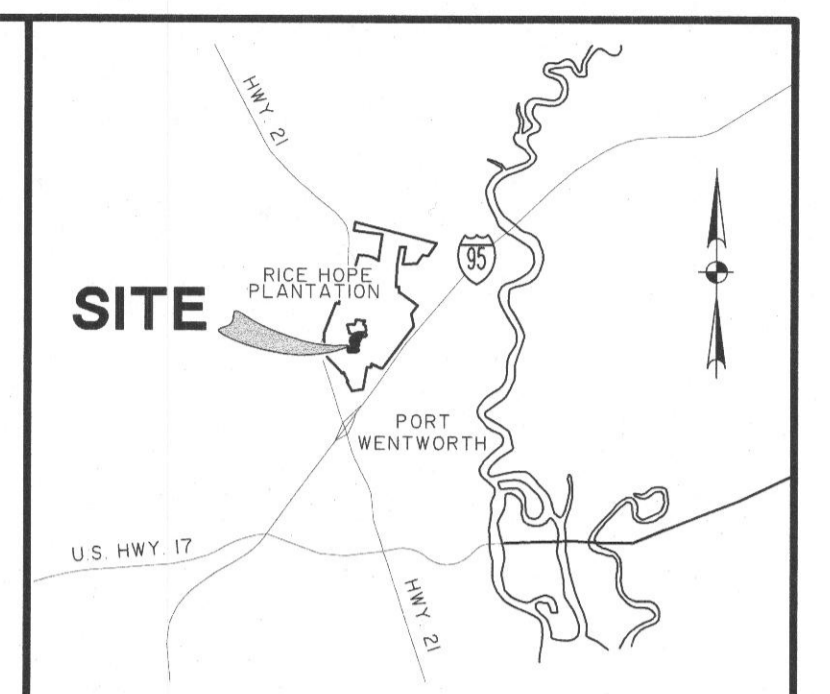
- UTILITY EASEMENTS DEPICTED HEREON REPRESENT, TO THE GREATEST EXTENT PERMITTED BY LAW, PRIVATE EASEMENTS FOR THE EXCLUSIVE USE AND BENEFIT OF THOSE UTILITY COMPANIES AND/OR OTHER PROVIDERS OF SERVICES TO THE DEVELOPMENT AS MAY BE DESIGNATED BY OWNER, OR ITS SUCCESSORS AND ASSIGNS, FROM TIME TO TIME BY AN INSTRUMENT IN WRITING, AND IN NO WAY GRANT, CONVEY OR CREATE ANY GENERAL PUBLIC UTILITY EASEMENT OR ANY GENERAL OR PUBLIC ACCESS RIGHTS.
- UNLESS OTHERWISE DESIGNATED BY OWNER, OR ITS SUCCESSORS AND ASSIGNS, FROM TIME TO TIME BY AN INSTRUMENT IN WRITING, STORM DRAIN EASEMENTS DEPICTED HEREON REPRESENT PRIVATE EASEMENTS TO ACCESS THE STORM DRAINS FOR THE SOLE PURPOSE OF MAINTAINING AND REPAIRING SUCH STORM DRAINS, AND IN NO WAY GRANT, CONVEY OR CREATE ANY GENERAL PUBLIC UTILITY EASEMENT OR ANY GENERAL OR PUBLIC ACCESS RIGHTS.
- UTILITY EASEMENTS AREA AS SHOWN. ADDITIONAL EASEMENTS MAYBE REQUIRED UPON COMPLETION OF AS BUILT INFORMATION.
- A PRIVATE UTILITY EASEMENT SHALL BE PROVIDED ON THE FRONT AND REAR OF ALL LOTS AS FOLLOWS: 5' REAR PRIVATE UTILITY EASEMENT AND 3' FRONT PRIVATE UTILITY EASEMENT.

LINE TABLE

LINE	BEARING	LENGTH
L1	N 15°00'00" W	1.05'
L2	S 75°38'55" W	25.00'
L3	S 75°38'55" W	25.00'
L4	N 15°00'00" W	34.85'
L5	N 49°00'29" E	32.00'
L6	S 5°37'45" W	12.65'
L7	S 38°22'15" E	25.00'
L8	S 38°22'15" E	25.00'
L9	N 5°37'45" E	44.49'
L10	N 15°00'00" W	34.67'
L11	S 38°22'15" E	23.63'
L12	S 38°22'15" E	14.92'
L13	N 5°37'45" E	29.38'
L14	S 38°22'15" E	13.55'
L15	N 5°37'45" E	48.88'

CURVE TABLE

CURVE	RADIUS	LENGTH	CH BEARING	CH LENGTH	DELTA
C1	10.00'	19.79'	S 7°41'08" E	16.71'	13°22'15"
C2	150.00'	5.95'	S 37°14'06" E	5.95'	2°16'19"
C3	150.00'	38.29'	S 28°47'13" E	38.18'	14°37'27"
C4	150.00'	16.95'	S 18°41'05" E	16.94'	6°28'30"
C5	125.00'	50.99'	S 26°41'08" E	50.63'	23°22'15"



VICINITY MAP not to scale

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ACREAGE TABLE

LOTS (15)	2.299 AC.
RIGHT OF WAY	0.518 AC.
TOTAL	2.817 AC.

SURVEYOR'S CERTIFICATION

AS REQUIRED BY SUBSECTION (4) OF O.C.G.A. SECTION 15-6-67, THIS PLAT HAS BEEN PREPARED BY A LAND SURVEYOR AND APPROVED BY ALL APPLICABLE LOCAL JURISDICTIONS FOR RECORDING AS EVIDENCED BY APPROVAL CERTIFICATES, SIGNATURES, STAMPS, OR STATEMENTS HEREON. SUCH APPROVALS OR AFFIRMATIONS SHOULD BE CONFIRMED WITH THE APPROPRIATE GOVERNMENTAL BODIES BY ANY PURCHASER OR USER OF THIS PLAT AS TO INTENDED USE OF ANY PARCEL. FURTHERMORE, THE UNDERSIGNED LAND SURVEYOR CERTIFIES THAT THIS PLAT COMPLIES WITH THE MINIMUM TECHNICAL STANDARDS FOR PROPERTY SURVEYS IN GEORGIA AS SET FORTH IN THE RULES AND REGULATIONS OF THE GEORGIA BOARD OF REGISTRATION FOR PROFESSIONAL ENGINEERS AND LAND SURVEYORS AND AS SET FORTH IN O.C.G.A. SECTION 15-6-67.

GEORGIA REGISTERED LAND SURVEYOR
 No. 2612
 WRIGHT C. POWERS, JR.
 1-5-22
 WRIGHT C. POWERS, JR.
 GEORGIA REGISTERED LAND SURVEYOR
 RLS #2612 / LSF #145
 powers.w@thomasandhutton.com

MAJOR SUBDIVISION
PARKSIDE AT RICE HOPE
PHASE 1D-2

8TH G.M.D.
 CITY OF PORT WENTWORTH
 CHATHAM COUNTY, GA

prepared for
 BEP RICE HOPE, LLC

No Revision	By	Date

THOMAS & HUTTON

50 Park of Commerce Way
 Savannah, GA 31405 • 912.234.5300

www.thomasandhutton.com

50 0 50 100
 1 INCH = 50 FEET

plot drawn reviewed field crew
 01-05-22 LPO WCP 12-22-21 MB

job 24526.0003 SHEET 1 OF 1



Planning Commission
305 South Coastal Highway
Port Wentworth, GA 31407

Meeting: 03/14/22 06:30 PM
Department: Development Services
Category: Planning/Zoning Item
Prepared By: Melanie Ellis
Department Head: Brian Harvey

SUBMITTED

AGENDA ITEM (ID # 2615)

DOC ID: 2615

Site Plan Review Application submitted by Paul Lerner for PIN #:7-0906-04-091 & 7-0906-04-063 (Mulberry Blvd Extension) for a Specific Development Site Plan to Extend Mulberry Blvd in a M-P-O (Master Plan Overlay) Zoning District.

Issue/Item: Site Plan Review Application submitted by Paul Lerner for PIN #:7-0906-04-091 & 7-0906-04-063 (Mulberry Blvd Extension) for a Specific Development Site Plan to Extend Mulberry Blvd in a M-P-O (Master Plan Overlay) Zoning District.

Background: Currently Mulberry Blvd is a dead end road.

Facts and Findings: The Applicant is proposing to extend Mulberry Blvd for future development. This application is currently under technical review by City Engineers, T.R. Long Engineering, P.C.

Funding: N/A

Recommendation: The Planning Commission will hear this application on Monday, March 14, 2022 at 6:30 P.M.

ATTACHMENTS:

- MULBERRY BLVD EXTENSION SPECIFIC SITE PLAN MAR 22 - Application (PDF)
- MULBERRY BLVD EXTENSION SPECIFIC SITE PLAN MAR 22 - Timeline (DOCX)
- MULBERRY BLVD EXTENSION SPECIFIC SITE PLAN MAR 22 - 1st Comment Letter TR Long 1.20.22 (PDF)
- MULBERRY BLVD EXTENSION SPECIFIC SITE PLAN MAR 22 - 1st Return Comment Letter Pittman 2.28.22 (PDF)
- MULBERRY BLVD EXTENSION SPECIFIC SITE PLAN MAR 22 - Site Plan 2.10.22 (PDF)

220003

City of Port Wentworth
7224 Highway 21 Port Wentworth Georgia 31407 912-999-2084

RECEIVED
DEC 22 2021
BY: MBE
8.B.a

Site Plan Review Application

Site Plan Application is required for all new construction in a "P" or "MPO" zone as defined in the Zoning Ordinance of the City of Port Wentworth.

Site Plan Type (Check One): General / Concept Specific Development
Site Plan Address: 0 Mulberry Boulevard
PIN #(s): 70906 04091 & 70906 04063
Zoning: M-P-O Estimated Cost of Construction: \$ 350,000
Type of Construction: Infrastructure

Applicant's Name: Mr. Paul Lerner
Mailing Address: 3071 Slate Mills Road
Sperryville, VA 22740
Phone #: (540) 987-3164 Email: plarner2003@hotmail.com

Owner's Name (if Different form Applicant): _____
Mailing Address: _____
Phone #: _____ Email: _____

I hereby acknowledge that the above information is true and correct.

BEP Rice Hope LLC,
Paul F. Lerner
Applicant's Signature

Dec 15, 2021
Date

Owner's Signature (if Different form Applicant)

Date

Please see page 2 for required submittal checklist

Attachment: MULBERRY BLVD EXTENSION SPECIFIC SITE PLAN MAR 22 - Application (2615 : Site Plan Review (Specific) Mulberry Blvd

City of Port Wentworth
7224 Highway 21 Port Wentworth Georgia 31407 912-999-2084

Site Plan Review Application Submittal Checklist

Documentation below is required for a complete submittal.

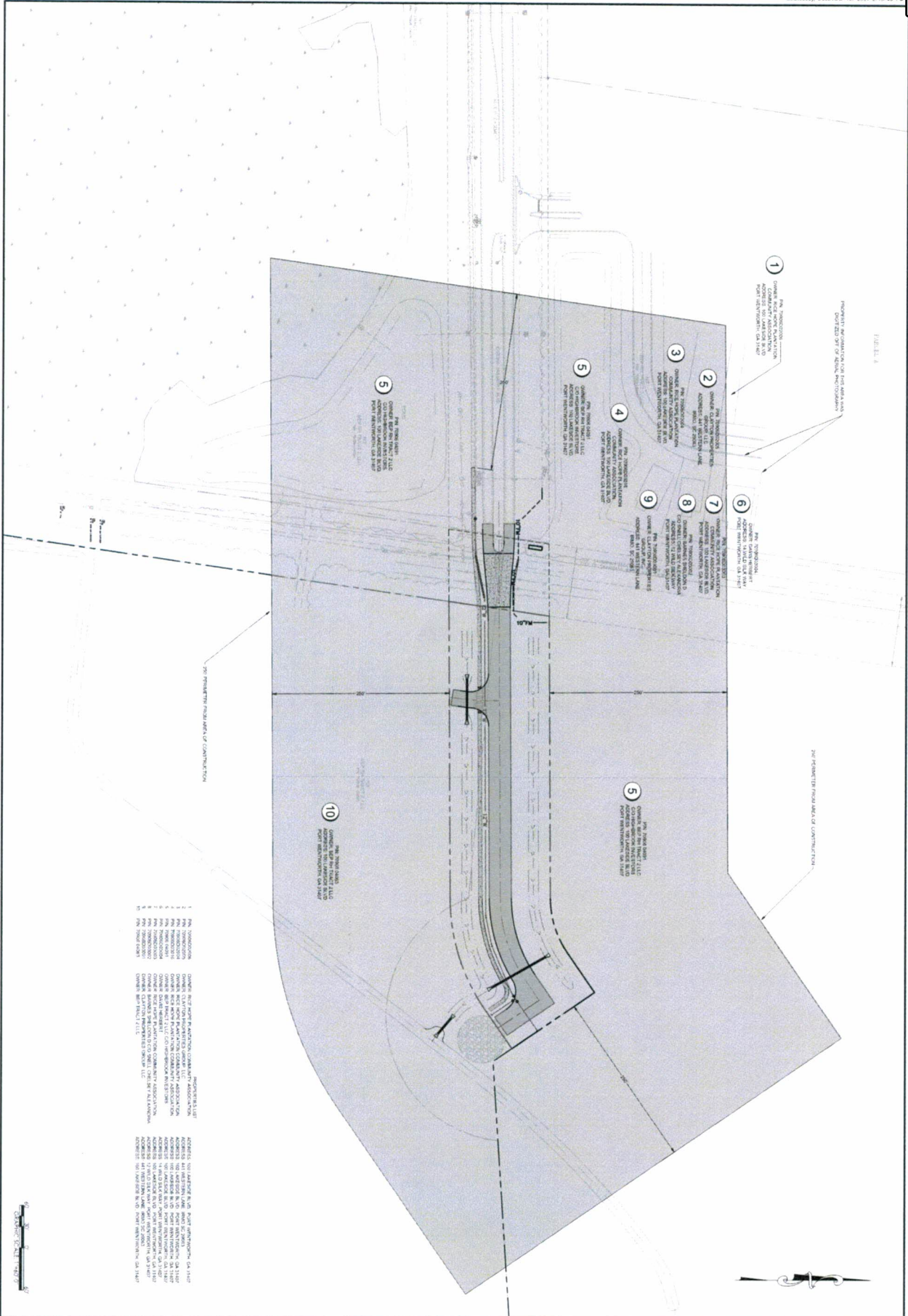
- Signed and Completed Application
- 3 Full size sets of site plan civil drawings or concept plan (depending on type of site plan)
- 15 half size (11" X 17") sets of site plan civil drawings or concept plan (depending on type of site plan)
- 2 copies of hydrology reports (if applicable)
- Names, mailing address, and PIN number of all property owners within 250 feet of all property lines
- 1 8 1/2" X 11" of site plan civil drawings or concept plan (depending on type of site plan)
- PDF of entire submittal (either flash drive or CD)
- Other Engineering details or reports may be required once submittal has been received
- Site plan review fee check
 - o No Land Disturbance- \$206.00 Site Plan Fee + \$50.00 Admin Fee = Total \$256.00
 - o With Land Disturbance - \$836.00 Site Plan Fee + \$50.00 Admin Fee = Total \$886.00

Additional Fee Statement: If engineer review cost to the City exceeds the site plan review fee that is paid at the time of initial application submittal, you may be required to pay additional review cost.

I have read and agree to the above additional fee statement

Paul F. m
Applicant's Signature

12/15/2021
Date



SHEET EX1	ADJACENT PROPERTY OWNERS EXHIBIT MULBERRY BOULEVARD EXTENSION RICE HOPE Prepared For BEIP RICE HOPE LLC	PITTMAN ENGINEERING 2591 Hwy 178 Suite 303 Richmond Hill, GA 31324 912-445-0878 www.PittmanEngineeringCo.com	REVISIONS BY DATE
	Project No. 21-252 Drawn By: MJS Designed By: MJS Scale: 1"=40' Date: 11/4/21		

PIN: 70906D02006	OWNER: RICE HOPE PLANTATION COMMUNITY ASSOCIATION	ADDRESS: 100 LAKESIDE BLVD., PORT WENTWORTH, GA 31407
PIN: 70906D02005	OWNER: CLAYTON PROPERTIES GROUP, LLC	ADDRESS: 441 WESTERN LANE, IRMO SC 29063
PIN: 70906D02004	OWNER: RICE HOPE PLANTATION COMMUNITY ASSOCIATION	ADDRESS: 100 LAKESIDE BLVD., PORT WENTWORTH, GA 31407
PIN: 70906D03016	OWNER: RICE HOPE PLANTATION COMMUNITY ASSOCIATION	ADDRESS: 100 LAKESIDE BLVD., PORT WENTWORTH, GA 31407
PIN: 70906 04091	OWNER: BEP TRACT 2 LLC C/O HIGHBROOK INVESTORS	ADDRESS: 100 LAKESIDE BLVD., PORT WENTWORTH, GA 31407
PIN: 70906D03004	OWNER: DAVIS HERBERT	ADDRESS: 14 WILD SILK WAY, PORT WENTWORTH, GA 31407
PIN: 70906D03003	OWNER: RICE HOPE PLANTATION COMMUNITY ASSOCIATION	ADDRESS: 100 LAKESIDE BLVD., PORT WENTWORTH, GA 31407
PIN: 70906D03002	OWNER: BARNES SHELDON D C/O SNELL CHELSEY ALEXANDRIA	ADDRESS: 12 WILD SILK WAY, PORT WENTWORTH, GA 31407
PIN: 70906D03001	OWNER: CLAYTON PROPERTIES GROUP, LLC	ADDRESS: 441 WESTERN LANE, IRMO SC 29063
PIN: 70906 04063	OWNER: BEP TRACT 2 LLC	ADDRESS: 100 LAKESIDE BLVD., PORT WENTWORTH, GA 31407

CITY OF PORT WENTWORTH
(912) 964-4379

REC#: 00338828 1/04/2022 1:43 PM
OPER: ME TERM: 011
REF#: CK 2247

TRAN: 112.0000 BLDG PERMIT
220003 886.00CR
LARNER, PAUL
MULBERRY BLVD
DEV-SPR 886.00CR

TENDERED: 886.00 CHECK
APPLIED: 886.00-

CHANGE: 0.00

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Attachment: MULBERRY BLVD EXTENSION SPECIFIC SITE PLAN MAR 22 - Application (2615 : Site Plan Review (Specific) Mulberry Blvd

Project Timeline

Project Number: 220003

Project Name: Mulberry Blvd Extension – Specific Site Plan

Applicant / Engineer: Ray Pittman, Pittman Engineering

Owner: Paul Larner

City Review Engineer: TR Long Engineering

- 12/22/2021 – Application received; complete
- 1/7/2022 – sent packet over to Trent Long, TR Long Engineering, to start review.
- 1/20/2022 – 1st review letter received from TR Long Engineering. Emailed to Jason Bryant & Ray Pittman.
- 2/24/2022 – sent public hearing notice to Savannah Morning News
- 2/25/2022 – Public hearing notice Ad published in Savannah Morning News
- 2/25/2022 – public hearing notice letters mailed
- 3/1/2022 – received 1st resubmittal from Pittman Engineering
- 3/2/2022 – called & spoke to Jason Bryant and informed him I would need a PDF of his resubmittal to send to TR Long for review.
- 3/2/2022 – PDF received. Forwarded to TR Long for review.

114 North Commerce Street
Hinesville, Georgia 31313
Office: (912) 368-5664
Fax: (912) 368-7206



308 Commercial Drive
Savannah, Georgia 31406
Office: (912) 335-1046
Fax: (912) 355-1642

January 20, 2022

Mr. Brian Harvey
City of Port Wentworth
7224 Georgia Highway 21
Port Wentworth, Georgia 31407

Re: Mulberry Boulevard Extension - Rice Hope Subdivision
Port Wentworth, Georgia

Dear Mr. Harvey,

T. R. Long Engineering, P.C. has reviewed the "Mulberry Boulevard Extension - Rice Hope Subdivision" prepared by Pittman Engineering Company dated December 21, 2021. T. R. Long Engineering, P.C. offers the following comments with regards to this submittal:

1. The plans do not include any benchmark or control point references. Additionally, the north arrow does not indicate whether project is magnetic or state plane.
2. The plans do not include any bearing and distances on the proposed right of way or on the centerline of the roadway. Please show layout information for the right of way and centerline.
3. A boundary plat showing the new right-of-way will be required to be approved and recorded prior to close out of the project.
4. According to the development manual the new section of roadway is required to have curb and gutter.
5. The roadway design starting at station 7+00 to the temporary cul-de-sac does not meet any design standard. (i.e., cul-de-sac) Please provide a masterplan for this area so that the termination type for this roadway can be evaluated. Roadways with a 90-degree bend as shown are not allowed. The minimum roadway radius in 150-feet.
6. The new roadway is being shown as 31' wide and the side roadway is being shown at 22' wide. Please provide reasoning for the 31' width of pavement. Also please provide justification for the roadway not being 24' in width.
7. The new roadway section is changing from a 2-lane roadway with an island to a 2-lane roadway without an island. The taper length currently shown is not sufficient. We estimate the taper should not be any less than 225 feet if the width is 24-feet wide. (15' island width/2 x 30 mph = 225')
8. The driveway/roadway intersection located near station 2+75 has a centerline curve that extends into the Mulberry Boulevard right of way. Intersections are encouraged be 90-dregees to the centerline. Variances up to 5 degrees are acceptable. The layout as shown may result in vehicles entering the intersection at an angle greater than allowed. Please realign this intersection so that the intersecting angle is straight within the right of way.
9. The plans show minimal striping and signage along the new roadway. Include in the plans the necessary striping, signage and traffic devises required.

10. All roads shall have a 5' shoulder with a maximum of 4:1 side slope. Several of the storm profiles are not clear if this requirement is met. Please verify that the drainage pipes are designed so that the shoulder width and side slope are achieved.
11. The concrete paving section located around station 0+75 leaves a small sliver of asphalt in the radius of the island that will be hard to install and maintain. Please extend the new concrete paving to include the radius of the island.
12. The plans show a cross walk at the road intersection. Add handicap ramps where the sidewalk connects to the roadway. Also verify the crosswalk meets ADA requirements and does not exceed the required 2.0% cross slope.
13. Several notes indicate the reuse of existing pipe. All pipe removed or demolished as part of construction shall not be reused and installation of all pipes shall be new.
14. Several of the storm pipes are shown as 15" diameter. The minimum pipe size allowed is 18" diameter. Additionally, provide storm calculations for all the pipe crossings.
15. Provide storm calculations for the existing 48" pipe crossing near station 0+50 to determine if the size is sufficient prior to constructing the new roadway. Additionally show providing end treatments for each end of the 48" pipe.
16. The storm pipes are shown with odd lengths. Lengths should match nominal pipe lengths for concrete pipe if possible.
17. No topographic information is shown for the near flared end section #2 to existing discharge ditch. Provide additional topographical data for this area.
18. The existing force main is being extended across the City of Savannah Easement with new 10" force main for future use. The new force main should include casing under the entire easement.
19. The new force main is showing ending near the new right-of-way line. Show the installation of a new cap or plug at the end of the line and a post to mark the location.
20. The existing water is being extended across the City of Savannah Easement with new 12" water line for future use. The new water should include casing under the entire easement. Additionally, review the size of the casing. The casing pipe shown on the plans may be too small.
21. The road length is longer than 700' an only one new fire hydrant is currently shown. Fire hydrant length should not exceed 600'. Provide a minimum of one additional fire hydrant. Also, the location of the fire hydrant shown may change based on the future roadways shown in the masterplan. The additional fire hydrant and currently proposed fire hydrant need to be shown at the right of way line.
22. Currently one construction exit is shown on the erosion plans. Please relocate the construction exit or provide an additional construction exit at the end of the existing asphalt roadway.
23. A note concerning the water main indicates that the contractor needs to evaluate the depth of the water line. The engineer should evaluate the depth of the waterline. Please update this note so that the engineer is in control and that the city is notified of any changes and that the city has time to review the change prior to construction.
24. All unsuitable soil in roadway and/or under utilities, shall be removed and replaced with structural fill. Please update the plan to indicate this requirement.

Should you have any questions, comments, or need additional information please contact us.

Sincerely,


Trent R. Long, P.E.

Pittman Engineering Co., LLC

Post Office Box 822
 Richmond Hill, Georgia 31324
 912-445-0578

February 28, 2022



Mr. Brian Harvey
 City of Port Wentworth
 7224 Georgia Highway 21
 Port Wentworth, Georgia 31407

Re: Mulberry Boulevard Extension
 Responses to Comments

Dear Mr. Harvey:

On behalf of our client, BEP Rice Hope, LLC, please find enclosed the following documents and responses based on the TR Long Plan Review comments. The Plan Review comments are provided first, followed by the responses.

1. The plans do not include any benchmark or control point references. Additionally, the north arrow does not indicate whether project is magnetic or state plane.

All north arrows have been updated to read referenced to indicate state plane north. Additionally, the plans have been revised to include a benchmark and control point.

2. The plans do not include any bearing and distances on the proposed right of way or on the centerline of the roadway. Please show layout information for the right of way and centerline.

Bearings and distances for the proposed right-of-way and proposed road centerline have been added to the layout sheet.

3. A boundary plat showing the new right-of-way will be required to be approved and recorded prior to close out of the project.

Understood, forthcoming from the surveyor after construction is completed.

4. According to the development manual the new section of roadway is required to have curb and gutter.

Curb and gutter have been added to the two intersecting stub roads per the City of Port Wentworth, the boulevard section (Mulberry Blvd.) will continue as a roadside swale section per the City of Port Wentworth.

5. The roadway design starting at station 7+00 to the temporary cul-de-sac does not meet any design standard. (i.e., cul-de-sac) Please provide a masterplan for this area so that the

termination type for this roadway can be evaluate. Roadways with a 90-degree bend as shown are not allowed. The minimum roadway radius in 150-feet.

This is an intersection (continuation) of future Lakeside Drive. Please see masterplan exhibit for future intention and continuation of Mulberry Boulevard and Lakeside Dr. The General layout is shown on Item 14 below. The master plan will be modified to reflect 90 degree intersection.

6. The new roadway is being shown as 31' wide and the side roadway is being shown at 22' wide. Please provide reasoning for the 31' width of pavement. Also please provide justification for the roadway not being 24' in width.

Rice Hope Masterplan called out the roadway widths. Note the ancillary curb cuts have been revised to curb and gutter sections which are 27' back to back dimensions and as verbally instructed by the City of Port Wentworth.

7. The new roadway section is changing from a 2-lane roadway with an island to a 2-lane roadway without an island. The taper length currently shown is not sufficient. We estimate the taper should not be any less than 225 feet if the width is 24-foot wide. ($15' \text{ island width} / 2 \times 30\text{mph} = 225'$)

The taper of the roadway section has been increased to a 250' taper to meet the recommendation.

8. The driveway/roadway intersection located near station 2 + 75 has a centerline curve that extends into the Mulberry Boulevard right of way. Intersections are encouraged to be 90-degrees to the centerline. Variances up to 5 degrees are acceptable. The layout as shown may result in vehicles entering the intersection at an angle greater than allowed. Please realigned this intersection so that the intersecting angle is straight within the right-of-way.

The road centerline radius has been revised so that the road meets the intersection at a 90-degree angle.

9. The plans show minimal striping and signage along the new roadway. Include in the plans the necessary striping, signage and traffic devises required.

White line striping has been added to the plans along with double yellow center lines.

10. All roads shall have a 5' shoulder with a maximum of 4:1 side slope. Several of the storm profiles are not clear is this requirement met. Please verify that the drainage pipes are designed so that the shoulder width and side slope are achieved.

The road section has been revised to have greater than a 5-foot shoulder on each side with maximum slopes of 4:1. Ditches have also been revised to have a 4:1 side slope. Pipe lengths are sufficient.

11. The concrete paving section located around station 0+75 leaves a small sliver of asphalt in the radius of the island that will be hard to install and maintain. Please extend the new concrete paving to include the radius of the island.

The Island Length has been reduced to accommodate the Asphalt Installation.

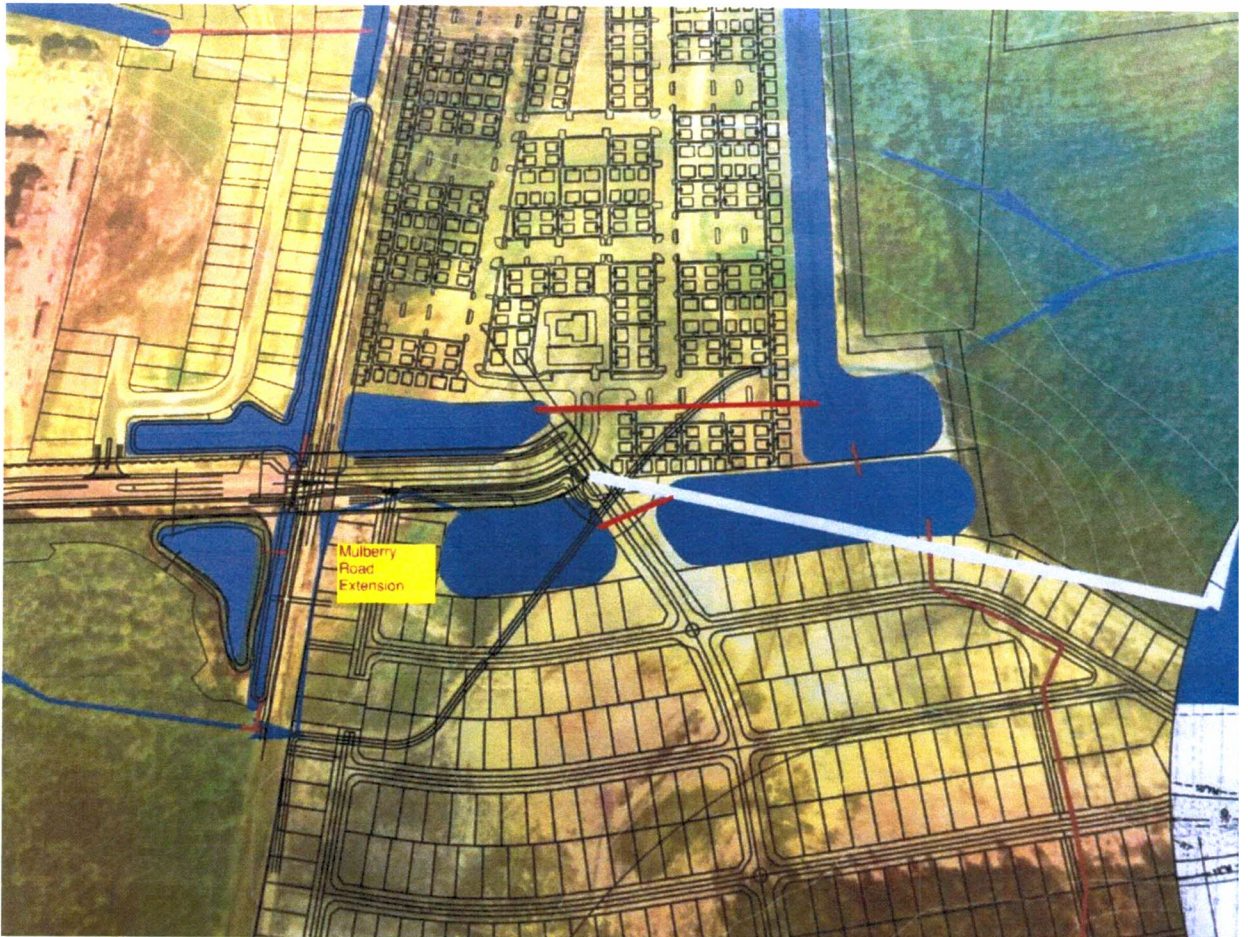
12. The plans show a cross walk at the road intersection. Add handicap ramps where the sidewalk connects to the roadway. Also verify the crosswalk meets ADA requirements and does not exceed the required 2.0% cross slope.

The handicap ramps have been added to the sidewalk at the roadway connection. The sidewalk has also been revised to meet ADA requirements and does not exceed the cross slope of 2%.

13. Several notes indicate the reuse of existing pipe. All pipe removed or demolished as part of construction shall not be reused and installation of all pipes shall be new.

The reuse note of existing pipe has been eliminated. The length of the directional drill has been increased 40 feet under the existing 48" RCP to eliminate the need for r& the 48" RCP.

14. Several of the storm pipes are shown as 15" diameter. The minimum pipe size allowed is 18" diameter. Additionally, provide storm calculations for all the pipe crossings.



15” storm pipes have been increased to 18” reinforced concrete pipes. Also, each of the 18” pipe crossings on the Mulberry Road Extension only includes the road r/w drainage and thus the watersheds are less than 1 acre. The resulting pipe size needs are met with the use of 18” RCP at 0.3% slope. Each watershed flow is 3.6 cfs (25-year storm) and the 18” RCP @ 0.3% slope pipe flow capacity is 6 cfs.

15. Provide storm calculations for the existing 48” pipe crossing near station 0+50 to determine if the size is sufficient prior to constructing the new roadway. Additionally show providing end treatments for each end of the 48” pipe.

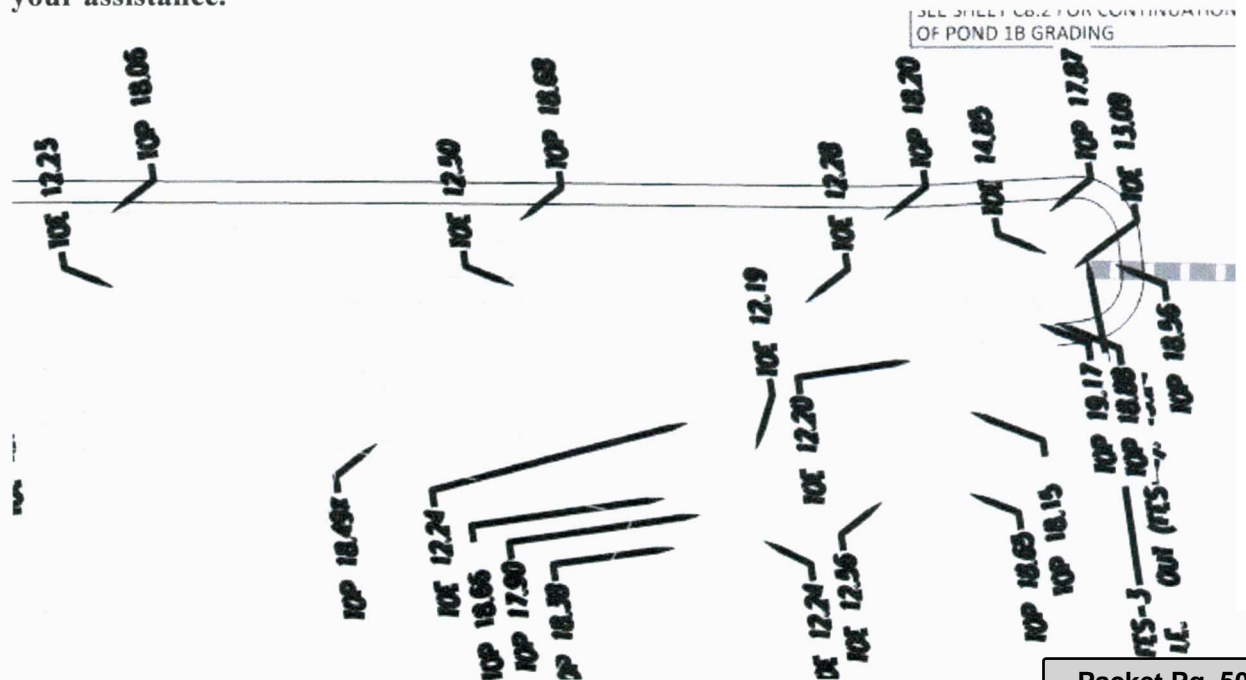
Previously storm calculations designed by Coleman Company were approved by the City of Port Wentworth. Please review previous submittal by others. The extension of the 48” reinforce concrete pipe is to accommodate slope requirements for the shoulder and ditch. Additionally, the 48” pipe has been revised to show flared end treatments at each end.

16. The storm pipes are shown with odd lengths. Lengths should match nominal pipe lengths for concrete pipe if possible.

Some of the pipe lengths have been revised to match nominal pipe lengths, however pipes can have lengths to match design by cutting them in the field.

17. No topographic information is shown near flared end section #2 to existing discharge ditch. Provide additional topographic data for this area.

The two lagoons/ditches to the west of the I&D line are existing. The ditch for the western Mongo development is uniform we have reviewed topographical information from Coleman Plans, that show the ditch/pond to be uniform. A snip is shown for your assistance.



18. The existing force main is being extended across the City of Savannah Easement with new 10" force main for future use. The new force main should include casing under the entire easement.

The City of Savannah is in agreement with the design that has been provided in these construction plans in showing that the casement pipe extends 15' min past the centerline of the I & D water lines each direction. Please note we also modified plans to reflect directional drilling 90' of the force main under the I&D Easement since it will be more cost effective to drill under the existing 48" RCP while also under the double I&D lines.

19. The new force main is showing ending near the new right-of-way line. Show the installation of a new cap or plug at the end of the line and a post to mark the location.

Plug and post note has been added to plans to indicate the location of the end of the 10" force main

20. The existing water is being extended across the City of Savannah Easement with new 12" water line for future use. The new water should include casing under the entire easement. Additionally, review the size of the casing. The casing pipe shown on the plans may be too small.

The City of Savannah agrees with the design that has been provided in these construction plans in showing that the casement pipe extends 15' min past the centerline of the I & D water lines each direction. You are correct about the Casing Size—it needs to be twice the diameter of the carrier pipe; thus a 24" casing is to be installed. Plans were modified.

21. The road length is longer than 700' an only one new fire hydrant is currently shown. Fire hydrant length should not exceed 600'. Provide a minimum of one additional fire hydrant. Also, the location of the fire hydrant shown may change based on the future roadways shown in the masterplan. The additional fire hydrant and currently proposed fire hydrant need to be shown at the right of way line.

An existing fire hydrant is located at the end of the existing road. The proposed fire hydrant has been shifted to a new location so that the coverage length is less than 500' from an existing fire hydrant. Due to the 131' R/W Width, the fire hydrant is located between the sidewalk and the swale and not at the R/W line.

22. Currently one construction exit is shown on the erosion plans. Please relocate the construction exit or provide an additional construction exit at the end of the existing asphalt roadway.

The construction exit has been relocated to the specified location and the Northing/Easting Latitude and Longitude has been updated to reflect this relocation.

Mr. Brian Harvey
Mulberry Road Extension
Page 6

23. A note concerning the water main indicates that the contractor needs to evaluate the depth of the water line. The engineer should evaluate the depth of the waterline. Please update this note so that the engineer is in control and that the city is notified of any changes and that the city has time to review the change prior to construction.

The note has been revised.

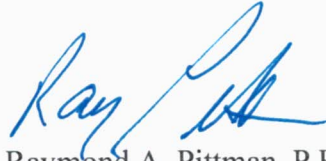
24. All unsuitable soil in roadway and/or under utilities, shall be removed and replaced with structural fill. Please update the plan to indicate this requirement.

A note has been added to the plan sheets to reflect this comment.

Thank you in advance for your review of the submitted documents. If you have any questions, or comments, or require any additional information, please do not hesitate to call me at 912-210-3259.

Sincerely,

PITTMAN ENGINEERING CO. LLC



Raymond A. Pittman, P.E.

Tuesday, March 1, 2022 8:22:37 AM

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CONSTRUCTION PLANS FOR MULBERRY BOULEVARD EXTENSION

RICE HOPE SUBDIVISION

PORT WENTWORTH,
CHATHAM COUNTY,
GEORGIA

PREPARED FOR:
BEP RICE HOPE LLC

DECEMBER 21, 2021

JOB NUMBER: 21-252

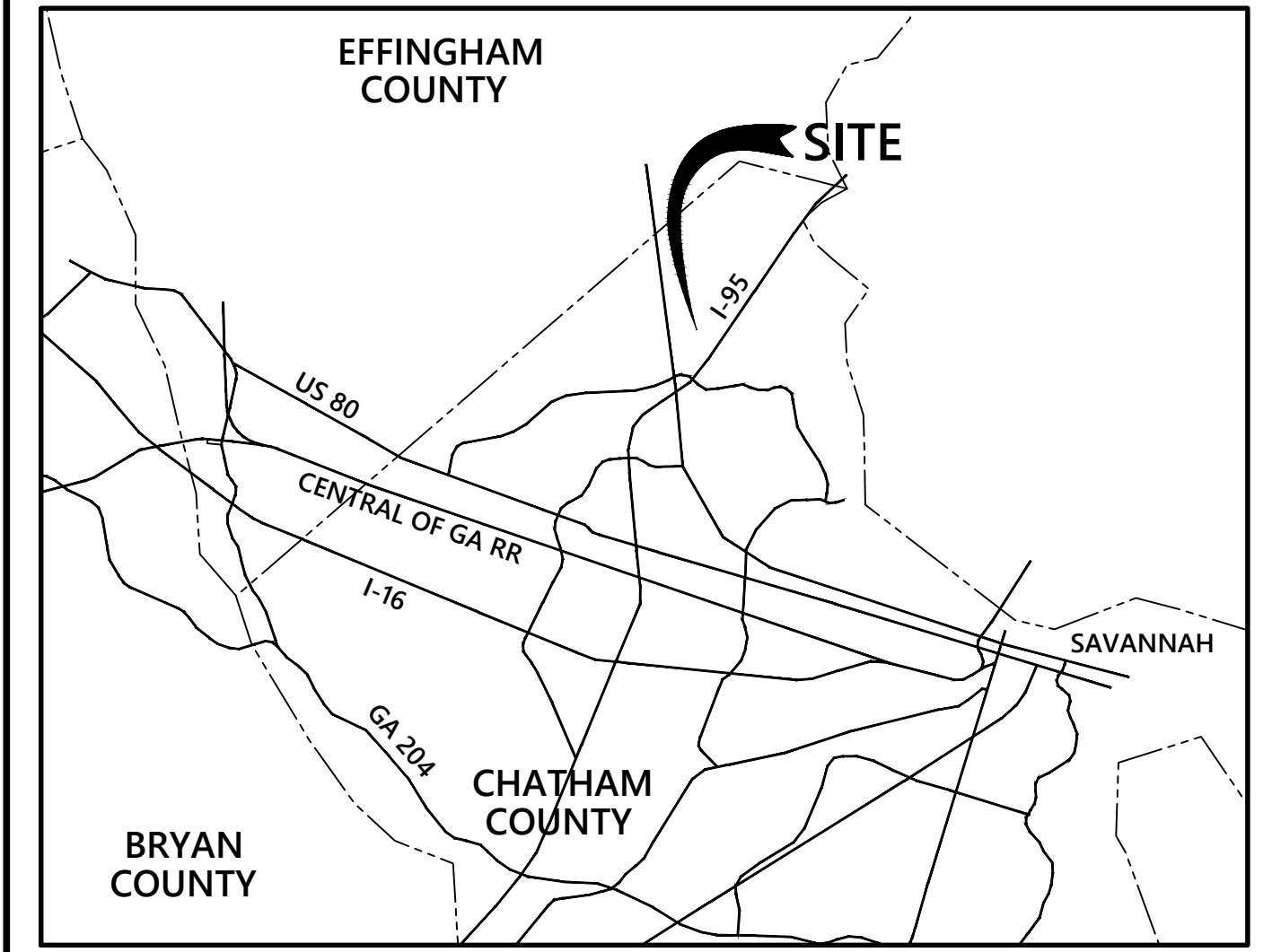
PREPARED BY:
Pittman Engineering Co., LLC



RAY A. PITTMAN, P.E.
GSWCC LEVEL II
DESIGN PROFESSIONAL
CERTIFICATION #12469



Know what's below.
Call before you dig.



VICINITY MAP

Sheet List Table

SHEET NUMBER	SHEET TITLE
C0	COVER SHEET
C0.1	GENERAL NOTES
C1.1	EXISTING CONDITIONS PLAN
C1.2	LAYOUT, SIGNAGE & STRIPING PLAN
C2.1	WATER & SEWER PLAN
C2.2	WATER & SEWER PROFILE
C2.3	ROAD PLAN AND PROFILE
C3.1	CONSTRUCTION DETAILS
C3.2	CONSTRUCTION DETAILS
C3.3	CONSTRUCTION DETAILS
C3.4	CONSTRUCTION DETAILS
EC1.1	ES&PC PLAN - INITIAL
EC2.1	ES&PC PLAN - INTERMEDIATE
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EC4.1	EROSION & SEDIMENT CONTROL NOTES
EC4.2	EROSION & SEDIMENT CONTROL NOTES
EC4.3	EROSION & SEDIMENT CONTROL NOTES
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REVISION LISTING

REV. NO.	REVISION	BY	DATE
1	REVISED PER CITY OF PORT WENTWORTH COMMENTS	JAF	2/10/22

PITTMAN ENGINEERING
2591 Hwy 17S Suite 303
Richmond Hill, GA 31324
912-445-0578
www.PittmanEngineeringCo.com

Attachment: MULBERRY BLVD EXTENSION SPECIFIC SITE PLAN MAR 22 - Site Plan 2.10.22 (2615 : Site Plan Review (Specific) Mulberry Blvd Extension 7-0906-04-091 & 7-0906-04-063)

Tuesday, March 1, 2022 9:22:41 AM
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GENERAL NOTES:

OWNER/DEVELOPER:
SCOTT DECAIN
BEP RICE HOPE, LLC
4800 HAMPDEN LANE, SUITE 200
BETHESDA, MARYLAND 20814
(301) 915-0460
redmondconst@bellsouth.net

ENGINEER:
PITTMAN ENGINEERING CO., LLC
2591 HWY 17S SUITE 303
RICHMOND HILL, GA 31324
912-445-0578
www.PittmanEngineeringCo.com

SITE DATA:
ZONE: PUD
TOTAL PROJECT ACREAGE: 2.66 AC.
DISTURBED AREA: 2.66 AC.
FLOOD MAP: 13051C0030G
FLOOD ZONE: X

SURVEY INFORMATION:

THE TOPOGRAPHIC INFORMATION:
ALL ELEVATIONS BASED ON NAVD88

CONSTRUCTION NOTES & LEGEND

- General Notes:
1. All elevations are based on NAVD88
2. Existing utility locations shown are generally schematic in nature and may not accurately reflect the size and location of each particular utility. Contractor shall field verify location of all existing utilities prior to beginning construction.
3. Contractor is responsible for coordination with utility companies and adjustment of existing sanitary sewer cleanouts, manholes, water meters, storm inlets, manholes, and any other appurtenances to final grade as required.
4. Contractor is responsible for worksite safety. Occurrences at worksite shall be the complete responsibility of the contractor.
5. The contractor shall not begin construction until the proper permits have been issued.
6. The contractor shall be responsible for locating all existing utilities prior to beginning construction activities and for avoiding all conflicts with the same. Any damage to existing utilities shall be repaired at the contractor's expense.
7. The contractor shall completely clear and grub all areas within the limits of disturbance unless indicated otherwise.
8. All construction shall conform to the City of Port Wentworth Ordinances.
9. Contractor shall coordinate construction activities with local utility companies and adjacent property owners. Contractor shall be responsible for protection and any necessary repairs to existing utility lines.
10. Three days notice to city and local utility companies is required prior to each different construction activity.
11. Control of stormwater and groundwater throughout the construction period shall be the responsibility of the contractor. Existing drainage is not to be impeded during construction. All penalties, claims and fees imposed on owner as a result of damage caused by actions of the contractor, his employees or subcontractors shall be borne in full by the contractor. Storm drainage conveyance shall not be impeded and dewatering may be required for the contractor. These are considered "Means and Methods," and any and all cost associated with this activity shall be included in the respective pay category.
12. Contractor shall be responsible for repairs of damage to any existing infrastructure including but not limited to roads, sidewalk, curb & gutter, landscaping, structures, and all existing conditions.
13. All signs, mail boxes, shrubbery, fences, landscaping or existing structures interfering with construction shall be removed and replaced by the contractor at the contractor's expense.
14. Contractor shall be solely responsible for all construction means, methods, techniques, and procedures and shall at all times take all reasonable safety precautions for the safety of its employees on the project and shall comply with all applicable provisions of federal, state, and municipal safety laws and building construction codes.
15. Contractor shall comply to the fullest extent with the latest standards or OSHA directives or any other agency having jurisdiction for excavation and trenching procedures. The contractor shall provide support systems, sloping, benching and other means of protection. This shall include, but not be limited to, access and egress from all excavation and trenching. Contractor is responsible for his job site to be in complete compliance with all regulatory requirements.
16. All construction debris shall be removed from the site and disposed of in an approved waste disposal area. The contractor shall be responsible for disposal of all construction debris.
17. Contractor must provide proper traffic control devices for construction in accordance with "Manual of Uniform Traffic Control Devices" (latest edition).
18. Only new Reinforced Concrete Pipe Class III, shall be used in city road rights-of-ways or for drainage systems or if any storm runoff from adjoining properties drain through the proposed project.
19. Pipes up to thirty-six inches in diameter shall have flared end sections.
20. Pipes of dissimilar size shall be vertical aligned with their energy grade line or shall have crowns of the pipe converge at a manhole or other structure.
21. All pipe joints, in addition to the required rubber gaskets, shall be covered with approved geo-textile material of sufficient width to be secured to the pipe and completely encircle the joint with 50% overlap.
22. All pipe that crosses a road shall be imbedded in suitable material compacted to minimum 100% standard proctor. Suitable materials are GW, GP, GM, GC, SP, or SW soils as classified under the Unified System.
23. All stormwater inlets structures shall be of the standard design and shall have inverts built in bottoms.
24. Swales shall have a 5:1 side slopes or flatter.
25. All PVC pipe shall be stored out of the sunlight or appropriately covered with a UV resistant cover. All PVC pipe shall be properly supported so "sagging" of the pipe doesn't occur during storage. Any PVC pipe showing UV degradation or sagging shall be removed and replaced at the contractor's expense.

- Staking Notes:
1. All dimensions are to the edge of pavement unless shown otherwise on the plans.
2. Layout for manholes, inlets, etc., is not shown on this plan.
3. The contractor shall verify existing benchmarks shown on the plans to establish vertical control on the site. The contractor shall be responsible for protecting these from unauthorized removal or replacement of benchmarks. When a permanent benchmark is located such that it must be removed to complete the project, the contractor shall establish such temporary benchmarks as he may require prior to removing the permanent benchmark. The contractor shall provide the location, identification and elevation of any temporary benchmark established to the owner and engineer.

- Paving, Grading and Drainage Notes:
1. The contractor shall be responsible for locating all existing underground utilities prior to beginning construction activities and for avoiding all conflicts with the same. Any damage to existing utilities shall be repaired at the contractor's expense.
2. Contours shown on these plans are for general guidance and informational purposes. The contractor shall grade the site in accordance with spot elevations shown. In cases of conflict between spot elevations and contours the spot elevations will govern.
3. Load-bearing and structural fills shall be approved suitable material as defined in the project specs, geotechnical report, Georgia Department of Transportation specifications and International Builder's Code. The most stringent requirement shall be adhered to. Waste material may be used for flushing of shoulder or construction of pedestrian or landscaped areas if they can be stabilized and will support plant growth and meet the required degree of compaction.
4. Contractor shall be responsible for ensuring proper drainage of any areas which are field adjusted during construction.
5. See details for requirements for control, construction and expansion joints in concrete sidewalks and curb and gutter.
6. Standard curb and gutter will be used where the drawings indicate that the gutter is to carry water. Pitched curb and gutter will be used where the drawings indicate the water will drain away from the gutter. Transitions between the two conditions shall be made as smoothly as possible.
7. Invert elevations shown on the plans are to the invert of the lowest pipe.
8. All storm drainage pipe shall be Class III Reinforced Concrete Pipe.

- Signage and Striping Notes:
1. All traffic control measures shall conform to the latest edition of the "Manual on Uniform Traffic Control Devices." The manual identification and dimensions are shown on staking sheets for each required sign. The orientation of each sign from an approaching driver's point of view is also shown. Sign and support post material and installation shall conform to the pertinent sections of the current edition of the Georgia Department of Transportation specifications (latest edition).
2. Street name markers are required at all intersections.

- Water and Sewer Notes:
1. The contractor shall be responsible for locating all existing underground utilities prior to beginning construction activities and for avoiding all conflicts with the same. Any damage to existing utilities shall be repaired at the contractor's expense.
2. All water and sewer connections to existing active systems are to be coordinated with PORT WENTWORTH Engineering and Public Works Departments a minimum of 72 hours prior to construction activities. Any damage to existing County utilities shall be repaired immediately at the Contractor's expense.
3. All construction shall be in accordance with the City of Port Wentworth Ordinances.
4. All water main pipe shall be AWWA C-900 Pressure Rated Pipe, Pressure Class 150, with dimension ratio 18 or lower and blue. If Ductile Iron water mains are necessary, they shall be Pressure Class 350, with cement interior lining in accordance with the latest revision of ANSI A-21.4 (AWWA C-104) and asphaltic exterior coating. The water service laterals shall be Polyethylene PE 3408 SDR 9 conforming to all requirements of AWWA C-901 and ASTM D-2737 latest revisions.
5. All sanitary sewer pipe shall be PVC and green, ASTM D-3034, SDR-26.
6. Minimum slope of 4-inch sewer laterals shall be 1.0%.
7. All PVC Water Main shall be blue and all PVC Sewer shall be green.
8. Sewer pipe deflection shall not exceed 5.0%. Deflection shall be verified using a spherical or cylindrical mandrel with a diameter no less than 95% of the inside pipe diameter.
9. All manhole and inlet castings shall be American made. Manufacturer's specification sheets shall be submitted for review and approval.
10. Manhole frame heights outside of paved areas shall be a minimum of 0.2 feet above finished grade.
11. Pipe, fittings, valves, and other accessories shall, unless otherwise directed, be unloaded at the point of delivery and stored where they will be protected and will not be hazardous to traffic. They shall at all times be handled with care to avoid damage. The interior of all pipes, fittings and other accessories shall be kept free from dirt and foreign matter at all times.
12. All water main and water lateral thrust restraint shall be handled by use of joint restraint/mechanical joints equivalent to Ebag Iron Megalug or push-on joint type restrained joints equivalent to Lok-Ring, TR Flex, or Super Lock. Concrete thrust block shall not be allowed.
13. All water mains shall have a minimum cover of 3 feet and a maximum cover of 5 feet measured from finished grade. Where the water main crosses other utility lines, the water main shall be installed 18" (pipe to pipe) below the other utility lines (if required) to avoid conflicts and maintain cover.
14. Maintain a minimum horizontal separation of 10 feet between water, sewer, and drainage lines unless otherwise shown.
15. When pipe laying is not in progress, a mechanical joint plug or cap will be used to form a water tight seal at both ends of the line being installed.
16. The following procedure shall be followed during flushing of the lines prior to connection to the water system:
a. Flush the water mains using a full size flush having a minimum velocity of 2.5 feet per second.
b. Continue flushing for a minimum time period of thirty minutes or until water line is purged of foreign matter and water runs clear.
9. All water used for construction, if obtained from an unmetered line, must be metered through an approved fire hydrant meter with a backflow prevention device obtained from the municipality's water department.
10. Water distribution pipe shall have a #12 Gauge Solid Copper Tracing Wire installed along its length, including laterals up to the meter or backflow preventer.
11. All connections of the #12 Gauge Solid Copper Tracing Wire shall be made with 3m brand splice kits.
12. Mylar detectable warning tape shall be installed in sanitary sewer trenches or as required by city.
13. Gate Valves & Valve Boxes: Gate Valves shall be cast iron or ductile iron body, bronze mounted, double disc, or resilient wedge design, with non-rising stems conforming to AWWA C-500, C-509, or C-515. Valves shall have a working pressure of 200 psi, and be tested at 400 psi.
14. Hydrants shall be Mueller or approved equal with traffic yellow enamel finish and be equipped with a 4-1/2" outlet facing the street side with two 2-1/2" outlets on either side. Hydrants shall be restrained with mechanical joint fittings and rodded. Hydrant legs shall be ductile iron pressure class 350 pipe. Tracer wire shall be extended along hydrant legs, to hydrant isolation valves and up outside of valve box, and shall also extend up hydrant base terminating above grade.

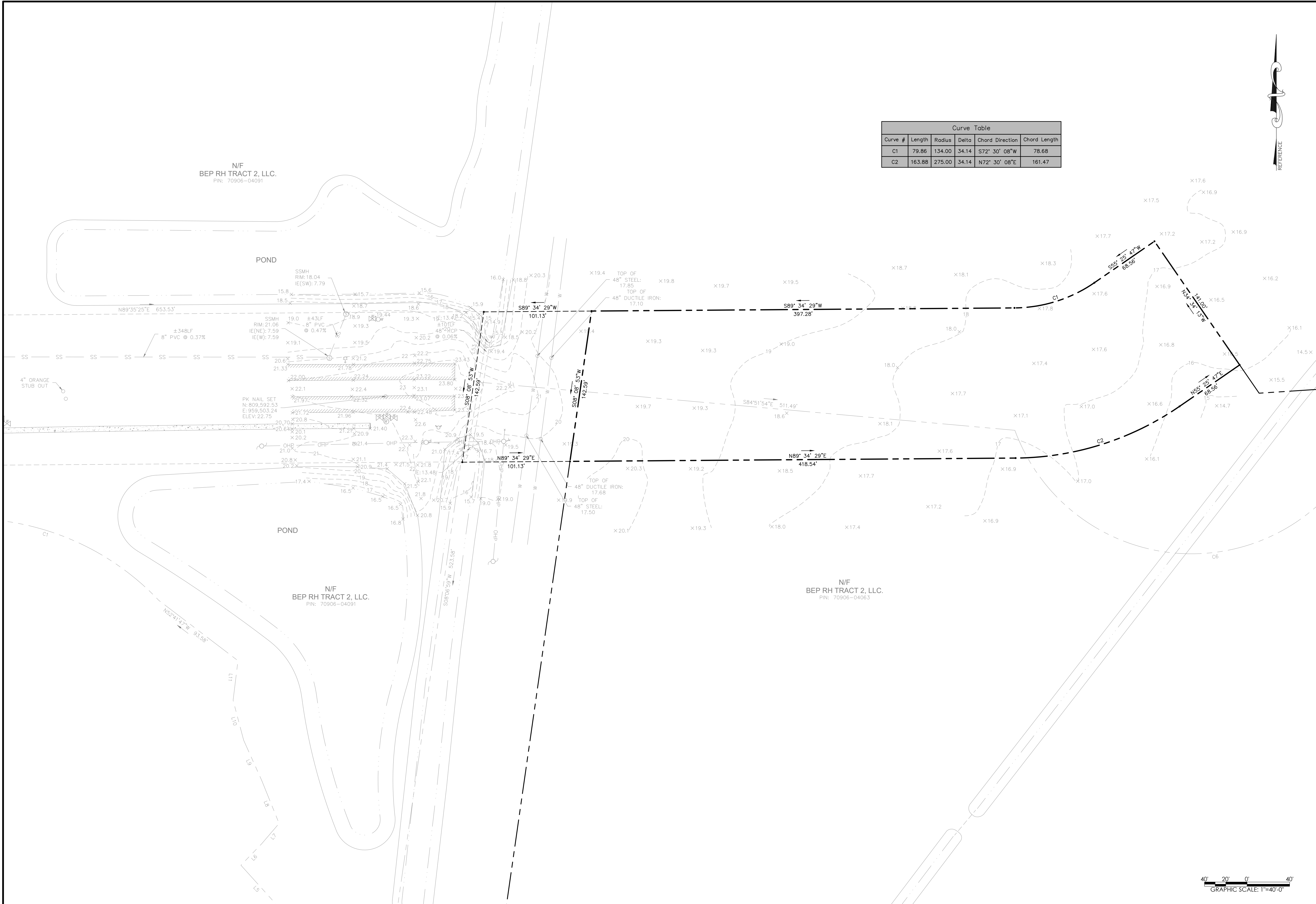
- Special Notes:
1. All earthworks for roadways shall be in accordance with Georgia Department of Transportation requirements.
2. The engineer shall make periodic site visits to observe construction of the project infrastructure and furnish an engineer's letter of completion with qualifiers at project close-out.
3. All sidewalks shall have no more than 2% cross slope, including driveway crossings.
4. All earthworks for lot areas and building pads shall be in conformance with the geotechnical report prepared for owner by others. The contractor shall request this report from the owner if it has not been furnished in the bid documents. Any recommendations contested by the contractor shall be submitted to the owner prior to commencing. Failing to notify the owner and resolving any conflicts, the contractor will be considered to have proceeded at their own risk and expense.
5. Contractor shall furnish as-built data for the water, sewer and storm lines which are to be stamped by a registered land surveyor registered in the state of Georgia. The survey shall be delivered in AutoCAD format and be in compliance with the city requirements.
6. The roads and drainage in this project are public and shall be owned and maintained by City of Port Wentworth.

LEGEND
LINE STYLES: CENTER LINE, DEMOLITION/ABANDONMENT, CONSTRUCTION LIMITS, PROPOSED OVERHEAD COMMUNICATION, EXISTING OVERHEAD COMMUNICATION, PROPOSED UNDERGROUND COMMUNICATION, EXISTING UNDERGROUND COMMUNICATION, PROPOSED OVERHEAD ELECTRICAL, EXISTING OVERHEAD ELECTRICAL, PROPOSED UNDERGROUND ELECTRICAL, EXISTING UNDERGROUND ELECTRICAL, PROPOSED FORCE MAIN, EXISTING FORCE MAIN, PROPOSED NATURAL GAS MAIN, EXISTING NATURAL GAS MAIN, PROPOSED NON-POTABLE WATER, EXISTING NON-POTABLE WATER, PROPOSED SANITARY SEWER, EXISTING SANITARY SEWER, PROPOSED WATER MAIN, EXISTING WATER MAIN, RIGHT OF WAY, PROPERTY LINE, LIMITS OF FILL, WELDED WIRE FABRIC, TREE LINE, RAIL ROAD, DRAINAGE CHANNEL, SILT FENCE, PROPOSED FENCE, EXISTING FENCE, GAURD RAIL, BREAK LINE, STREAM BUFFER, LIMITS OF 100 YEAR FLOOD PLANE, SOIL BOUNDARY, PROPOSED MAJOR CONTOUR, EXISTING MAJOR CONTOUR, PROPOSED MINOR CONTOUR, EXISTING MINOR CONTOUR.
PATTERNS: POROUS, BLOCK WALL, BRICK WALL, CONCRETE (PLAN), CONCRETE (SECTION), ASPHALT (PLAN), ASPHALT (SECTION), GRATING, GROUT, RIP-RAP, GRAVEL, SWAMP, UNDISTURBED EARTH, DISTURBED EARTH, SAND, ROCK.
VEGETATION: GENERIC TREE, DECIDUOUS TREE, CONIFEROUS TREE, DECIDUOUS SHRUB, CONIFEROUS SHRUB.
LEGEND: CENTER LINE, FIRE HYDRANT, WATER MANHOLE, WATER METER, SANITARY SEWER MANHOLE, GREASE TRAP, STORM DRAIN MANHOLE, COMMUNICATION MANHOLE, COMMUNICATION VAULT, UTILITY POLE, IN LINE VALVE, HORIZONTAL CONTROL POINT, GUY WIRE, ELECTRICAL MANHOLE, BENCHMARK, VALVE IN MANHOLE, GRATE INLET.

RAY A PITTMAN, P.E.
GSWCC LEVEL II
DESIGN PROFESSIONAL
CERTIFICATION #12469
PITTMAN ENGINEERING
2591 Hwy 17S Suite 303
Richmond Hill, GA 31324
912-445-0578
www.PittmanEngineeringCo.com
GENERAL NOTES
MULBERRY BOULEVARD EXTENSION
RICE HOPE
Prepared For
BEP RICE HOPE LLC
Project No. 21-252
Drawn By: MCS
Designed By: MCS
Checked By: RAP
Scale: 1"=40'
Date: 12/21/21
SHEET
C0.1

Tuesday, March 1, 2022 9:22:45 AM

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Curve Table					
Curve #	Length	Radius	Delta	Chord Direction	Chord Length
C1	79.66	134.00	34.14	S72° 30' 08"W	78.68
C2	163.88	275.00	34.14	N72° 30' 08"E	161.47

REFERENCE

REV	REVISIONS	BY	DATE
1	REVISED PER CITY OF PORT WENTWORTH COMMENTS	JAF	2/10/22

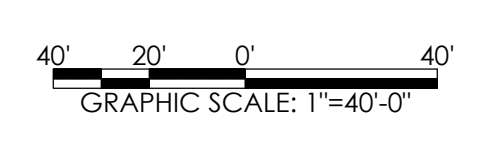
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EXISTING CONDITIONS PLAN
MULBERRY BOULEVARD EXTENSION
 RICE HOPE
 Prepared For
BEP RICE HOPE LLC

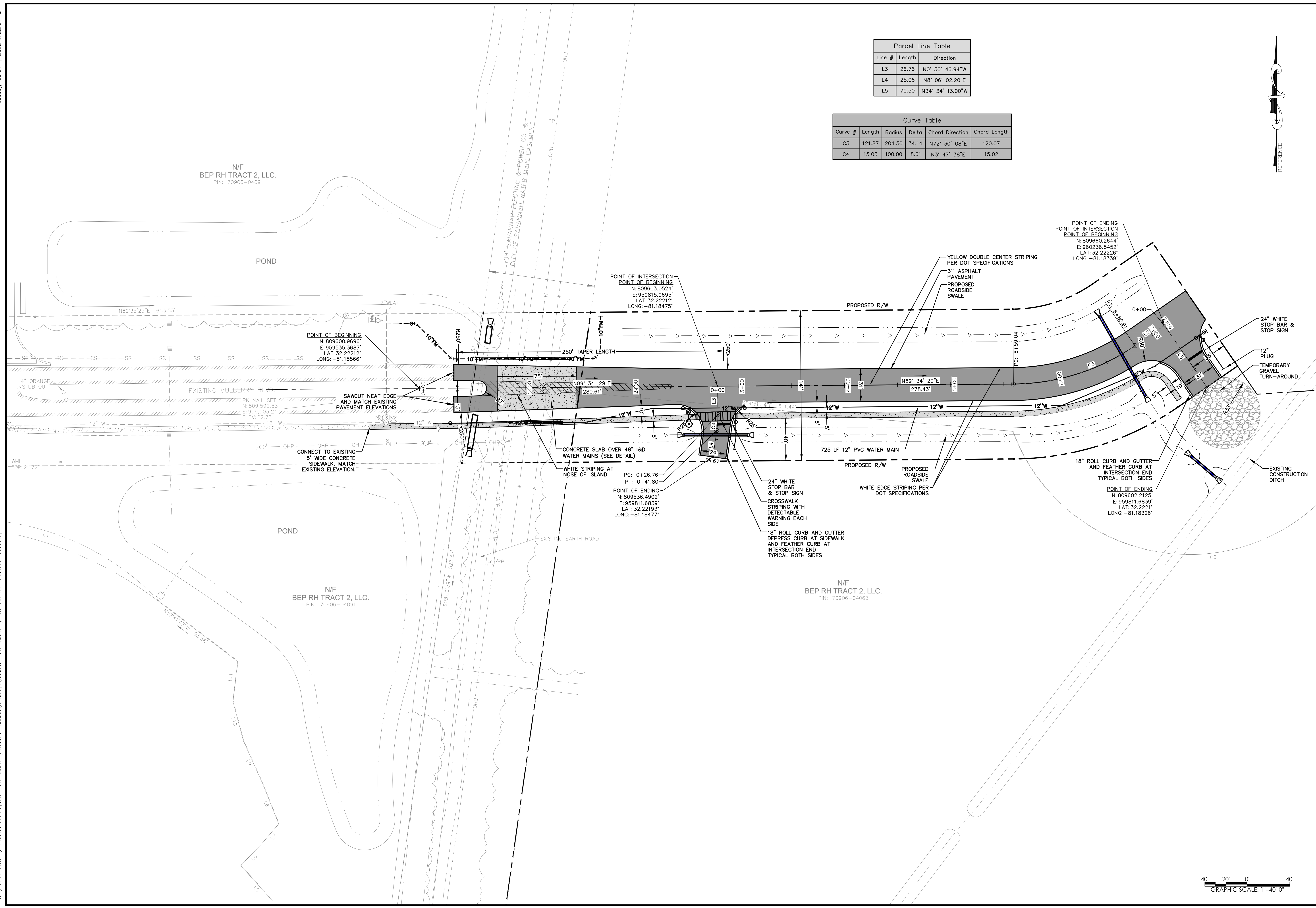
Project No. 21-252
 Drawn By: MCS
 Designed By: MCS
 Checked By: RAP
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 Date: 12/21/21

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C1.1



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Parcel Line Table		
Line #	Length	Direction
L3	26.76	N0° 30' 46.94"W
L4	25.06	N8° 06' 02.20"E
L5	70.50	N34° 34' 13.00"W

Curve Table					
Curve #	Length	Radius	Delta	Chord Direction	Chord Length
C3	121.87	204.50	34.14	N72° 30' 08"E	120.07
C4	15.03	100.00	8.61	N3° 47' 38"E	15.02



REV	REVISIONS	BY	DATE
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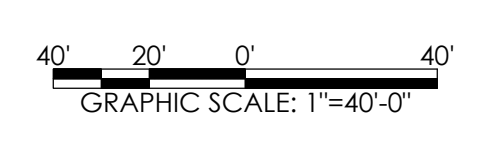
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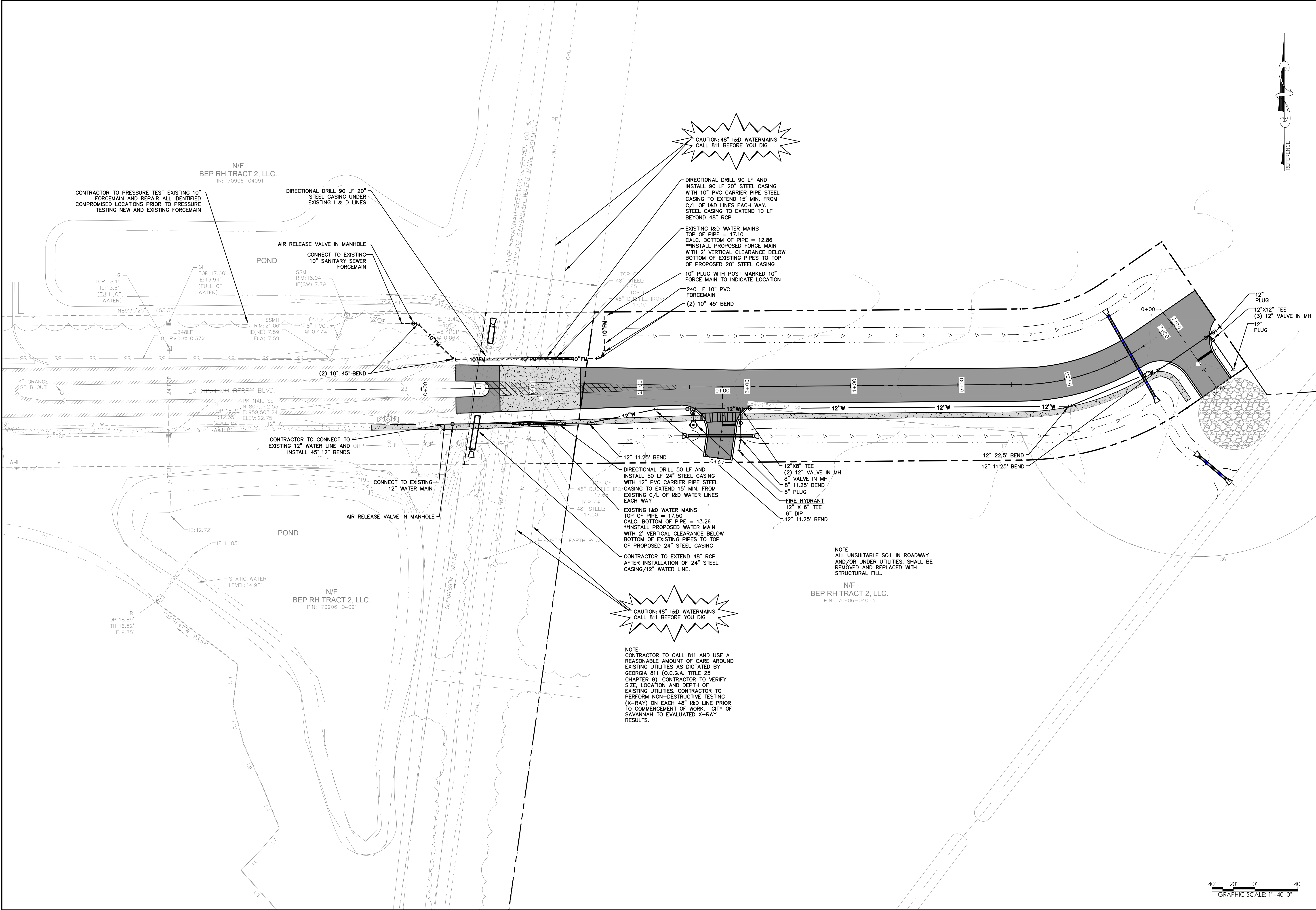
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LAYOUT, SIGNAGE & STRIPING PLAN
MULBERRY BOULEVARD EXTENSION
 RICE HOPE
 Prepared For
BEP RICE HOPE LLC

Project No. 21-252
 Drawn By: MCS
 Designed By: MCS
 Checked By: RAP
 Scale: 1"=40'
 Date: 12/21/21

SHEET
C1.2





CAUTION: 48" I&D WATERMAINS
CALL 811 BEFORE YOU DIG

DIRECTIONAL DRILL 90 LF AND
INSTALL 90 LF 20" STEEL CASING
WITH 10" PVC CARRIER PIPE STEEL
CASING TO EXTEND 15' MIN. FROM
C/O/L OF I&D LINES EACH WAY.
STEEL CASING TO EXTEND 10 LF
BEYOND 48" RCP

EXISTING I&D WATER MAINS
TOP OF PIPE = 17.10
CALC. BOTTOM OF PIPE = 12.86
**INSTALL PROPOSED FORCE MAIN
WITH 2' VERTICAL CLEARANCE BELOW
BOTTOM OF EXISTING PIPES TO TOP
OF PROPOSED 20" STEEL CASING

10" PLUG WITH POST MARKED 10"
FORCE MAIN TO INDICATE LOCATION

240 LF 10" PVC
FORCEMAIN
(2) 10' 45° BEND

12" 11.25° BEND

DIRECTIONAL DRILL 50 LF AND
INSTALL 50 LF 24" STEEL CASING
WITH 12" PVC CARRIER PIPE STEEL
CASING TO EXTEND 15' MIN. FROM
EXISTING C/O/L OF I&D WATER LINES
EACH WAY

EXISTING I&D WATER MAINS
TOP OF PIPE = 17.50
CALC. BOTTOM OF PIPE = 13.26
**INSTALL PROPOSED WATER MAIN
WITH 2' VERTICAL CLEARANCE BELOW
BOTTOM OF EXISTING PIPES TO TOP
OF PROPOSED 24" STEEL CASING

CONTRACTOR TO EXTEND 48" RCP
AFTER INSTALLATION OF 24" STEEL
CASING/12" WATER LINE.

NOTE:
ALL UNSUITABLE SOIL IN ROADWAY
AND/OR UNDER UTILITIES, SHALL BE
REMOVED AND REPLACED WITH
STRUCTURAL FILL.

N/F
BEP RH TRACT 2, LLC.
PIN: 70906-04063

NOTE:
CONTRACTOR TO CALL 811 AND USE A
REASONABLE AMOUNT OF CARE AROUND
EXISTING UTILITIES AS DICTATED BY
GEORGIA 811 (O.C.G.A. TITLE 25
CHAPTER 9). CONTRACTOR TO VERIFY
SIZE, LOCATION AND DEPTH OF
EXISTING UTILITIES. CONTRACTOR TO
PERFORM NON-DESTRUCTIVE TESTING
(X-RAY) ON EACH 48" I&D LINE PRIOR
TO COMMENCEMENT OF WORK. CITY OF
SAVANNAH TO EVALUATED X-RAY
RESULTS.



REV	REVISIONS	BY	DATE
1	REVISED PER CITY OF PORT WENTWORTH COMMENTS	JAF	2/10/22

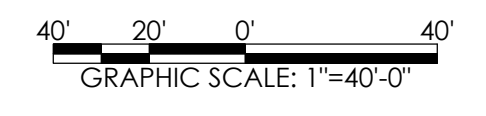
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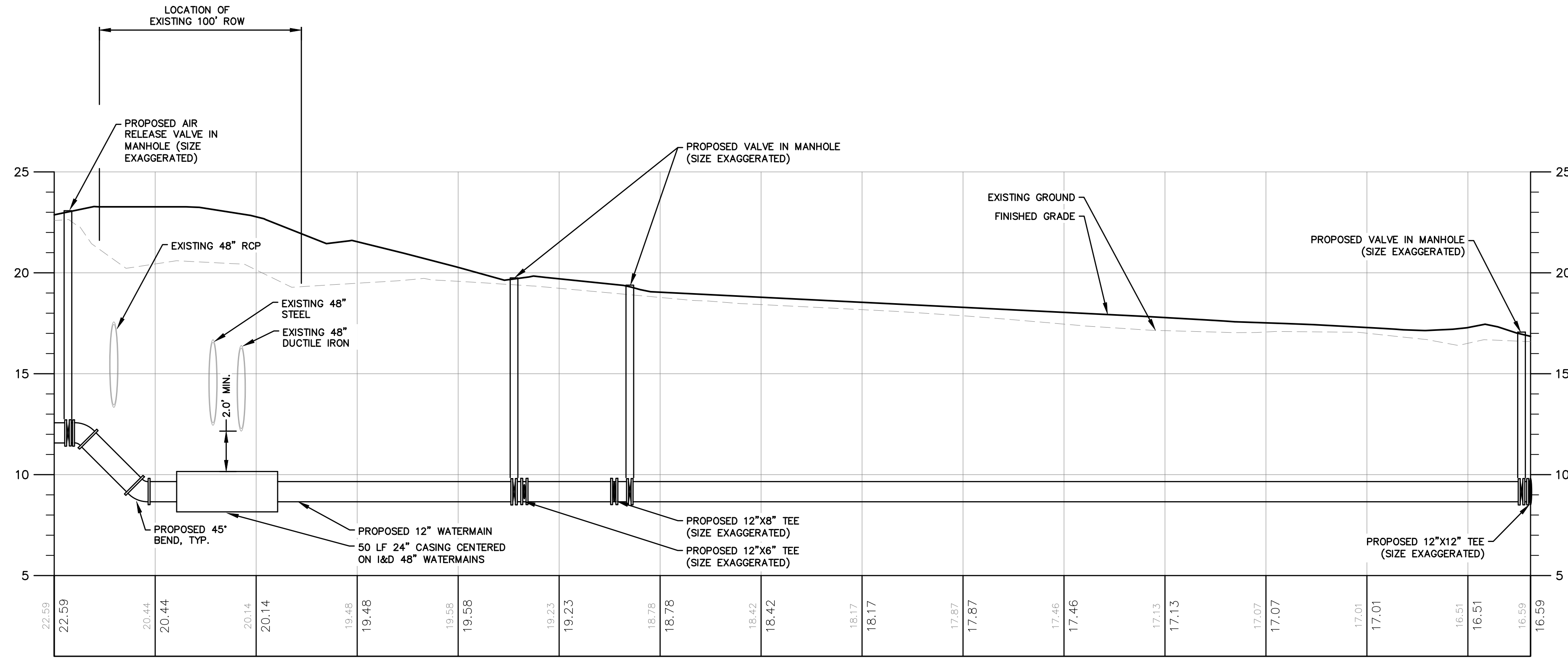
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WATER & SEWER PLAN
MULBERRY BOULEVARD EXTENSION
RICE HOPE
Prepared For
BEP RICE HOPE LLC

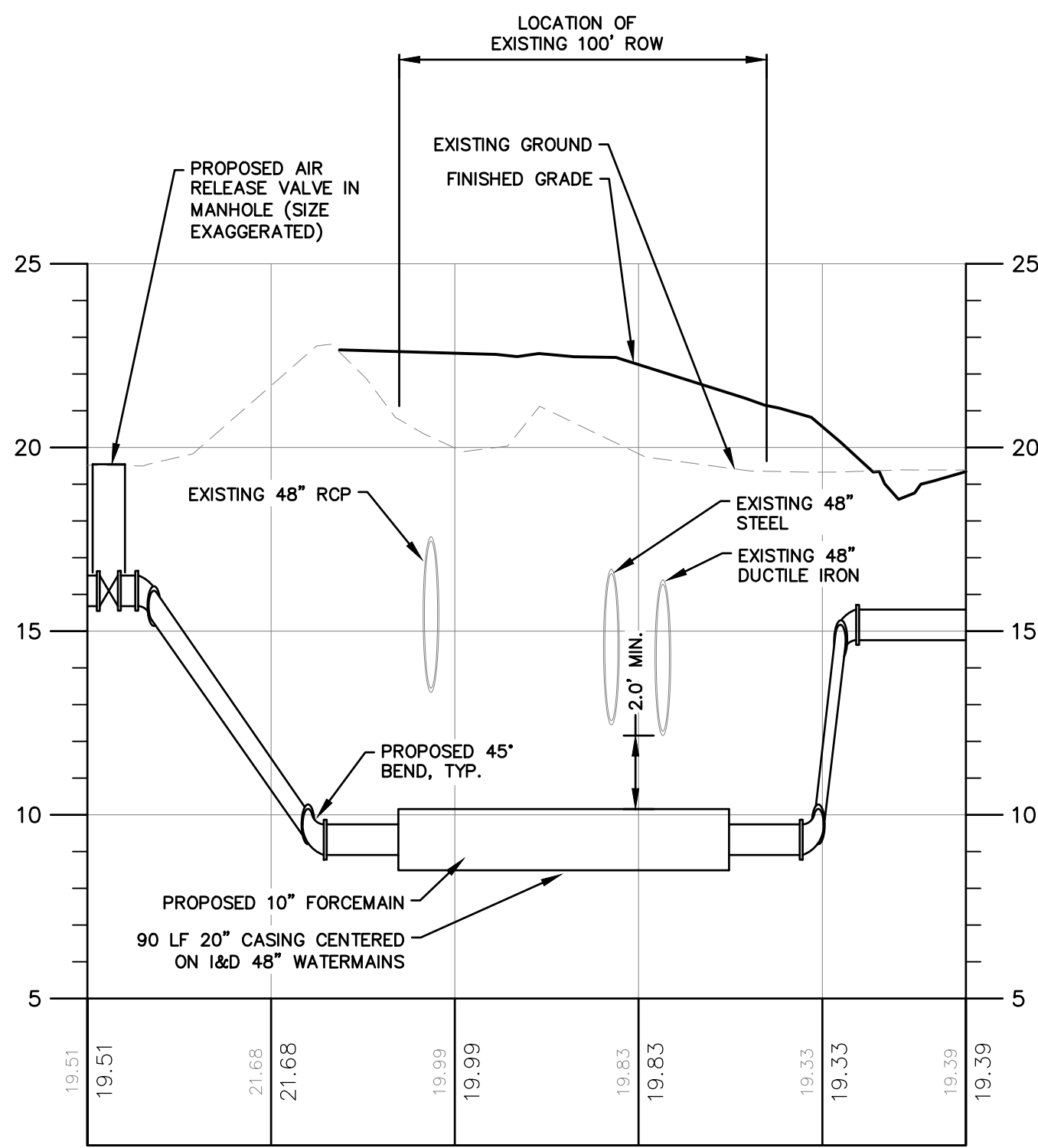
Project No. 21-252
Drawn By: MCS
Designed By: MCS
Checked By: RAP
Scale: 1"=40'
Date: 12/21/21

SHEET
C2.1





WATERMAIN PROFILE
HORIZONTAL SCALE: 1" = 40'
VERTICAL SCALE: 1" = 4'



FORCEMAIN PROFILE
HORIZONTAL SCALE: 1" = 40'
VERTICAL SCALE: 1" = 4'

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C.S. & C.E. LEVEL II
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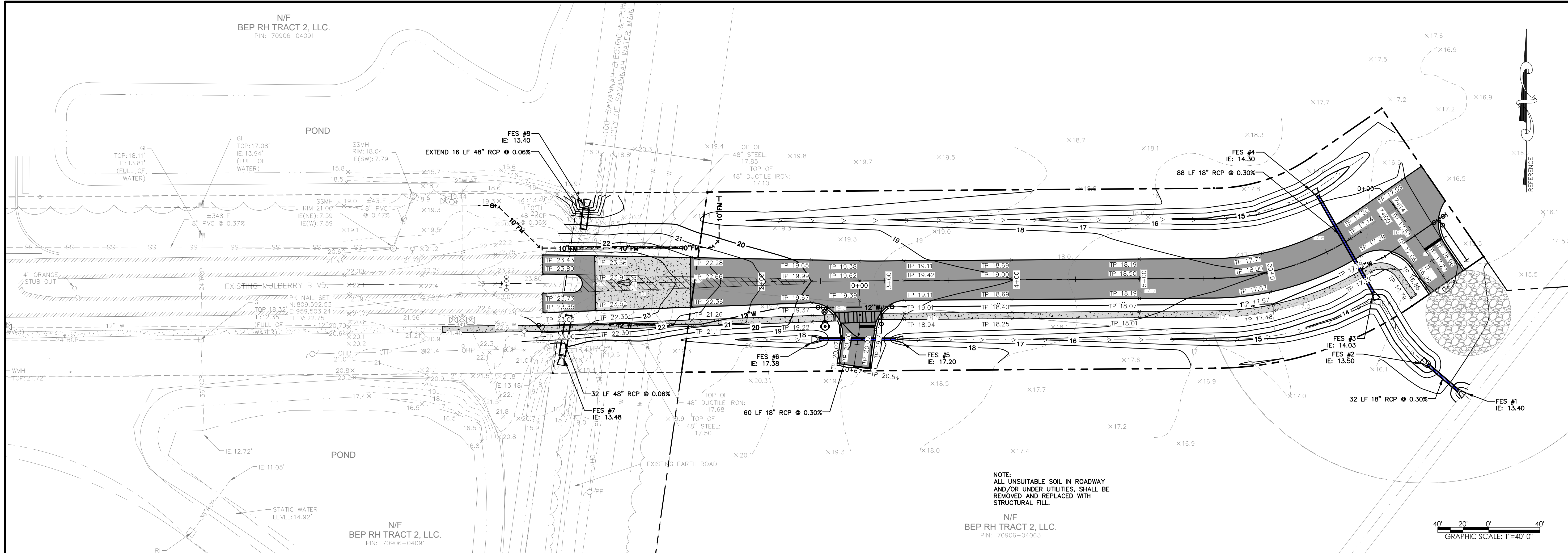
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WATER & SEWER PROFILE
MULBERRY BOULEVARD EXTENSION
RICE HOPE
Prepared For
BEP RICE HOPE LLC

Project No. 21-252
Drawn By: MCS
Designed By: MCS
Checked By: RAP
Scale: 1"=40'
Date: 12/21/21

SHEET
C2.2

Tuesday, March 1, 2022 8:23:07 AM



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CERTIFICATION #12469

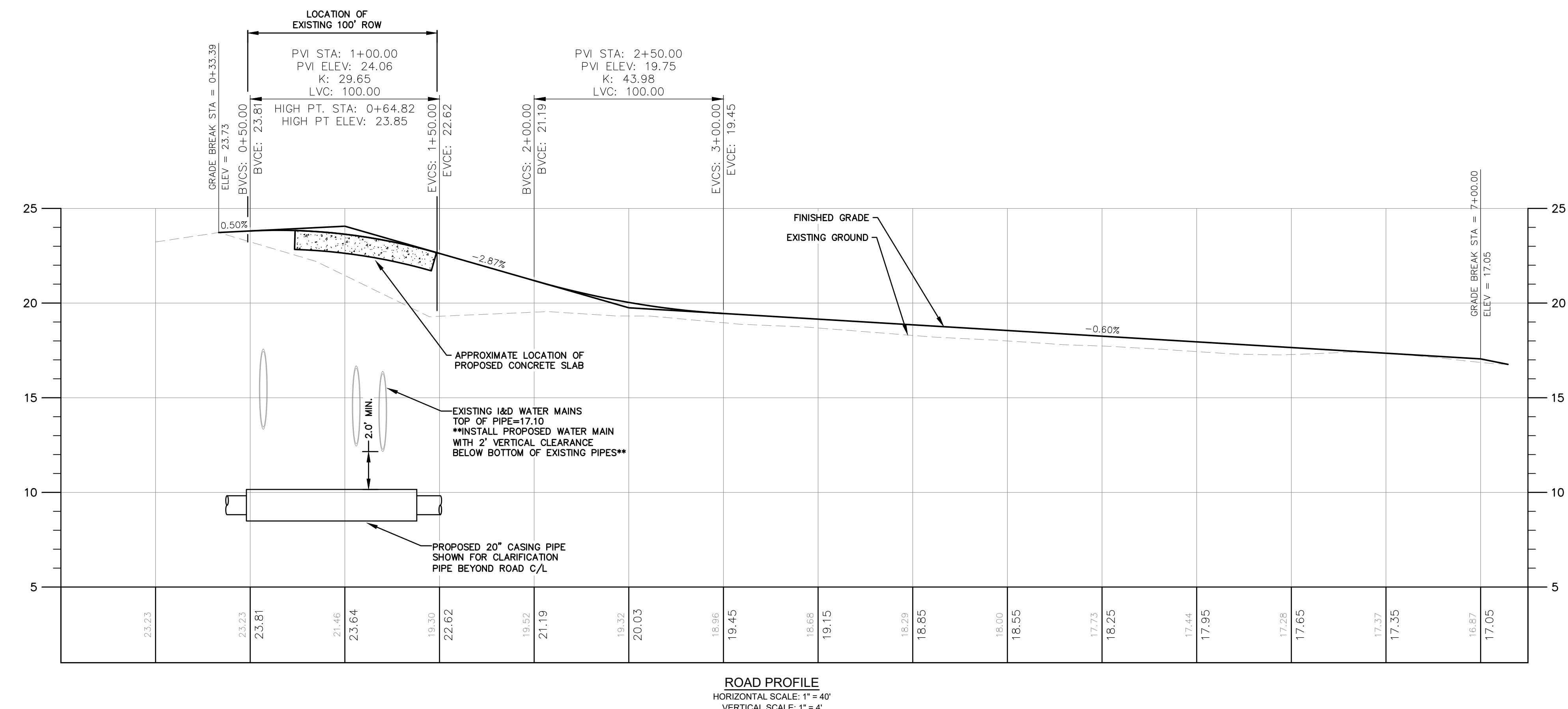
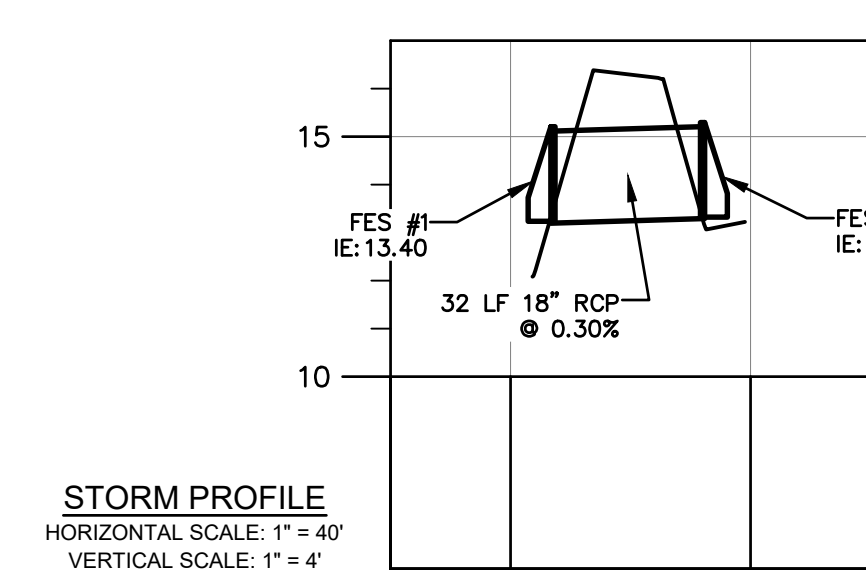
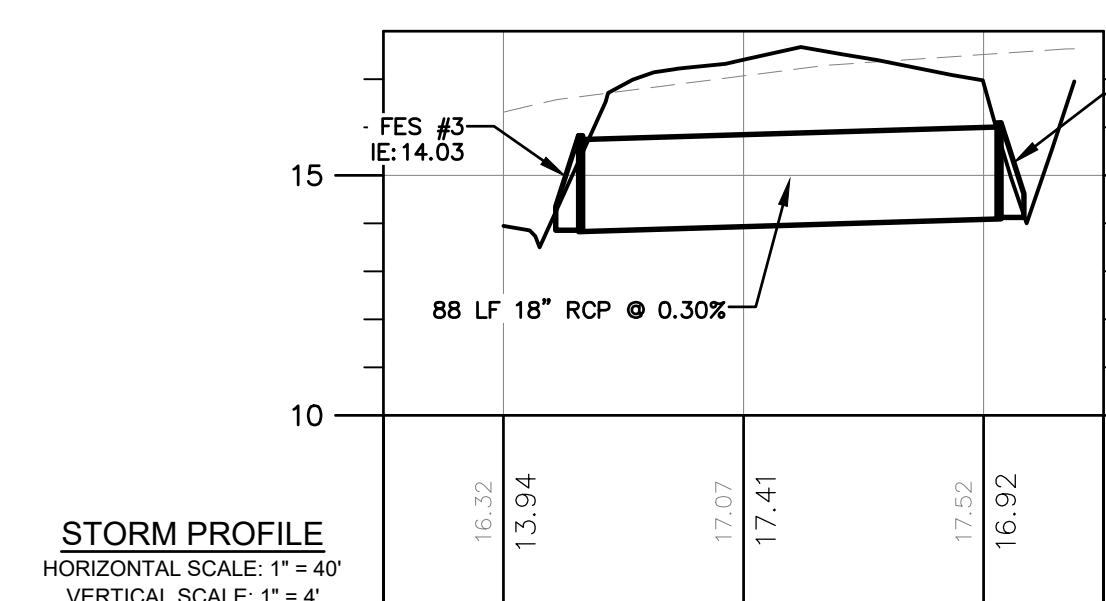
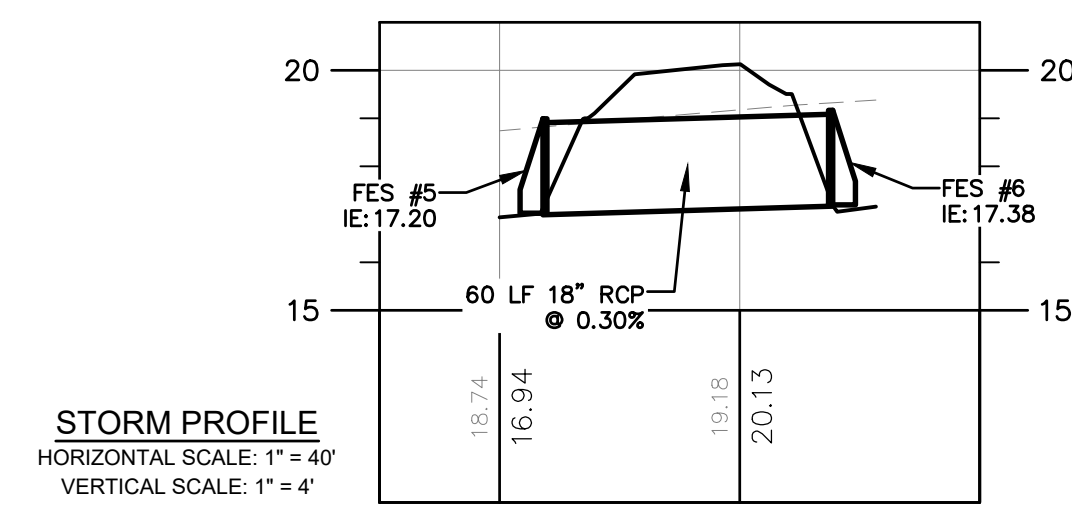
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Richmond Hill, GA 31324
912-445-0578
www.PittmanEngineeringCo.com

ROAD PLAN AND PROFILE
MULBERRY BOULEVARD EXTENSION
RICE HOPE
Prepared For
BEP RICE HOPE LLC

Project No. 21-252
Drawn By: MCS
Designed By: MCS
Checked By: RAP
Scale: 1"=40'
Date: 12/21/21

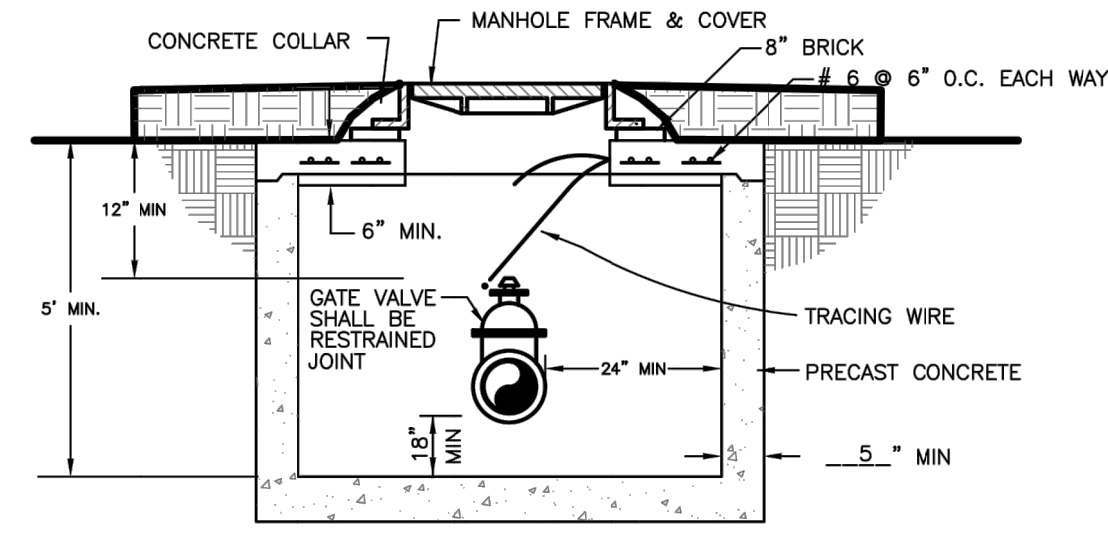
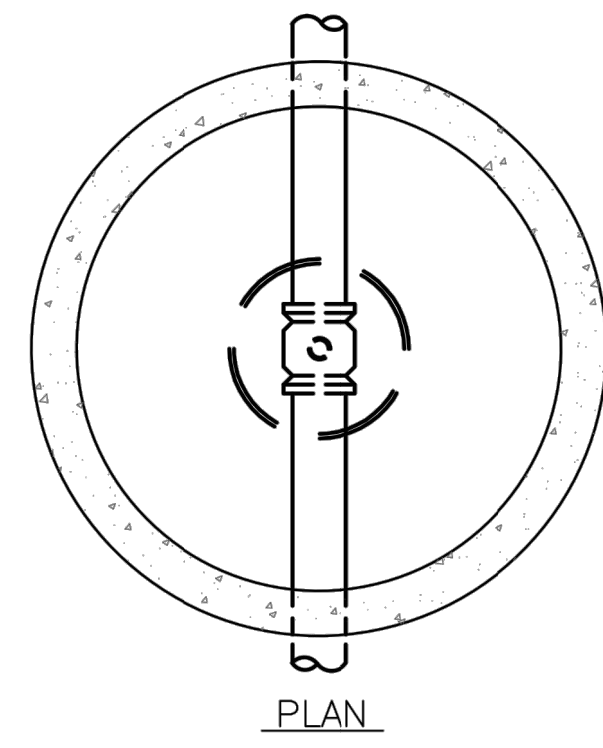
SHEET
C2.3

G:\Shared drives\Projects\Rice Hope\21-252 Mulberry Road Extension\Drawings\Base\21-252 Mulberry Blvd Ext Construction Plans.dwg



NOTES:

1. MANHOLE FRAME AND COVER SHALL BE NEENAH FOUNDRY CO, CATALOG NO. R-1668, TYPE C, LABELED "WATER".
2. THE BOTTOM OF THE MANHOLE FRAME SHALL NOT BE MORE THAN 12" ABOVE THE TOP OF THE MANHOLE STRUCTURE.
3. PRECAST CONCENTRIC CONE RISERS MAY BE USED WHERE REQUIRED FOR DEPTH.
4. THE MANHOLE FRAME AND COVER MUST BE CENTERED OVER THE VALVE.



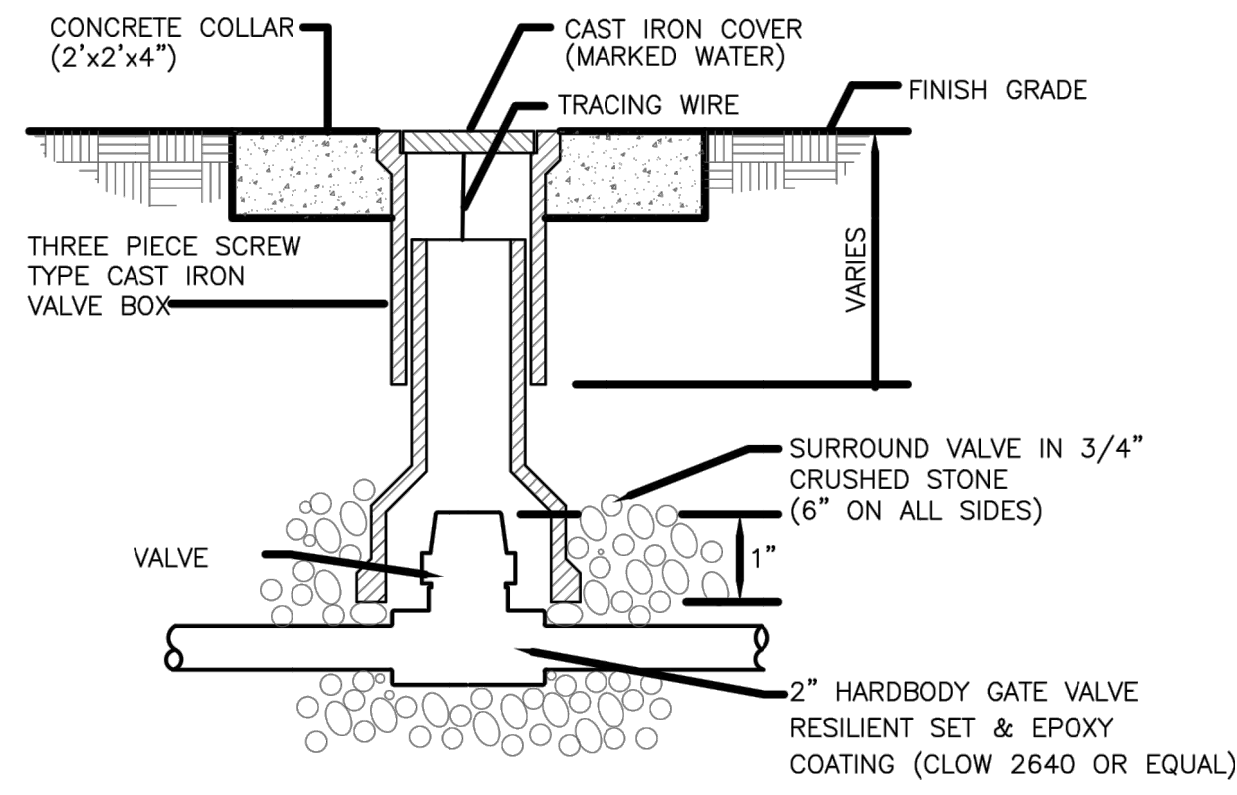
VALVE MANHOLE FOR 8" & GREATER GATE VALVE

City of Port Wentworth
TECHNICAL DETAILS

W-14

PREPARED BY STEVENSON & PALMER ENGINEERING, INC.

SCALE: N.T.S.
DATED: FEBRUARY 2007



NOTE:

1. THIS DETAIL APPLIES TO VALVES.
2. IN UNPAVED AREAS, SET TOP OF CONC. COLLAR 1" ABOVE FINISHED GRADE. IN PAVED AREAS SET TOP OF BOX FLUSH W/ PAVEMENT. NO CONC. COLLAR REQUIRED.
3. VALVE BOX SHALL NOT REST ON THE VALVE

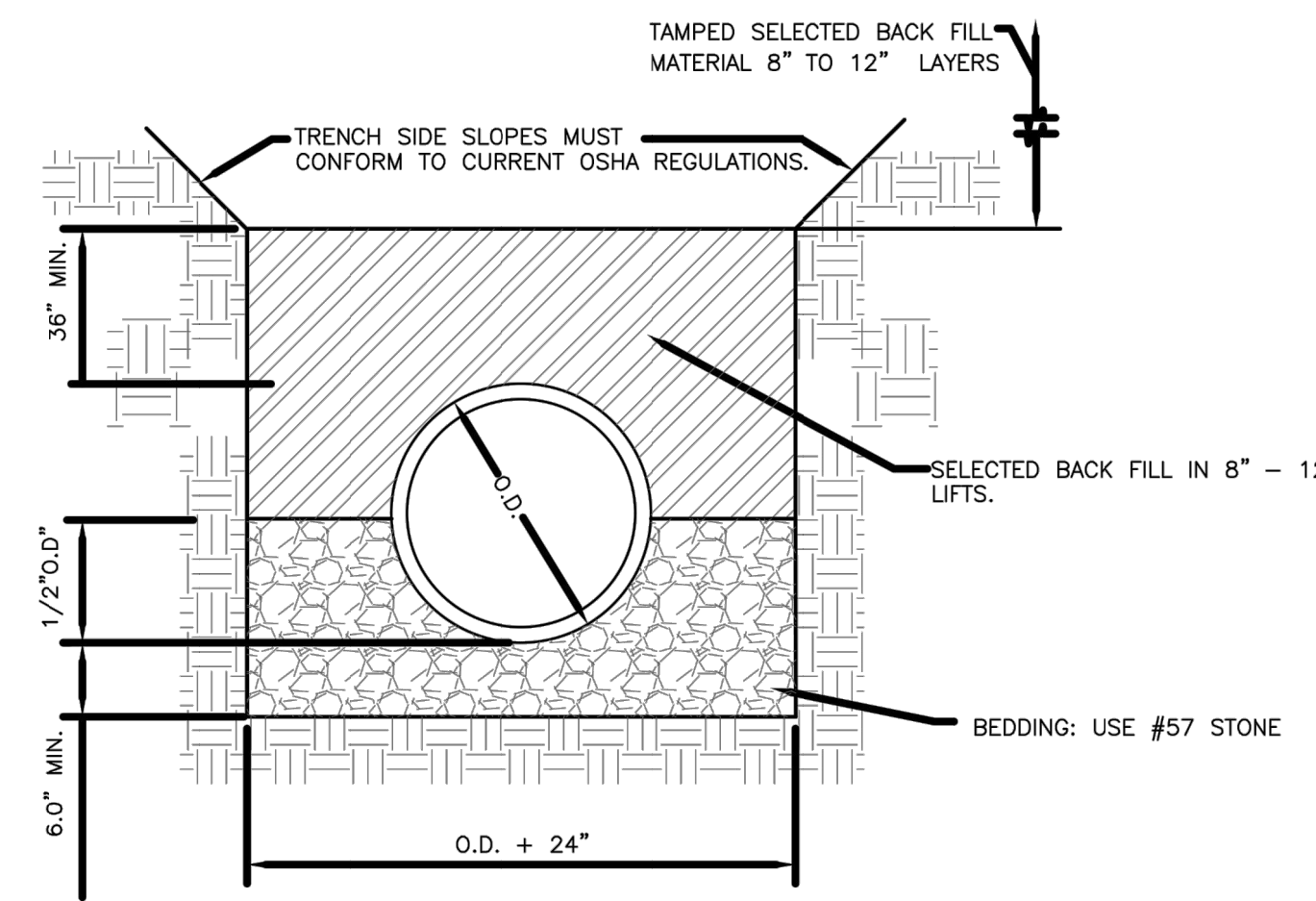
2" WATER VALVE

City of Port Wentworth
TECHNICAL DETAILS

W-18

PREPARED BY STEVENSON & PALMER ENGINEERING, INC.

SCALE: N.T.S.
DATED: FEBRUARY 2007



NOTES:

1. PAVEMENT CUT TO EXTEND 12" BEYOND EDGES OF TRENCH AS SHOWN.
2. MATCH EXISTING PAVEMENT TYPE AND THICKNESS.
3. ALL INSTALLATIONS IN PUBLIC ROADWAYS SHALL COMPLY WITH CONDITIONS OUTLINED ON APPLICABLE ENCROACHMENT PERMIT.

PIPE BEDDING

City of Port Wentworth
TECHNICAL DETAILS

S-8

PREPARED BY STEVENSON & PALMER ENGINEERING, INC.

SCALE: N.T.S.
DATED: FEBRUARY 2007

REV	DATE	BY	COMMENTS
1	2/10/22	JAF	REVISED PER CITY OF PORT WENTWORTH COMMENTS

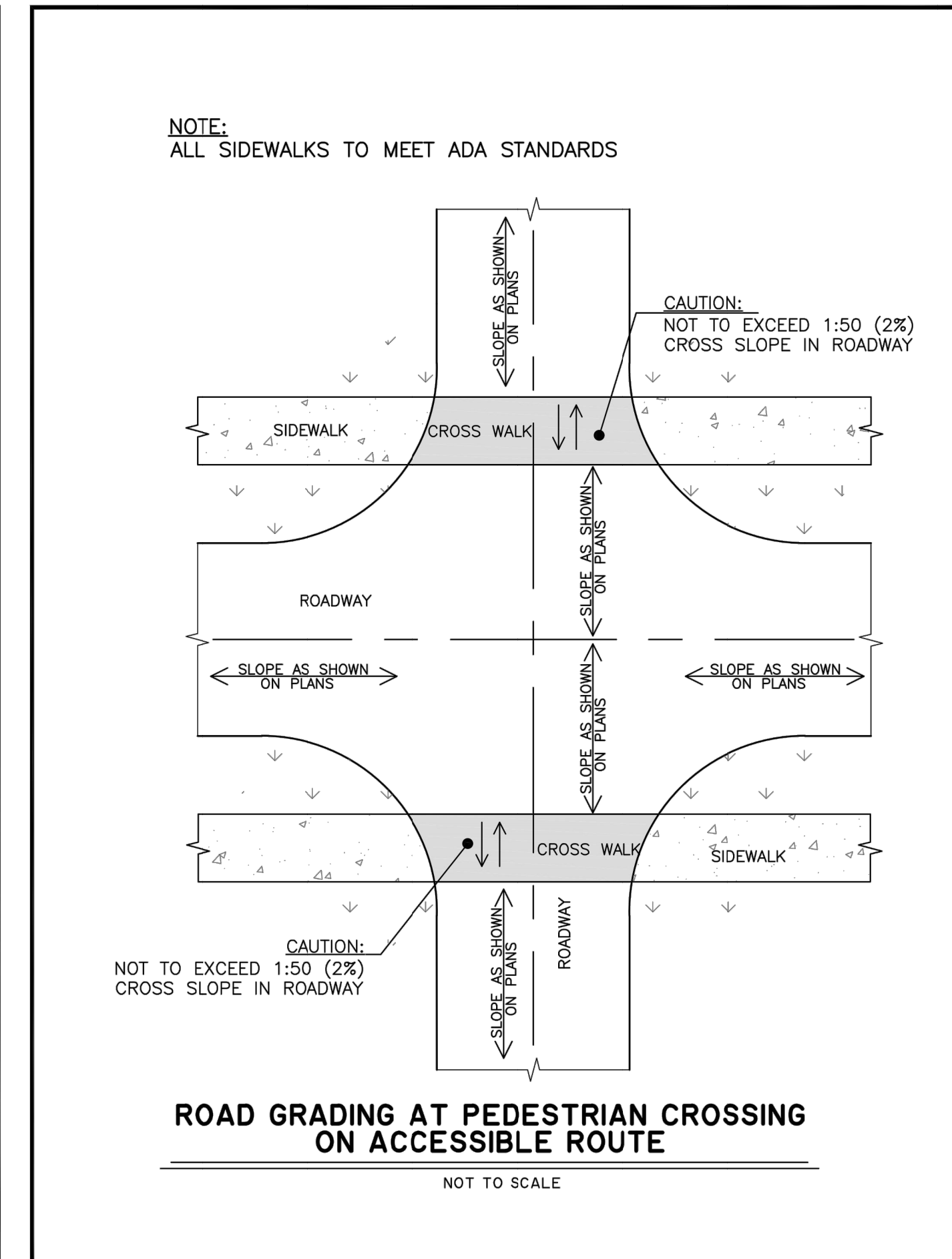
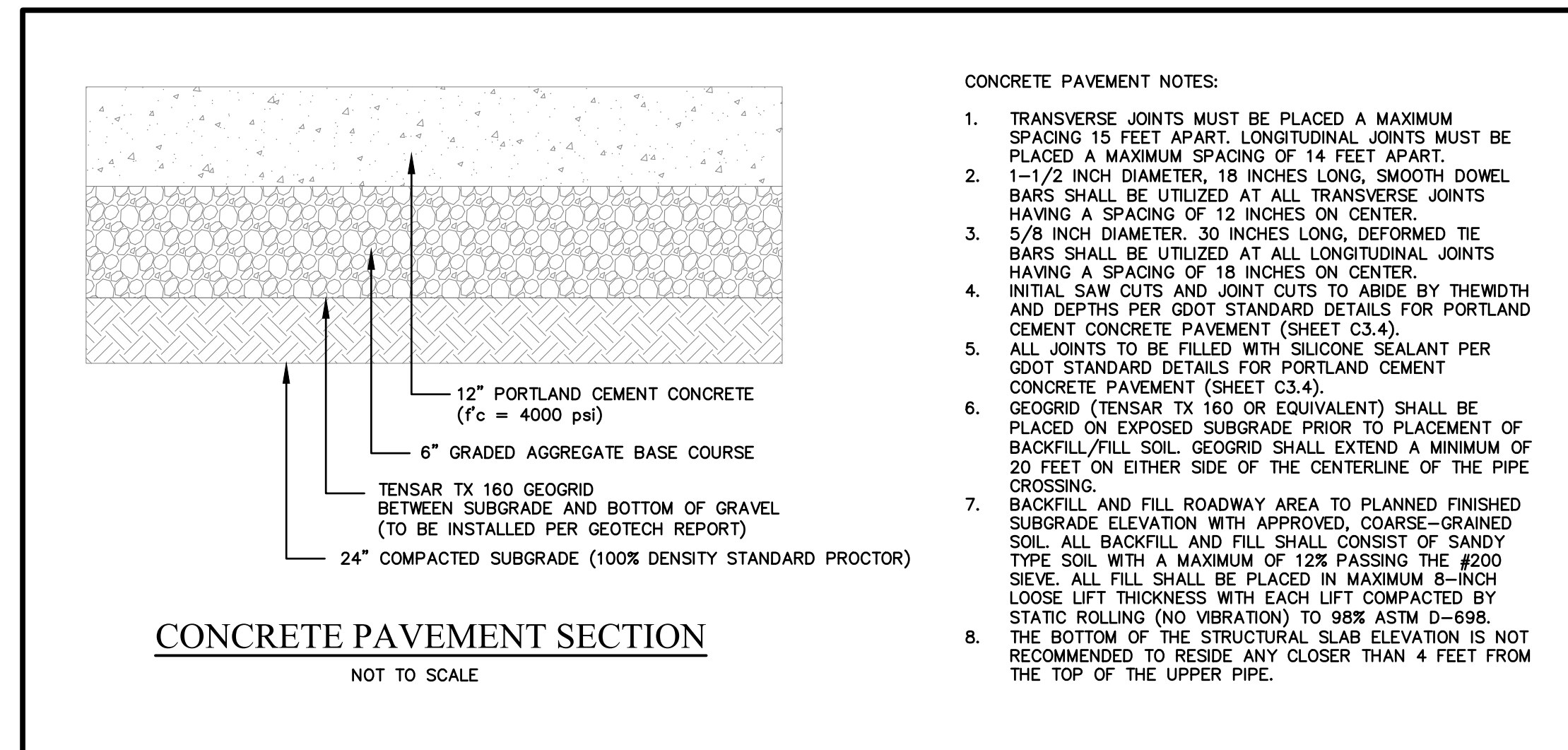
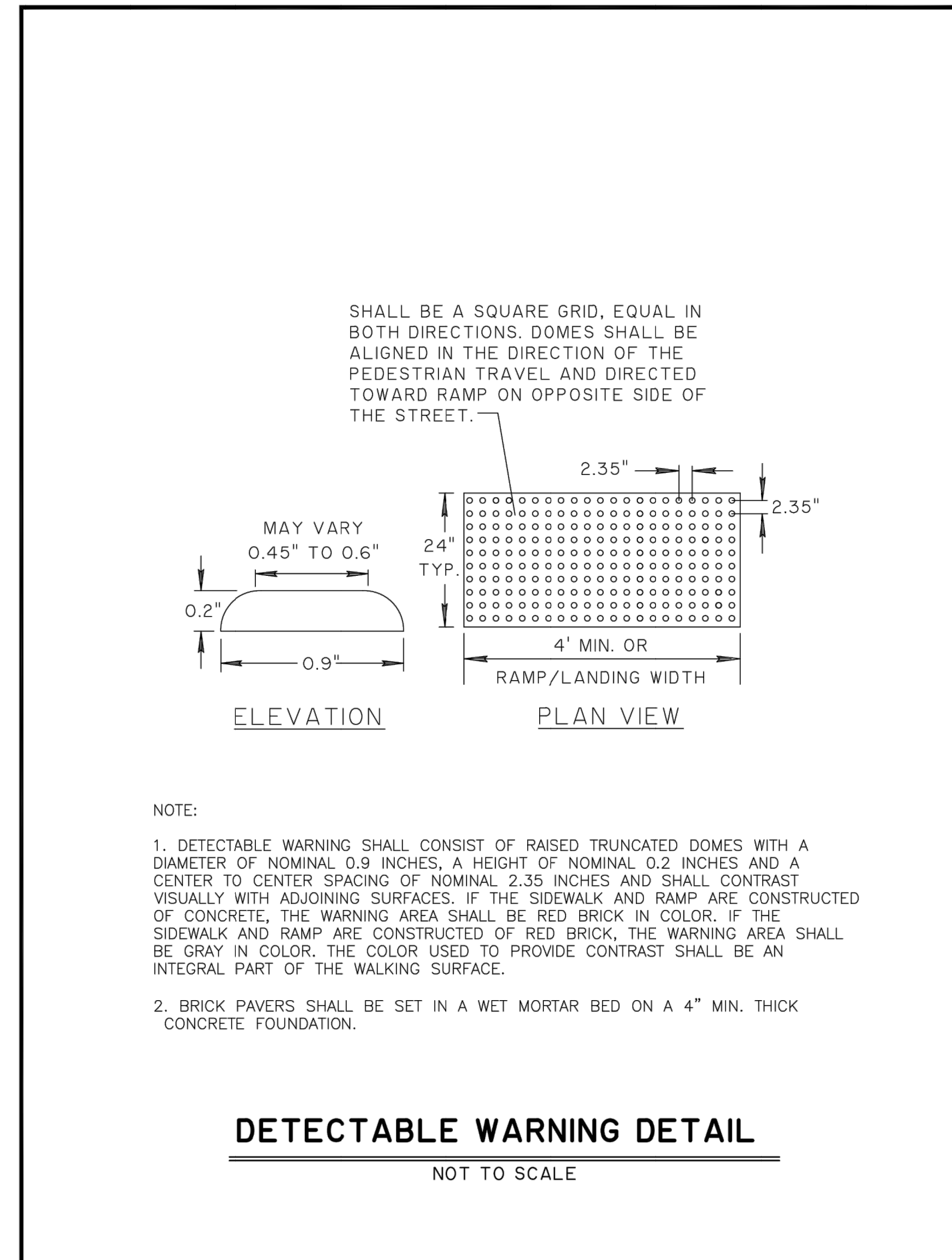
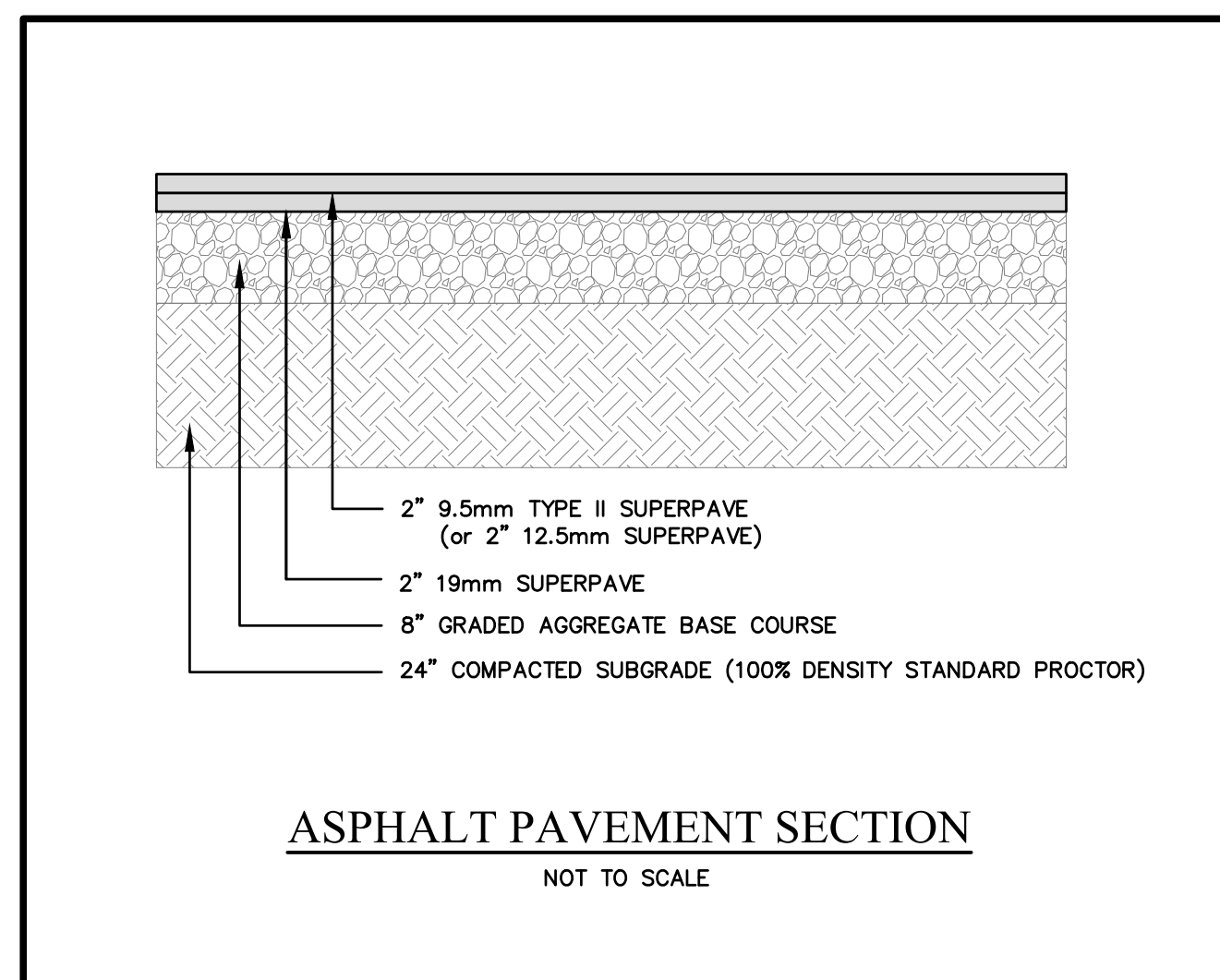
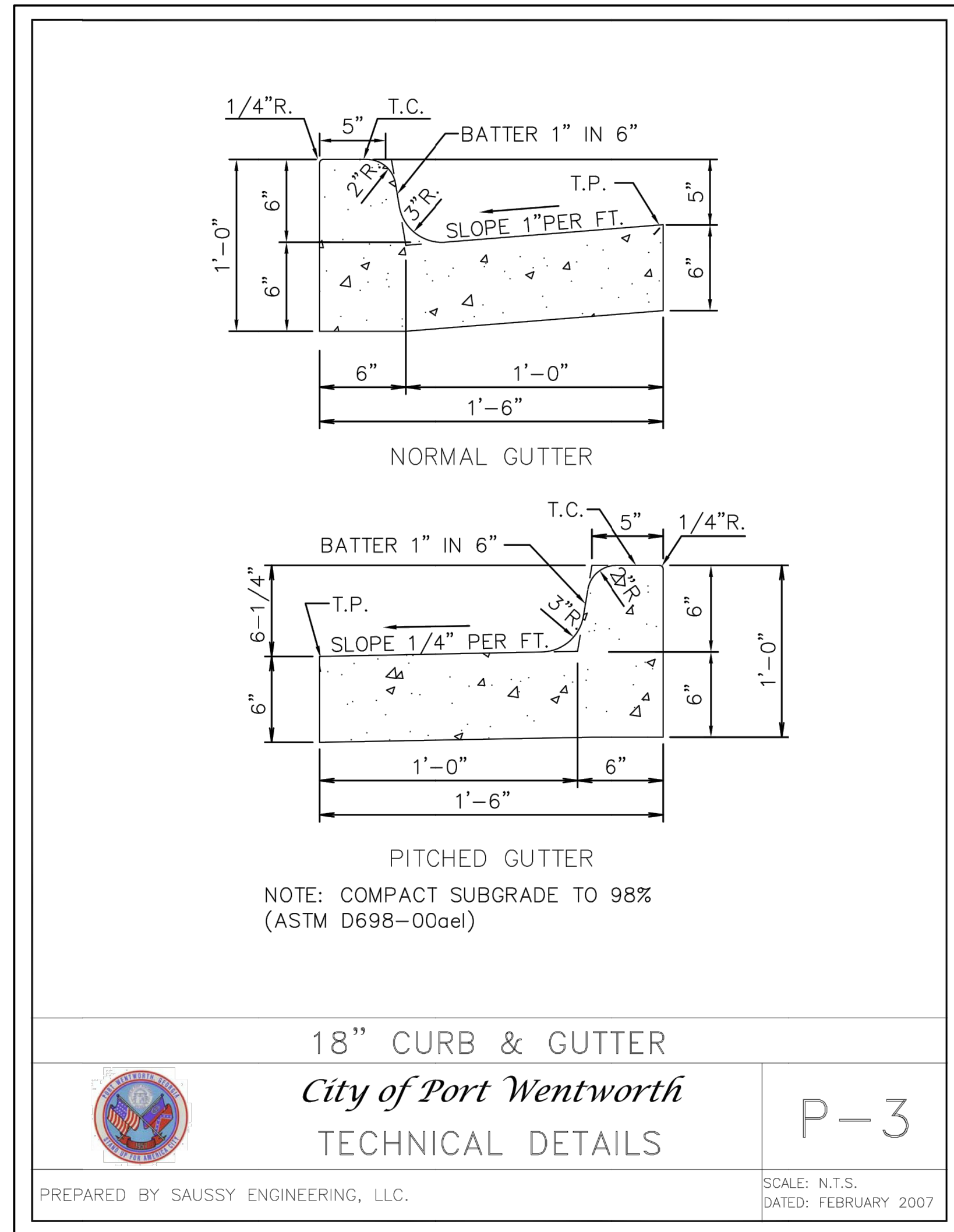
RAY A. PITTMAN, P.E.
GSNCC LEVEL II
DESIGN PROFESSIONAL
CERTIFICATION #12469

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2591 Hwy. 175 Suite 303
Richmond Hill, GA 31324
912-445-0578
www.PittmanEngineeringCo.com

CONSTRUCTION DETAILS
MULBERRY BOULEVARD EXTENSION
RICE HOPE
Prepared For
BEP RICE HOPE LLC

Project No. 21-252
Drawn By: MCS
Designed By: MCS
Checked By: RAP
Scale: 1"=40'
Date: 12/21/21

SHEET
C3.2



REV	REVISIONS	BY	DATE
1	REVISED PER CITY OF PORT WENTWORTH COMMENTS	JAF	2/10/22

RAY A. PITTMAN, P.E.
 GSNCC LEVEL II
 DESIGN PROFESSIONAL
 CERTIFICATION #12469

PITTMAN ENGINEERING
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CONSTRUCTION DETAILS
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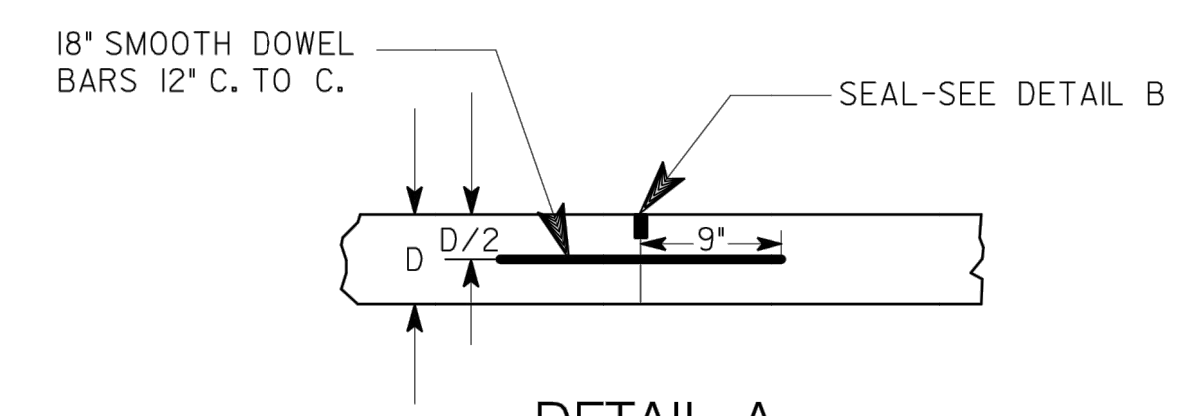
Project No. 21-252
 Drawn By: MCS
 Designed By: MCS
 Checked By: RAP
 Scale: 1"=40'
 Date: 12/21/21

SHEET
C3.3

Tuesday, March 1, 2022 9:23:29 AM

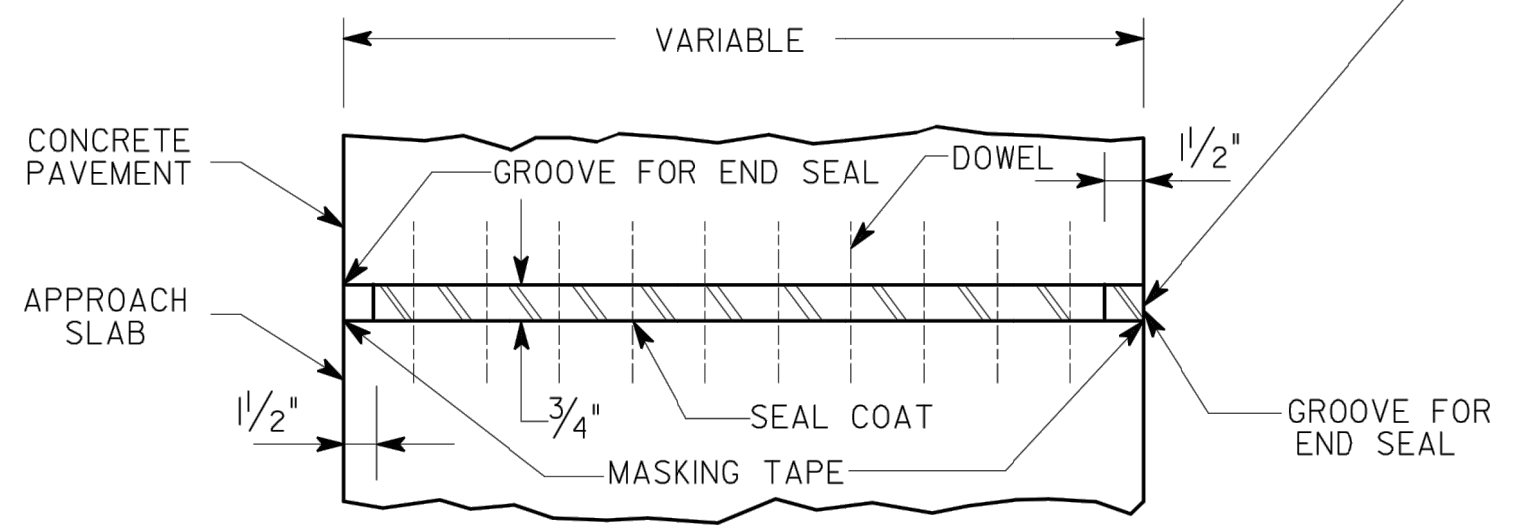
G:\Shared drives\Rice Hope\21-252 Mulberry Road Extension\Drawings\Bases\21-252 Mulberry Blvd Ext Construction Plans.dwg

STATE	PROJECT NUMBER	SHEET NO.	TOTAL SHEETS
GA.			

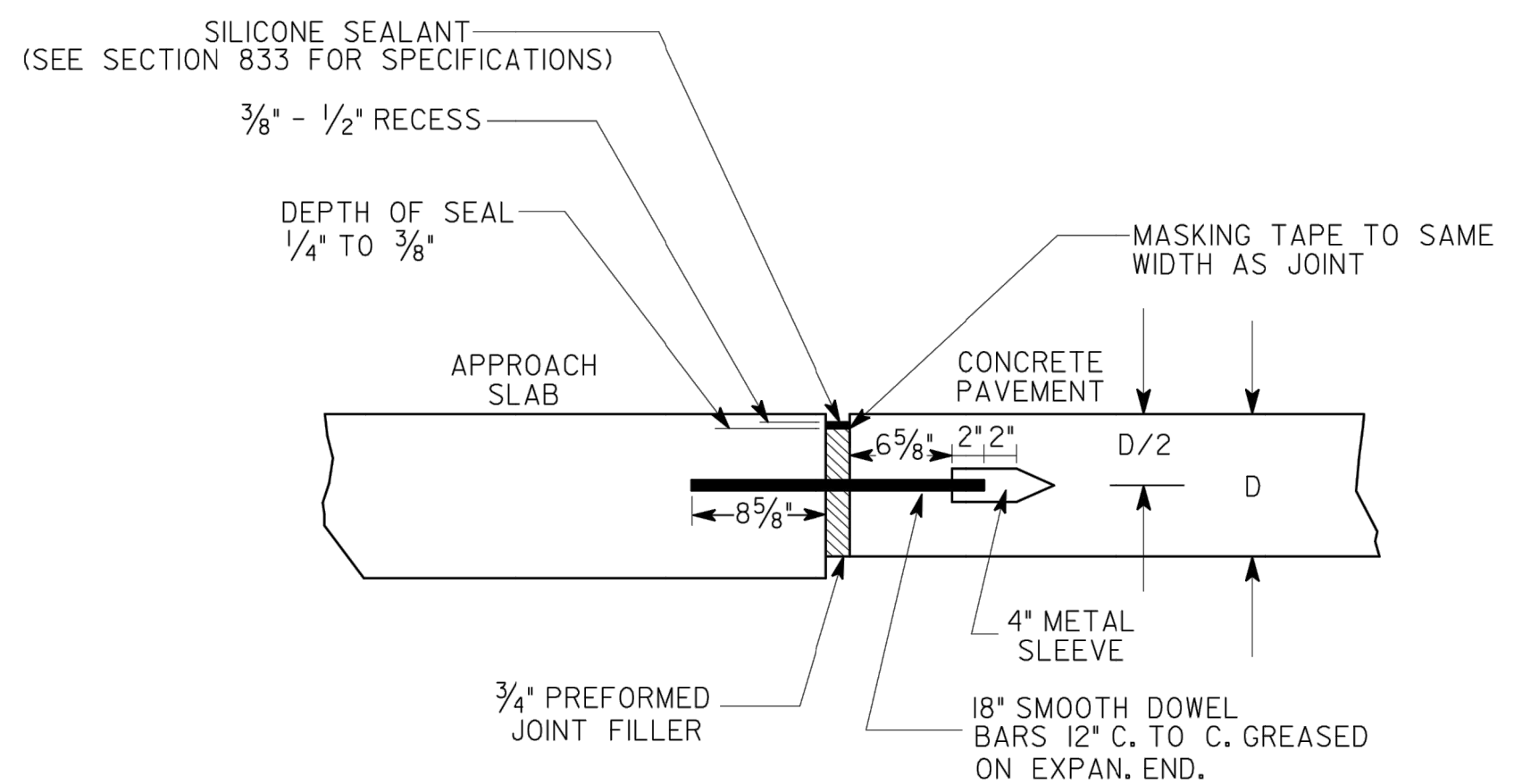


DETAIL A
TRANSVERSE CONSTRUCTION OR SAWED CONTRACTION JOINTS

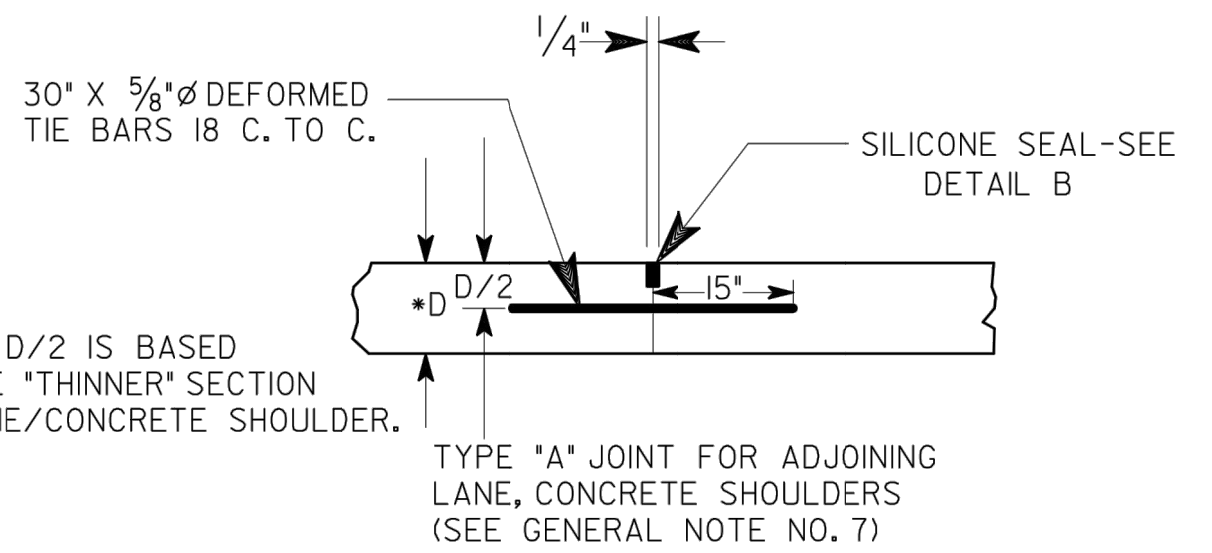
18 GAUGE METAL, WOODEN PLUG OR OTHER MEANS MAY BE USED TO FORM GROOVE FOR 1/2" END SEAL



DETAIL C
PLAN OF TRANSVERSE EXPANSION JOINT BETWEEN PAVEMENT AND BRIDGE APPROACH SLAB



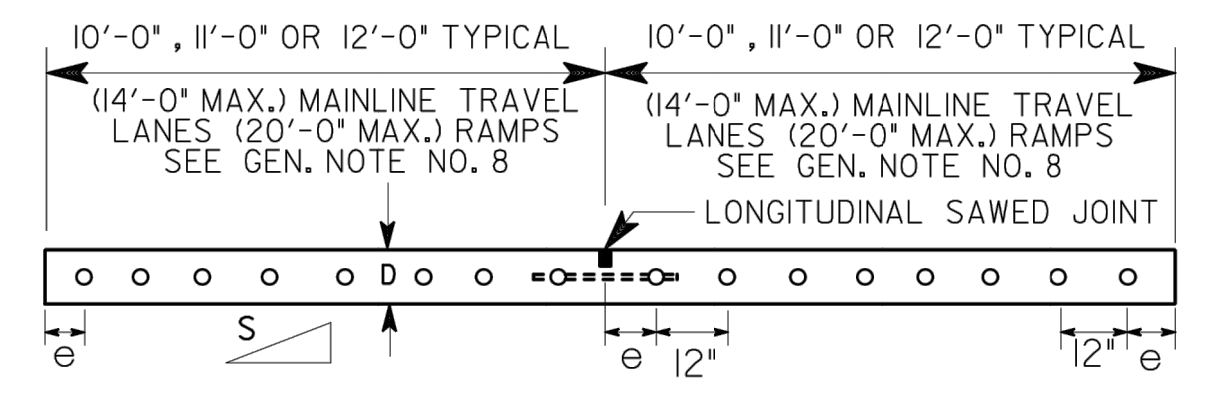
DETAIL D
EXPANSION JOINT



*NOTE: D AND D/2 IS BASED ON THE 'THINNER' SECTION OF LANE/CONCRETE SHOULDER.
TYPE 'A' JOINT FOR ADJOINING LANE, CONCRETE SHOULDERS (SEE GENERAL NOTE NO. 7)

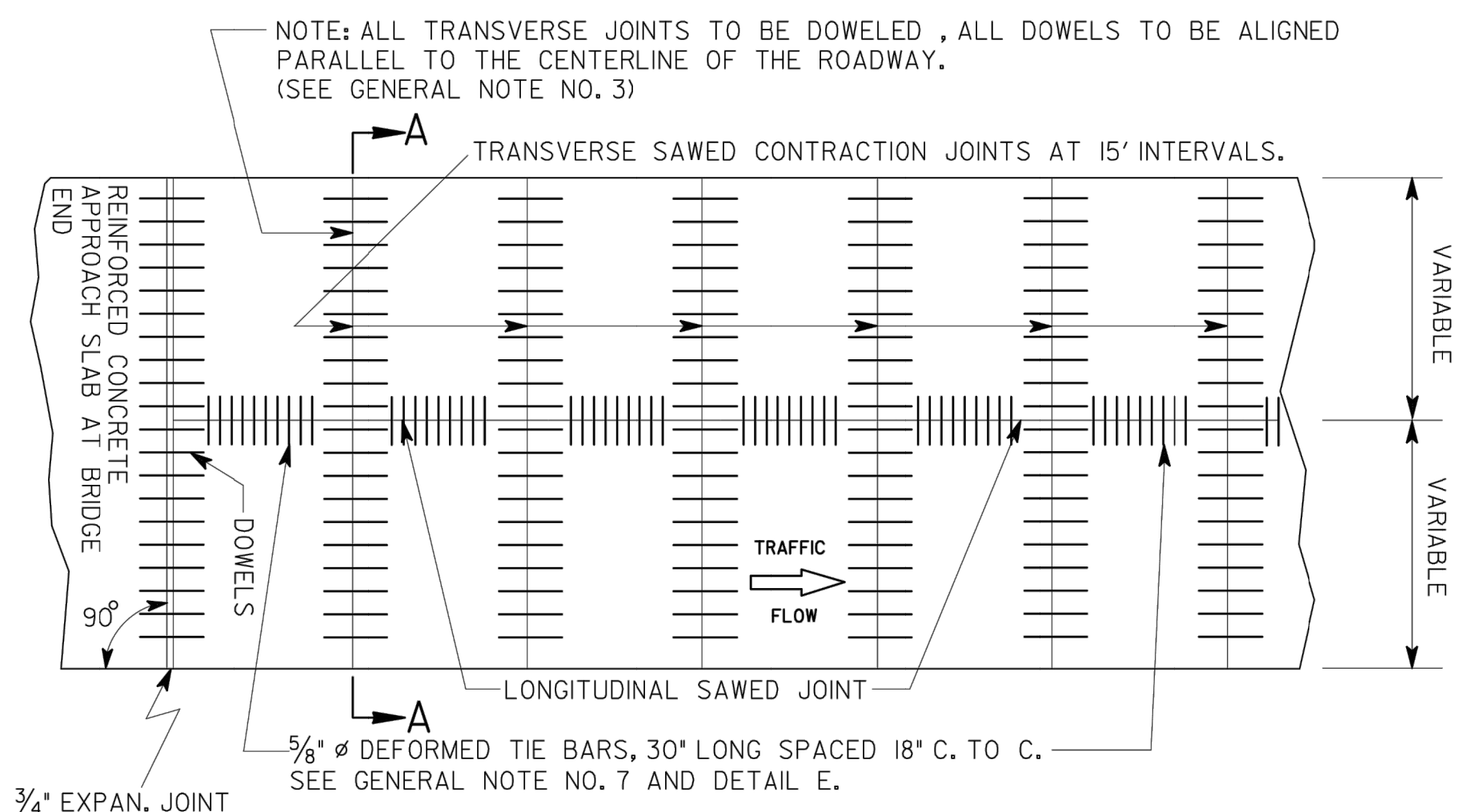
DETAIL E
ADJOINING LANES, CONCRETE SHOULDER, LONGITUDINAL SAWED OR FORMED JOINTS

FOR DETAILS OF SHOULDER SEE PLANS



SEE PLANS FOR REQUIRED SLOPE
UNIFORM THICKNESS DOWELED PORTLAND CEMENT CONCRETE PAVING WITH CENTER JOINT AND TIE BARS AND 90° TRANSVERSE CONTRACTION JOINTS AT 15 FT. INTERVALS
e = 6" UNLESS SPECIFIED OTHERWISE

SECTION A-A
SECTION THROUGH TRANSVERSE JOINT

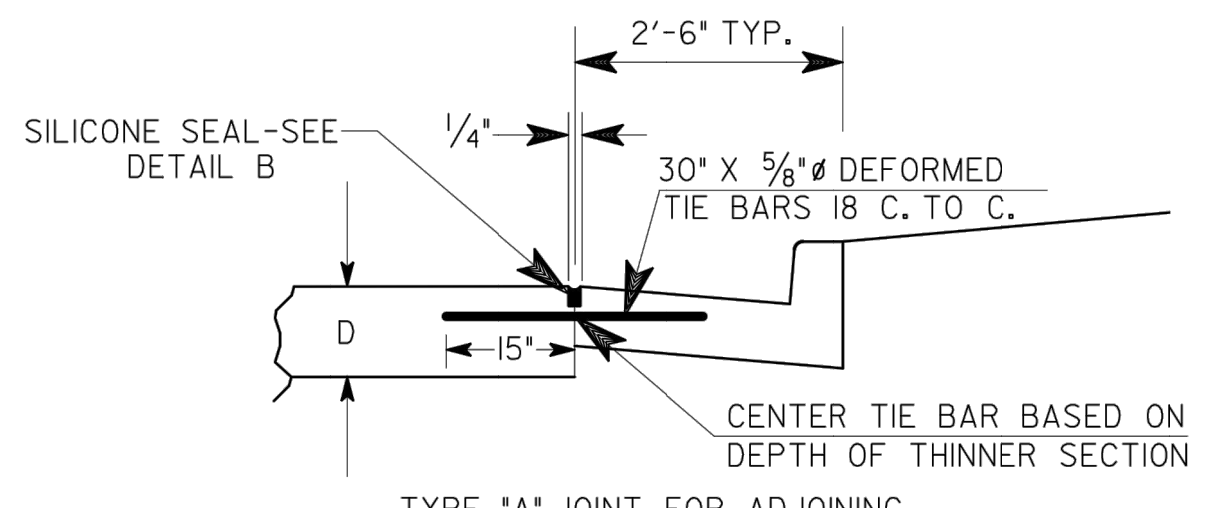


STANDARD JOINT LAYOUT

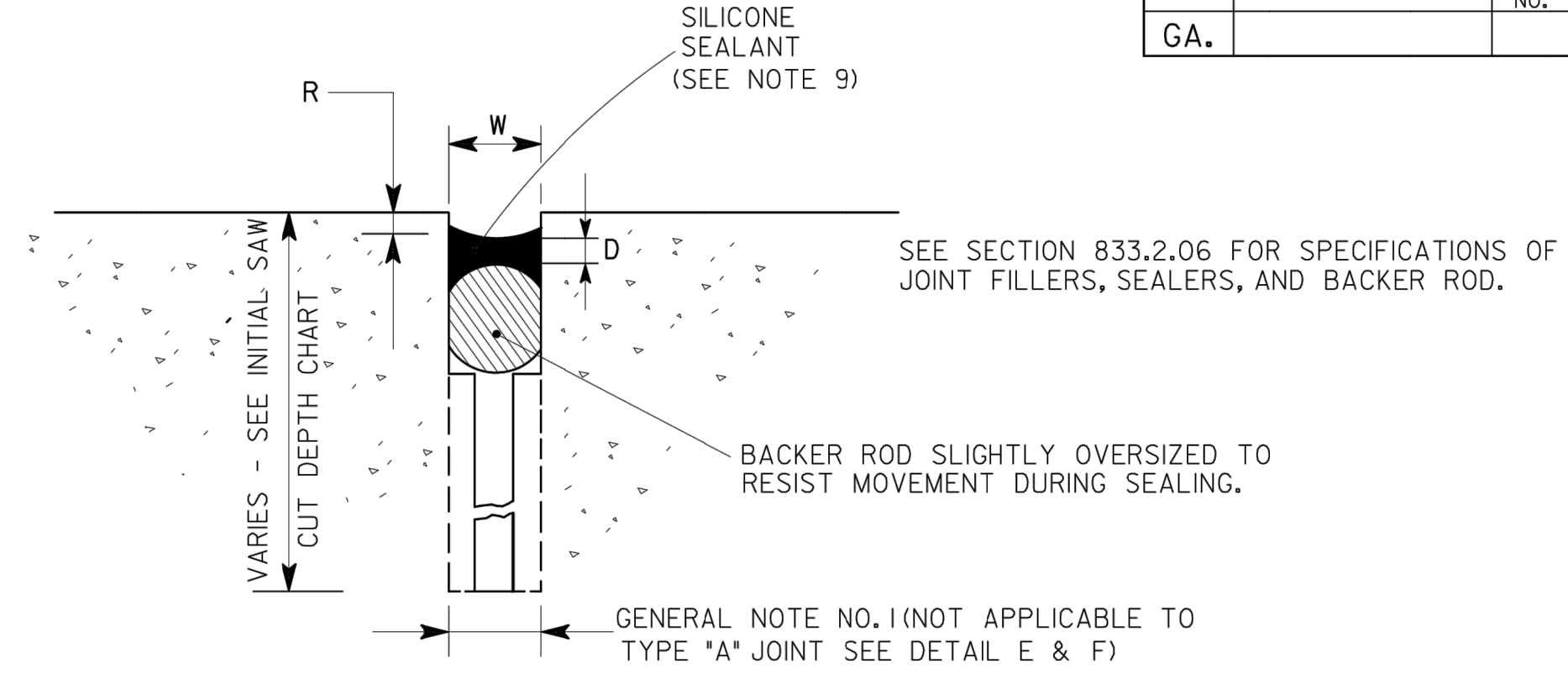
WHERE A NEW LANE WILL BE ADJOINING AN EXISTING P.C. CONCRETE PAVED LANE, THE SPACING FOR THE TRANSVERSE JOINTS IN THE NEW LANE WILL BE VARIED FROM THAT SHOWN ABOVE WHERE NECESSARY TO MATCH THE JOINTS IN THE EXISTING LANE. WHEN EXISTING PAVING JOINTS EXCEED 25 FEET IN LENGTH AN INTERMEDIATE TRANSVERSE JOINT WILL BE ESTABLISHED IN THE NEW LANE AT MID-SLAB.

REQUIRED DOWEL BAR DIAMETERS

PAVEMENT THICKNESS (D)	DOWEL BAR DIAMETERS
6"	1/4"
6 1/2"	1/4"
7"	1/4"
7 1/2"	1/4"
8"	1/4"
8 1/2"	1/4"
9"	1/4"
9 1/2"	1/2"
10"	1/2"
10 1/2"	1/2"
11"	1/2"
11 1/2"	1/2"
12"	1/2"



DETAIL F
ADJOINING CURB AND GUTTER



DETAIL B
CONTRACTION OR CONSTRUCTION JOINT

REQUIRED MINIMUM DEPTH OF INITIAL SAW CUT FOR LONGITUDINAL AND TRANSVERSE JOINTS. ALL INITIAL CUTS TO BE 1/8" IN WIDTH.

JOINT SCHEDULE			
TYPE	W	D	R
TRANSVERSE JOINT	1/4"	1/4"-3/8"	3/8" TO 1/2"
LONGITUDINAL SAWED JOINT	1/4"	1/4"-3/8"	3/8" TO 1/2"
JOINT FOR ADJOINING LANE FOR TYPE 'A' JOINT	1/4"	1/4"-3/8"	3/8" TO 1/2"

DEPTH OF PAVEMENT D	DEPTH OF CUT
6"	1 3/4"
6 1/2"	1 7/8"
7"	2"
7 1/2"	2 1/8"
8"	2 1/4"
8 1/2"	2 3/8"
9"	2 1/2"
9 1/2"	2 5/8"
10"	2 3/4"
10 1/2"	2 7/8"
11"	3"
11 1/2"	3 1/8"
12"	3 1/4"

GENERAL NOTES:

- THE LOCATION OF THE INITIAL SAW CUT MAY VARY BETWEEN THESE LINES.
- CONTRACTION JOINT FOR CONCRETE SHOULDERS SHALL CONFORM WITH TRANSVERSE SAWED CONTRACTION JOINT IN MAINLINE PAVEMENT.
- TRANSVERSE JOINTS SHALL BE PERPENDICULAR TO THE CENTER LINE OF THE LANE BEING PLACED, EXCEPT WHERE NEW LANES ARE PLACED AGAINST EXISTING LANES WITH SKEWED JOINTS. THE NEW JOINTS WILL MATCH THE SKEW OF THE EXISTING PAVEMENT.
- JOINTS IN ACCELERATION AND DECELERATION LANES ARE TO COINCIDE WITH MAINLINE JOINTS, BUT MAY BE NORMAL TO ACCELERATION OR DECELERATION EDGE.
- GA. STD. SPECIFICATIONS (SEC. 430) FOR TOLERANCE ON DOWELS.
- CASES WHERE CONCRETE CURB AND GUTTER IS PLACED ADJACENT TO A CONCRETE ROADWAY SLAB, THE LONGITUDINAL JOINT SHALL BE SAWED AND SEALED OR FORMED AND SEALED AS A LONGITUDINAL JOINT AS SHOWN BY THE STANDARD.
- NO TIE BAR SHALL BE LOCATED CLOSER THAN 18" TO A TRANSVERSE JOINT. WHERE NEW CONCRETE WILL BE ADJOINING EXISTING CONCRETE, DO NOT TIE NEW CONCRETE TO EXISTING CONCRETE.
- SPACING BETWEEN LONGITUDINAL JOINTS SHALL NOT EXCEED 14'-0" FOR MAINLINE TRAVEL LANES. RAMP PAVEMENT SECTIONS OVER 14'-0" WIDE SHALL HAVE A LONGITUDINAL SAWED JOINT ALONG THE CENTERLINE AND THE SPACING BETWEEN LONGITUDINAL JOINTS SHALL NOT EXCEED 20'-0".
- WHEN SELF LEVELING SILICONE SEALANT IS USED, TOOLING OF THE SEALANT TO OBTAIN A CONCAVE SURFACE IS NOT REQUIRED IF SEALANT MEETS DIMENSIONS OF DETAIL B.

HAC	ADD DIM'S PAV/DOWEL/TBL	H-B-18
	ADD DIM'S PAV/SAWOUT/TBL	
	REV TYP/OSI & ADD LABELS	
	REV DTL F' TIE BAR LOC	
GLO	REV. DOWELS DIA. AND TRANSVERSE JTS. SPACING	1-25-07
	AND REV. GEN. NOTE 8.	
	REV. GEN. NOTE 3, 7 & 8.	8-9-02
RMC	1/4" TRANSVERSE JOINT	4-3-2000
BY	REVISION	DATE

DEPARTMENT OF TRANSPORTATION
STATE OF GEORGIA

STANDARD
JOINT DETAILS FOR
PORTLAND CEMENT CONCRETE PAVING

NO SCALE
REV. & REDRAWN MAY, 1996

DES. (SUBMITTED) *[Signature]*
DRW. STATE ROAD & AIRPORT DESIGN ENGINEER
TRA. (APPROVED) *[Signature]*
CHK. CHIEF ENGINEER

NUMBER
5046H

REV.	REVISED PER CITY OF PORT WENTWORTH COMMENTS	DATE
1	JAF	2/10/22

RAY A. PITTMAN, P.E.
GSWCC LEVEL II
DESIGN PROFESSIONAL
CERTIFICATION #12469

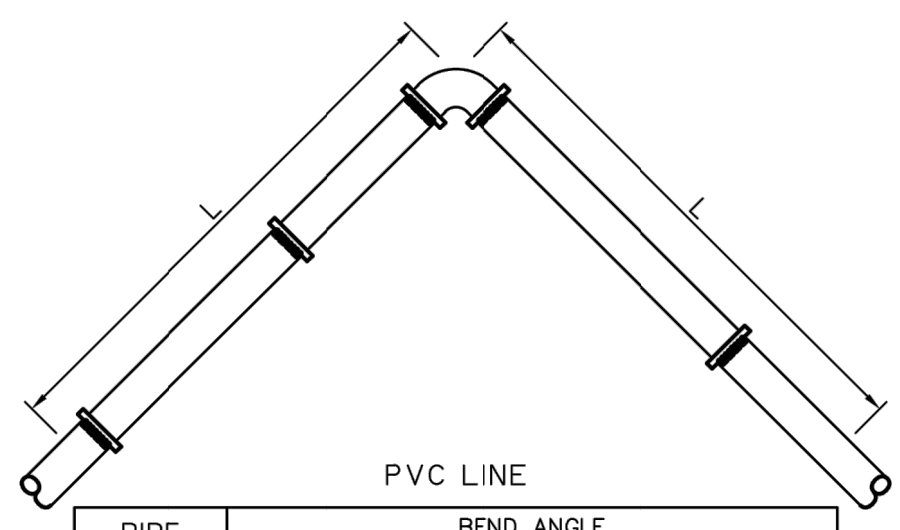
PITTMAN ENGINEERING
2591 Hwy 17S Suite 303
Richmond Hill, GA 31324
912-445-0578
www.PittmanEngineeringCo.com

CONSTRUCTION DETAILS
MULBERRY BOULEVARD EXTENSION
RICE HOPE
Prepared For
BEP RICE HOPE LLC

Project No. 21-252
Drawn By: MCS
Designed By: MCS
Checked By: RAP
Scale: 1"=40'
Date: 12/21/21

SHEET
C3.4

Tuesday, March 1, 2022 9:23:34 AM



PIPE DIA.	BEND ANGLE			
	11 1/4"	22 1/2"	45°	90°
4	3	6	12	29
6	4	8	17	41
8	5	11	22	53
10	6	13	26	64
12	7	15	31	75

PIPE DIA.	BEND ANGLE			
	11 1/4"	22 1/2"	45°	90°
4	2	4	8	20
6	3	6	12	28
8	4	7	15	36
10	4	9	18	43
12	5	10	21	51
16	6	13	27	65
20	8	16	33	79
24	9	18	38	92

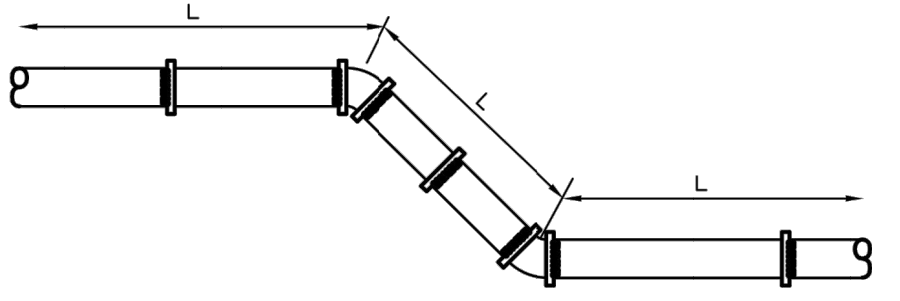
MINIMUM RESTRAINED LENGTH (L)
 NOTES:
 1. LENGTH OF RESTRAINT SHOWN IS IN FEET.
 2. WHERE LINES CONSIST OF BOTH DUCTILE IRON AND PVC WITHIN THE LIMITS OF REQUIRED RESTRAINT, LIMITS FOR PVC SHALL APPLY.

STANDARD HORIZONTAL BEND RESTRAINT

City of Port Wentworth
TECHNICAL DETAILS

W-27

PREPARED BY STEVENSON & PALMER ENGINEERING, INC. SCALE: N.T.S. DATED: FEBRUARY 2007



PIPE DIA.	BEND ANGLE			
	11 1/4"	22 1/2"	45°	90°
4	5	10	22	52
6	7	15	30	74
8	9	19	40	96
10	11	23	48	115
12	13	27	56	136

PIPE DIA.	BEND ANGLE			
	11 1/4"	22 1/2"	45°	90°
4	3	6	12	28
6	4	8	17	40
8	4	10	22	52
10	5	12	26	62
12	6	15	30	73
16	7	19	39	94
20	11	23	47	114
24	13	26	55	132

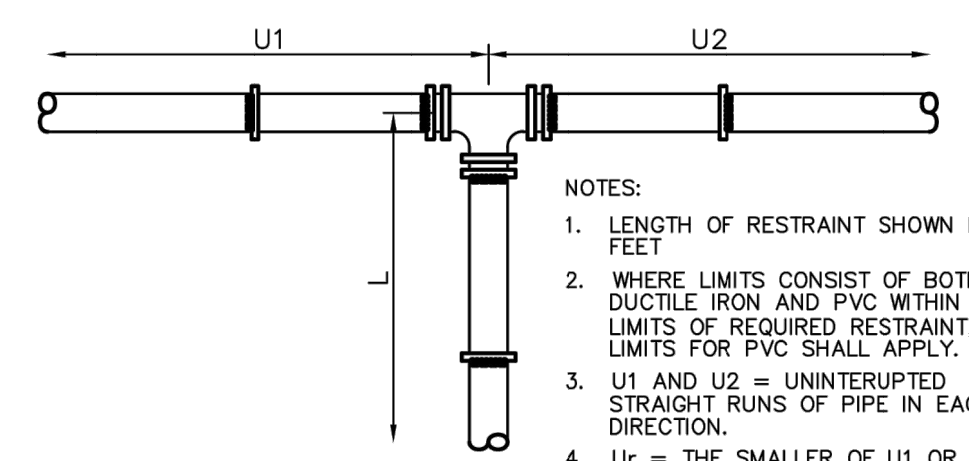
MINIMUM RESTRAINED LENGTH (L)
 NOTES:
 1. LENGTH OF RESTRAINT SHOWN IS IN FEET.
 2. WHERE LINES CONSIST OF BOTH DUCTILE IRON AND PVC WITHIN THE LIMITS OF REQUIRED RESTRAINT, LIMITS FOR PVC SHALL APPLY.

STANDARD VERTICAL BEND RESTRAINT

City of Port Wentworth
TECHNICAL DETAILS

W-28

PREPARED BY STEVENSON & PALMER ENGINEERING, INC. SCALE: N.T.S. DATED: FEBRUARY 2007



NOTES:
 1. LENGTH OF RESTRAINT SHOWN IS IN FEET.
 2. WHERE LIMITS CONSIST OF BOTH DUCTILE IRON AND PVC WITHIN THE LIMITS OF REQUIRED RESTRAINT, LIMITS FOR PVC SHALL APPLY.
 3. U1 AND U2 = UNINTERRUPTED STRAIGHT RUNS OF PIPE IN EACH DIRECTION.
 4. Ur = THE SMALLER OF U1 OR U2.
 5. L = MINIMUM RESTRAINED LENGTH ALONG THE BRANCH
 6. WHERE Ur IS LESS THAN 5', RESTRAIN TEE AS A 90° HORIZONTAL BEND.

Ur	5'-10"	11'-20"	21'-35"	> 35'
4x4	43	28	4	*
6x6	38	17	*	*
8x8	34	14	*	*
10x10	30	11	*	*
12x12	27	9	*	*
16x16	23	7	*	*
20x20	20	6	*	*
24x24	18	5	*	*
30x30	16	4	*	*
36x36	14	3	*	*
42x42	12	2	*	*
48x48	11	2	*	*
60x60	9	1	*	*
72x72	8	1	*	*
84x84	7	1	*	*
96x96	6	1	*	*
108x108	5	1	*	*
120x120	4	1	*	*
144x144	3	1	*	*
168x168	2	1	*	*
192x192	1	1	*	*

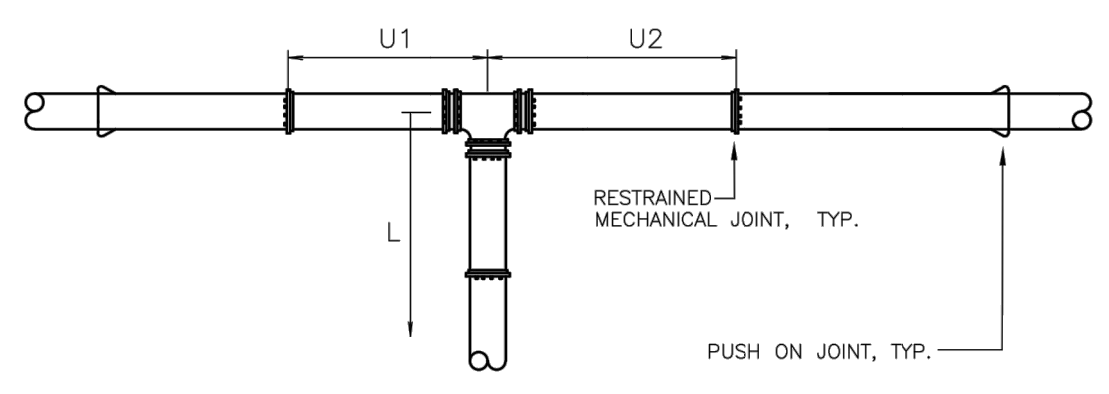
MINIMUM RESTRAINED LENGTH (L)
* RESTRAIN AT TEE ONLY

STANDARD TEE RESTRAINT (PVC LINE)

City of Port Wentworth
TECHNICAL DETAILS

W-29

PREPARED BY STEVENSON & PALMER ENGINEERING, INC. SCALE: N.T.S. DATED: FEBRUARY 2007



NOTES:
 1. LENGTH OF RESTRAINT SHOWN IS IN FEET.
 2. WHERE LINES CONSIST OF BOTH DUCTILE IRON AND PVC WITHIN THE LIMITS OF REQUIRED RESTRAINT, LIMITS FOR PVC SHALL APPLY.
 3. U1 AND U2 = UNINTERRUPTED STRAIGHT RUNS OF RESTRAINED JOINT PIPE IN EACH DIRECTION.
 4. Ur = THE SMALLER OF U1 OR U2 (E.G., U1, IN THE ABOVE DIAGRAM)
 5. L = MINIMUM RESTRAINED LENGTH ALONG THE BRANCH
 6. WHERE Ur IS LESS THAN 5', RESTRAIN TEE AS A 90° HORIZONTAL BEND.

Ur	5'-10"	11'-20"	21'-35"	36'-50"	50'-75"	75'-100"
4x4	33	18	2	*	*	*
6x6	21	9	*	*	*	*
8x8	18	7	*	*	*	*
10x10	16	6	*	*	*	*
12x12	14	5	*	*	*	*
16x16	11	4	*	*	*	*
20x20	9	3	*	*	*	*
24x24	8	3	*	*	*	*
30x30	7	2	*	*	*	*
36x36	6	2	*	*	*	*
42x42	5	1	*	*	*	*
48x48	4	1	*	*	*	*
60x60	3	1	*	*	*	*
72x72	2	1	*	*	*	*
84x84	1	1	*	*	*	*
96x96	1	1	*	*	*	*
108x108	1	1	*	*	*	*
120x120	1	1	*	*	*	*
144x144	1	1	*	*	*	*
168x168	1	1	*	*	*	*
192x192	1	1	*	*	*	*

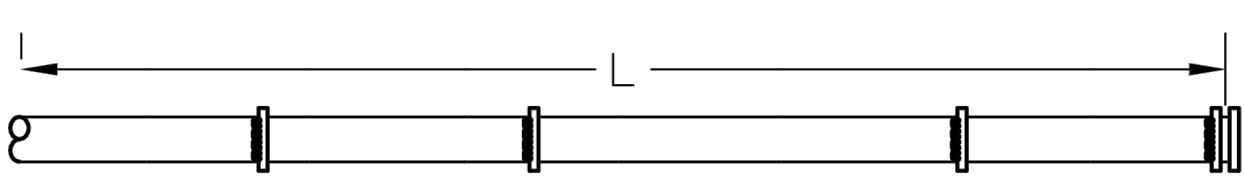
MINIMUM RESTRAINED LENGTH (L)
* RESTRAIN AT TEE ONLY.

STANDARD TEE RESTRAINT (DUCTILE IRON PIPE)

City of Port Wentworth
TECHNICAL DETAILS

W-30

PREPARED BY STEVENSON & PALMER ENGINEERING, INC. SCALE: N.T.S. DATED: FEBRUARY 2007



PIPE DIA.	L
4	28
6	40
8	52
10	62
12	73
16	94
20	114
24	132

PIPE DIA.	L
4	52
6	74
8	96
10	115
12	136

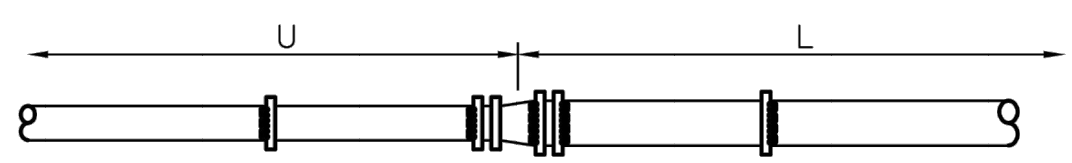
NOTES:
 1. LENGTH OF RESTRAINT SHOWN IS IN FEET.
 2. WHERE LIMITS CONSIST OF BOTH DUCTILE IRON AND PVC WITHIN THE LIMITS OF REQUIRED RESTRAINT, LIMITS FOR PVC SHALL APPLY.
 3. FOR LINE STUBS (SEE DETAIL W39), THE LENGTH OF RESTRAINT (L) SHALL BE FROM THE VALVE AND NOT THE CAP.

STANDARD DEAD END RESTRAINT

City of Port Wentworth
TECHNICAL DETAILS

W-31

PREPARED BY STEVENSON & PALMER ENGINEERING, INC. SCALE: N.T.S. DATED: FEBRUARY 2007



REDUCER	U	L
6x4	30	21
8x4	72	38
8x6	29	22
10x4	123	51
10x6	63	38
10x8	26	21
12x4	186	64
12x6	106	53
12x8	59	39
12x10	26	21
16x6	214	79
16x8	141	68
16x10	91	56
16x12	54	40
20x10	174	84
20x12	123	71
20x16	51	40
24x12	207	97
24x16	113	72
24x20	48	39

REDUCER	U	L
6x4	56	38
8x4	134	69
8x6	53	40
10x4	227	94
10x6	117	71
10x8	49	39
12x4	343	118
12x6	196	99
12x8	109	72
12x10	48	40

U = MINIMUM UNINTERRUPTED STRAIGHT RUN OF PIPE ON SMALL SIDE OF REDUCER.
 L = MINIMUM RESTRAINED LENGTH.
 * WHERE MINIMUM "U" IS NOT MET, PIPE ON LARGE SIDE OF REDUCER SHALL BE RESTRAINED FOR A MINIMUM OF "L" FEET.

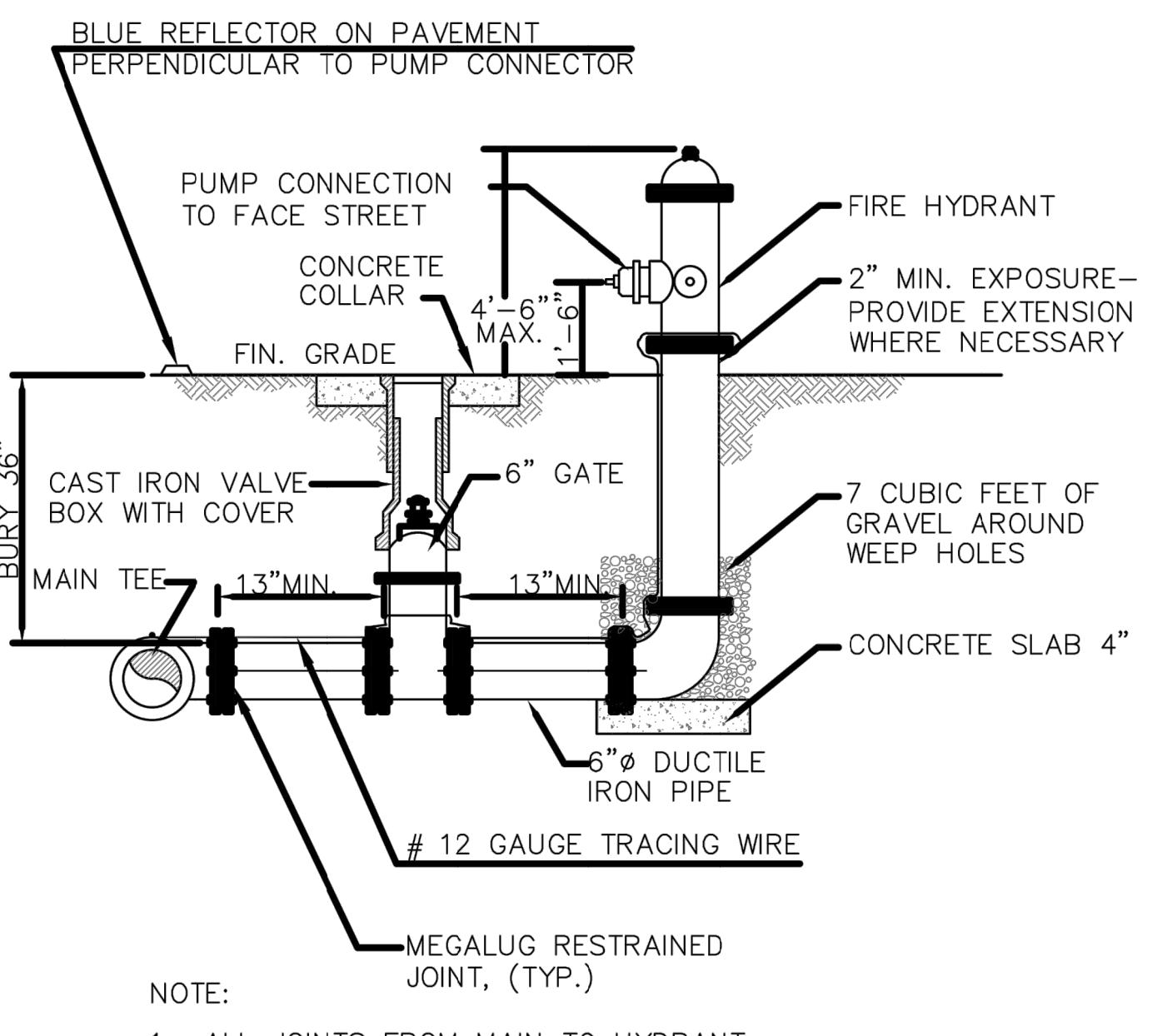
NOTES:
 1. LENGTH OF RESTRAINT SHOWN IS IN FEET.
 2. WHERE LIMITS CONSIST OF BOTH DUCTILE IRON AND PVC WITHIN THE LIMITS OF REQUIRED RESTRAINT, LIMITS FOR PVC SHALL APPLY.

STANDARD REDUCER RESTRAINT

City of Port Wentworth
TECHNICAL DETAILS

W-32

PREPARED BY STEVENSON & PALMER ENGINEERING, INC. SCALE: N.T.S. DATED: FEBRUARY 2007



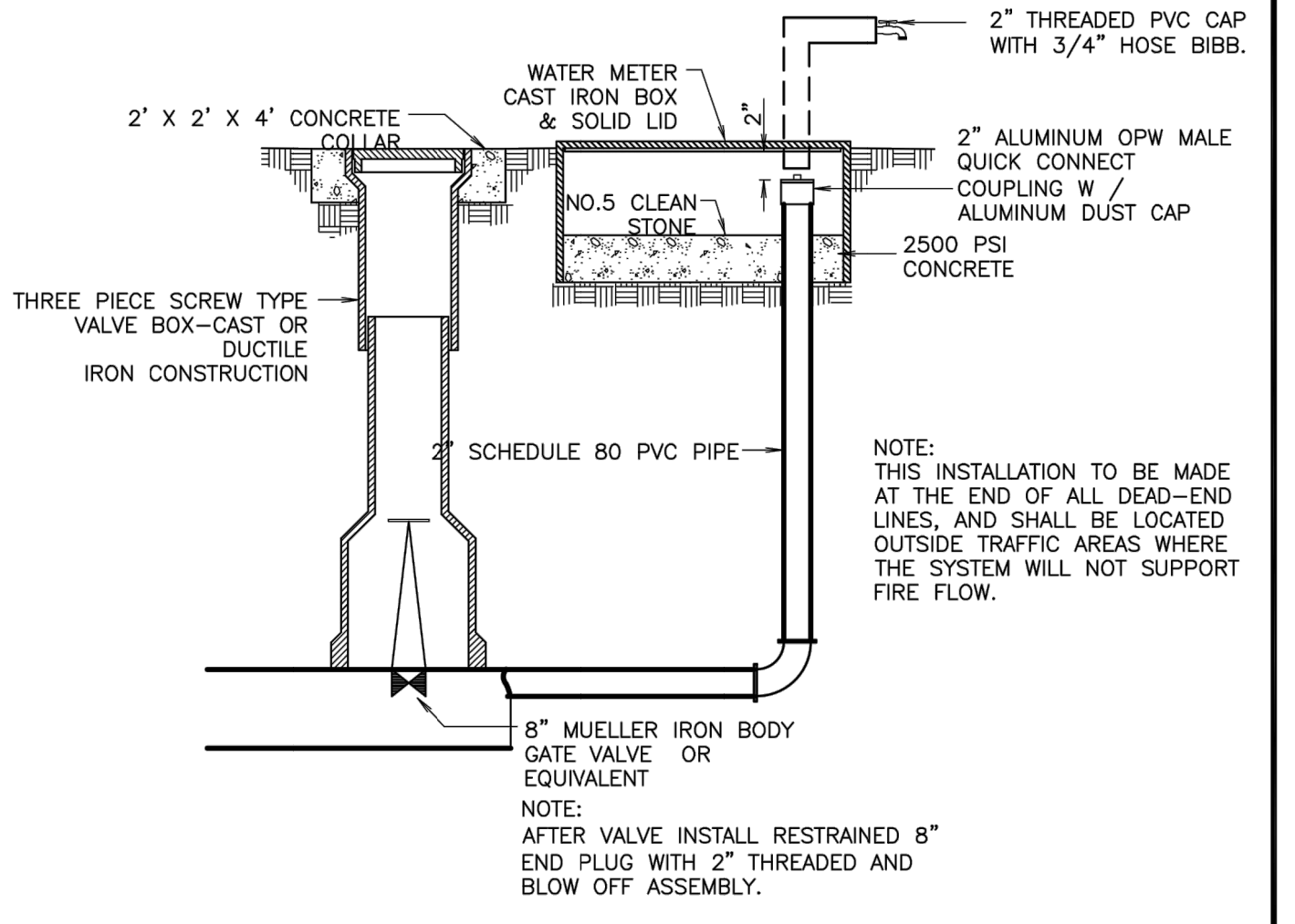
NOTE:
 1. ALL JOINTS FROM MAIN TO HYDRANT SHALL BE RESTRAINED.
 2. PROTECT BOLTS AND THREADS FROM CONCRETE.

STANDARD FIRE HYDRANT

City of Port Wentworth
TECHNICAL DETAILS

W-9

PREPARED BY STEVENSON & PALMER ENGINEERING, INC. SCALE: N.T.S. DATED: FEBRUARY 2007



FLUSH VALVE & RISER BLOW-OFF DETAIL

NOT TO SCALE

REV.	DATE	BY	REVISIONS
1	2/10/22	JAF	REVISED PER CITY OF PORT WENTWORTH COMMENTS

RAY A. PITTMAN, P.E.
 CIVIL ENGINEER
 DESIGN PROFESSIONAL
 CERTIFICATION #12469

PITTMAN ENGINEERING
 2591 Hwy 17S Suite 303
 Richmond Hill, GA 31324
 912-445-0578
 www.PittmanEngineeringCo.com

CONSTRUCTION DETAILS
MULBERRY BOULEVARD EXTENSION
 RICE HOPE
 Prepared For
BEP RICE HOPE LLC

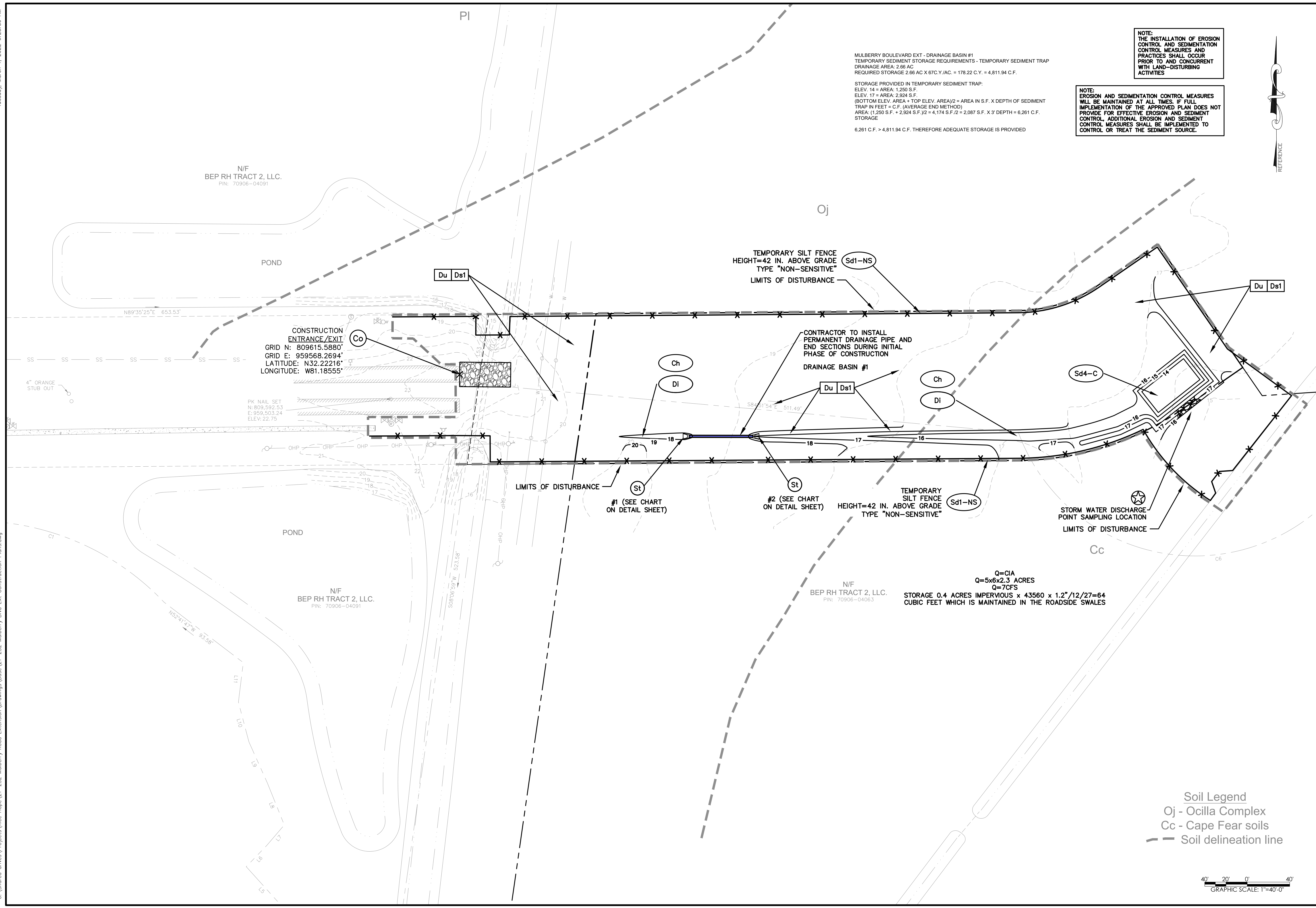
Project No. 21-252
 Drawn By: MCS
 Designed By: MCS
 Checked By: RAP
 Scale: 1"=40'
 Date: 12/21/21

SHEET
C3.1

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REV.	REVISIONS	BY	DATE
1	REVISED PER CITY OF PORT WENTWORTH COMMENTS	JAF	2/10/22

RAY A PITTMAN, P.E.
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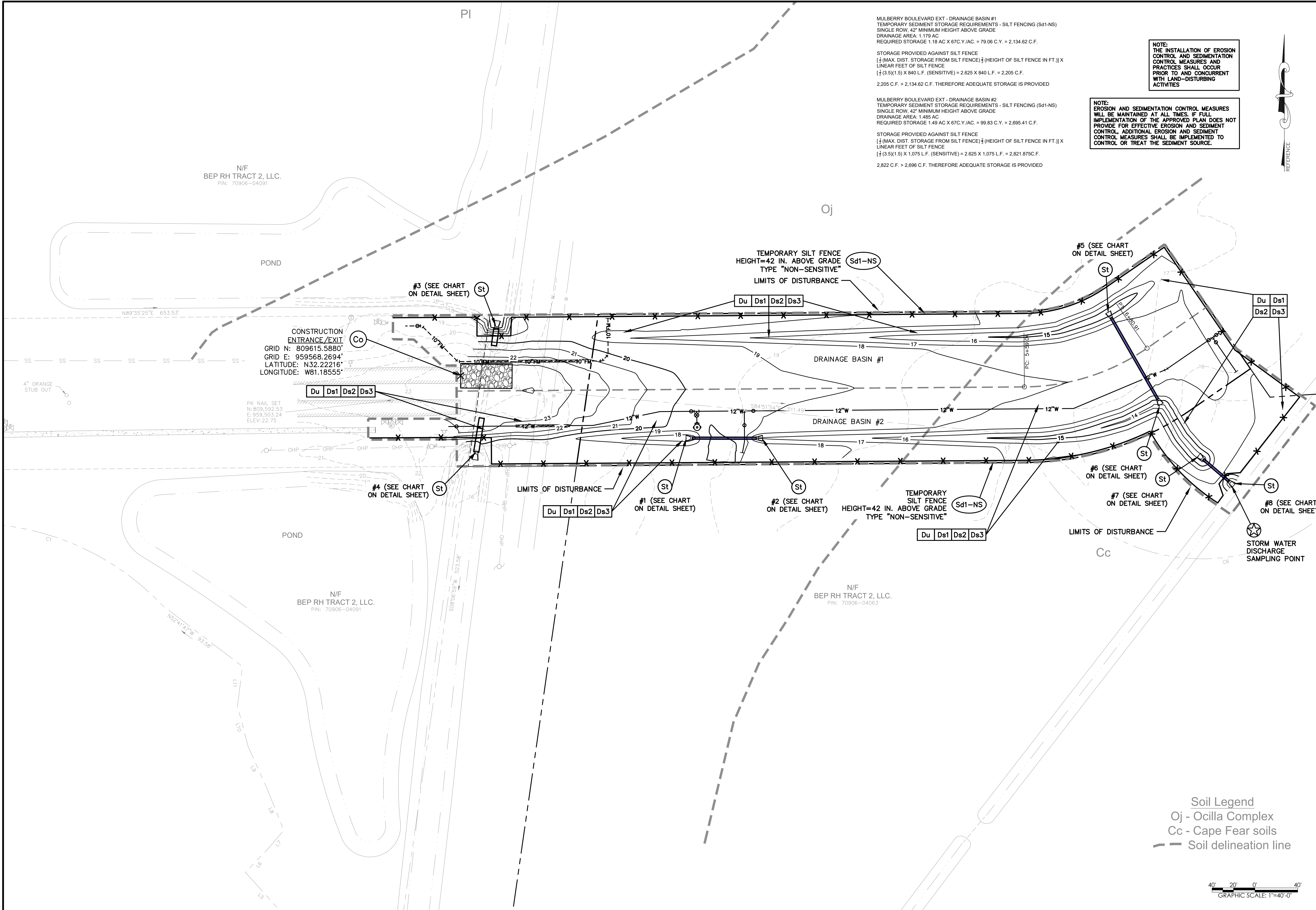
ES&PC PLAN - INITIAL
MULBERRY BOULEVARD EXTENSION
 RICE HOPE
 Prepared For
BEP RICE HOPE LLC

Project No. 21-252
 Drawn By: MCS
 Designed By: MCS
 Checked By: RAP
 Scale: 1"=40'
 Date: 12/21/21

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Tuesday, March 1, 2022 9:23:41 AM

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1	REVISED PER CITY OF PORT WENTWORTH COMMENTS	2/10/22
		JAF
		BY

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 GS/CVCC LEVEL II
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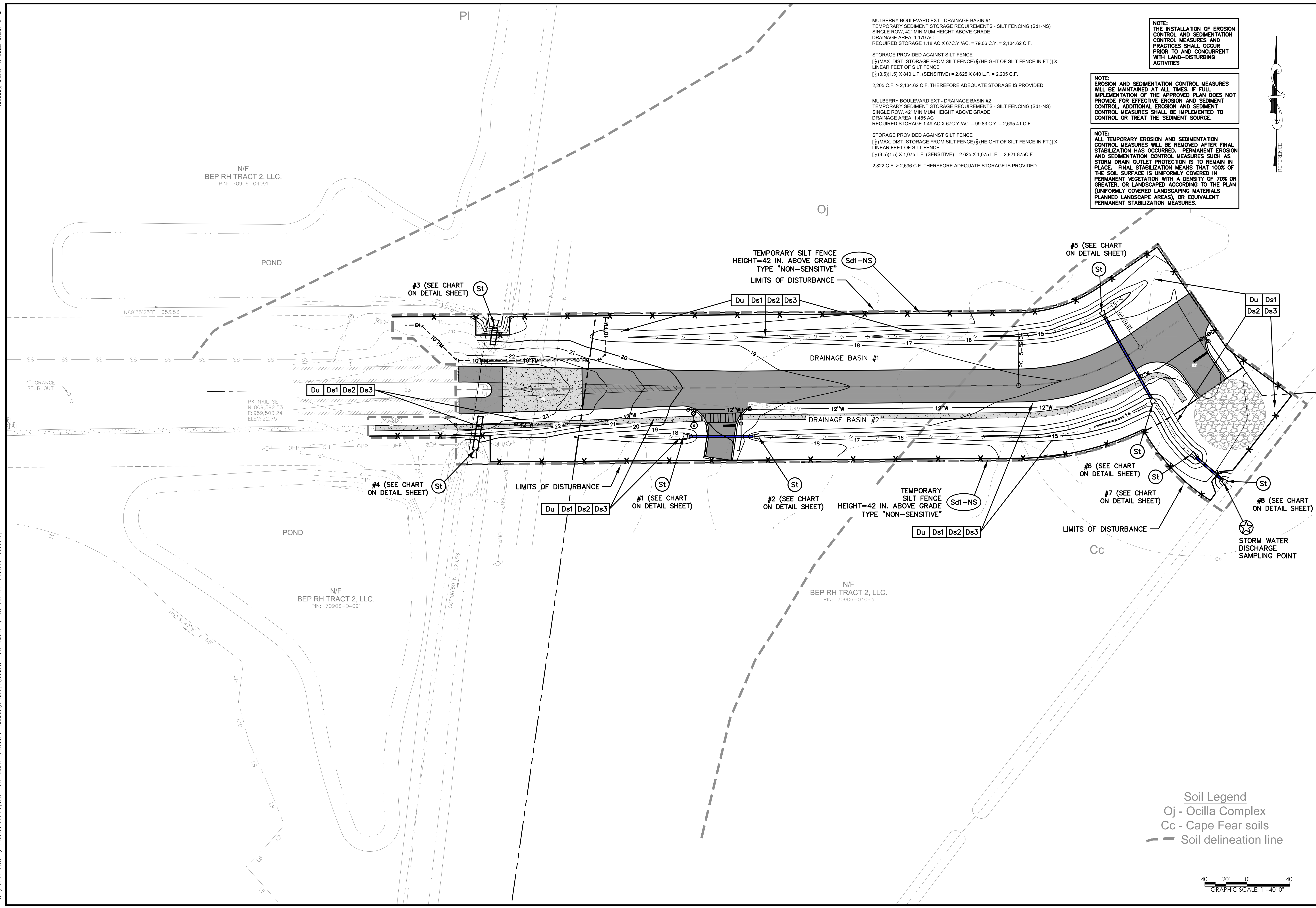
ES&PC PLAN - INTERMEDIATE
MULBERRY BOULEVARD EXTENSION
 RICE HOPE
 Prepared For
BEP RICE HOPE LLC

Project No. 21-252
 Drawn By: MCS
 Designed By: MCS
 Checked By: RAP
 Scale: 1"=40'
 Date: 12/21/21

SHEET
EC2.1

Tuesday, March 1, 2022 9:23:46 AM

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MULBERRY BOULEVARD EXT - DRAINAGE BASIN #1
 TEMPORARY SEDIMENT STORAGE REQUIREMENTS - SILT FENCING (Sd1-NS)
 SINGLE ROW: 42" MINIMUM HEIGHT ABOVE GRADE
 DRAINAGE AREA: 1.179 AC
 REQUIRED STORAGE 1.18 AC X 67C.Y./AC. = 79.06 C.Y. = 2,134.62 C.F.
 STORAGE PROVIDED AGAINST SILT FENCE
 [1/2] (MAX. DIST. STORAGE FROM SILT FENCE) [1/2] (HEIGHT OF SILT FENCE IN FT.) X
 LINEAR FEET OF SILT FENCE
 [1/2] (3.5)(1.5) X 840 L.F. (SENSITIVE) = 2,625 X 840 L.F. = 2,205 C.F.
 2,205 C.F. > 2,134.62 C.F. THEREFORE ADEQUATE STORAGE IS PROVIDED

MULBERRY BOULEVARD EXT - DRAINAGE BASIN #2
 TEMPORARY SEDIMENT STORAGE REQUIREMENTS - SILT FENCING (Sd1-NS)
 SINGLE ROW: 42" MINIMUM HEIGHT ABOVE GRADE
 DRAINAGE AREA: 1.485 AC
 REQUIRED STORAGE 1.49 AC X 67C.Y./AC. = 99.83 C.Y. = 2,695.41 C.F.
 STORAGE PROVIDED AGAINST SILT FENCE
 [1/2] (MAX. DIST. STORAGE FROM SILT FENCE) [1/2] (HEIGHT OF SILT FENCE IN FT.) X
 LINEAR FEET OF SILT FENCE
 [1/2] (3.5)(1.5) X 1,075 L.F. (SENSITIVE) = 2,625 X 1,075 L.F. = 2,821.875 C.F.
 2,822 C.F. > 2,696 C.F. THEREFORE ADEQUATE STORAGE IS PROVIDED

NOTE:
 THE INSTALLATION OF EROSION
 CONTROL AND SEDIMENTATION
 CONTROL MEASURES AND
 PRACTICES SHALL OCCUR
 PRIOR TO AND CONCURRENT
 WITH LAND-DISTURBING
 ACTIVITIES

NOTE:
 EROSION AND SEDIMENTATION CONTROL MEASURES
 WILL BE MAINTAINED AT ALL TIMES. IF FULL
 IMPLEMENTATION OF THE APPROVED PLAN DOES NOT
 PROVIDE FOR EFFECTIVE EROSION AND SEDIMENT
 CONTROL, ADDITIONAL EROSION AND SEDIMENT
 CONTROL MEASURES SHALL BE IMPLEMENTED TO
 CONTROL OR TREAT THE SEDIMENT SOURCE.

NOTE:
 ALL TEMPORARY EROSION AND SEDIMENTATION
 CONTROL MEASURES WILL BE REMOVED AFTER FINAL
 STABILIZATION HAS OCCURRED. PERMANENT EROSION
 AND SEDIMENTATION CONTROL MEASURES SUCH AS
 STORM DRAIN OUTLET PROTECTION IS TO REMAIN IN
 PLACE. FINAL STABILIZATION MEANS THAT 100% OF
 THE SOIL SURFACE IS UNIFORMLY COVERED IN
 PERMANENT VEGETATION WITH A DENSITY OF 70% OR
 GREATER, OR LANDSCAPED ACCORDING TO THE PLAN
 (UNIFORMLY COVERED LANDSCAPING MATERIALS
 PLANNED LANDSCAPE AREAS), OR EQUIVALENT
 PERMANENT STABILIZATION MEASURES.



REV.	REVISIONS	BY	DATE
1	REVISED PER CITY OF PORT WENTWORTH COMMENTS	JAF	2/10/22

RAY A. PITTMAN, P.E.
 CSWCC LEVEL II
 DESIGN PROFESSIONAL
 CERTIFICATION #12469

PITTMAN ENGINEERING

2591 Hwy 17S Suite 303
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 www.PittmanEngineeringCo.com

ES&PC PLAN - FINAL

MULBERRY BOULEVARD EXTENSION
 RICE HOPE
 Prepared For
 BEP RICE HOPE LLC

Project No. 21-252
 Drawn By: MCS
 Designed By: MCS
 Checked By: RAP
 Scale: 1"=40'
 Date: 12/21/21

SHEET
EC3.1

Soil Legend
 Oj - Ocilla Complex
 Cc - Cape Fear soils
 --- Soil delineation line

EROSION, SEDIMENTATION & POLLUTION CONTROL PLAN CHECKLIST STAND ALONE DEVELOPMENT CONSTRUCTION PROJECTS

SWCD: COASTAL

Project Name: MULBERRY BOULEVARD EXTENSION

Address: PORT WENTWORTH, GEORGIA 31407

City/County: PORT WENTWORTH / CHATHAM COUNTY

Date on Plans: 12/21/2021

Provide name and email of the person filling out the checklist: Jason Bryant, jason@pittmanengineeringco.com

Plan Page # Included Y/N table with rows for EC4.1-EC4.3, EC1.1-EC5.3, N/A, EC4.1

TO BE SHOWN ON ES&PC PLAN

- 1. The applicable Erosion, Sedimentation and Pollution Control Plan Checklist established by the Commission as of January 1 of the year in which the land-disturbing activity was permitted. 2. Level II certification number issued by the Commission, signature and seal of the certified design professional. 3. Limit of disturbance shall be no greater than 50 acres at any one time without prior written authorization from the EPD District Office. 4. The name and phone number of the 24-hour local contact responsible for erosion, sedimentation and pollution controls. 5. Provide the name, address, email and phone number of the primary permittee. 6. Note total and disturbed acreage of the project or phase under construction. 7. Provide the GPS location of the construction exit for the site. 8. Initial date of the Plan and the dates of any revisions made to the Plan including the entity who requested the revisions. 9. Description of the nature of construction activity. 10. Provide vicinity map showing site's relation to surrounding areas. 11. Identify the project receiving waters and describe all sensitive adjacent areas including streams, lakes, residential areas, wetlands, etc. 12. Design professional's certification statement and signature that the site was visited prior to development of the ES&PC Plan as stated on Part IV page 19 of the permit.

"I CERTIFY UNDER PENALTY OF LAW THAT THIS PLAN WAS PREPARED AFTER A SITE VISIT TO THE LOCATIONS DESCRIBED HEREIN BY MYSELF OR MY AUTHORIZED AGENT, UNDER MY SUPERVISION."

Signature of Raymond A. Pittman, P.E.

RAYMOND A. PITTMAN, P.E. DATE GSWCC LEVEL II DESIGN PROFESSIONAL - CERTIFICATION #12469

I CERTIFY THAT THE PERMITTEE'S EROSION, SEDIMENTATION AND POLLUTION CONTROL PLAN PROVIDES FOR AN APPROPRIATE AND COMPREHENSIVE SYSTEM OF BEST MANAGEMENT PRACTICES REQUIRED BY THE GEORGIA WATER QUALITY CONTROL ACT AND THE DOCUMENT "MANUAL FOR EROSION AND SEDIMENT CONTROL IN GEORGIA" (MANUAL) PUBLISHED BY THE GEORGIA SOIL AND WATER CONSERVATION COMMISSION AS OF JANUARY 1 OF THE YEAR IN WHICH THE LAND-DISTURBING ACTIVITY WAS PERMITTED, PROVIDES FOR THE SAMPLING OF THE RECEIVING WATER(S) OR THE SAMPLING OF THE STORMWATER OUTFALLS AND THAT THE DESIGNED SYSTEM OF BEST MANAGEMENT PRACTICES AND SAMPLING METHODS IS EXPECTED TO MEET THE REQUIREMENTS CONTAINED IN THE GENERAL NPDES PERMIT NO. GAR100001.

Signature of Raymond A. Pittman, P.E. RAYMOND A. PITTMAN, P.E. DATE GSWCC LEVEL II DESIGN PROFESSIONAL - CERTIFICATION #12469

EC4.1 YES

- 14. Clearly note the statement that "The design professional who prepared the ES&PC Plan is to inspect the installation of the initial sediment storage requirements and perimeter control BMPs within 7 days after installation." in accordance with Part IV.A.5 page 25 of the permit. THE PRIMARY PERMITTEE MUST RETAIN THE DESIGN PROFESSIONAL WHO PREPARED THE PLAN (EXCEPT WHEN THE PRIMARY PERMITTEE HAS REQUESTED IN WRITING AND EPD HAS AGREED TO AN ALTERNATE DESIGN PROFESSIONAL), TO INSPECT THE INSTALLATION OF THE INITIAL SEDIMENT STORAGE REQUIREMENTS AND PERIMETER CONTROL BMPS WHICH THE DESIGN PROFESSIONAL DESIGNED WITHIN SEVEN (7) DAYS AFTER INSTALLATION. THE DESIGN PROFESSIONAL SHALL DETERMINE IF THESE BMPs HAVE BEEN INSTALLED AND ARE BEING MAINTAINED AS DESIGNED. THE DESIGN PROFESSIONAL SHALL REPORT THE RESULTS OF THE INSPECTION TO THE PRIMARY PERMITTEE WITHIN SEVEN (7) DAYS AND THE PERMITTEE MUST CORRECT ALL DEFICIENCIES WITHIN TWO (2) BUSINESS DAYS OF RECEIPT OF THE INSPECTION REPORT FROM THE DESIGN PROFESSIONAL (UNLESS WEATHER RELATED SITE CONDITIONS ARE SUCH THAT ADDITIONAL TIME IS REQUIRED).

Plan Page # Included Y/N table with row EC4.1 YES

TO BE SHOWN ON ES&PC PLAN

- 14. Clearly note the statement that "The design professional who prepared the ES&PC Plan is to inspect the installation of the initial sediment storage requirements and perimeter control BMPs within 7 days after installation." in accordance with Part IV.A.5 page 25 of the permit.*

DESIGN PROFESSIONAL'S 7-DAY VISIT CERTIFICATION:

DATE OF INSPECTION:

I CERTIFY THE SITE WAS IN COMPLIANCE WITH THE ES&PC PLAN ON THE DATE OF INSPECTION.

RAYMOND A. PITTMAN, P.E. DATE GSWCC LEVEL II DESIGN PROFESSIONAL - CERTIFICATION #12469

INSPECTION REVEALED THE FOLLOWING DISCREPANCIES FROM THE ES&PC PLAN:

THE PERMITTEE MUST CORRECT ALL DEFICIENCIES WITHIN TWO (2) BUSINESS DAYS OF RECEIPT OF THE INSPECTION REPORT FROM THE DESIGN PROFESSIONAL UNLESS WEATHER RELATED SITE CONDITIONS ARE SUCH THAT ADDITIONAL TIME IS REQUIRED.

EC4.1 YES

- 15. Clearly note the statement that "Non-exempt activities shall not be conducted within the 25 or 50-foot undisturbed stream buffers as measured from the point of wreted vegetation or within 25-feet of the coastal marshland buffer as measured from the Jurisdictional Determination Line without first acquiring the necessary variances and permits."

"NON-EXEMPT ACTIVITIES SHALL NOT BE CONDUCTED WITHIN THE 25 OR 50-FOOT UNDISTURBED STREAM BUFFERS AS MEASURED FROM THE POINT OF WRESTED VEGETATION OR WITHIN 25-FEET OF THE COASTAL MARSHLAND BUFFER AS MEASURED FROM THE JURISDICTIONAL DETERMINATION LINE WITHOUT FIRST ACQUIRING THE NECESSARY VARIANCES AND PERMITS."

N/A NO

- 16. Provide a description of any buffer encroachments and indicate whether a buffer variance is required. NO BUFFERS REQUIRED.

EC4.1 YES

- 17. Clearly note the statement that "Amendments/revisions to the ES&PC Plan which have a significant effect on BMPs with a hydraulic component must be certified by the design professional." "AMENDMENTS/REVISIONS TO THE ES&PC PLAN WHICH HAVE A SIGNIFICANT EFFECT ON BMPs WITH A HYDRAULIC COMPONENT MUST BE CERTIFIED BY THE DESIGN PROFESSIONAL."

EC4.1 YES

- 18. Clearly note the statement that "Waste materials shall not be discharged to waters of the State, except as authorized by a section 404 permit." WASTE MATERIALS SHALL NOT BE DISCHARGED TO WATERS OF THE STATE, EXCEPT AS AUTHORIZED BY A SECTION 404 PERMIT.

Waste Materials

All waste materials will be collected and stored in a securely lidded metal dumpster. The dumpster will meet all solid waste management regulations. All trash and construction debris from the site will be deposited in the dumpster. The dumpster will be emptied a minimum of once per week or more often if necessary and trash will be hauled as required by local regulations. No construction waste will be buried onsite.

All personnel will be instructed on proper procedures for waste disposal. A notice stating these practices will be posted at the jobsite and the Contractor will be responsible for seeing that these procedures are followed.

EC4.1 YES

- 19. Clearly note statement that "The escape of sediment from the site shall be prevented by the installation of erosion and sediment control measures and practices prior to land disturbing activities."

"THE ESCAPE OF SEDIMENT FROM THE SITE SHALL BE PREVENTED BY THE INSTALLATION OF EROSION AND SEDIMENT CONTROL MEASURES AND PRACTICES PRIOR TO LAND DISTURBING ACTIVITIES."

EC4.1 YES

- 20. Clearly note statement that "Erosion control measures will be maintained at all times. If full implementation of the approved Plan does not provide for effective erosion control, additional erosion and sediment control measures shall be implemented to control or treat the sediment source." "EROSION CONTROL MEASURES WILL BE MAINTAINED AT ALL TIMES. IF FULL IMPLEMENTATION OF THE APPROVED PLAN DOES NOT PROVIDE FOR EFFECTIVE EROSION CONTROL, ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IMPLEMENTED TO CONTROL OR TREAT THE SEDIMENT SOURCE."

EC4.1 YES

- 21. Clearly note the statement "Any disturbed area left exposed for a period greater than 14 days shall be stabilized with mulch or temporary seeding."

"ANY DISTURBED AREA LEFT EXPOSED FOR A PERIOD GREATER THAN 14 DAYS SHALL BE STABILIZED WITH MULCH OR TEMPORARY SEEDING."

N/A NO

- 22. Any construction activity which discharges storm water into an Impaired Stream Segment, or within 1 linear mile upstream of and within the same watershed as, any portion of a Biotically Impaired Stream Segment must comply with Part III, C. of the Permit. Include the completed Appendix 1 listing all the BMPs that will be used for those areas of the site which discharge to the Impaired Stream Segment.*

N/A NO

- 23. If a TMDL Implementation Plan for sediment has been finalized for the Impaired Stream Segment (identified in item 22 above) at least six months prior to submittal of NOI, the ES&PC Plan must address any site-specific conditions or requirements included in the TMDL Implementation Plan.*

Plan Page # Included Y/N table with rows EC2.1-EC3.1 EC5.1, EC4.1

TO BE SHOWN ON ES&PC PLAN

- 24. BMPs for concrete washdown of tools, concrete mixer chutes, hoppers and the rear of the vehicles. Washout of the drum at the construction site is prohibited.*

CONCRETE WASHDOWN FOR TOOLS, CONCRETE MIXER CHUTES, HOPPERS AND REAR OF THE VEHICLES PLACED NEXT TO CONSTRUCTION EXIT. WASHOUT OF THE DRUM AT THE CONSTRUCTION SITE IS PROHIBITED.

- 25. Provide BMPs for the remediation of all petroleum spills and leaks.

Spill Cleanup and Control Practices

- Local, State and manufacturer's recommended methods for spill cleanup will be clearly posted and procedures will be made available to site personnel. Material and equipment necessary for spill cleanup will be kept in the material storage areas. Typical materials and equipment includes, but is not limited to, brooms, dustpans, mops, gloves, goggles, cat litter, sand, sawdust and properly labeled plastic and metal waste container. Spill prevention practices and procedures will be reviewed after a spill and adjusted as necessary to prevent future spills. All spills will be cleaned up immediately upon discovery. All spills will be reported as required by local, State, and Federal Regulations. FOR SPILLS THAT IMPACT SURFACE WATER (LEAVE A SHEEN ON SURFACE WATER), THE NATIONAL RESPONSE CENTER (NRC) WILL BE CONTACTED WITHIN 24 HOURS AT 1-800-424-8802. FOR SPILLS GREATER THAN 25 GALLONS AND NO SURFACE WATER IMPACTS, THE SPILL WILL BE CLEANED UP AND LOCAL AGENCIES WILL BE CONTACTED AS REQUIRED.

The contractor shall notify the licensed professional who prepared this plan if more than 1320 gallons of petroleum is stored onsite (this includes capacities of equipment) or if any one piece of equipment has a capacity greater than 660 gallons. The contractor will need a Spill Prevention Containment and Countermeasures Plan prepared by that licensed professional.

EC1.1-EC3.1 EC5.1-EC4.3 EC5.1-EC5.3 YES

- 26. Description of the measures that will be installed during the construction process to control pollutants in storm water that will occur after construction operations have been completed.*

THE FOLLOWING PERMANENT MEASURES HAVE BEEN ESTABLISHED:

- 1. DRY DETENTION POND
2. RIP-RAP APRONS
3. DISTURBED AREA STABILIZATION WITH PERMANENT GRASSING

CONTROLS:

EROSION AND SEDIMENT CONTROLS:

- ALL PERIMETER SILT FENCES AND CONSTRUCTION EXITS SHALL BE IN PLACE PRIOR TO ANY LAND DISTURBING ACTIVITIES. EXISTING VEGETATION SHALL BE LEFT IN PLACE UNTIL SUCH TIME THAT LAND DISTURBING ACTIVITIES ARE TO TAKE PLACE UPON THAT PORTION OF THE SITE. WHEN CONSTRUCTION ACTIVITIES HAVE CEASED IN AN AREA, THAT AREA SHALL BE STABILIZED WITHIN 14 DAYS. IF THE AREA IS NOT TO FINAL GRADE, THE AREA SHALL BE MULCHED. IF THE AREA IS TO FINAL GRADE AND WILL EVENTUALLY CONTAIN SITE IMPROVEMENTS SUCH AS STRUCTURES OR SIDEWALKS, IT SHALL BE TEMPORARY SEEDED. AREAS BROUGHT TO FINAL GRADE THAT WILL REMAIN PERVIOUS ARE TO BE PERMANENTLY SEEDED. ALLOWABLE EXCEPTIONS FROM THE NPDES GENERAL PERMIT NO. GAR 100001, ARE NOTED BELOW. WHERE THE INITIATION OF STABILIZATION MEASURES BY THE 14th DAY AFTER CONSTRUCTION ACTIVITY TEMPORARILY OR PERMANENTLY CEASES DUE TO SNOW COVER OR OTHER ADVERSE WEATHER CONDITIONS, STABILIZATION MEASURES SHALL BE INITIATED AS SOON AS PRACTICABLE. WHERE CONSTRUCTION ACTIVITY WILL RESUME ON A PORTION OF THE SITE WITHIN 21 DAYS FROM WHEN ACTIVITIES CEASED, (E.G. THE TOTAL TIME PERIOD THAT CONSTRUCTION ACTIVITY IS TEMPORARILY CEASED IS LESS THAN 21 DAYS) THEN STABILIZATION MEASURES DO NOT HAVE TO BE INITIATED ON THAT PORTION OF THE SITE BY THE 14th DAY AFTER CONSTRUCTION ACTIVITY TEMPORARILY CEASED. PLEASE REFER TO ATTACHED SHEETS FOR THE LAND DISTURBANCE CONSTRUCTION SCHEDULE (SHEET EC4.1) AND TEMPORARY AND PERMANENT GRASSING SCHEDULE (SHEET EC5.1). THE STORMWATER WILL BE DISCHARGED FROM THE BASIN TO THE EXISTING STORMWATER SYSTEM AND THROUGH THE DOWNSTREAM DITCH SYSTEM AND EVENTUALLY TO THE SAVANNAH RIVER.

NON-STORMWATER DISCHARGE:

- ALL NON-STORMWATER DISCHARGES WILL BE ROUTED THROUGH ON-SITE BMP'S AND THE STORMWATER MANAGEMENT SYSTEM WHERE POSSIBLE. THESE DISCHARGES INCLUDE FLUSHING OF WATER AND FIRE LINES, IRRIGATION WATER, GROUND WATER, DEWATERING OF PITS OR DEPRESSIONS WITHIN THE CONSTRUCTION SITE AND RINSE-OFF WATER OF NON-MATERIALS.

OTHER CONTROLS:

- NO WASTE WILL BE DISPOSED INTO STORMWATER INLETS OR WATERS OF THE STATE.

WASTE MATERIALS:

ALL WASTE MATERIALS WILL BE COLLECTED AND STORED IN A SECURELY LIDDED METAL DUMPSTER. THE DUMPSTER WILL MEET ALL SOLID WASTE MANAGEMENT REGULATIONS. THE DUMPSTER WILL BE EMPTIED A MINIMUM OF ONCE A WEEK OR MORE OFTEN IF NEEDED AND TRASH WILL BE HAULED AS REQUIRED BY LOCAL REGULATIONS. NO CONSTRUCTION WASTE WILL BE BURIED ON-SITE. ALL PERSONNEL WILL BE INSTRUCTED ON PROPER PROCEDURE FOR WASTE DISPOSAL. A NOTICE STATING THESE PRACTICES WILL BE POSTED AT THE JOBSITE AND THE CONTRACTOR WILL BE RESPONSIBLE FOR SEEING THAT THESE PROCEDURES ARE FOLLOWED.

HAZARDOUS WASTES

ALL HAZARDOUS WASTE MATERIALS WILL BE DISPOSED OF IN THE MANNER SPECIFIED BY LOCAL, STATE, AND/OR FEDERAL REGULATIONS AND BY THE MANUFACTURER OF SUCH PRODUCTS. THE JOB SITE SUPERINTENDENT (WHO WILL ALSO BE RESPONSIBLE FOR SEEING THAT THESE PRACTICES ARE FOLLOWED) WILL INSTRUCT SITE PERSONNEL IN THESE PRACTICES. MATERIAL SAFETY DATA SHEETS (MSDS's) FOR EACH SUBSTANCE WITH HAZARDOUS PROPERTIES THAT IS USED ON THE JOB SITE WILL BE OBTAINED AND USED FOR THE PROPER MANAGEMENT OF POTENTIAL WASTES THAT MAY RESULT FROM THESE PRODUCTS. AN MSDS WILL BE POSTED IN THE IMMEDIATE AREA WHERE SUCH PRODUCT IS STORED AND/OR USED AND ANOTHER COPY OF EACH MSDS WILL BE MAINTAINED IN THE ESPCP FILE AT THE JOB SITE CONSTRUCTION TRAILER OFFICE. EACH EMPLOYEE WHO MUST HANDLE A SUBSTANCE WITH HAZARDOUS PROPERTIES WILL BE INSTRUCTED ON THE USE OF MSDS AND THE SPECIFIC INFORMATION IN THE APPLICABLE MSDS FOR THE PRODUCT HE/SHE IS USING, PARTICULARLY REGARDING SPILL CONTROL TECHNIQUES.

THE CONTRACTOR WILL IMPLEMENT THE SPILL PREVENTION CONTROL AND COUNTERMEASURES (SPCC) PLAN FOUND WITHIN THE ESPCP AND WILL TRAIN ALL PERSONNEL IN THE PROPER CLEANUP AND HANDLING OF SPILLED MATERIALS. NO SPILLED HAZARDOUS MATERIAL OR HAZARDOUS WASTES WILL BE ALLOWED TO COME IN CONTACT WITH STORM WATER DISCHARGES. IF SUCH CONTACT OCCURS, THE STORM WATER DISCHARGE WILL BE CONTAINED ON SITE UNTIL APPROPRIATE MEASURES (IN COMPLIANCE WITH STATE AND FEDERAL REGULATIONS) ARE TAKEN TO DISPOSE OF SUCH CONTAMINATED STORM WATER. IT SHALL BE THE RESPONSIBILITY OF THE JOB SITE SUPERINTENDENT TO PROPERLY TRAIN ALL PERSONNEL IN THE USE OF THE SPCC PLAN.

SANITARY WASTES:

A MINIMUM OF ONE PORTABLE SANITARY UNIT WILL BE PROVIDED FOR EVERY 10 WORKERS ON THE SITE. ALL SANITARY WASTE WILL BE COLLECTED FROM THE PORTABLE UNITS A MINIMUM OF ONE TIME PER WEEK BY A LICENSED PORTABLE FACILITY PROVIDER IN COMPLETE COMPLIANCE WITH LOCAL AND STATE REGULATIONS. ALL SANITARY WASTE UNITS WILL BE LOCATED IN AN AREA WHERE THE LIKELIHOOD OF THE UNIT CONTRIBUTION TO STORM WATER DISCHARGE IS NEGLIGIBLE. ADDITIONAL CONTAINMENT BMP'S MUST BE IMPLEMENTED SUCH AS GRAVEL BAGS OR SPECIALTY DESIGNED PLASTIC SKID CONTAINERS AROUND THE BASES, TO PREVENT WASTE FROM CONTRIBUTING TO STORM WATER DISCHARGE. THE LOCATION OF SANITARY WASTE UNITS MUST BE IDENTIFIED IN THE EROSION CONTROL GRADING PLAN, BY THE CONTRACTOR ONCE THE LOCATIONS HAVE BEEN DETERMINED. SANITARY SEWER WILL BE PROVIDED BY BRYAN COUNTY AT THE COMPLETION OF THIS PROJECT.

OFF-SITE VEHICLE TRACKING:

A STABILIZED CONSTRUCTION EXIT HAS BEEN PROVIDED TO HELP REDUCE VEHICLE TRACKING OF SEDIMENT. SEE SHEETS EC1.1-EC3.1 FOR CONSTRUCTION EXIT LOCATIONS AND SHEET EC5.1 FOR DETAILS. THE PAVED STREET ADJACENT TO THE SITE EXIT WILL BE INSPECTED DAILY FOR TRACKING OF DIRT, MUD, OR ROCK. DUMP TRUCKS HAULING MATERIAL TO OR FROM THE CONSTRUCTION SITE WILL BE COVERED WITH A TARP/PAUL.

Revisions table with columns for REV, REV# CITY OF PORT WENTWORTH COMMENTS, DATE

Professional Engineer seal for Raymond A. Pittman, P.E., No. 017860, Design Professional Certification #12469, State of Georgia.

PITTMAN ENGINEERING logo and address: 2591 Hwy 175 Suite 303, Richmond Hill, GA 31324, www.PittmanEngineeringCo.com

MULBERRY BOULEVARD EXTENSION RICE HOPE logo and prepared for BEP RICE HOPE LLC

Project No. 21-252, Drawn By: MCS, Designed By: MCS, Checked By: RAP, Scale: N/A, Date: 12/21/21

SHEET EC4.1

Tuesday, March 1, 2022 9:23:56 AM

EROSION, SEDIMENTATION & POLLUTION CONTROL PLAN CHECKLIST STAND ALONE DEVELOPMENT CONSTRUCTION PROJECTS

Plan Included
Page # Y/N TO BE SHOWN ON ES&PC PLAN

Plan Included
Page # Y/N TO BE SHOWN ON ES&PC PLAN

INVENTORY FOR POLLUTION PREVENTION PLAN:

THE FOLLOWING MATERIALS ARE EXPECTED ON-SITE DURING CONSTRUCTION: CONCRETE PRODUCTS, ASPHALT, PETROLEUM BASED FUEL AND LUBRICANTS FOR EQUIPMENT, TAR, METAL BUILDING MATERIALS, LUMBER, SHEET ROCK, FLOOR COVERINGS, ELECTRICAL WIRE AND FIXTURES, PAINT/STAINS/FINISHING TREATMENTS, PAINT, PAINT SOLVENTS, ADDITIVES FOR SOIL STABILIZATION, CLEANING SOLVENTS, PESTICIDES, FERTILIZERS, HERBICIDES, CRUSHED STONE, AND METAL PIPES.

SPILL PREVENTION:

PRACTICES SUCH AS GOOD HOUSEKEEPING, PROPER HANDLING OF HAZARDOUS PRODUCTS AND PROPER SPILL CONTROL PRACTICES WILL BE FOLLOWED TO REDUCE THE RISKS OF SPILLS AND SPILLS FROM DISCHARGING INTO STORMWATER RUNOFF.

GOOD HOUSEKEEPING:

- QUANTITIES OF PRODUCTS STORED ON-SITE WILL BE LIMITED TO THE AMOUNT NEEDED FOR THE JOB.
- PRODUCTS AND MATERIALS WILL BE STORED IN A NEAT, ORDERLY MANNER IN APPROPRIATE CONTAINERS PROTECTED FROM RAINFALL, WHERE POSSIBLE.
- PRODUCTS WILL BE KEPT IN THEIR ORIGINAL CONTAINERS WITH MANUFACTURER LABELS VISIBLE.
- PRODUCTS MIXING, DISPOSAL AND DISPOSAL OF PRODUCT CONTAINERS WILL BE ACCORDING TO THE MANUFACTURER'S RECOMMENDATIONS.
- THE CONTRACTOR WILL INSPECT SUCH MATERIALS TO ENSURE PROPER USE, STORAGE, AND DISPOSAL.

MAINTENANCE & INSPECTION OF EROSION & SEDIMENT CONTROLS:

MAINTENANCE:

THE FOLLOWING BEST MANAGEMENT PRACTICE MAINTENANCE CRITERIA ARE TAKEN FROM THE "MANUAL FOR EROSION AND SEDIMENT CONTROL IN GEORGIA," LATEST EDITION.

CONSTRUCTION EXITS SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT TRACKING OR FLOW OR MUD ONTO PUBLIC RIGHT-OF-WAY. THIS MAY REQUIRE PERIODIC DRESSING WITH 1.5-3.5 INCH STONE, AS CONDITIONS DEMAND, AND REPAIR AND/OR CLEANING OF ANY STRUCTURES TO TRAP SEDIMENT. ALL MATERIAL SPILLED, DROPPED, WASHED, OR TRACKED FROM VEHICLES OR SITE ONTO ROADWAYS OR INTO STORM DRAINS MUST BE REMOVED IMMEDIATELY.

RETROFIT STRUCTURES SHALL BE KEPT CLEAR OF TRASH AND DEBRIS. THIS WILL REQUIRE CONTINUOUS MONITORING AND MAINTENANCE, WHICH INCLUDES SEDIMENT REMOVAL WHEN ONE-THIRD OF THE SEDIMENT STORAGE CAPACITY HAS BEEN LOST.

SEDIMENT SHALL BE REMOVED FROM SILT FENCES ONCE IT HAS ACCUMULATED TO ONE-THIRD THE ORIGINAL HEIGHT OF THE BARRIER. FILTER FABRIC SHALL BE REPLACED WHENEVER IT HAS DETERIORATED TO SUCH AN EXTENT THAT THE EFFECTIVENESS OF THE FABRIC IS REDUCED (APPROXIMATELY SIX MONTHS).

SEDIMENT SHALL BE REMOVED FROM SEDIMENT TRAPS WHEN THE SEDIMENT HAS ACCUMULATED TO ONE-HALF THE HEIGHT OF THE TRAP. SEDIMENT SHALL BE REMOVED FROM CURB INLET PROTECTION IMMEDIATELY. FOR EXCAVATED INLET SEDIMENT TRAPS, SEDIMENT SHALL BE REMOVED WHEN ONE-HALF OF THE SEDIMENT STORAGE CAPACITY HAS BEEN LOST TO SEDIMENT ACCUMULATION.

SEDIMENT SHALL NOT BE WASHED INTO THE INLET. IT SHALL BE REMOVED FROM THE SEDIMENT TRAP AND DISPOSED OF AND STABILIZED SO THAT IT WILL NOT ENTER THE INLET AGAIN.

WHEN THE CONTRIBUTING DRAINAGE AREA HAS BEEN PERMANENTLY STABILIZED, ALL MATERIALS AND ANY SEDIMENT SHALL BE REMOVED, AND EITHER SALVAGED OR DISPOSED OF PROPERLY. THE DISTURBED AREA SHALL BE BROUGHT TO PROPER GRADE, SMOOTHED AND COMPACTED.

APPROPRIATELY STABILIZE ALL DISTURBED AREAS AROUND THE INLET.

REPAIR ALL DAMAGES CAUSED TO TEMPORARY SEDIMENT BASINS BY SOIL EROSION OR CONSTRUCTION EQUIPMENT AT OR BEFORE THE END OF EACH WORKING DAY. SEDIMENT SHALL BE REMOVED FROM THE BASIN WHEN IT REACHES THE TOP OF THE RISER. SEDIMENT SHALL NOT ENTER ADJACENT STREAMS OR DRAINAGE WAYS DURING SEDIMENT REMOVAL OR DISPOSAL. THE SEDIMENT SHALL NOT BE DEPOSITED DOWNSTREAM FROM THE EMBANKMENT, ADJACENT TO A STREAM OR FLOODPLAIN.

INSPECT RIPRAP OUTLET STRUCTURES AFTER HEAVY RAINS TO SEE IF ANY EROSION AROUND OR BELOW THE RIPRAP HAS TAKEN PLACE OR IF STONES HAVE BEEN DISLODGED. IMMEDIATELY MAKE ALL NEEDED REPAIRS TO PREVENT FURTHER DAMAGE.

ROUGHENED AREAS SHALL BE SEEDED AND MULCHED AS SOON AS POSSIBLE TO OBTAIN OPTIMUM SEED GERMINATION AND SEEDING GROWTH.

MULCH OR TEMPORARY GRASSING SHALL BE APPLIED TO ALL EXPOSED AREAS WITHIN 14 DAYS OF DISTURBANCES. MULCH CAN BE USED AS A SINGULAR EROSION CONTROL DEVICE FOR UP TO 6 MONTHS, BUT IT SHALL BE APPLIED AT THE APPROPRIATE DEPTH (DEPENDING ON THE MATERIALS USED), ANCHORED, AND HAVE A CONTINUOUS 90% COVER. TEMPORARY VEGETATION MAY BE EMPLOYED INSTEAD OF MULCH IF THE AREA WILL REMAIN UNDISTURBED FOR LESS THAN 8 MONTHS. IF THE AREA WILL REMAIN UNDISTURBED FOR GREATER THAN 6 MONTHS, PERMANENT VEGETATIVE TECHNIQUES SHALL BE EMPLOYED.

PERMANENT VEGETATION SHALL BE APPLIED IMMEDIATELY TO ROUGH GRADED AREAS THAT WILL BE UNDISTURBED FOR LONGER THAN 6 MONTHS. THIS PRACTICE OF SODDING SHALL BE APPLIED IMMEDIATELY TO ALL AREAS AT FINAL GRADE. FINAL STABILIZATION MEANS THAT ALL SOIL DISTURBING ACTIVITIES AT THE SITE HAVE BEEN COMPLETED, AND THAT FOR THE UNPAVED AREAS AND AREAS NOT COVERED IN PERMANENT STRUCTURES AT LEAST 70% OF THE SOIL SURFACE IS UNIFORMLY COVERED IN PERMANENT VEGETATION OR EQUIVALENT PERMANENT STABILIZATION MEASURES (SUCH AS THE USE OF RIPRAP, GABIONS, PERMANENT MULCHES OR GEOTEXTILES) HAVE BEEN EMPLOYED. PERMANENT VEGETATION SHALL CONSIST OF PLANTED TREES, SHRUBS, PERENNIAL VINES, A CROP OF PERENNIAL VEGETATION APPROPRIATE FOR THE REGION, SUCH THAT WITHIN THE GROWING SEASON, A 70% COVERAGE BY PERENNIAL VEGETATION SHALL BE ACHIEVED. FINAL STABILIZATION APPLIES TO EACH PHASE OF CONSTRUCTION UNTIL THIS STANDARD IS SATISFIED AND PERMANENT CONTROL MEASURES AND FACILITIES ARE OPERATIONAL. INTERIM STABILIZATION MEASURES AND TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES SHALL NOT BE REMOVED.

EC4.2 YES 27. DESCRIPTION OF PRACTICES TO PROVIDE COVER FOR BUILDING MATERIALS AND BUILDING PRODUCTS ON SITE.*

FOR BUILDING MATERIALS, BUILDING PRODUCTS, CONSTRUCTION WASTES, TRASH, LANDSCAPE MATERIALS, FERTILIZERS, PESTICIDES, HERBICIDES, DETERGENTS, SANITARY WASTE AND OTHER MATERIALS PRESENT ON THE SITE, PROVIDE COVER (E.G. PLASTIC SHEETING, TEMPORARY ROOFS) TO MINIMIZE THE EXPOSURE OF THESE PRODUCTS TO PRECIPITATION AND TO STORMWATER, OR A SIMILARLY EFFECTIVE MEANS DESIGNED TO MINIMIZE THE DISCHARGE OF POLLUTANTS FROM THESE AREAS. MINIMIZATION OF EXPOSURE IS NOT REQUIRED IN CASES WHERE EXPOSURE TO PRECIPITATION AND TO STORMWATER WILL NOT RESULT IN A DISCHARGE OF POLLUTANTS, OR WHERE EXPOSURE OF A SPECIFIC MATERIAL OR PRODUCT POSSES LITTLE RISK TO STORMWATER CONTAMINATION (SUCH AS FINAL PRODUCTS AND MATERIALS INTENDED FOR OUTDOOR USE).

EC4.2 YES 28. Description of the practices that will be used to reduce the pollutants in storm water discharges.*

Product Specific Practices

Petroleum Based Products – Containers for products such as fuel, lubricants and tars will be inspected daily for leaks and spills. This includes on-site vehicle and machinery daily inspections and regular preventative maintenance of such equipment. Equipment maintenance areas will be located away from state water, natural drains and storm water drainage inlets. In addition, temporary fueling tanks shall have a secondary containment liner to prevent/minimize site contamination. Discharge of oils, fuels and lubricants is prohibited. Proper disposal methods will include collection in a suitable container and disposal as required by local and State regulations.

Paints/Finishes/Solvents – All products will be stored in tightly sealed original containers when not in use. Excess product will not be discharged to the storm water collection system. Excess product, materials used with these products and product containers will be disposed of according to manufacturer's specifications and recommendations.

Concrete Truck Washing – NO concrete trucks will be allowed to wash out or discharge surplus concrete or drum wash water onsite.

Fertilizer/Herbicides – These products will be applied at rates that do not exceed the manufacturer's specifications or above the guidelines set forth in the crop establishment or in the GSWC Manual for Erosion and Sediment Control in Georgia. Any storage of these materials will be under roof in sealed containers.

Building Materials – No building or construction materials will be buried or disposed of onsite. All such materials will be disposed of using proper waste disposal procedures.

EC4.2 YES 29. Description and chart or timeline of the intended sequence of major activities which disturb soils for the major portions of the site (i.e., initial perimeter and sediment storage BMPs, clearing and grubbing activities, excavation activities, utility activities, temporary and final stabilization).

CONSIDERATIONS FOR CONSTRUCTION SCHEDULING

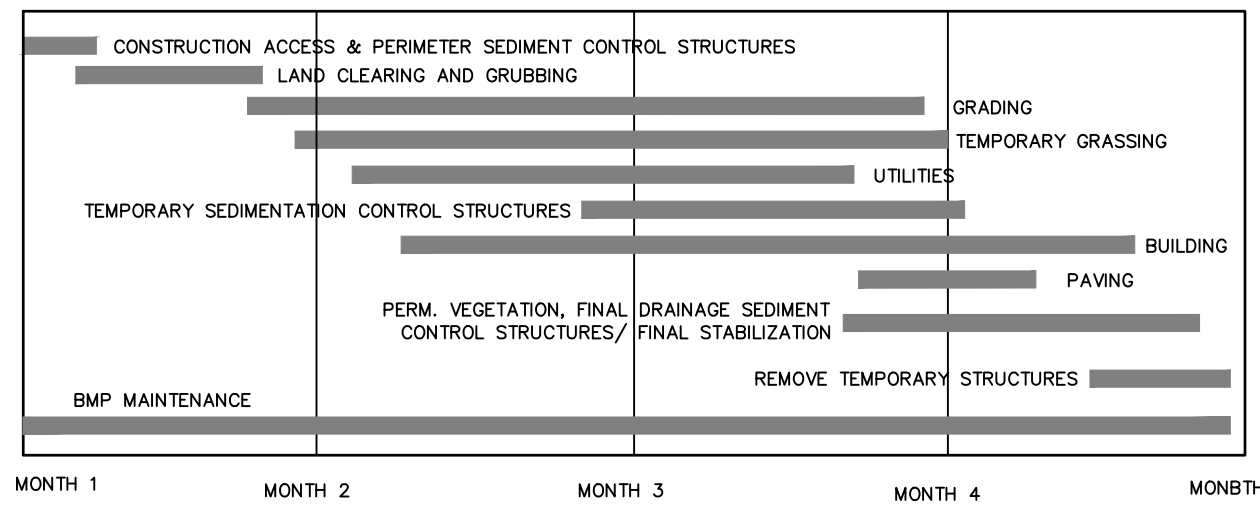
A SPECIFIED WORK SCHEDULE IS NEEDED TO COORDINATE THE TIMING OF LAND DISTURBING ACTIVITIES WITH THE INSTALLATION OF EROSION AND SEDIMENTATION CONTROL MEASURES.

THE PURPOSE OF THE SCHEDULE IS TO REDUCE ON-SITE EROSION AND OFF-SITE SEDIMENTATION BY PERFORMING LAND DISTURBING ACTIVITIES AND INSTALLING EROSION AND SEDIMENTATION CONTROL PRACTICES IN ACCORDANCE WITH A PLANNED SCHEDULE.

IN PLANNING CONSTRUCTION WORK, IT MAY BE HELPFUL TO OUTLINE ALL LAND DISTURBING ACTIVITIES NECESSARY TO COMPLETE THE PROPOSED PROJECT. THEN LIST ALL PRACTICES NEEDED TO CONTROL EROSION AND SEDIMENTATION ON THE SITE. THESE TWO LISTS CAN THEN BE COMBINED IN LOGICAL ORDER TO PROVIDE A PRACTICAL AND EFFECTIVE CONSTRUCTION SEQUENCE SCHEDULE THAT BECOMES PART OF THE EROSION AND SEDIMENTATION CONTROL PLAN.

CONSTRUCTION ACTIVITY	SCHEDULE CONSIDERATION
1. OBTAIN ALL PLAN APPROVALS AND OTHER APPLICABLE PERMITS.	
2. FLAG THE WORK LIMITS AND MARK THE TREES AND BUFFER AREAS FOR PROTECTION.	
3. HOLD PRE CONSTRUCTION CONFERENCE AT LEAST ONE WEEK PRIOR TO STARTING CONSTRUCTION.	
4. CONSTRUCTION ACCESS – CONSTRUCTION ENTRANCE, CONSTRUCTION ROUTES, EQUIPMENT PARKING AREAS.	FIRST LAND DISTURBING ACTIVITY -- STABILIZE BARE AREAS IMMEDIATELY WITH GRAVEL AND TEMPORARY VEGETATION AS CONSTRUCTION TAKES PLACE.
5. SEDIMENT TRAPS AND BARRIERS – BASIN TRAPS, SEDIMENT FENCES, AND OUTLET PROTECTION.	INSTALL PRINCIPAL BASINS AFTER CONSTRUCTION SITE IS ACCESSED. INSTALL ADDITIONAL TRAPS AND BARRIERS AS NEEDED DURING GRADING.
6. RUNOFF CONTROL – DIVERSIONS, PERMIETER DIKES, WATER BARS, AND OUTLET PROTECTION.	INSTALL KEY PRACTICES AFTER PRINCIPAL SEDIMENT TRAPS AND BEFORE LAND GRADING. INSTALL ADDITIONAL RUNOFF-CONTROL MEASURES DURING GRADING.
7. RUNOFF CONVEYANCE SYSTEM- STABILIZE STREAM BANKS, STORM DRAINS, CHANNELS, INLET AND OUTLET PROTECTION, SLOPE DRAINS.	WHERE NECESSARY, STABILIZE STREAM BANKS AS EARLY AS POSSIBLE. INSTALL PRINCIPAL RUNOFF CONVEYANCE SYSTEM WITH RUNOFF- CONTROL MEASURES. INSTALL REMAINDER OF SYSTEM AFTER GRADING.
8. LAND CLEARING AND GRADING-SITE PREPARATION CUTTING, FILLING AND GRADING, SEDIMENTATION TRAPS, BARRIERS, DIVERSIONS, DRAINS, SURFACE ROUGHENING.	BEGIN MAJOR CLEARING AND GRADING AFTER PRINCIPAL SEDIMENT AND KEY RUNOFF-CONTROL MEASURES ARE INSTALLED. CLEAR BORROW AND DISPOSAL AREAS ONLY AS NEEDED. INSTALL ADDITIONAL CONTROL MEASURES AS GRADING PROGRESSES. MARK TREES AND BUFFER AREAS FOR PRESERVATION.
9. SURFACE STABILIZATION-TEMPORARY AND PERMANENT SEEDING, MULCHING, SODDING, RIPRAP.	APPLY TEMPORARY OR PERMANENT STABILIZATION MEASURES IMMEDIATELY ON ALL DISTURBED AREAS WHERE WORK IS DELAYED OR COMPLETE.
10. UTILITIES, PAVING, BUILDING	INSTALL NECESSARY EROSION AND SEDIMENTATION CONTROL PRACTICES AS WORK TAKES PLACE.
11. LANDSCAPING AND FINAL STABILIZATION – TOPSOILING, TREES AND SHRUBS, PERMANENT SEEDING, MULCHING, SODDING RIPRAP.	LAST CONSTRUCTION PHASE--STABILIZE ALL OPEN AREAS, INCLUDING BORROW AND SPOIL AREAS. REMOVE AND STABILIZE ALL TEMPORARY CONTROL MEASURES.

PROPOSED CONSTRUCTION SCHEDULE:



EC4.2 YES 30. Provide complete requirements of inspections and record keeping by the primary permittee.*

INSPECTIONS

A. PERMITTEE REQUIREMENTS.

- EACH DAY WHEN ANY TYPE OF CONSTRUCTION ACTIVITY HAS TAKEN PLACE AT A PRIMARY PERMITTEE'S SITE, CERTIFIED PERSONNEL PROVIDED BY THE PRIMARY PERMITTEE SHALL INSPECT:
 - ALL AREAS AT THE PRIMARY PERMITTEE'S SITE WHERE PETROLEUM PRODUCTS ARE STORED, USED, OR HANDLED FOR SPILLS AND LEAKS FROM VEHICLES AND EQUIPMENT AND
 - ALL LOCATIONS AT THE PRIMARY PERMITTEE'S SITE WHERE VEHICLES ENTER OR EXIT THE SITE FOR EVIDENCE OF OFF-SITE SEDIMENT TRACKING. THESE INSPECTIONS MUST BE CONDUCTED UNTIL A NOTICE OF TERMINATION IS SUBMITTED.
- MEASURE AND RECORD RAINFALL WITHIN DISTURBED AREAS OF THE SITE THAT HAVE NOT MET FINAL STABILIZATION ONCE EVERY 24 HOURS EXCEPT ANY NON-WORKING SATURDAY, NON-WORKING SUNDAY AND NON-WORKING FEDERAL HOLIDAY. THE DATA COLLECTED FOR THE PURPOSE OF COMPLIANCE WITH THIS PERMIT SHALL BE REPRESENTATIVE OF THE MONITORING ACTIVITY. MEASUREMENT OF RAINFALL MAY BE SUSPENDED IF ALL AREAS OF THE SITE HAVE UNDERGONE FINAL STABILIZATION OR ESTABLISHED A CROP OF ANNUAL VEGETATION AND A SEEDING OF TARGET PERENNIALS APPROPRIATE FOR THE REGION.
- CERTIFIED PERSONNEL (PROVIDED BY THE PRIMARY PERMITTEE) SHALL INSPECT THE FOLLOWING AT LEAST ONCE EVERY SEVEN (7) CALENDAR DAYS AND WITHIN 24 HOURS OF THE END OF A STORM THAT IS 0.5 INCHES RAINFALL OR GREATER (UNLESS SUCH STORM ENDS AFTER 5:00 PM ON ANY FRIDAY OR ON ANY NON-WORKING SATURDAY, NON-WORKING SUNDAY OR ANY NON-WORKING FEDERAL HOLIDAY IN WHICH CASE THE INSPECTION SHALL BE COMPLETED BY THE END OF THE NEXT BUSINESS DAY AND/OR WORKING DAY, WHICHEVER OCCURS FIRST):
 - DISTURBED AREAS OF THE PRIMARY PERMITTEE'S CONSTRUCTION SITE;
 - AREAS USED BY THE PRIMARY PERMITTEE FOR STORAGE OF MATERIALS THAT ARE EXPOSED TO PRECIPITATION; AND
 - STRUCTURAL CONTROL MEASURES, EROSION AND SEDIMENT CONTROL MEASURES IDENTIFIED IN THE PLAN APPLICABLE TO THE PRIMARY PERMITTEE'S SITE SHALL BE OBSERVED TO ENSURE THAT THEY ARE OPERATING CORRECTLY, WHERE DISCHARGE LOCATIONS OR POINTS ARE ACCESSIBLE, THEY SHALL BE INSPECTED TO ASCERTAIN WHETHER EROSION CONTROL MEASURES ARE EFFECTIVE IN PREVENTING SIGNIFICANT IMPACTS TO RECEIVING WATER(S). FOR AREAS OF A SITE THAT HAVE UNDERGONE FINAL STABILIZATION OR ESTABLISHED A CROP OF ANNUAL VEGETATION AND A SEEDING OF TARGET PERENNIALS APPROPRIATE FOR THE REGION, THE PERMITTEE MUST COMPLY WITH PART IV.D.4.(4). THESE INSPECTIONS MUST BE CONDUCTED UNTIL A NOTICE OF TERMINATION IS SUBMITTED.
- CERTIFIED PERSONNEL (PROVIDED BY THE PRIMARY PERMITTEE) SHALL INSPECT AT LEAST ONCE PER MONTH DURING THE TERM OF THIS PERMIT (I.E., UNTIL A NOTICE OF TERMINATION HAS BEEN SUBMITTED) THE AREAS OF THE SITE THAT HAVE UNDERGONE FINAL STABILIZATION OR ESTABLISHED A CROP OF ANNUAL VEGETATION AND A SEEDING OF TARGET PERENNIALS APPROPRIATE FOR THE REGION. THESE AREAS SHALL NOT BE INSPECTED FOR EVIDENCE OF, OR THE POTENTIAL FOR, POLLUTANTS ENTERING THE DRAINAGE SYSTEM AND THE RECEIVING WATER(S). EROSION AND SEDIMENT CONTROL MEASURES IDENTIFIED IN THE PLAN SHALL BE OBSERVED TO ENSURE THAT THEY ARE OPERATING CORRECTLY, WHERE DISCHARGE LOCATIONS OR POINTS ARE ACCESSIBLE, THEY SHALL BE INSPECTED TO ASCERTAIN WHETHER EROSION CONTROL MEASURES ARE EFFECTIVE IN PREVENTING SIGNIFICANT IMPACTS TO RECEIVING WATER(S).
- BASED ON THE RESULTS OF EACH INSPECTION, THE SITE DESCRIPTION AND POLLUTION PREVENTION AND CONTROL MEASURES IDENTIFIED IN THE EROSION, SEDIMENTATION AND POLLUTION CONTROL PLAN, THE PLAN SHALL BE REVISED AS APPROPRIATE NOT LATER THAN SEVEN (7) CALENDAR DAYS FOLLOWING EACH INSPECTION. IMPLEMENTATION OF SUCH CHANGES SHALL BE MADE AS SOON AS PRACTICAL BUT IN NO CASE LATER THAN SEVEN (7) CALENDAR DAYS FOLLOWING EACH INSPECTION.
- REPORT OF EACH INSPECTION THAT INCLUDES THE NAME(S) OF CERTIFIED PERSONNEL MAKING EACH INSPECTION, THE DATE(S) OF EACH INSPECTION, CONSTRUCTION PHASE (I.E., INITIAL, INTERMEDIATE OR FINAL), MAJOR OBSERVATIONS RELATING TO THE IMPLEMENTATION OF THE EROSION, SEDIMENTATION AND POLLUTION CONTROL PLAN, AND ACTIONS TAKEN IN ACCORDANCE WITH PART IV.D.4.(5). OF THE PERMIT SHALL BE MADE AND RETAINED AT THE SITE OR BE READILY AVAILABLE AT A DESIGNATED ALTERNATE LOCATION UNTIL THE ENTIRE SITE OR THAT PORTION OF A CONSTRUCTION SITE THAT HAS BEEN PHASED HAS UNDERGONE FINAL STABILIZATION AND A NOTICE OF TERMINATION IS SUBMITTED TO EPD. SUCH REPORTS SHALL BE READILY AVAILABLE BY END OF THE SECOND BUSINESS DAY AND/OR WORKING DAY AND SHALL IDENTIFY ALL INCIDENTS OF BEST MANAGEMENT PRACTICES THAT HAVE NOT BEEN PROPERLY INSTALLED AND/OR MAINTAINED AS DESCRIBED IN THE PLAN. WHERE THE REPORT DOES NOT IDENTIFY ANY INCIDENTS, THE INSPECTION REPORT SHALL CONTAIN A CERTIFICATION THAT THE BEST MANAGEMENT PRACTICES ARE IN COMPLIANCE WITH THE EROSION, SEDIMENTATION AND POLLUTION CONTROL PLAN. THE REPORT SHALL BE SIGNED IN ACCORDANCE WITH PART V.G.2. OF THIS PERMIT.

Plan Included
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AN "EROSION & SEDIMENTATION INSPECTION AND MAINTENANCE REPORT" SHEET IS ATTACHED. SHOULD THE INSPECTION REVEAL ANY DEFICIENCIES, A COPY SHALL BE SENT TO:

MR. SCOTT DECAIN
4800 HAMPDEN LANE, SUITE 200
BETHESDA, MARYLAND 20814
301-915-0460
EMAIL: SDECAIN@BALDEAGLEPARTNERS.COM

ATTN:
PITTMAN ENGINEERING CO., LLC
2591 HWY 17 SUITE 303
RICHMOND HILL, GA 31324
912-445-0578
JASON@PITTMANENGINEERINGCO.COM

EC4.2 YES 31. Provide complete requirements of sampling frequency and reporting of sampling results.*

STORM WATER SAMPLING:

SAMPLING FREQUENCY:

- THE PRIMARY PERMITTEE MUST SAMPLE IN ACCORDANCE WITH THE PLAN AT LEAST ONCE FOR EACH RAINFALL EVENT DESCRIBED BELOW FOR A QUALIFYING EVENT. THE PERMITTEE SHALL SAMPLE AT THE BEGINNING OF ANY STORMWATER DISCHARGE TO A MONITORED RECEIVING WATER AND/OR FROM A MONITORED OUTFALL LOCATION WITHIN FORTY-FIVE (45) MINUTES OR AS SOON AS POSSIBLE.
- HOWEVER, WHERE MANUAL AND AUTOMATIC SAMPLING ARE IMPOSSIBLE (AS DEFINED IN THIS PERMIT), OR ARE BEYOND THE PERMITTEE'S CONTROL, THE PERMITTEE SHALL TAKE SAMPLES AS SOON AS POSSIBLE, BUT IN NO CASE MORE THAN TWELVE (12) HOURS AFTER THE BEGINNING OF THE STORMWATER DISCHARGE.
- SAMPLING BY THE PERMITTEE SHALL OCCUR FOR THE FOLLOWING QUALIFYING EVENTS:
 - FOR EACH AREA OF THE SITE THAT DISCHARGES TO A RECEIVING WATER OR FROM AN OUTFALL, THE FIRST RAIN EVENT THAT REACHES OR EXCEEDS 0.5 INCH WITH A STORMWATER DISCHARGE THAT OCCURS DURING NORMAL BUSINESS HOURS AS DEFINED IN THIS PERMIT AFTER ALL CLEARING AND GRUBBING OPERATIONS HAVE BEEN COMPLETED, BUT PRIOR TO COMPLETION OF MASS GRADING OPERATIONS, IN THE DRAINAGE AREA OF THE LOCATION SELECTED AS THE SAMPLING LOCATION;
 - IN ADDITION TO (A) ABOVE, FOR EACH AREA OF THE SITE THAT DISCHARGES TO A RECEIVING WATER OR FROM AN OUTFALL, THE FIRST RAIN EVENT THAT REACHES OR EXCEEDS 0.5 INCH WITH A STORMWATER DISCHARGE THAT OCCURS DURING NORMAL BUSINESS HOURS AS DEFINED IN THIS PERMIT EITHER 90 DAYS AFTER THE FIRST SAMPLING EVENT OR AFTER ALL MASS GRADING OPERATIONS HAVE BEEN COMPLETED, BUT PRIOR TO SUBMITTAL OF A NOT, IN THE DRAINAGE AREA OF THE LOCATION SELECTED AS THE SAMPLING LOCATION, WHICHEVER COMES FIRST;
 - AT THE TIME OF SAMPLING PERFORMED PURSUANT TO (A) AND (B) ABOVE, IF BMPs IN ANY AREA OF THE SITE THAT DISCHARGES TO A RECEIVING WATER OR FROM AN OUTFALL ARE NOT PROPERLY DESIGNED, INSTALLED AND MAINTAINED, CORRECTIVE ACTION SHALL BE DEMAND AND IMPLEMENTED WITHIN TWO (2) BUSINESS DAYS, AND TURBIDITY SAMPLES SHALL BE TAKEN FROM DISCHARGES FROM THAT AREA OF THE SITE FOR EACH SUBSEQUENT RAIN EVENT THAT REACHES OR EXCEEDS 0.5 INCH DURING NORMAL BUSINESS HOURS* UNTIL THE SELECTED TURBIDITY STANDARD IS ATTAINED, OR UNTIL POST-STORM EVENT INSPECTIONS DETERMINE THAT BMPs ARE PROPERLY DESIGNED, INSTALLED AND MAINTAINED;
 - WHERE SAMPLING PURSUANT TO (A), (B) OR (C) ABOVE IS REQUIRED BUT NOT POSSIBLE (OR NOT REQUIRED BECAUSE THERE WAS NO DISCHARGE), THE PERMITTEE, IN ACCORDANCE WITH PART IV.D.4.(6), MUST INCLUDE A WRITTEN JUSTIFICATION IN THE INSPECTION REPORT OF WHY SAMPLING WAS NOT PERFORMED. PROVIDING THIS JUSTIFICATION DOES NOT RELIEVE THE PERMITTEE OF ANY SUBSEQUENT SAMPLING OBLIGATIONS UNDER (A), (B) OR (C) ABOVE; AND
 - EXISTING CONSTRUCTION ACTIVITIES, I.E., THOSE THAT ARE OCCURRING ON OR BEFORE THE EFFECTIVE DATE OF THIS PERMIT, THAT HAVE MET THE SAMPLING REQUIRED BY (B) ABOVE SHALL NOT BE REQUIRED TO CONDUCT ADDITIONAL SAMPLING OTHER THAN AS REQUIRED BY (C) ABOVE.

* NOTE THAT THE PERMITTEE MAY CHOOSE TO MEET THE REQUIREMENTS OF (A) AND (B) ABOVE BY COLLECTING TURBIDITY SAMPLES FROM ANY RAIN EVENT THAT REACHES OR EXCEEDS 0.5 INCH AND ALLOWS FOR SAMPLING AT ANY TIME OF THE DAY OR WEEK.

REPORTING:

- THE APPLICABLE PERMITTEES ARE REQUIRED TO SUBMIT THE SAMPLING RESULTS TO THE EPD AT THE ADDRESS SHOWN IN PART I.I.C. BY THE FIFTEENTH DAY OF THE MONTH FOLLOWING THE REPORTING PERIOD. REPORTING PERIODS ARE MONTHS DURING WHICH SAMPLES ARE TAKEN IN ACCORDANCE WITH THIS PERMIT. SAMPLING RESULTS SHALL BE IN A CLEARLY LEGIBLE FORMAT. UPON WRITTEN NOTIFICATION, EPD MAY REQUIRE THE APPLICABLE PERMITTEE TO SUBMIT THE SAMPLING RESULTS IN A MORE FREQUENT BASIS. SAMPLING AND ANALYSIS OF ANY STORMWATER DISCHARGE(S) OR THE RECEIVING WATER(S) BEYOND THE MINIMUM FREQUENCY STATED IN THIS PERMIT MUST BE REPORTED IN A SIMILAR MANNER TO THE EPD. THE SAMPLING REPORTS MUST BE SIGNED IN ACCORDANCE WITH PART V.G.2. SAMPLING REPORTS MUST BE SUBMITTED TO EPD USING THE ELECTRONIC SUBMITTAL SERVICE PROVIDED BY EPD. SAMPLING REPORTS MUST BE SUBMITTED TO EPD UNTIL SUCH TIME AS A NOT IS SUBMITTED IN ACCORDANCE WITH PART VI.
- ALL SAMPLING REPORTS SHALL INCLUDE THE FOLLOWING INFORMATION:
 - THE RAINFALL AMOUNT, DATE, EXACT PLACE AND TIME OF SAMPLING OR MEASUREMENTS;
 - THE NAME(S) OF THE CERTIFIED PERSONNEL WHO PERFORMED THE SAMPLING AND MEASUREMENTS;
 - THE DATE(S) ANALYSES WERE PERFORMED;
 - THE TIME(S) ANALYSES WERE INITIATED;
 - THE NAME(S) OF THE CERTIFIED PERSONNEL WHO PERFORMED THE ANALYSES;
 - REFERENCES AND WRITTEN PROCEDURES, WHEN AVAILABLE, FOR THE ANALYTICAL TECHNIQUES OR METHODS USED;
 - THE RESULTS OF SUCH ANALYSES, INCLUDING THE BENCH SHEETS, INSTRUMENT READOUTS, COMPUTER DISKS OR TAPES, ETC., USED TO DETERMINE THESE RESULTS;
 - RESULTS WHICH EXCEED 1000 NTU SHALL BE REPORTED AS "EXCEEDS 1000 NTU," AND
 - CERTIFICATION STATEMENT THAT SAMPLING WAS CONDUCTED AS PER THE PLAN.
- ALL WRITTEN CORRESPONDENCE REQUIRED BY THIS PERMIT SHALL BE SUBMITTED BY RETURN RECEIPTED CERTIFIED MAIL (OR SIMILAR SERVICE) TO THE APPROPRIATE DISTRICT OFFICE OF THE EPD ACCORDING TO THE SCHEDULE IN APPENDIX A OF THIS PERMIT. THE PERMITTEE SHALL RETAIN A COPY OF THE PROOF OF SUBMITTAL AT THE CONSTRUCTION SITE OR THE PROOF OF SUBMITTAL SHALL BE READILY AVAILABLE AT A DESIGNATED LOCATION FROM COMMENCEMENT OF CONSTRUCTION UNTIL SUCH TIME AS A NOT IS SUBMITTED IN ACCORDANCE WITH PART VI.

EC4.2 YES 32. Provide complete details for retention of records as per Part IV.F. of the permit.*

RETENTION OF RECORDS:

- THE PRIMARY PERMITTEE SHALL RETAIN THE FOLLOWING RECORDS AT THE CONSTRUCTION SITE (OR THE RECORDS SHALL BE READILY AVAILABLE AT THE DESIGNATED ALTERNATE LOCATION) FROM COMMENCEMENT OF CONSTRUCTION UNTIL SUCH TIME AS A NOTICE OF TERMINATION IS SUBMITTED IN ACCORDANCE WITH PART VI.
 - A COPY OF NOTICES OF INTENT SUBMITTED TO EPD.
 - A COPY OF THE EROSION, SEDIMENTATION AND POLLUTION CONTROL PLAN REQUIRED BY THIS PERMIT.
 - THE DESIGN PROFESSIONAL'S REPORT OF THE RESULTS OF THE INSPECTION CONDUCTED IN ACCORDANCE WITH PART IV.A.5 OF THIS PERMIT.
 - A COPY OF ALL MONITORING INFORMATION, RESULTS AND REPORTS REQUIRED BY THIS PERMIT.
 - A COPY OF ALL INSPECTION REPORTS GENERATED IN ACCORDANCE WITH THIS PERMIT AND (C) OTHER RECORDS REQUIRED BY THIS PERMIT SHALL BE RETAINED BY THE PERMITTEE WHO EITHER PRODUCED OR USED IT FOR A PERIOD OF AT LEAST 3 YEARS FROM THE DATE THAT THE NOTICE OF TERMINATION IS SUBMITTED IN ACCORDANCE WITH PART VI OF THIS PERMIT. THESE RECORDS MUST BE MAINTAINED AT THE PERMITTEE'S PRIMARY PLACE OF BUSINESS (OR AT A DESIGNATED ALTERNATE LOCATION) ONCE THE CONSTRUCTION ACTIVITY HAS CEASED AT THE PERMITTED SITE. THIS PERIOD MAY BE EXTENDED BY REQUEST BY THE EPD AT ANY TIME UPON WRITTEN REQUEST TO THE PERMITTEE.
 - DAILY RAINFALL INFORMATION COLLECTED IN ACCORDANCE WITH PART IV.D.4.(a),(1)(c) OF THIS PERMIT.
- COPIES OF ALL NOTICES OF INTENT, NOTICE OF TERMINATION, REPORTS, PLANS, MONITORING INFORMATION (INCLUDING ALL CALIBRATION AND MAINTENANCE RECORDS AND ALL ORIGINAL STRIP CHART RECORDINGS FOR CONTINUOUS MONITORING INSTRUMENTATION), EROSION, SEDIMENTATION AND POLLUTION CONTROL PLAN RECORDS OF ALL DATA USED TO COMPLETE THE NOTICE OF INTENT TO BE COVERED BY THIS PERMIT AND (C) OTHER RECORDS REQUIRED BY THIS PERMIT SHALL BE RETAINED BY THE PERMITTEE WHO EITHER PRODUCED OR USED IT FOR A PERIOD OF AT LEAST 3 YEARS FROM THE DATE THAT THE NOTICE OF TERMINATION IS SUBMITTED IN ACCORDANCE WITH PART VI OF THIS PERMIT. THESE RECORDS MUST BE MAINTAINED AT THE PERMITTEE'S PRIMARY PLACE OF BUSINESS (OR AT A DESIGNATED ALTERNATE LOCATION) ONCE THE CONSTRUCTION ACTIVITY HAS CEASED AT THE PERMITTED SITE. THIS PERIOD MAY BE EXTENDED BY REQUEST BY THE EPD AT ANY TIME UPON WRITTEN REQUEST TO THE PERMITTEE.

REVISED PER CITY OF PORT WENTWORTH COMMENTS	JAF	DATE
1	REV	2/10/22

RAY A PITTMAN, P.E.
GSWCC LEVEL II
DESIGN PROFESSIONAL
CERTIFICATION #12469

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ES&PC NOTES

MULBERRY BOULEVARD EXTENSION

RICE HOPE

Prepared For
BEP RICE HOPE LLC

Project No. 21-252
 Drawn By: MCS
 Designed By: MCS
 Checked By: RAP
 Scale: N/A
 Date: 12/21/21

SHEET
EC4.2

G:\Shared drives\Projects\Rice Hope\21-252 Mulberry Road Extension\Drawings\Base\21-252 Mulberry Blvd Ext. Construction Plans.dwg

Attachment: MULBERRY BLVD EXTENSION SPECIFIC SITE PLAN MAR 22 - Site Plan 2.10.22 (2615 - Site Plan Review (Specific) Mulberry Blvd Extension 7-0906-04-091 & 7-0906-04-063)

**EROSION, SEDIMENTATION & POLLUTION CONTROL PLAN CHECKLIST
STAND ALONE DEVELOPMENT CONSTRUCTION PROJECTS**

Plan Page # EC4.3 Included Y/N YES TO BE SHOWN ON ES&PC PLAN

33. DESCRIPTION OF ANALYTICAL METHODS TO BE USED TO COLLECT AND ANALYZE THE SAMPLES FROM EACH LOCATION.*

a. SAMPLING REQUIREMENTS SHALL INCLUDE THE FOLLOWING:

(1). A USGS TOPOGRAPHIC MAP, A TOPOGRAPHIC MAP OR A DRAWING (REFERRED TO AS A TOPOGRAPHIC MAP) THAT IS A SCALE EQUAL TO OR MORE DETAILED THAN A 1:24000 MAP SHOWING THE LOCATION OF THE SITE OR THE STAND ALONE CONSTRUCTION; (A) THE LOCATION OF ALL PERENNIAL AND INTERMITTENT STREAMS AND OTHER WATER BODIES AS SHOWN ON A USGS TOPOGRAPHIC MAP, AND ALL OTHER PERENNIAL AND INTERMITTENT STREAMS AND OTHER WATER BODIES LOCATED DURING MANDATORY FIELD VERIFICATION, INTO WHICH THE STORMWATER IS DISCHARGED AND (B) THE RECEIVING WATER AND/OR OUTFALL SAMPLING LOCATIONS. WHEN THE PERMITTEE HAS CHOSEN TO USE A USGS TOPOGRAPHIC MAP AND THE RECEIVING WATER(S) IS NOT SHOWN ON THE USGS TOPOGRAPHIC MAP, THE LOCATION OF THE RECEIVING WATER(S) MUST BE HAND-DRAWN ON THE USGS TOPOGRAPHIC MAP FROM WHERE THE STORMWATER(S) ENTERS THE RECEIVING WATER(S) TO THE POINT WHERE THE RECEIVING WATER(S) COMBINES WITH THE FIRST BLUE LINE STREAM SHOWN ON THE USGS TOPOGRAPHIC MAP;
(2). A WRITTEN NARRATIVE OF SITE SPECIFIC ANALYTICAL METHODS USED TO COLLECT, HANDLE AND ANALYZE THE SAMPLES INCLUDING QUALITY CONTROL/QUALITY ASSURANCE PROCEDURES. THIS NARRATIVE MUST INCLUDE PRECISE SAMPLING METHODOLOGY FOR EACH SAMPLING LOCATION;
(3). WHEN THE PERMITTEE HAS DETERMINED THAT SOME OR ALL OUTFALLS WILL BE SAMPLED, A RATIONALE MUST BE INCLUDED ON THE PLAN FOR THE NTU LIMIT(S) SELECTED FROM APPENDIX B. THIS RATIONALE MUST INCLUDE THE SIZE OF THE CONSTRUCTION SITE, THE CALCULATION OF THE SIZE OF THE SURFACE WATER DRAINAGE AREA, AND THE TYPE OF RECEIVING WATER(S) (I.E., TROUT STREAM OR SUPPORTING WARM WATER FISHERIES); AND
(4). ANY ADDITIONAL INFORMATION EPD DETERMINES NECESSARY TO BE PART OF THE PLAN. EPD WILL PROVIDE WRITTEN NOTICE TO THE PERMITTEE OF THE INFORMATION NECESSARY AND THE TIME LINE FOR SUBMITTAL.

b. SAMPLE TYPE. ALL SAMPLING SHALL BE COLLECTED BY "GRAB SAMPLES" AND THE ANALYSIS OF THESE SAMPLES MUST BE CONDUCTED IN ACCORDANCE WITH METHODOLOGY AND TEST PROCEDURES ESTABLISHED BY 40 CFR PART 136 (UNLESS OTHER TEST PROCEDURES HAVE BEEN APPROVED); THE GUIDANCE DOCUMENT TITLED "NPDES STORM WATER SAMPLING GUIDANCE DOCUMENT, EPA 833-B-92-001" AND GUIDANCE DOCUMENTS THAT MAY BE PREPARED BY THE EPD.
(1). SAMPLE CONTAINERS SHOULD BE LABELED PRIOR TO COLLECTING THE SAMPLES.
(2). SAMPLES SHOULD BE WELL MIXED BEFORE TRANSFERRING TO A SECONDARY CONTAINER.
(3). LARGE MOUTH, WELL CLEANED AND RINSED GLASS OR PLASTIC JARS SHOULD BE USED FOR COLLECTING SAMPLES. THE JARS SHOULD BE CLEANED THOROUGHLY TO AVOID CONTAMINATION.
(4). MANUAL, AUTOMATIC OR RISING STAGE SAMPLING MAY BE UTILIZED. SAMPLES REQUIRED BY THIS PERMIT SHOULD BE ANALYZED IMMEDIATELY, BUT IN NO CASE LATER THAN 48 HOURS AFTER COLLECTION. ANALYSIS OF SAMPLES FROM AUTOMATIC SAMPLERS MUST BE COLLECTED NO LATER THAN THE NEXT BUSINESS DAY AFTER THEIR ACCUMULATION, UNLESS FLOW THROUGH AUTOMATED ANALYSIS IS UTILIZED. IF AUTOMATIC SAMPLING IS UTILIZED AND THE AUTOMATIC SAMPLER IS NOT ACTIVATED DURING THE QUALIFYING EVENT, THE PERMITTEE MUST UTILIZE MANUAL SAMPLING OR RISING STAGE SAMPLING DURING THE NEXT QUALIFYING EVENT. DILUTION OF SAMPLES IS NOT REQUIRED. SAMPLES MAY BE ANALYZED DIRECTLY WITH A PROPERLY CALIBRATED TURBIDIMETER. SAMPLES ARE NOT REQUIRED TO BE COOLED.
(5). SAMPLING AND ANALYSIS OF THE RECEIVING WATER(S) OR OUTFALLS BEYOND THE MINIMUM FREQUENCY STATED IN THIS PERMIT MUST BE REPORTED TO EPD AS SPECIFIED IN PART IV.E.

c. SAMPLING POINTS.
(1). FOR CONSTRUCTION ACTIVITIES THE PRIMARY PERMITTEE MUST SAMPLE ALL RECEIVING WATER(S), OR ALL OUTFALL(S), OR A COMBINATION OF RECEIVING WATER(S) AND OUTFALL(S). SAMPLES TAKEN FOR THE PURPOSE OF COMPLIANCE WITH THIS PERMIT SHALL BE REPRESENTATIVE OF THE MONITORED ACTIVITY AND REPRESENTATIVE OF THE WATER QUALITY OF THE RECEIVING WATER(S) AND/OR THE STORMWATER OUTFALLS USING THE FOLLOWING MINIMUM GUIDELINES:
(A). THE UPSTREAM SAMPLE FOR EACH RECEIVING WATER(S) MUST BE TAKEN IMMEDIATELY UPSTREAM OF THE CONFLUENCE OF THE FIRST STORMWATER DISCHARGE FROM THE PERMITTED ACTIVITY (I.E., THE DISCHARGE FARTHEST UPSTREAM AT THE SITE) BUT DOWNSTREAM OF ANY OTHER STORMWATER DISCHARGES NOT ASSOCIATED WITH THE PERMITTED ACTIVITY, WHERE APPROPRIATE. SEVERAL UPSTREAM SAMPLES FROM ACROSS THE RECEIVING WATER(S) MAY NEED TO BE TAKEN AND THE ARITHMETIC AVERAGE OF THE TURBIDITY OF THESE SAMPLES USED FOR THE UPSTREAM TURBIDITY
(B). THE DOWNSTREAM SAMPLE FOR EACH RECEIVING WATER(S) MUST BE TAKEN DOWNSTREAM OF THE CONFLUENCE OF THE LAST STORMWATER DISCHARGE FROM THE PERMITTED ACTIVITY (I.E., THE DISCHARGE FARTHEST DOWNSTREAM AT THE SITE) BUT UPSTREAM OF ANY OTHER STORMWATER DISCHARGE NOT ASSOCIATED WITH THE PERMITTED ACTIVITY, WHERE APPROPRIATE. SEVERAL DOWNSTREAM SAMPLES FROM ACROSS THE RECEIVING WATER(S) MAY NEED TO BE TAKEN AND THE ARITHMETIC AVERAGE OF THE TURBIDITY OF THESE SAMPLES USED FOR THE DOWNSTREAM TURBIDITY VALUE.
(C). IDEALLY THE SAMPLES SHOULD BE TAKEN FROM THE HORIZONTAL AND VERTICAL CENTER OF THE RECEIVING WATER(S) OR THE STORMWATER OUTFALL CHANNEL(S).
(D). CARE SHOULD BE TAKEN TO AVOID STIRRING THE BOTTOM SEDIMENTS IN THE RECEIVING WATER(S) OR IN THE OUTFALL STORMWATER CHANNEL.
(E). THE SAMPLING CONTAINER SHOULD BE HELD SO THAT THE OPENING FACES UPSTREAM.
(F). THE SAMPLES SHOULD BE KEPT FREE FROM FLOATING DEBRIS.
(G). PERMITTEES DO NOT HAVE TO SAMPLE SHEET FLOW THAT FLOWS ONTO UNDISTURBED NATURAL AREAS OR AREAS STABILIZED BY THE PROJECT. FOR PURPOSES OF THIS SECTION, STABILIZED SHALL MEAN, FOR UNPAVED AREAS AND AREAS NOT COVERED BY PERMANENT STRUCTURES AND AREAS LOCATED OUTSIDE THE WASTE DISPOSAL LIMITS OF A LANDFILL CELL THAT HAS BEEN CERTIFIED BY EPD FOR WASTE DISPOSAL, 100% OF THE SOIL SURFACE IS UNIFORMLY COVERED IN PERMANENT VEGETATION WITH A DENSITY OF 70% OR GREATER, OR LANDSCAPED ACCORDING TO THE PLAN (UNIFORMLY COVERED WITH LANDSCAPING MATERIALS IN PLANNED LANDSCAPED AREAS), OR EQUIVALENT PERMANENT STABILIZATION MEASURES AS DEFINED IN THE MANUAL (EXCLUDING A CROP OF ANNUAL VEGETATION AND A SEEDING OF TARGET CROP PERENNIALS APPROPRIATE FOR THE REGION).
(H). ALL SAMPLING PURSUANT TO THIS PERMIT MUST BE DONE IN SUCH A WAY (INCLUDING GENERALLY ACCEPTED SAMPLING METHODS, LOCATIONS, TIMING, AND FREQUENCY) AS TO ACCURATELY REFLECT WHETHER STORMWATER RUNOFF FROM THE CONSTRUCTION SITE IS IN COMPLIANCE WITH THE STANDARD SET FORTH IN PARTS III.D.3. OR III.D.4., WHICHEVER IS APPLICABLE.

34. Appendix B rationale for NTU values at all outfall sampling points where applicable.* FOR A SITE ACREAGE SIZE OF 2.66 AC. AND WATERS SUPPORTING WARM WATER FISHERIES DRAINAGE AREA LESS THAN 5 SQUARE MILES, THE NTU VALUE TO USE IN PART III.D.4. IS 75 NTU.

SITE SIZE (ACRES)	Surface Water Drainage Area (Square Miles)							
	0-4.99	5-9.99	10-24.99	25-49.99	50-99.99	100-249.99	250-499.99	500+
1.00-10	75	150	200	400	750	750	750	750
10.01-25	50	100	100	200	300	500	750	750
25.01-50	50	50	100	100	200	300	750	750
50.01-100	50	50	50	100	100	150	300	600
100.01+	50	50	50	50	50	100	200	100

Plan Page # EC1.1, EC2.1, EC3.1 Included Y/N YES TO BE SHOWN ON ES&PC PLAN

35. Delineate all sampling locations if applicable, perennial and intermittent streams and other water bodies into which storm water is discharged. *

36. A description of appropriate controls and measures that will be implemented at the construction site including: (1) Initial Sediment Storage Requirements and Perimeter Control BMPs, (2) Intermediate Grading and Drainage BMPs, and (3) Final BMPs. For construction sites where there will be no mass grading and the Initial Perimeter Control BMPs, Intermediate Grading and Drainage BMPs, and Final BMPs are the same, the plan may combine all of the BMPs into a single phase.*

A temporary sediment trap will accommodate the 149 cy of initial sediment storage. Silt fence will provide perimeter control. Intermediate grading and drainage BMPs include construction exit, temporary sediment trap, concrete wash down, storm outlet protection, dust control, mulching, temporary seeding and silt fence. Final phase BMPs include construction exit, concrete wash down, storm outlet protection, dust control and permanent vegetation stabilization. Each phase of the plan includes the appropriate controls and measures, including the initial sediment storage requirements, intermediate grading and drainage BMPs and Final BMPs. Refer to Sheets EC1.1, EC2.1 and EC3.1.

37. Graphic scale and North arrow.

Map Scale	Ground Slope	Contour Intervals, ft.
1 inch = 100ft or larger scale	Flat 0 - 2% Rolling 2 - 8% Steep 8% +	0.5 or 1 1 or 2 2.5 or 10

39. Use of alternative BMPs whose performance has been documented to be equivalent to or superior to conventional BMPs as certified by a Design Professional (unless disapproved by EPD or the Georgia Soil and Water Conservation Commission). Please refer to the Alternative BMP Guidance Document found at www.gsowc.org.

40. Use of alternative BMP for application to the Equivalent BMP List. Please refer to Appendix A-2 of the Manual for Erosion & Sediment Control in Georgia 2016 Edition.*

41. Delineation of the applicable 25-foot or 50-foot undisturbed buffers adjacent to State waters and any additional buffers required by the Local Issuing Authority. Clearly note and delineate all areas of impact. THERE ARE NOT ANY STATE WATERS LOCATED ON OR WITHIN 200' OF THIS PROJECT SITE. BUFFERS ARE NOT REQUIRED SINCE THERE IS NOT ANY WRESTED VEGETATION.

42. Delineation of on-site wetlands and all State waters located on and within 200 feet of the project site. THERE ARE NOT ANY ON-SITE WETLANDS OR STATE WATERS LOCATED ON OR WITHIN 200' OF THIS PROJECT SITE.

43. Delineation and acreage of contributing drainage basins on the project site. SEE SEPARATE HYDROLOGY REPORT.

44. Provide hydrology study and maps of drainage basins for both the pre- and post-developed conditions.* SEE SEPARATE HYDROLOGY REPORT.

45. An estimate of the Runoff Coefficient or Peak Discharge Flow of the site prior to and after construction activities are completed. **RUNOFF CURVE NUMBER (SCS METHOD USED):**
PRE-DEVELOPMENT: CN=82
POST-DEVELOPMENT: CN=88

46. Storm-Drain Pipe and Weir Velocities with appropriate Outlet Protection to accommodate discharges without erosion. Identify/Delineate all Storm Water Discharge Points.

47. Soil series for the project site and their delineation. **SOILS LEGEND:**

SYMBOL	NAME	RATING
Pn	POOLER FINE SNADY LOAM	B/D
Cc	CAPE FEAR	B/D

48. The Limits of Disturbance for each phase of construction.

49. Provide a minimum of 67 Cubic Yards of sediment storage per acre drained using a Temporary Sediment Basin, Retrofitted Detention Pond, and/or Excavated Inlet Sediment Traps for each common drainage location. Sediment Storage Volume must be in place prior to and during all land disturbance activities until final stabilization of the site has been achieved. A written justification explaining the decision to use equivalent controls when a Sediment Basin is not attainable must be included in the plan for each common drainage location in which a Sediment Basin is not provided. A written justification as to why 67 Cubic Yards of storage is not attainable must also be given. Worksheets from the Manual must be included for structural BMPs and all calculations used by the Design Professional to obtain the required sediment storage when using equivalent controls. When discharging from sediment basins and impoundments, permittees are required to utilize Outlet Structures that withdraw water from the surface, unless infeasible. If Outlet Structures that withdraw water from the surface are not feasible, a written justification explaining this decision must be included in the plan.

67 CY SEDIMENT STORAGE PER DISTURBED ACRE REQUIREMENT

- TOTAL PROJECT ACREAGE = 2.66 AC.
- TOTAL DISTURBED ACREAGE = 2.66 AC.
- TOTAL REQUIRED SEDIMENT STORAGE: 2.66 AC. X 67 c.y./Ac. = 178.22 c.y.

THIS PROJECT WILL UTILIZE A TEMPORARY SEDIMENT TRAP AND SILT FENCE FOR THE SEDIMENT STORAGE REQUIREMENT. SEE SEDIMENT STORAGE CALCULATIONS ON SHEETS EC1.1-EC3.1

50. Location of Best Management Practices that are consistent with and no less stringent than the Manual for Erosion and Sediment Control in Georgia. Use uniform coding symbols from the Manual, Chapter 6, with legend.

51. Provide detailed drawings for all structural practices. Specifications must, at a minimum, meet the guidelines set forth in the Manual for Erosion and Sediment Control in Georgia.

Plan Page # EC4.3, EC5.1, EC5.2 Included Y/N YES TO BE SHOWN ON ES&PC PLAN

52. Provide Vegetative Plan, noting all temporary and permanent vegetative practices. Include species, planting dates and seeding, fertilizer, lime and mulching rates. Vegetative Plan shall be site specific for appropriate time of year that seeding will take place and for the appropriate geographic region of Georgia.

LIME RATES AND ANALYSIS

* AGRICULTURAL LIME SHALL BE APPLIED AT THE RATE OF ONE TO TWO TONS PER ACRE UNLESS SOIL TESTS INDICATE OTHERWISE. GRADED AREAS REQUIRE LIME APPLICATION. IF LIME IS APPLIED WITHIN SIX MONTHS OF PLANTING PERENNIAL VEGETATION, ADDITIONAL LIME IS NOT REQUIRED. AGRICULTURAL LIME SHALL BE WITHIN THE SPECIFICATIONS OF THE GEORGIA DEPARTMENT OF AGRICULTURE.

MULCHING (MULCHING IS REQUIRED FOR ALL PERMANENT VEGETATION APPLICATIONS). MULCH APPLIED TO SEEDING AREAS SHALL ACHIEVE 75% SOIL COVER. SELECT THE MULCHING MATERIAL FROM THE FOLLOWING AND APPLY AS INDICATED:

- DRY STRAW OR DRY HAY OF GOOD QUALITY AND FREE OF WEED SEEDS CAN BE USED. DRY STRAW SHALL BE APPLIED AT THE RATE OF TWO TONS PER ACRE. DRY HAY SHALL BE APPLIED AT THE RATE OF 2-1/2 TONS PER ACRE.
- WOOD CELLULOSE MULCH OR WOOD PULP FIBER SHALL BE USED WITH HYDRAULIC SEEDING. IT SHALL BE APPLIED AT A RATE OF 500 POUNDS PER ACRE. DRY STRAW OR DRY HAY SHALL BE APPLIED (AT THE RATE INDICATED BELOW) AFTER HYDRAULIC SEEDING.
- ONE THOUSAND POUNDS OF WOOD CELLULOSE OR WOOD PULP FIBER, WHICH INCLUDES TACKIFIER, SHALL BE USED WITH HYDRAULIC SEEDING ON SLOPES 4:1 OR STEEPER.
- SERICEA LESPEDEZA HAY CONTAINING MATURE SEED SHALL BE APPLIED AT A RATE OF 3 TONS PER ACRE.
- PINE STRAW OR PINE BARK SHALL BE APPLIED AT A THICKNESS OF 3 INCHES FOR BEDDING PURPOSES. OTHER SUITABLE MATERIALS IN SUFFICIENT QUANTITY MAY BE USED WHERE ORNAMENTALS OR OTHER GROUND COVERS ARE PLANTED. THIS IS NOT APPROPRIATE FOR SEEDING AREAS.
- WHEN USING TEMPORARY EROSION CONTROL BLANKETS OR BLACK SOD, MULCH IS NOT REQUIRED.

FERTILIZER REQUIREMENTS

TYPE OF SPECIES	YEAR	ANALYSIS OR EQUIVALENT N-P-K	RATE	N TOP DRESSING RATE
1. COOL SEASON GRASSES	FIRST	6-12-12	1500lbs./ac.	50-100 lbs./ac. 1/2/
	SECOND	6-12-12	1000lbs./ac.	
	MAINTENANCE	10-10-10	400 lbs./ac.	
2. COOL SEASON GRASSES AND LEGUMES	FIRST	6-12-12	1500lbs./ac.	0-50 lbs./ac. 1/
	SECOND	0-10-10	1000lbs./ac.	
	MAINTENANCE	0-10-10	400 lbs./ac.	
3. GROUND COVERS	FIRST	10-10-10	1300lbs./ac.	-
	SECOND	10-10-10	1300lbs./ac.	
	MAINTENANCE	10-10-10	1100 lbs./ac.	
4. PINE SEEDLINGS	FIRST	20-10-5	ONE 21-GRAM PELLET PER SEEDLING PLACED IN THE CLOSING HOLE.	-
5. SHRUB LESPEDEZA	FIRST	0-10-10	700lbs./ac.	-
	MAINTENANCE	0-10-10	700lbs./ac.	
6. TEMPORARY COVER CROPS SEEDING ALONE	FIRST	10-10-10	500lbs./ac.	30 lbs./ac. 5/
7. WARM SEASON GRASSES	FIRST	6-12-12	1500lbs./ac.	50-100 lbs./ac. 2/6/
	SECOND	6-12-12	800lbs./ac.	
	MAINTENANCE	10-10-10	400 lbs./ac.	
8. WARM SEASON GRASSES AND LEGUMES	FIRST	6-12-12	1500lbs./ac.	50 lbs./ac. 6/
	SECOND	0-10-10	1000lbs./ac.	
	MAINTENANCE	0-10-10	400 lbs./ac.	

- 1/ APPLY IN SPRING FOLLOWING SEEDING.
- 2/ APPLY IN SPLIT APPLICATIONS WHEN HIGH RATES ARE USED.
- 3/ APPLY IN 3 SPLIT APPLICATIONS.
- 4/ APPLY WHEN PLANTS ARE PRUNED.
- 5/ APPLY TO GRASS SPECIES ONLY.
- 6/ APPLY WHEN PLANTS GROW TO A HEIGHT OF 2 TO 4 INCHES.

*IF USING THIS CHECKLIST FOR A PROJECT THAT IS LESS THAN 1 ACRE AND NOT PART OF A COMMON DEVELOPMENT BUT WITHIN 200 FT OF A PERENNIAL STREAM THE * CHECKLIST ITEMS WOULD BE N/A.
Effective January 1, 2021

REV#	DATE	BY	REVISIONS
1	2/10/22	JAF	REVISED PER CITY OF PORT WENTWORTH COMMENTS

RAY A. PITTMAN, P.E.
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ES&PC NOTES
MULBERRY BOULEVARD EXTENSION
RICE HOPE
Prepared For
BEP RICE HOPE LLC

Project No. <u>21-252</u>
Drawn By: <u>MCS</u>
Designed By: <u>MCS</u>
Checked By: <u>RAP</u>
Scale: <u>N/A</u>
Date: <u>12/21/21</u>

SHEET
EC4.3

GEORGIA UNIFORM CODING SYSTEM FOR SOIL EROSION AND SEDIMENT CONTROL PRACTICES

GEORGIA SOIL AND WATER CONSERVATION COMMISSION

STRUCTURAL PRACTICES

CODE	PRACTICE	DETAIL	MAP SYMBOL	DESCRIPTION
Cd	CHECKDAM			A small temporary barrier or dam constructed across a swale, drainage ditch or area of concentrated flow.
Ch	CHANNEL STABILIZATION			Improving, constructing or stabilizing an open channel, existing stream, or ditch.
Co	CONSTRUCTION EXIT			A crushed stone pad located at the construction site exit to provide a place for removing mud from tires thereby protecting public streets.
Cr	CONSTRUCTION ROAD STABILIZATION			A gravelway constructed as part of a construction plan including access roads, subdivision roads, parking areas and other on-site vehicle transportation routes.
Dc	STREAM DIVERSION CHANNEL			A temporary channel constructed to convey flow around a construction site while a permanent structure is being constructed.
Di	DIVERSION			An earth channel or dike located above, below or across a slope to divert runoff. This may be a temporary or permanent structure.
Dn1	TEMPORARY DIVERSION STRUCTURE			A flexible conduit of heavy-duty fabric or other material designed to safely conduct surface runoff down a slope. This is temporary and inexpensive.
Dn2	PERMANENT DIVERSION STRUCTURE			A paved chute, pipe, sectional conduit or similar material designed to safely conduct surface runoff down a slope.
Fr	FILTER RING			A temporary stone barrier constructed at storm drain inlets and pond outlets.
Ga	GABION			Rock filter baskets which are hand-placed into position forming soil stabilizing structures.
Gr	GRADE STABILIZATION STRUCTURE			Permanent structures installed to protect channels or waterways where otherwise the slope would be sufficient for the running water to form gulches.
Lv	LEVEL SPREADER			A structure to convert concentrated flow of water into less erosive sheet flow. This should be constructed only on undisturbed soils.
Rd	ROCK FILTER DAM			A permanent or temporary stone filter dam installed across small streams or drainageways.
Re	RETAINING WALL			A wall installed to stabilize cut and fill slopes where maximum permissible slopes are not obtainable. Each situation will require special design.
Rt	RETRO FITTING			A device or structure placed in front of a permanent stormwater detention pond outlet structure to serve as a temporary sediment filter.
Sd1	SEDIMENT BARRIER			A barrier to prevent sediment from leaving the construction site. It may be sandbags, bales of straw or hay, brush, logs and poles, gravel, or a silt fence.
Sd2	INLET SEDIMENT TRAP			An impounding area created by excavating around a storm drain drop inlet. The excavated area will be filled and stabilized on completion of construction activities.
Sd3	TEMPORARY SEDIMENT BASIN			A basin created by excavation or a dam across a waterway. The surface water runoff is temporarily stored allowing the bulk of the sediment to drop out.
Sd4	TEMPORARY SEDIMENT TRAP			A small temporary pond that drains a disturbed area so that sediment can settle out. The principle feature distinguishing a temporary sediment trap from a temporary sediment basin is the lack of a pipe or riser.
Sk	FLOATING SURFACE SKIMMER			A buoyant device that releases/drains water from the surface of sediment ponds, traps, or basins at a controlled rate of flow.
Spb	SEEP BERM			Linear control device constructed as a diversion perpendicular to the direction of runoff to enhance dissipation and infiltration, while creating multiple sedimentation chambers with the employment of intermediate dikes.

GeSWCC (Amended - 2013)

STRUCTURAL PRACTICES

CODE	PRACTICE	DETAIL	MAP SYMBOL	DESCRIPTION
Sr	TEMPORARY STREAM CROSSING			A temporary bridge or culvert-type structure protecting a stream or watercourse from damage by crossing construction equipment.
St	STORMDRAIN OUTLET PROTECTION			A paved or short section of riprap channel at the outlet of a storm drain system preventing erosion from the concentrated runoff.
Su	SURFACE ROUGHENING			A rough soil surface with horizontal depressions on a contour or slopes left in a roughened condition after grading.
Tc	TURBIDITY CURTAIN			A floating or staked barrier installed within the disturbed area after completion of construction activities.
Tp	TOPSOILING			The practice of stripping off the more fertile soil, storing it, then spreading it over the disturbed area after completion of construction activities.
Tr	TREE PROTECTION			To protect desirable trees from injury during construction activity.
Vt	VEGETATED WATERWAY OR STORMWATER CONVEYANCE			Paved or vegetative water outlets for diversions, terraces, berms, dikes or similar structures.

VEGETATIVE PRACTICES

CODE	PRACTICE	DETAIL	MAP SYMBOL	DESCRIPTION
Bf	BUFFER ZONE			Strip of undisturbed original vegetation, enhanced or restored existing vegetation or the reestablishment of vegetation surrounding an area of disturbance or bordering streams.
Cs	COASTAL DUNE STABILIZATION (WITH VEGETATION)			Planting vegetation on dunes that are denuded, artificially constructed, or re-nourished.
Ds1	DISTURBED AREA STABILIZATION (WITH MULCHING ONLY)			Establishing temporary protection for disturbed areas where seedlings may not have a suitable growing season to produce an erosion retarding cover.
Ds2	DISTURBED AREA STABILIZATION (WITH TEMP SEEDING)			Establishing a temporary vegetative cover with fast growing seedlings on disturbed areas.
Ds3	DISTURBED AREA STABILIZATION (WITH PERM SEEDING)			Establishing a permanent vegetative cover such as trees, shrubs, vines, grasses, or legumes on disturbed areas.
Ds4	DISTURBED AREA STABILIZATION (SOODING)			A permanent vegetative cover using sods on highly erodible or critically eroded lands.
Du	DUST CONTROL ON DISTURBED AREAS			Controlling surface and air movement of dust on construction site, roadways and similar sites.
Fl-Co	FLOCCULANTS AND COAGULANTS			Substance formulated to assist in the solids/liquid separation of suspended particles in solution.
Sb	STREAMBANK STABILIZATION (USING FLOW VEGETATION)			The use of readily available native plant materials to maintain and enhance streambanks, or to prevent, or restore and repair small streambank erosion problems.
Ss	SLOPE STABILIZATION			A protective covering used to prevent erosion and establish temporary or permanent vegetation on steep slopes, shore lines, or channels.
Tac	TACKIFIERS AND BINDERS			Substance used to anchor straw or hay mulch by causing the organic material to bind together.

DISTURBED AREA STABILIZATION (WITH MULCH ONLY) Ds1

DEFINITION
Applying plant residues or other suitable materials not produced on the site to the soil surface.

PURPOSE
To reduce runoff and erosion; conserve moisture, prevent surface compaction or crusting; to control undesirable vegetation; to modify soil temperature; to increase biological activity in the soil.

SPECIFICATIONS
A. For temporary protection of critical areas without seeding.

This standard applies to graded or cleared areas which may be subjected to erosion for 6 months or less, where seedlings may not have a suitable growing season to produce an erosion retardant cover, but which can be stabilized with a mulch cover.

Site Preparation
1. Grade, as needed and feasible, to permit the use of equipment for applying and anchoring mulch.

2. Install needed erosion control measures as required such as dikes, diversions, berms, terraces and sediment barriers.

3. As needed and feasible, loosen compact soil to a minimum depth of 3 inches.

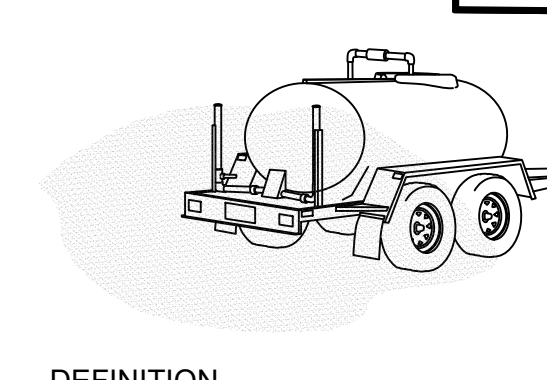
Mulching Materials
1. Dry straw of hay - spread at a rate of 2 1/2 tons per acre.
2. Wood waste, chips, sawdust or bark-spread 2 to 3 inches deep (about 6 to 10 tons per acre).
3. Erosion control matting or netting, such as excelsior, jute, textile and plastic matting and netting - applied in accordance with manufacturer's recommendations.
4. Cutback asphalt, slow curing - applied at 1200 gallons per acre (or 1/4 gallon per sq. yd.).
5. Polyethylene film - secured over banks or stockpiled soil material for temporary protection.

Applying and Anchoring Mulch
1. Apply straw or hay mulch uniformly by hand or mechanically. Anchor as appropriate and feasible. It may be pressed into the soil with a disk harrow with the disk set straight or with a special "pucker disk". The disk may be smooth or serrated and should be 20 inches or more in diameter and 8 to 12 inches apart. The edges of the disk should be dull enough not to cut the mulch but to press it into the soil leaving much of it in an erect position.
2. Straw hay mulch spread with special blower-type equipment may be anchored with emulsified asphalt (Grade AE-5 or SS-1). The asphalt emulsion must be sprayed onto the mulch as it is ejected from the machine. Use 100 gallons of water per ton of mulch.
3. Spread wood waste uniformly on slopes that are 3:1 and flatter. No anchoring is needed.
4. Commercial matting and netting. Follow manufacturer's specification included with the material.

Mulching Materials
1. Grain straw or grass hay 6" to 10"
2. Pine Needles 4" to 6"
3. Wood waste (sawdust, bark, chips) 4" to 8"
4. Shredded residues 4" to 8" (crop, leaves, etc.)
5. Completely cover area with black polyethylene film and hold in place by placing soil on the outer edge.

When using organic mulches, apply 20-30 pounds of nitrogen in addition to the normal amount needed for plant growth to offset the tie up of N by decomposition of mulch.

DUST CONTROL ON DISTURBED AREAS Du



DEFINITION
Controlling surface and air movement of dust on construction sites, roads, and demolition sites.

PURPOSE
- To prevent surface and air movement of dust from exposed soil surfaces.
- To reduce the presence of airborne substances that may be harmful or to human health, welfare, or safety, or to animals or plant life.

CONDITIONS
This practice is applicable to areas subject to surface and air movement of dust where on and off-site damage may occur without treatment.

METHOD AND MATERIALS
A. TEMPORARY METHODS
Mulches. See standard Ds1 - Disturbed Area Stabilization (With Mulching Only). Synthetic resins may be used instead of asphalt to bind mulch material. Refer to specification Tac - Tackifiers. Resins should be used according to manufacturer's recommendations.

Vegetative Cover. See specifications Ds2 - Disturbed Area Stabilization (With Temporary Seeding).

Spray-on Adhesives. These are used on mineral soils (not effective on muck soils). Keep traffic off these areas. Refer to specification Tac - Tackifiers.

Tillage. This practice is designed to roughen and bring clods to the surface. It is an emergency measure that should be used before wind erosion starts. Begin plowing on windward side of site. Chisel-type plows spaced about 12 inches apart, spring-toothed harrows, and similar plows are examples of equipment that may produce the desired effect.

Irrigation. This is generally done as an emergency treatment. Site is sprinkled with water until the surface is wet. Repeat as needed.

Barriers. Solid board fences, snow fences, burlap fences, crate walls, bales of hay and similar material can be used to control air currents and soil blowing. Barriers placed at right angles to prevailing currents at intervals of about 15 times their height are effective in controlling wind erosion.

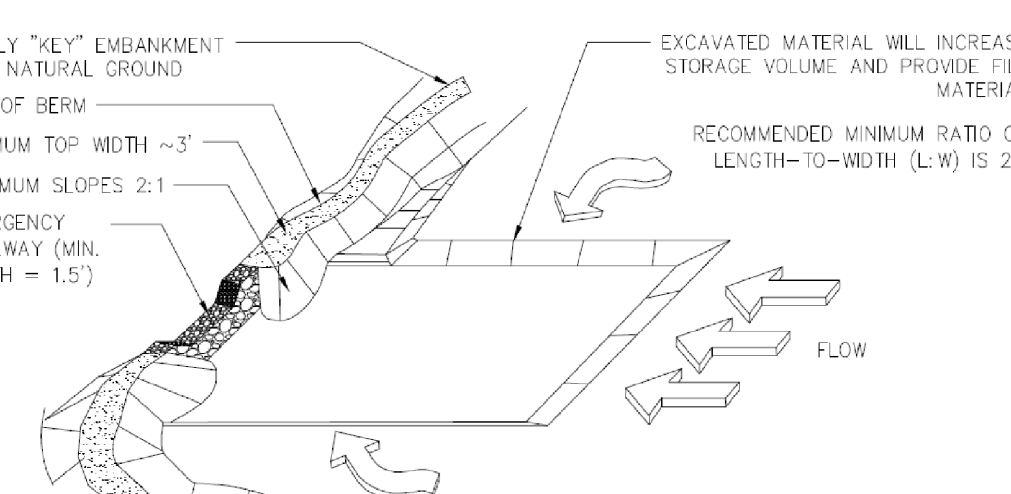
Calcium Chloride. Apply at rate that will keep surface moist. May need retreatment.

Permanent Vegetation. See specification Ds3 - Disturbed Area Stabilization (With Permanent Vegetation). Existing trees and large shrubs may afford valuable protection if left in place.

Topsoiling. This entails covering the surface with less erosive soil material. See specification Tp - Topsoiling.

Stone. Cover surface with crushed stone or coarse gravel. See specification Cr - Construction Road Stabilization.

TEMPORARY SEDIMENT TRAP ROCK OUTLET



DISTURBED AREA STABILIZATION (WITH TEMPORARY SEEDINGS) Ds2

PLANTS, PLANTING RATES, AND PLANTING DATES FOR TEMPORARY COVER OR COMPANION CORPS 1/

Species	Broadcast Rates 2/PLS3/ Per Acre	Per 1000 sq. ft.	Resource Planting Dates by Resource Area	Remarks
MILLET, PEARL (Pennisetum glaucum)	50 lbs.	1.1 lb.	M-L P C	88,000 Seed per pound. Quick dense cover. May reach 5 feet in height. Not recommended for mixtures.
RYEGRASS, ANNUAL (Lolium Temulentum)	40 lbs.	0.9 lb.	M-L P C	227,000 seed pound. Dense cover. Very competitive and is not to be used in mixtures.

1. Temporary cover crops are very competitive and will crowd perennials if seeded too heavily.
2. Reduce seeding rates by 50% when drilled.
3. PLS is an abbreviation for Pure Live Seed.
4. M-L represents the Mountain; Blue Ridge; and Ridges and Valleys MLRAs
P represents the Southern Piedmont MLRA
C represents Southern Coastal Plain; Sand Hills; Black Lands; and Atlantic Coast Flatwoods MLRAs

DISTURBED AREA STABILIZATION (WITH PERMANENT VEGETATION) Ds3

PLANTS, PLANTING RATES, AND PLANTING DATES FOR PERMANENT COVER

Species	Broadcast Rates 2/PLS3/ Per Acre	Per 1000 sq. ft.	Resource Planting Dates by Resource Area	Remarks
BERMUDA, COMMON (Cynodon dactylon)	10 lbs.	0.2 lb.	P C	1,787,000 seed per pound. Quick cover. Low growing and sod forming. Full sun. Good for athletic fields.
BERMUDA, COMMON (Cynodon dactylon)	6 lbs.	0.1 lb.	P C	Plant with other perennials.
BERMUDA SPRIGS (Cynodon dactylon)	10 lbs.	0.2 lb.	M-L P C	Plant with winter annuals.
BERMUDA SPRIGS (Cynodon dactylon)	6 lbs.	0.1 lb.	P C	Plant with Tall fescue.
BERMUDA SPRIGS (Cynodon dactylon)	40 cu. ft.	0.9 cu. ft. or sod plugs 3'x3'	M-L P C	A cubic foot contains approximately 650 sprigs. A bushel contains 1.25 cubic feet or approximately 800 sprigs.
TiFt 78			P C	Same as above
CENTPEDE (Eriochloa spinescens)		Block sod only	P C	Southern coastal Plain only.
LOVEGRASS, WEEPING (Eragrostis curvula)	4 lbs.	0.1 lb.	M-L P C	Drought tolerant. Full sun or partial shade. Effective adjacent to concrete and in concentrated flow areas. Irrigation is needed until fully established. Do not plant near pastures. Winterhardy as far north as Athens and Atlanta.
	2 lbs.	0.05 lb.	P C	1,500,000 Seed per pound. In mixtures May with Setaria tespedeza.

1. Reduce seeding rates by 50% when drilled.
2. PLS is an abbreviation for Pure Live Seed. Refer to Section V.E. of these specification.
3. M-L represents the Mountain; Blue Ridge; and Ridges and Valleys MLRAs
P represents the Southern Piedmont MLRA; C represents Southern Coastal Plain; Sand Hills; Black Lands; and Atlantic Coast

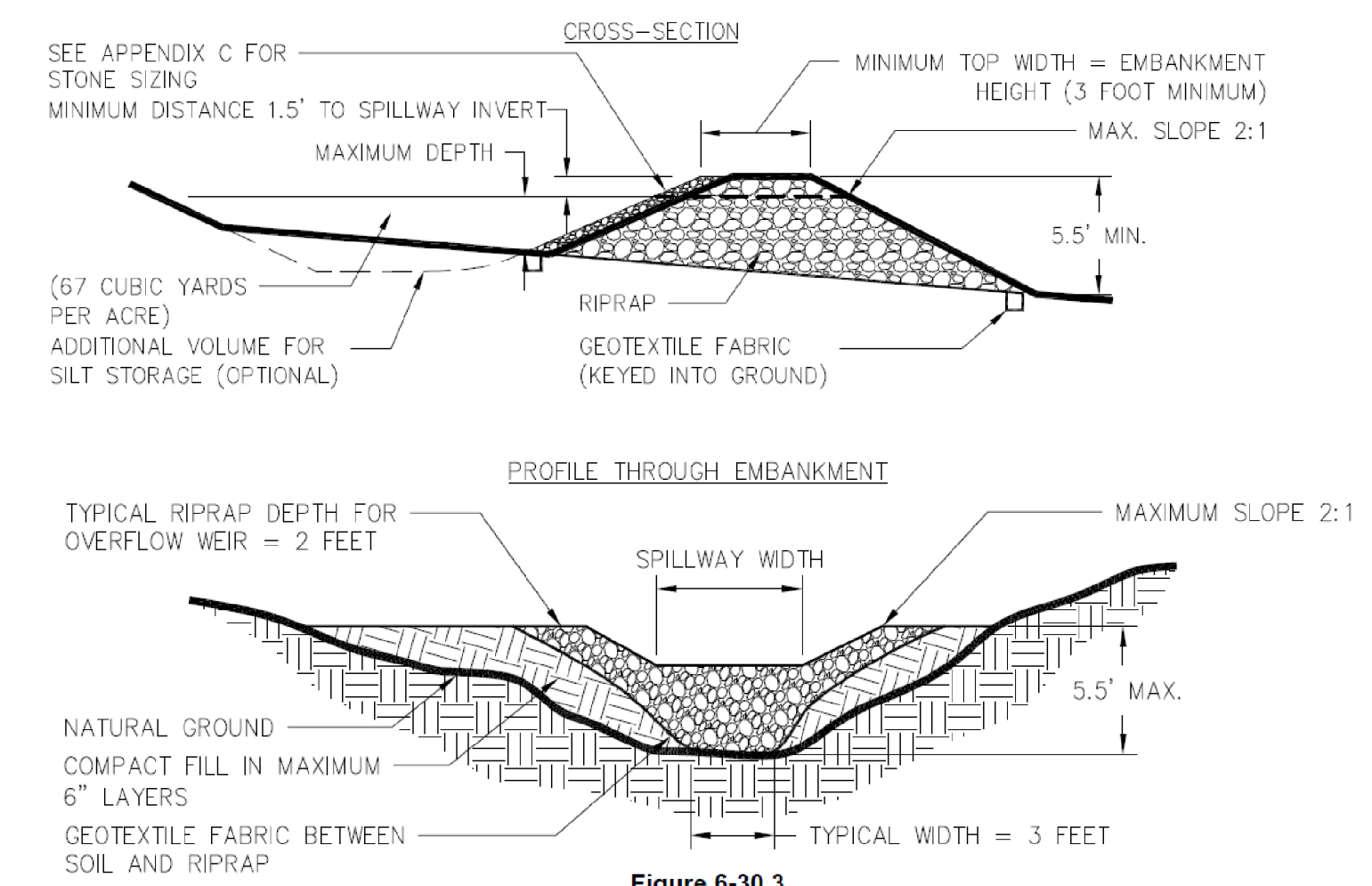
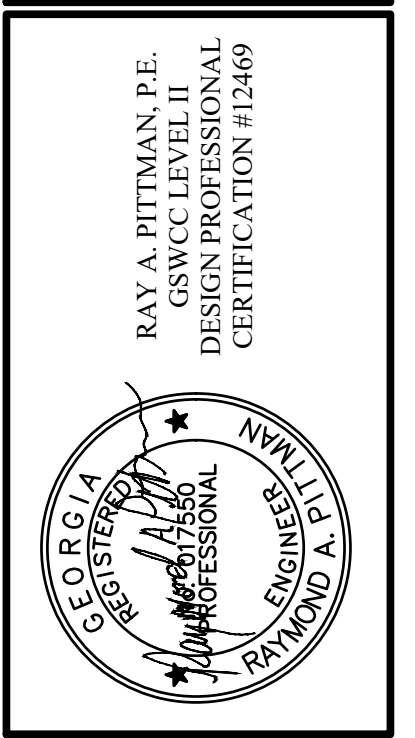


Figure 6-30.3

Sd4-C TEMPORARY SEDIMENT TRAP DETAILS

SCALE: N.T.S.

REV.	BY	DATE	REVISIONS
1	JAF	2/10/22	



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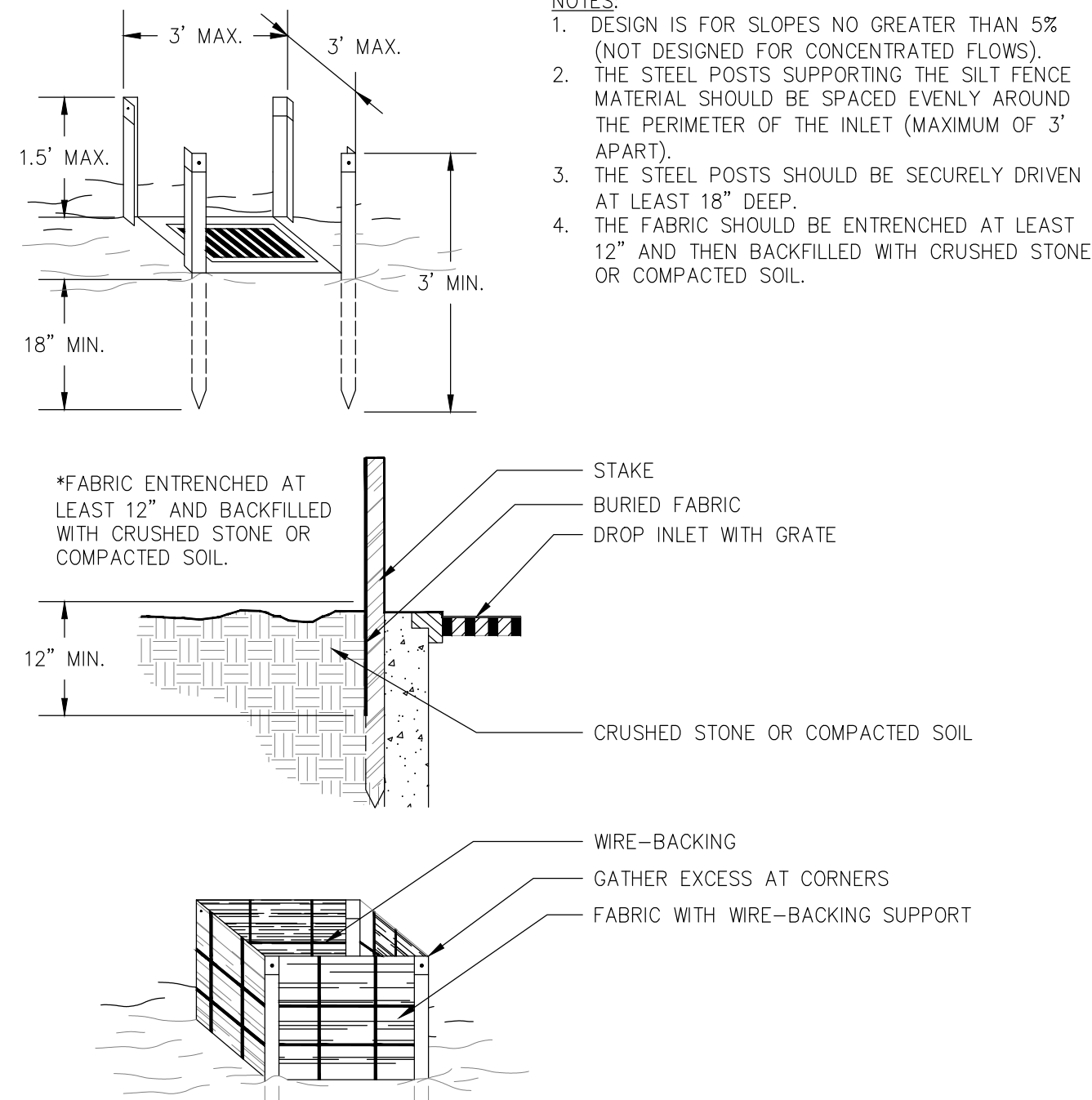
Project No. 21-252
Drawn By: MCS
Designed By: MCS
Checked By: RAP
Scale: 1"=40'
Date: 12/21/21

SHEET
EC5.1

FABRIC AND SUPPORTING FRAME FOR INLET PROTECTION

(Sd2-F)

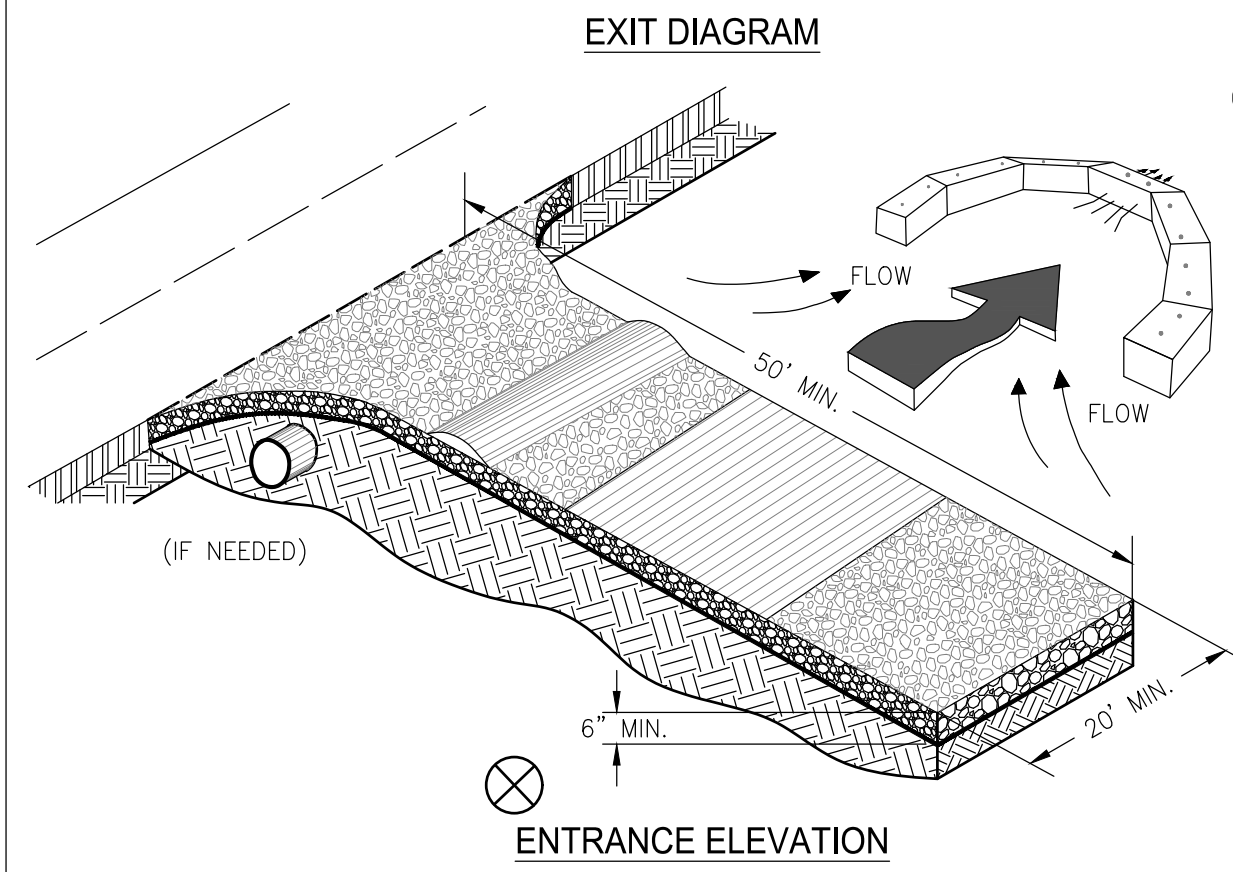
STEEL FRAME AND SILT FENCE INSTALLATION



- NOTES:
- DESIGN IS FOR SLOPES NO GREATER THAN 5% (NOT DESIGNED FOR CONCENTRATED FLOWS).
 - THE STEEL POSTS SUPPORTING THE SILT FENCE MATERIAL SHOULD BE SPACED EVENLY AROUND THE PERIMETER OF THE INLET (MAXIMUM OF 3' APART).
 - THE STEEL POSTS SHOULD BE SECURELY DRIVEN AT LEAST 18" DEEP.
 - THE FABRIC SHOULD BE ENTRENCHED AT LEAST 12" AND THEN BACKFILLED WITH CRUSHED STONE OR COMPACTED SOIL.

CRUSHED STONE CONSTRUCTION EXIT

(Co)

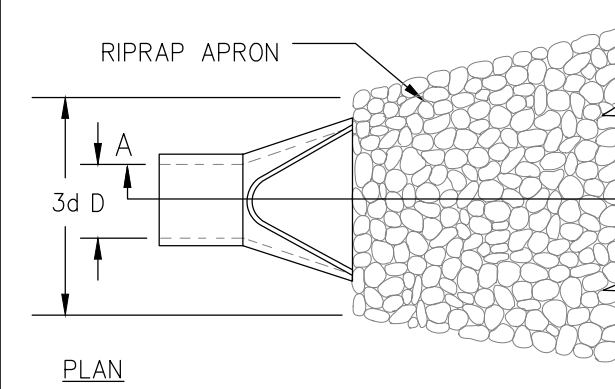


- NOTES:
- AVOID LOCATING ON STEEP SLOPES OR AT CURVES ON PUBLIC ROADS.
 - REMOVE ALL VEGETATION AND OTHER UNSUITABLE MATERIAL FROM THE FOUNDATION AREA, GRADE, AND CROWN FOR POSITIVE DRAINAGE.
 - AGGREGATE SIZE SHALL BE IN ACCORDANCE WITH NATIONAL STONE ASSOCIATION R-2 (1.5"-3.5" STONE).
 - GRAVEL PAD SHALL HAVE A MINIMUM THICKNESS OF 6".
 - PAD WIDTH SHALL BE EQUAL FULL WIDTH AT ALL POINTS OF VEHICULAR EGRESS, BUT NO LESS THAN 20'.
 - A DIVERSION RIDGE SHOULD BE CONSTRUCTED WHEN GRADE TOWARD PAVED AREA IS GREATER THAN 2%.
 - INSTALL PIPE UNDER THE ENTRANCE IF NEEDED TO MAINTAIN DRAINAGE DITCHES.
 - WHEN WASHING IS REQUIRED, IT SHOULD BE DONE ON AN AREA STABILIZED WITH CRUSHED STONE THAT DRAINS INTO AN APPROVED SEDIMENT TRAP OR SEDIMENT BASIN (DIVERT ALL SURFACE RUNOFF AND DRAINAGE FROM THE ENTRANCE TO A SEDIMENT CONTROL DEVICE).
 - WASHRACKS AND/OR TIRE WASHERS MAY BE REQUIRED DEPENDING ON SCALE AND CIRCUMSTANCE. IF NECESSARY, WASHRACK DESIGN MAY CONSIST OF ANY MATERIAL SUITABLE FOR TRUCK TRAFFIC THAT REMOVE MUD AND DIRT.
 - MAINTAIN AREA IN A WAY THAT PREVENTS TRACKING AND/OR FLOW OF MUD ONTO PUBLIC RIGHTS-OF-WAYS. THIS MAY REQUIRE TOP DRESSING, REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT.

RIPRAP OUTLET PROTECTION

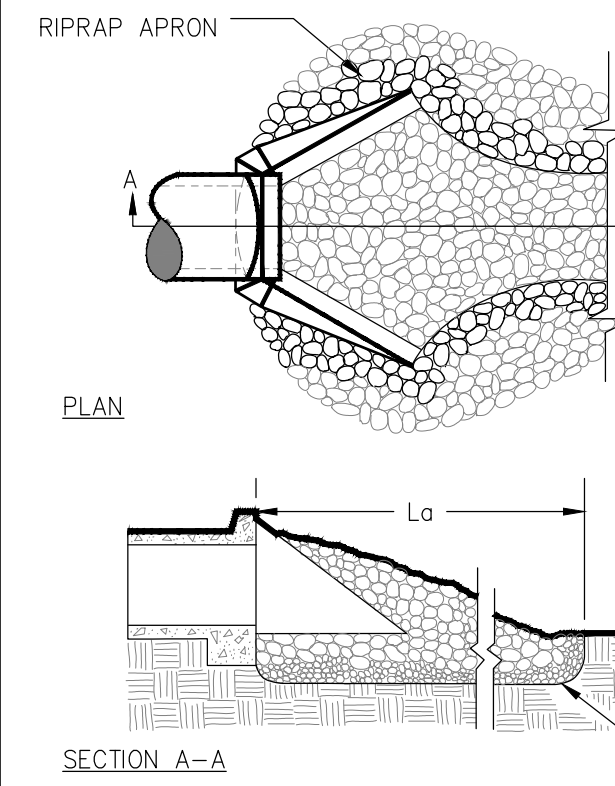
(St)

PIPE OUTLET TO FLAT AREA -- NO WELL DEFINED CHANNEL



- NOTES:
- Lo IS THE LENGTH OF THE RIPRAP APRON.
 - D = 1.5 TIMES THE MAXIMUM STONE DIAMETER BUT NOT LESS THAN 6".
 - IN A WELL-DEFINED CHANNEL, EXTEND THE APRON UP THE CHANNEL BANKS TO AN ELEVATION OF 6" ABOVE THE MAXIMUM TAILWATER DEPTH OR TO THE TOP OF THE BANK (WHICHEVER IS LESS).
 - A FILTER BLANKET OR FILTER FABRIC SHOULD BE INSTALLED BETWEEN THE RIPRAP AND THE SOIL FOUNDATION.

PIPE OUTLET TO WELL DEFINED CHANNEL

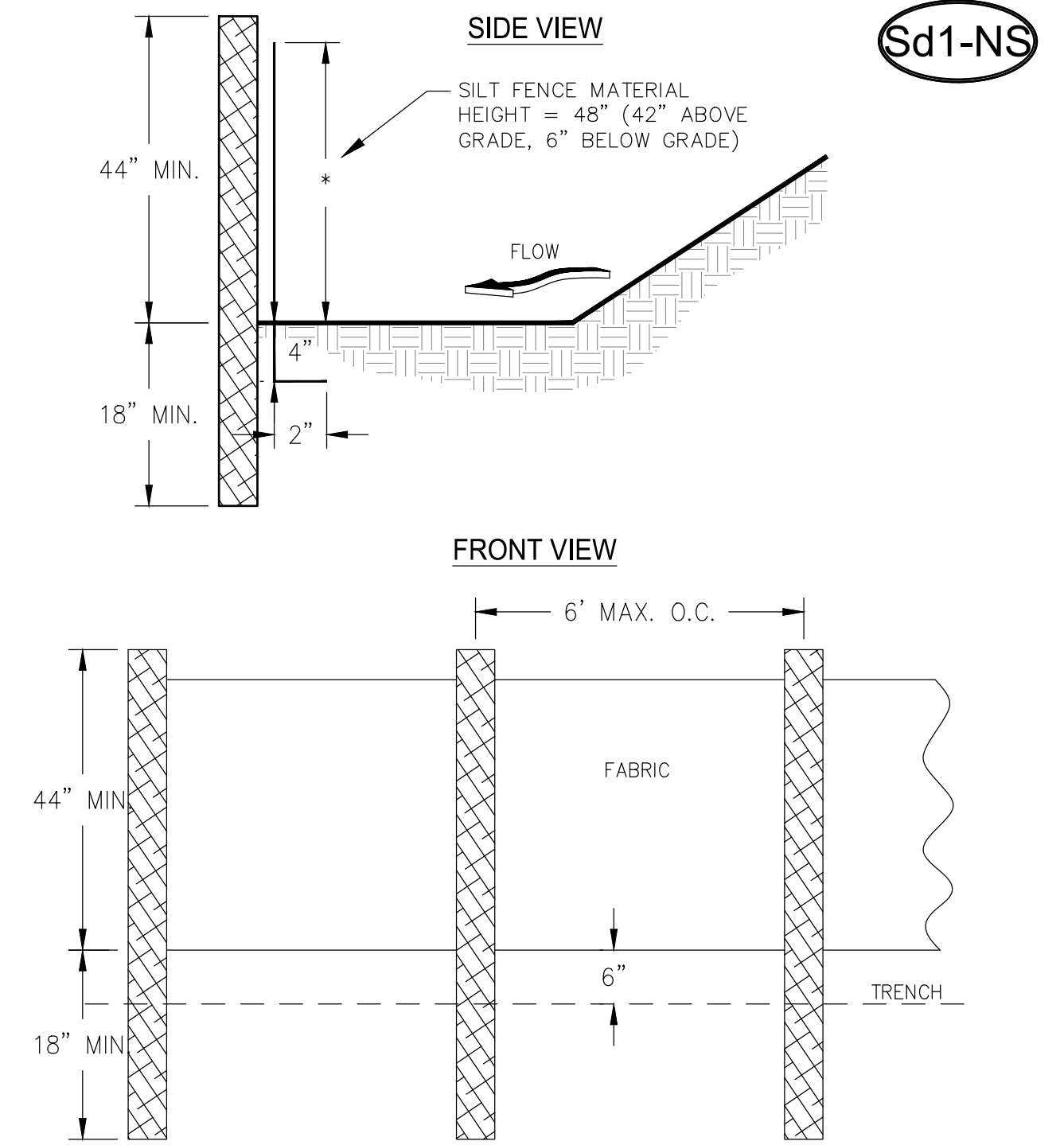


RIP-RAP APRON DESIGN

APRON	Do (in)	Vs (fps)	Q25(cfs)	Tailwater	Lo(1)	D50(in)	W1(1)	W2(1)	D(m)
#1	15"	5.69	7	>0.5d	6	6	3.75	3.65	9
#2	15"	5.69	7	>0.5d	6	6	3.75	3.65	9
#3	48"	3.02	38	<0.5d	26	6	12	30	12
#4	48"	3.02	38	<0.5d	26	6	12	30	12
#5	15"	5.69	7	>0.5d	6	6	3.75	3.65	9
#6	15"	5.69	7	>0.5d	6	6	3.75	3.65	9
#5	15"	5.69	7	>0.5d	6	6	3.75	3.65	9
#6	15"	5.69	7	>0.5d	6	6	3.75	3.65	9

SILT FENCE - TYPE NON-SENSITIVE

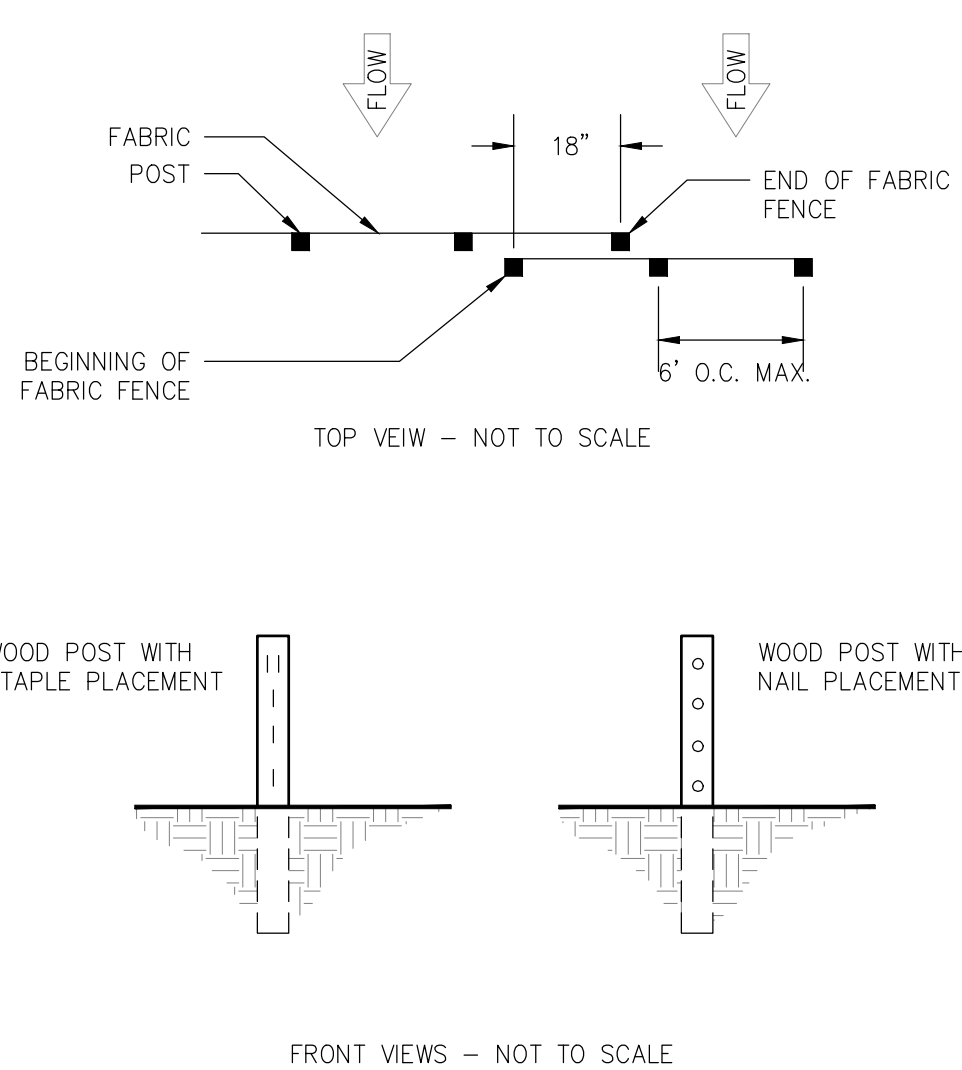
(Sd1-NS)



- NOTES:
- USE STEEL OR WOOD POSTS OR AS SPECIFIED BY THE EROSION, SEDIMENTATION, AND POLLUTION CONTROL PLAN.
 - HEIGHT (*) IS TO BE SHOWN ON THE EROSION, SEDIMENTATION, AND POLLUTION CONTROL PLAN.

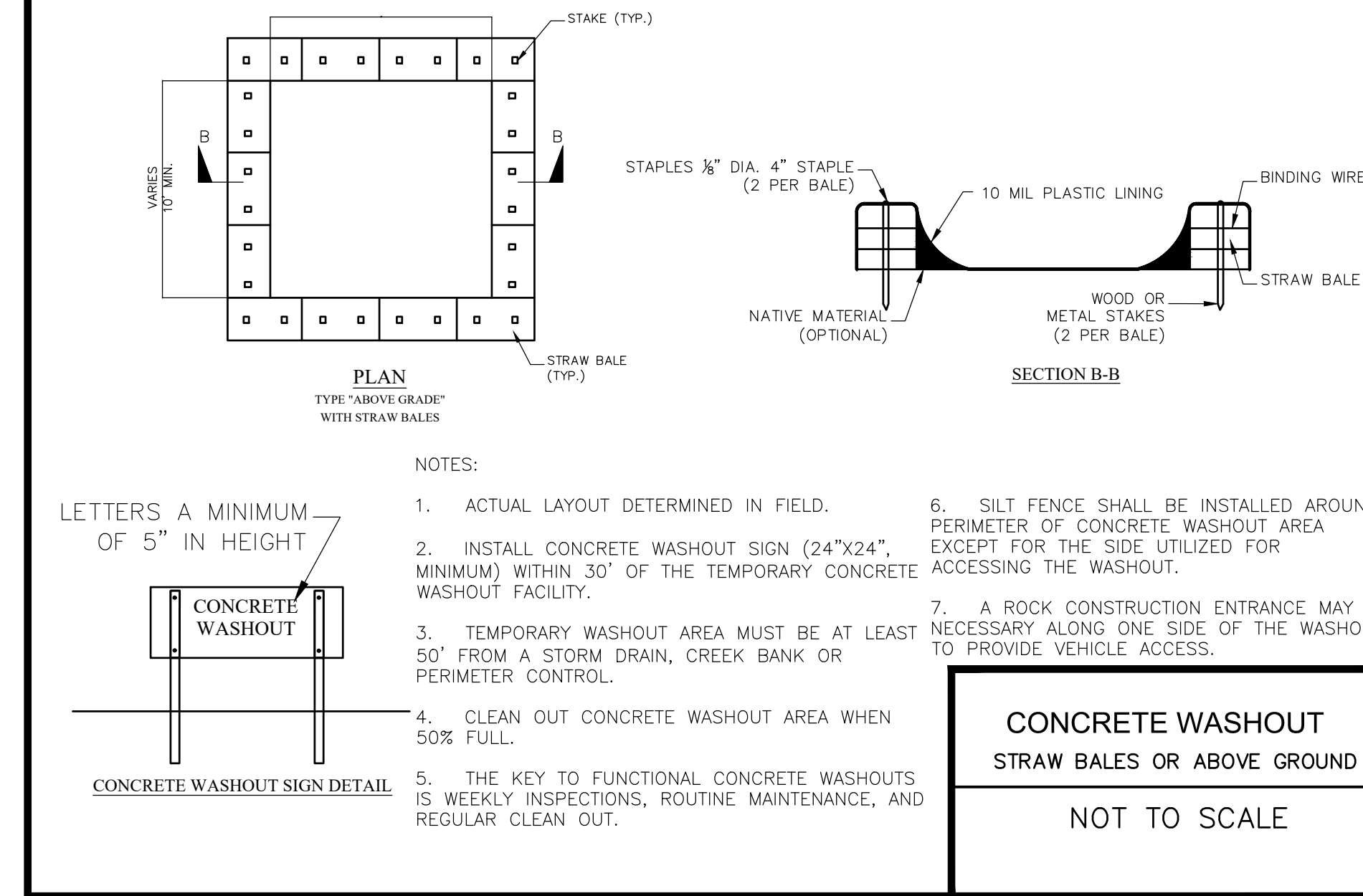
FASTENERS FOR SILT FENCES

OVERLAP AT FABRIC ENDS



- NOTES:
- THE FABRIC AND WIRE SHOULD BE SECURELY FASTENED TO POSTS AND FABRIC ENDS MUST BE OVERLAPPED A MINIMUM OF 18" OR WRAPPED TOGETHER AROUND A POST TO PROVIDE A CONTINUOUS FABRIC BARRIER AROUND THE INLET.

STRAW BALE BARRIER CONCRETE WASHOUT



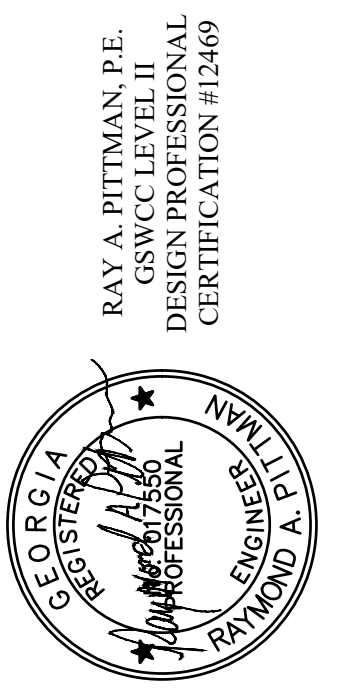
LETTERS A MINIMUM OF 5" IN HEIGHT

NOTES:

- ACTUAL LAYOUT DETERMINED IN FIELD.
- INSTALL CONCRETE WASHOUT SIGN (24"x24", MINIMUM) WITHIN 30' OF THE TEMPORARY CONCRETE WASHOUT FACILITY.
- TEMPORARY WASHOUT AREA MUST BE AT LEAST 50' FROM A STORM DRAIN, CREEK BANK OR PERIMETER CONTROL.
- CLEAN OUT CONCRETE WASHOUT AREA WHEN 50% FULL.
- THE KEY TO FUNCTIONAL CONCRETE WASHOUTS IS WEEKLY INSPECTIONS, ROUTINE MAINTENANCE, AND REGULAR CLEAN OUT.
- SILT FENCE SHALL BE INSTALLED AROUND PERIMETER OF CONCRETE WASHOUT AREA EXCEPT FOR THE SIDE UTILIZED FOR ACCESSING THE WASHOUT.
- A ROCK CONSTRUCTION ENTRANCE MAY BE NECESSARY ALONG ONE SIDE OF THE WASHOUT TO PROVIDE VEHICLE ACCESS.

CONCRETE WASHOUT
STRAW BALES OR ABOVE GROUND

NOT TO SCALE



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ES&PC DETAILS
MULBERRY BOULEVARD EXTENSION
RICE HOPE
Prepared For
BEP RICE HOPE LLC

Project No. 21-252
Drawn By: MCS
Designed By: MCS
Checked By: RAP
Scale: 1"=40'
Date: 12/21/21

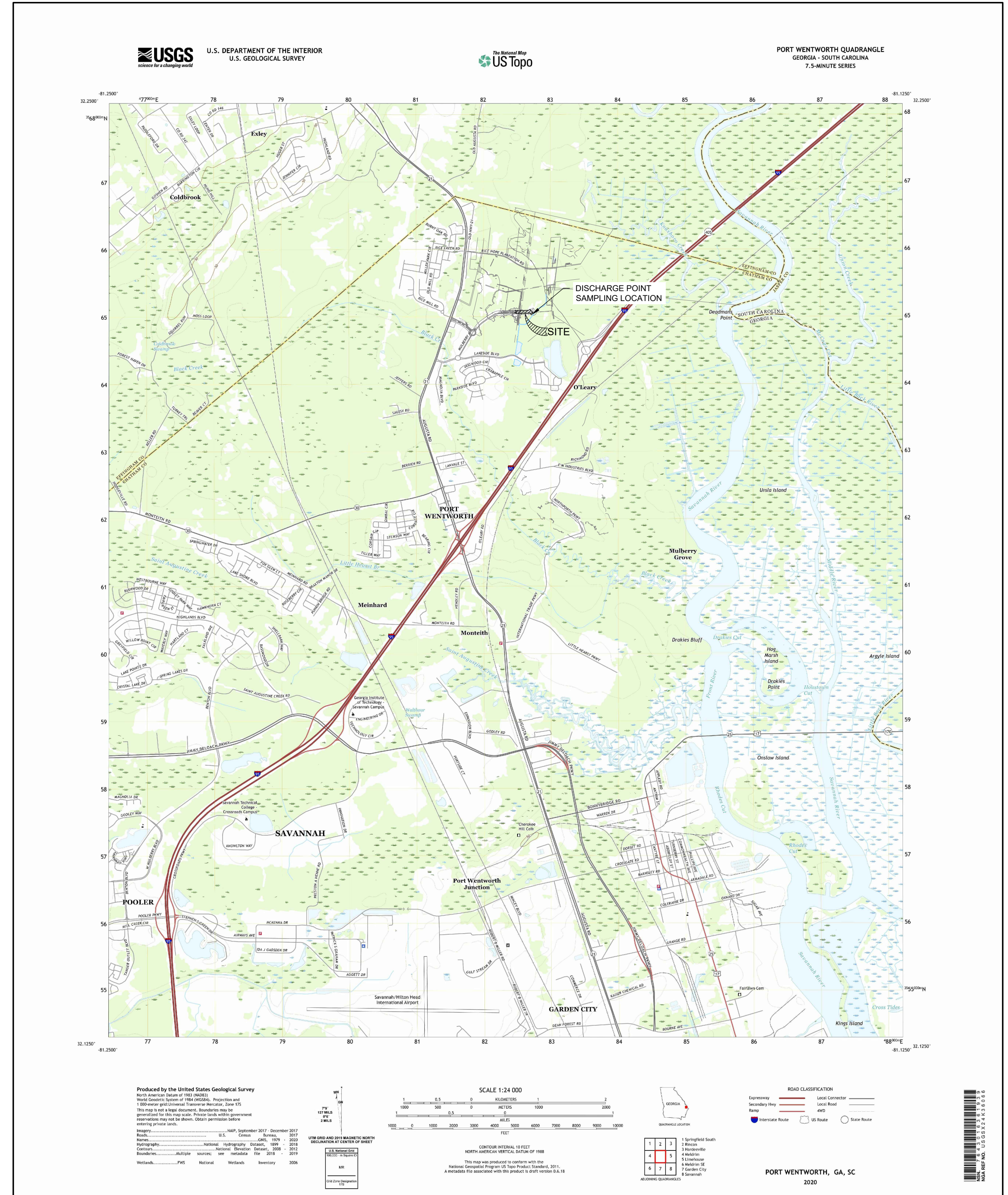
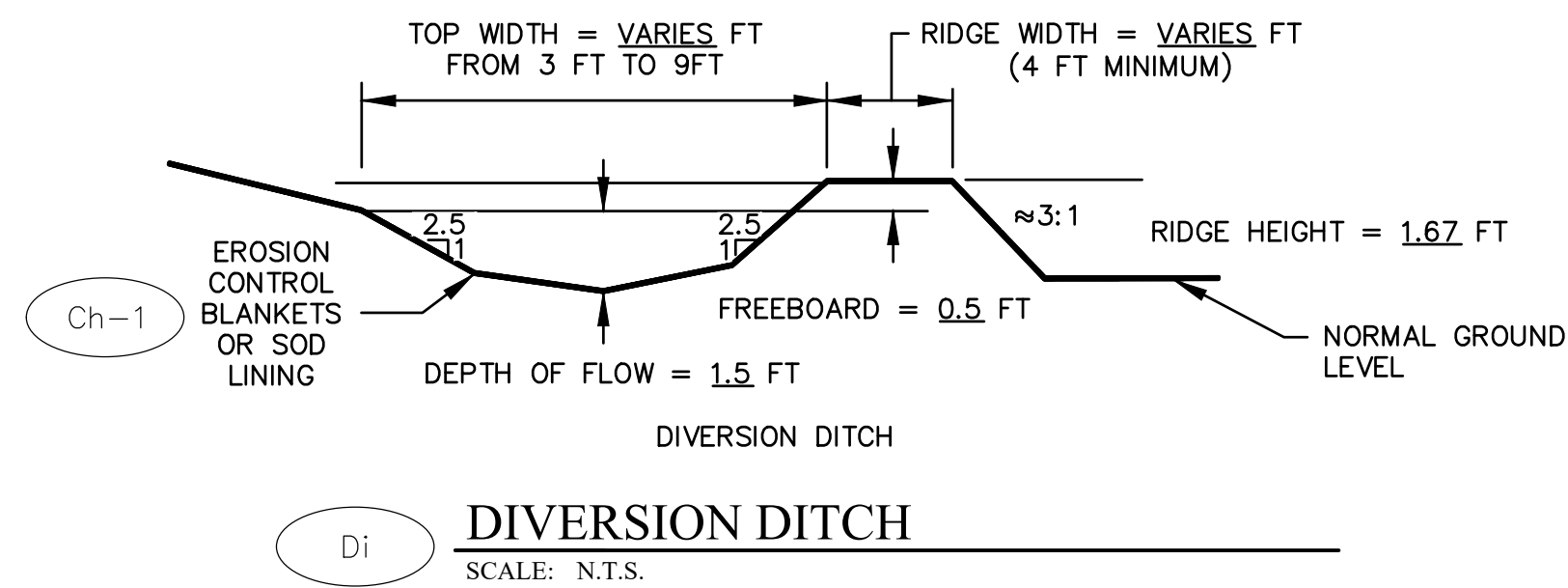
SHEET
EC5.2

DETERMINE VELOCITY IN THE DIVERSION DITCH. USE A CONSERVATIVE APPROACH BY DETERMINING THE FLOW FOR THE LARGEST AREA DRAINED BY A SINGLE DIVERSION DITCH. USE THE FLOW AND THE MANNING'S FORMULA FOR TRAPEZOIDAL CHANNEL FLOW TO DETERMINE THE CHANNEL VELOCITY.

LARGEST AREA DRAINED BY A DIVERSION DITCH = 2.3 ACRES.

USE THE MANNING'S EQUATION TO DETERMINE THE CHANNEL VELOCITY BASED ON A 3' BOTTOM WIDTH, 2.5:1 (H:V) SIDE SLOPES, 0.025 MANNING'S COEFFICIENT, AND A 25 CFS FLOW RATE, THE DIVERSION DITCH VELOCITY = 4.5 FT/SEC

BASED ON THE 4.5 FT/SEC VELOCITY, USE CH1 FOR CHANNEL STABILIZATION.



REV	REVISIONS	BY	DATE
1	REVISED PER CITY OF PORT WENTWORTH COMMENTS	JAF	2/10/22

RAY A. PITTMAN, P.E.
 GSWCC LEVEL II
 DESIGN PROFESSIONAL
 CERTIFICATION #12469

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ES&PC DETAILS

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 BEP RICE HOPE LLC

Project No. 21-252
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 Date: 12/21/21

SHEET
EC5.3



Planning Commission
305 South Coastal Highway
Port Wentworth, GA 31407

Meeting: 03/14/22 06:30 PM
Department: Development Services
Category: Planning/Zoning Item
Prepared By: Melanie Ellis
Department Head: Brian Harvey

SUBMITTED

AGENDA ITEM (ID # 2614)

DOC ID: 2614

Subdivision Application submitted by Jessica Vick, Roberts Civil Engineering, LLC., on behalf of Landmark 24 Homes of Savannah, LLC., for PIN # 7-0906-01-031 (Miller Park Circle) located in a P-R-M (Planned Residential Multi-Family) Zoning District for a Preliminary Plat of a Major Subdivision (Rice Creek Tract C-2 Phase V) for the purpose of Single-Family Homes

Issue/Item: Subdivision Application submitted by Jessica Vick, Roberts Civil Engineering, LLC., on behalf of Landmark 24 Homes of Savannah, LLC., for PIN # 7-0906-01-031 (Miller Park Circle) located in a P-R-M (Planned Residential Multi-Family) Zoning District for a Preliminary Plat of a Major Subdivision (Rice Creek Tract C-2 Phase V) for the purpose of Single-Family Homes

Background: This is the Preliminary Plat Submittal for Phase V of the Rice Creek Subdivision. Rice Creek Tract C-2 Phase V includes thirty-two (32) single-family lots on approximately 5.86 acres.

Facts and Findings: The application appears to be complete. The Subdivision will be connected to City water and sanitary sewer utilities and will include the extension of Marsh Salt Lane and new road. This application has been reviewed and a concurrence letter issued by City engineers T.R. Long Engineering.

Funding: N/A

Recommendation: The Planning Commission will hear this application on Monday, March 14, 2022 at 6:30 P.M.

ATTACHMENTS:

- RICE CREEK TRACT C2 PH 5 PRELIMINARY PLAT MAR 22 - Application (PDF)
- RICE CREEK TRACT C2 PH 5 PRELIMINARY PLAT MAR 22 - ESPC Approval Letter 12.22.21 (PDF)
- RICE CREEK TRACT C2 PH 5 PRELIMINARY PLAT MAR 22 - Timeline (DOCX)
- RICE CREEK TRACT C2 PH 5 PRELIMINARY PLAT MAR 22 - 1st Comment Letter TR Long 1.21.22 (PDF)
- RICE CREEK TRACT C2 PH 5 PRELIMINARY PLAT MAR 22 - 1st Comment Letter Roberts 2.2.22 (PDF)
- RICE CREEK TRACT C2 PH 5 PRELIMINARY PLAT MAR 22 - Concurrence Letter TR Long 3.4.22 (PDF)
- RICE CREEK TRACT C2 PH 5 PRELIMINARY PLAT MAR 22 - Preliminary Plat 12.8.21 (PDF)
- RICE CREEK TRACT C2 PH 5 PRELIMINARY PLAT MAR 22 - Civil Drawings 1.31.22 REDUCED (PDF)
- RICE CREEK TRACT C2 PH 5 PRELIMINARY PLAT MAR 22 - Approved LDA Plans 2.2.22 (PDF)

220000

**SUBDIVISION APPLICATION FORM
FOR THE
CITY OF PORT WENTWORTH**



Application Form Required

This application form is to accompany **all** subdivisions submitted for Port Wentworth Planning Commission review and is to be filled out in its **entirety**. Plats/subdivisions not accompanied by this application will not be accepted for processing. All subdivisions with their completed applications must be received by the City of Port Wentworth at least 20 business days prior to the Planning Commission meeting at which they are to be considered. Revisions to a subdivision under review by the Port Wentworth Planning Commission must be received 10 business days prior to the Port Wentworth Planning Commission at which each subdivision is scheduled to be heard.

Subdivision Name: Rice Creek Phase V - Tract C2

Location: 0 Miller Park Circle, Port Wentworth, GA 31407

Number of Lots: 32

Number of Acres: 5.86

PIN #: 70906 01031

Current Zoning: ~~PUD M~~ P-R-M

Type of Subdivision: (Check applicable blanks from each column)

- A. Sketch Plan
- Master Plan
- Preliminary Plat
- Final Plat
- Revision to a Recorded Plat

- B. Major Subdivision
(4 or more lots or a new road)
- Minor Subdivision
(3 or less lots & no new road)

Purpose of Subdivision:

- Single-Family
- Multi-Family
- Retail
- Other Business

- Industrial
- Institutional
- Other
- Sign

Variances: (List all variances being requested)

None

Attachment: RICE CREEK TRACT C2 PH 5 PRELIMINARY PLAT MAR 22 - Application (2614 : Subdivision Application Rice Creek Tract C-2 Ph

Georgia DOT Review

In all applications in which property being subdivided lies along a State Highway or access is needed from a State Highway, all applicants are required to submit a plat to the Georgia Department of Transportation for review. The subdivision application will not be considered by the Port Wentworth Planning Commission until the Georgia Department of Transportation has commented on the subdivision. The comments must accompany the application.

Previous Submittal

Has this tract of land being proposed for subdividing been submitted to the Port Wentworth Planning Commission under a different subdivision name?

Yes _____ No _____

If yes, what name? _____

Date Submitted: _____ PWPC File No: _____

Number of Required Prints

All submittals, regardless of type, shall include fifteen (15) prints. **Final Plats must include a copy of the plat scanned to a CD along with the fifteen (15) printed copies. Stamp must be in contrasting ink.**

Statements as to Covenants/Deed Restrictions: (Check One)

A copy of all existing deed restrictions or subdivision covenants applicable to this property are attached.

There are no added restrictions or subdivision covenants on this property.

Contact Person (s): (Type or Print Legibly)

Engineer/Surveyor: Roberts Civil Engineering - Jessica Vick, P.E.

Address: 6001 Chatham Center Dr., Suite 255 Savannah, GA Zip Code: 31405

Phone #: 912-298-7006 Fax #: _____

Owner: Landmark 24 Homes of Savannah, LLC - Cole Chenowith

Address: 2702 Whatley Ave, Savannah, GA Zip Code: 31404

Phone #: 912-925-3440 Fax #: _____

Date of Submittal: 12-06-2021

Attachment: RICE CREEK TRACT C2 PH 5 PRELIMINARY PLAT MAR 22 - Application (2614 : Subdivision Application Rice Creek Tract C-2 Ph

Please list all property owners that are adjacent to the parcel to be subdivided including those across the public right-of-way:

Please see the attached list

Multiple horizontal lines for listing property owners.

Certifications

- 1. I hereby certify that this proposed subdivision/plan does not violate any covenants or deed restrictions currently in effect for the property being subdivided.
2. I hereby certify that all taxes applicable to this property have been paid and that there are no delinquent taxes outstanding.
3. I hereby certify that I am the owner of the property being proposed for subdivision.
4. I hereby certify that all the information pertained in this application is true and correct.

DocuSigned by: Cole Chenoweth
134762830A304D3...
Signature of Owner

Comments: Place any pertinent comments you wish to make in the following space:

Large empty space for providing comments.

Submit this form along with the proposed subdivision and any accompanying information to:

CITY OF PORT WENTWORTH
7306 HIGHWAY 21, SUITE 301
PORT WENTWORTH, GEORGIA 31407

Adjacent Property Owners Within 250 Feet of the Project Property Lines

OWNER NAME	ADDRESS	PIN #
RICE CREEK INVESTORS NO 2 LLC	15 Marsh Salt Ln, PORT WENTWORTH, GA	70906C16008
RICE CREEK INVESTORS NO 2 LLC	17 Marsh Salt Ln, PORT WENTWORTH, GA	70906C16009
RICE CREEK INVESTORS NO 2 LLC	38 Marsh Salt Ln, PORT WENTWORTH, GA	70906C16030
RICE CREEK INVESTORS NO 2 LLC	40 Marsh Salt Ln, PORT WENTWORTH, GA	70906C16031
RICE CREEK INVESTORS NO 2 LLC	42 Marsh Salt Ln, PORT WENTWORTH, GA	70906C16032
RICE CREEK INVESTORS NO 2 LLC	44 Marsh Salt Ln, PORT WENTWORTH, GA	70906C16033
RICE CREEK INVESTORS NO 2 LLC	46 Marsh Salt Ln, PORT WENTWORTH, GA	70906C16034
RICE CREEK INVESTORS NO 2 LLC	48 Marsh Salt Ln, PORT WENTWORTH, GA	70906C16035
DONNA EDWARDS, TRUSTEE, OR HER SUCCESSOR	87 BURNT OAK RD, PORT WENTWORTH, GA	70906C11031
KELLY BEULAH M.	92 BURNT OAK RD, PORT WENTWORTH, GA	70906C11051
RICE CREEK INVESTORS NO 2 LLC	94 BURNT OAK RD, PORT WENTWORTH, GA	70906C11050
HYMAN BRUCE MARTIN NATALIE JEAN	HYMAN 96 BURNT OAK RD, PORT WENTWORTH, GA	70906C11049
FAMBLE WARREN & HUNTER TERADESHIA M	98 BURNT OAK RD, PORT WENTWORTH, GA	70906C11048
GARDENHIRE CANTON	100 BURNT OAK RD, PORT WENTWORTH, GA	70906C11047
PHILADELPHIA DENESHEA DANIELLE	102 BURNT OAK RD, PORT WENTWORTH, GA	70906C11046
BLUNT, SR BERNARD E. & BLUNT CYNTHIA B.	104 BURNT OAK RD, PORT WENTWORTH, GA	70906C11045
READY JAMECIA	106 BURNT OAK RD, PORT WENTWORTH, GA	70906C11044
PATTEN ZACHARY AARON & PATTEN CRYSTAL MICHELLE	108 BURNT OAK RD, PORT WENTWORTH, GA	70906C11043
JOHNSON JORDAN CHRISTOPHER & JOHNSON SARA EMILY	4 CORONEDO LANE, PORT WENTWORTH, GA	70906C11024
STARLING KENDRIC R.	6 CORONEDO LANE, PORT WENTWORTH, GA	70906C11025
BOPP JAMIE L & JAMIE LYNN *	7 CORONEDO LANE, PORT WENTWORTH, GA	70906C10014
DIXON VERONICA L	8 CORONEDO LANE, PORT WENTWORTH, GA	70906C11026
BOSTICK & BING ANTONIO & WHITNEY*	9 CORONEDO LANE, PORT WENTWORTH, GA	70906C10015
WARE PHILLIP	10 CORONEDO LANE, PORT WENTWORTH, GA	70906C11027
CAMPFIELD SAM II	11 CORONEDO LANE, PORT WENTWORTH, GA	70906C10016
LANDON JARVIS J	12 CORONEDO LANE, PORT WENTWORTH, GA	70906C11028
HERNDON JOHN HERNDON ANNA D.	13 CORONEDO LANE, PORT WENTWORTH, GA	70906C10017
TART JONATHAN LORENZO & FLOR M*	15 CORONEDO LANE, PORT WENTWORTH, GA	70906C10018

RENE RONALD & RENE MARIE CLAUDE	89 BURNT OAK RD, PORT WENTWORTH, GA	70906C11032
RAMOS JOSE E. & ALICEA-SOTO EDGARDO J.	91 BURNT OAK RD, PORT WENTWORTH, GA	70906C11033
ANCRUM DERRICK T.	93 BURNT OAK RD, PORT WENTWORTH, GA	70906C11034
GRAVES JENNIFER A.	95 BURNT OAK RD, PORT WENTWORTH, GA	70906C11035
COOPER DOMONICK L.	97 BURNT OAK RD, PORT WENTWORTH, GA	70906C11036
BRYANT JAMORI R.	99 BURNT OAK RD, PORT WENTWORTH, GA	70906C11037
GRACE AUNDRELL	101 BURNT OAK RD, PORT WENTWORTH, GA	70906C11038
SHELLMAN FELICIA	103 BURNT OAK RD, PORT WENTWORTH, GA	70906C11039
RICHEY LOREAL TIERA	105 BURNT OAK RD, PORT WENTWORTH, GA	70906C11040
LOPEZ JOMAR ACEVEDO	107 BURNT OAK RD, PORT WENTWORTH, GA	70906C11041
HUBERT KRISTEN NICOLE* & HUBERT DANIEL P.	109 BURNT OAK RD, PORT WENTWORTH, GA	70906C11042
RICE CREEK INVESTORS NO 7 LLC	0 Miller Park Circle, Port Wentworth, GA 31407	70906 01031
ROBERTS-SMITH LOUKISHA M	15 HERITAGE RD, Port Wentworth, GA 31407	70906C15015
BRISBON LASHAWN F	10 HERITAGE RD, Port Wentworth, GA 31407	70906C10004
BROWN GLORIA G	12 HERITAGE RD, Port Wentworth, GA 31407	70906C10003
BURNETT CYNTHIA R	14 HERITAGE RD, Port Wentworth, GA 31407	70906C10002
DAVIS CONSWEULO	16 HERITAGE RD, Port Wentworth, GA 31407	70906C10001
WALLACE & WALLACE-MILSON KENNETH & PHYLL	121 MILLER PARK CIR, PORT WENTWORTH, GA 31407	70906C09003
SAMS DARNIKI AISHA & JAMES	123 MILLER PARK CIR, PORT WENTWORTH, GA 31407	70906C09004
BAILEY DOUGLAS W. & BURGOA MELANIE F.	125 MILLER PARK CIR, PORT WENTWORTH, GA 31407	70906C09005
SCOTT DENISE PINCKNEY	127 MILLER PARK CIR, PORT WENTWORTH, GA 31407	70906C09006
BING PHILLIP REID	129 MILLER PARK CIR, PORT WENTWORTH, GA 31407	70906C09007

Attachment: RICE CREEK TRACT C2 PH 5 PRELIMINARY PLAT MAR 22 - Application (2614 : Subdivision Application Rice Creek Tract C-2 Ph

CITY OF PORT WENTWORTH
(912) 964-4379

REC#: 00338745 1/04/2022 8:38 AM
OPER: ME TERM: 011
REF#: CK 001268

TRAN: 112.0000 BLDG PERMIT
220000 2,066.00CR
LANDMARK 24 HOMES OF SAVANNAH
7-0906-01-031
I-SUBDIV 2,066.00CR

TENDERED: 2,066.00 CHECK
APPLIED: 2,066.00-

CHANGE: 0.00

WWW.CITYOFPORTWENTWORTH.COM

Attachment: RICE CREEK TRACT C2 PH 5 PRELIMINARY PLAT MAR 22 - Application (2614 : Subdivision Application Rice Creek Tract C-2 Ph



Richard E. Dunn, Director

**Watershed Protection Branch
Coastal District Office**

400 Commerce Center Drive
Brunswick, Georgia 31523-8251
Phone: 912-264-7284; Fax: (912) 262-3160

December 22, 2021

Rice Creek Investors #7
c/o Cole Chenowith
chenowith@landmark24.com

Re: Proposed Land Disturbing Activity
Rice Creek Phase 5
Chatham County, Georgia
File: SW-025-04-159

Dear Mr. Chenowith:

In accordance with the General NPDES Permit No. GAR100003 for Storm Water Discharges Associated with Construction Activities for Common Developments, issued by the Georgia Environmental Protection Division (EPD) in August 2018, this Project has been reviewed for deficiencies in the identification of waters of the state and potential encroachment of land disturbing activities within 25 foot immediately adjacent and upland of the identifiable point from which the State mandated buffer is measured.

Based upon this review, the EPD has determined the following:

- (1) The project does **not** have deficiencies in the identification of waters of the state.
- (2) The project will **not** require a buffer variance from the EPD.

However, the EPD reserves the right to change this determination if information that conflicts with the original submittal is obtained during a later site inspection.

Additionally, in accordance with the General NPDES Permit No. GAR100003, each Erosion, Sedimentation and Pollution Control Plan (ESPCP) submittal shall include a completed and applicable ESPCP Checklist established by the Georgia Soil and Water Conservation as of January 1 of the year in which the land-disturbing activity was permitted.

Rice Creek Phase 5
Page 2

A deficient ESPCP is a violation of the NPDES Permit. If violations occur on the proposed project site and enforcement actions become necessary, a deficient ESPCP may increase the fines incurred. The applicable Checklist as well as a guidance document are available on the Georgia EPD website @ <http://epd.georgia.gov>.

Based upon this review, EPD has determined the following:

- (1) The ESPCP for this Project does **not** have deficiencies.

If additional information is required, please contact me at 912-230-4880.

Sincerely,



Shannon K. Winsness
Environmental Specialist

cc: Robert Civil Engineering
c/o Jessica Vick
jvick@robertscivilengineering.com

Alice Vick
EPD Coastal District Office
400 Commerce Center Drive
Brunswick, GA 31523-8251

File: SW-025-04-159

Project Timeline

Project Number: 220000

Project Name: Rice Creek Tract C2 Phase 5 – Preliminary Plat / Civil Review

Applicant / Engineer: Jessica Vick, Roberts Civil Engineering

Owner: Landmark 24 Homes of Savannah

City Review Engineer: TR Long Engineering

- 12/17/2022 – Application Received; Complete
- 1/7/2022 – Sent packet over to Trent Long, TR Long Engineering, to start the review.
- 1/21/2022 – Received 1st review comment letter from TR Long.
- 1/24/2022 – sent 1st review comment letter to Jessica Vick (Roberts)
- 2/2/2022 – received 1st resubmittal from Robert's Civil Engineering.
- 2/7/2022 – sent resubmittal to TR Long for review.
- 2/16/2022 – sent email to Roberts Civil engineering that they are tentatively scheduled for the March meetings depending on how far the review has gotten.
- 2/24/2022 – Public hearing notice ad sent to Savannah Morning News.
- 2/25/2022 – Public hearing notice published in the Savannah Morning News
- 2/25/2022 – Public hearing notice letters mailed.
- 3/4/2022 – Received concurrence letter from TR Long. Forwarded to Roberts Civil Engineering.

114 North Commerce Street
Hinesville, Georgia 31313
Office: (912) 368-5664
Fax: (912) 368-7206



308 Commercial Drive
Savannah, Georgia 31406
Office: (912) 335-1046
Fax: (912) 355-1642

January 21, 2022

Mr. Brian Harvey
City of Port Wentworth
7224 Georgia Highway 21
Port Wentworth, Georgia 31407

Re: Rice Creek Subdivision – Phase 5
Port Wentworth, Georgia

Dear Mr. Harvey,

T. R. Long Engineering, P.C. has reviewed the “Rice Creek Subdivision – Phase 5” prepared by Roberts Civil Engineering dated December 4, 2021. We offer the following comments:

1. The plans do not include any benchmarks or control point references. Additionally, the north arrow does not indicate whether project is magnetic or state plane. Please update the plan accordingly.
2. Please provide copy of Erosion and Sedimentation Control Plans for the above referenced project.
3. According to the preliminary plat the wetlands appear to encroach into the proposed development. Please provide copy of the Corps of Engineers wetlands permit.
4. The plans show several cross walks at the road intersection. Please add handicap ramps where the sidewalk connects to the roadway. Also verify the crosswalk meets ADA requirements and does not exceed the required 2.0% cross slope.
5. Please add a temporary turn around at the temporary end of Marsh Salt Lane.
6. A new fire hydrant is currently shown in the center of lot 246. Please move fire hydrant to align closer to the property line between lots 245 and 246. Also please note the distance from new fire hydrant on Marsh Salt Lane to nearest existing fire hydrant on Marsh Salt Lane. The distance between fire hydrants should not exceed 500 feet.
7. Please provide pressure test and fire flow calculations for the new water line.
8. Please add a blowoff valve in manhole at the end of the new water line on Sea Oats Drive.
9. Please add a blowoff valve in manhole at the end of the new reclaimed water line on Sea Oats Drive.
10. Please add a manhole on the sanitary sewer main at the end of Marsh Salt Lane.
11. Detention pond 2A does not show an outlet structure. Please provide an outlet structure for this pond. Please add a detail for the outlet structure.
12. The hydrology report counts stormwater storage below the normal water surface elevation. This volume will be filled at the beginning of the storm event and will not be available. This volume should not be included in the drainage calculations. Please update the entire hydrology report so that stormwater storage below the normal water surface elevation is not counted in the calculations.
13. Please make sure provide stormwater calculations for the 1-year, 2-year, 10-year, 25-year 50-year and 100 years storms.
14. Provide storm calculations for all storm pipes. These calculations should be included in the HydroCAD report and integrated into the calculations. The method used in the

accompanying report does not take these issues into consideration resulting in inaccurate calculations. Please update the calculations accordingly.

15. Please add pavement and base thickness to paving detail P-1 located on sheet D. We were expecting 2" 9.5 mm, 2" 19mm and 10.5" GABC.
16. All unsuitable soil in roadway and/or under utilities, shall be removed and replaced with structural fill.

Should you have any questions, comments, or need additional information please contact us.

Sincerely,



Trent R. Long, P.E.



February 2, 2022

City of Port Wentworth
Attn: Brian Harvey, Director of Development Services
7306 GA Highway 21, Suite 301
Port Wentworth, GA 31407

Re: Rice Creek Phase 5 Construction Plan Comments Response
Submittal #2

Dear Mr. Harvey:

The following comment responses describe the revisions to Rice Creek Phase 5 Construction Plan as requested by T. R. Long Engineering, P.C. and City of Port Wentworth. Please forward one copy of this letter as well as one copy of the plans to each of the reviewers.

Sincerely,

Jessica Vick

Jessica Vick
Project Manager

JV/cc

Comments & Responses for Rice Creek Phase 5

Trent R. Long, P.E. Comments:

T. R. Long Engineering, P.C.

1. The plans do not include any benchmarks or control point references. Additionally, the north arrow does not indicate whether project is magnetic or state plane. Please update the plan accordingly.
 - **Response: Benchmark and North Arrow note has been added to all plan sheets.**
2. Please provide copy of Erosion and Sedimentation Control Plans for the above referenced project.
 - **Response: Please see attached ES&PC Plans for RC PH V and concurrence letter from EPD.**
3. According to the preliminary plat the wetlands appear to encroach into the proposed development. Please provide copy of the Corps of Engineers wetlands permit.
 - **Response: ACOE is taking longer than normal to provide wetland permitting. This information is forthcoming.**
4. The plans show several cross walks at the road intersection. Please add handicap ramps where the sidewalk connects to the roadway. Also verify the crosswalk meets ADA requirements and does not exceed the required 2.0% cross slope.
 - **Response: Spot elevations have been added to ADA ramps to ensure compliance with slope standards.**
5. Please add a temporary turn around at the temporary end of Marsh Salt Lane.
 - **Response: Temporary turn around has been added.**
6. A new fire hydrant is currently shown in the center of lot 246. Please move fire hydrant to align closer to the property line between lots 245 and 246. Also please note the distance from new fire hydrant on Marsh Salt Lane to nearest existing fire hydrant on Marsh Salt Lane. The distance between fire hydrants should not exceed 500 feet.
 - **Response: The hydrant between lots 238 and 239 is offset from the property line to maintain 500' from the previous hydrant in PH IV. The hydrant between lots 245 and 246 has been adjusted.**
7. Please provide pressure test and fire flow calculations for the new water line.
 - **Response: Forthcoming**
8. Please add a blowoff valve in manhole at the end of the new water line on Sea Oats Drive.
 - **Response: Blow off valve in MH has been added.**
9. Please add a blowoff valve in manhole at the end of the new reclaimed water line on Sea Oats Drive.
 - **Response: Blowoff of valve in box has been added, since this main is only 4".**
10. Please add a manhole on the sanitary sewer main at the end of Marsh Salt Lane.
 - **Response: SSMH has been added.**

Comments & Responses for Rice Creek Phase 5

11. Detention pond 2A does not show an outlet structure. Please provide an outlet structure for this pond. Please add a detail for the outlet structure.
 - **Response: The outfall ditch has been added to the proposed surface contours, and a detail has been added to the detail sheets.**

12. The hydrology report counts stormwater storage below the normal water surface elevation. This volume will be filled at the beginning of the storm event and will not be available. This volume should not be included in the drainage calculations. Please update the entire hydrology report so that stormwater storage below the normal water surface elevation is not counted in the calculations.
 - **Response: The hydrology model has been updated to apply a starting water surface elevation equal to the invert of the outlet pipes.**

13. Please make sure provide stormwater calculations for the 1-year, 2-year, 10-year, 25-year 50-year and 100 years storms.
 - **Response: Calculations have been added.**

14. Provide storm calculations for all storm pipes. These calculations should be included in the HydroCAD report and integrated into the calculations. The method used in the accompanying report does not take these issues into consideration resulting in inaccurate calculations. Please update the calculations accordingly.
 - **Response: Storm Sewer catch basins and pipes have been added to the HydroCAD model. Storm Sewer exhibits for PH V and PH VI have been added to the Drainage Report.**

15. Please add pavement and base thickness to paving detail P-1 located on sheet D2. We were expecting 2" 9.5 mm, 2" 19mm and 10.5" GABC.
 - **Response: Detail has been updated.**

16. All unsuitable soil in roadway and/or under utilities, shall be removed and replaced with structural fill.
 - **Response: Note 6 has been added to Earthwork Notes on Sheet 2.**

114 North Commerce Street
Hinesville, Georgia 31313
Office: (912) 368-5664
Fax: (912) 368-7206



308 Commercial Drive
Savannah, Georgia 31406
Office: (912) 335-1046
Fax: (912) 355-1642

March 4, 2022

Mr. Brian Harvey
City of Port Wentworth
7224 Georgia Highway 21
Port Wentworth, Georgia 31407

Re: Rice Creek Subdivision – Phase 5
Port Wentworth, Georgia

Dear Mr. Harvey,

T. R. Long Engineering, P.C. has reviewed the specific development plans entitled “Rice Creek Phase 5 Construction Plan,” prepared by Roberts Civil Engineering dated January 31, 2022. along with supplemental information provided on February 2, 2022. The proposed plans and supplemental information generally meet intent of the ordinances and guidelines governing construction in Port Wentworth except for the following:

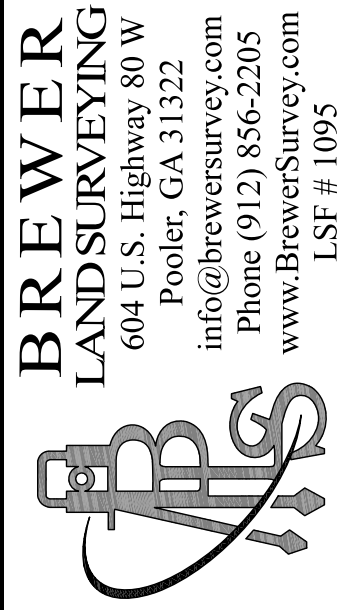
Concurrence with the site plan by T. R. Long Engineering, P.C. and Port Wentworth does not relieve the owner/developer, designer, engineer and contractor nor their representatives from their individual or collective responsibilities to comply with provisions of Local, State, and Federal regulations and/or ordinances. T. R. Long Engineering, P.C. and Port Wentworth review the submitted documents for completeness and general compliance with codes, ordinances and/or standards. No design liability can be assumed or assigned to T. R. Long Engineering, P.C., or Port Wentworth. All design liability remains with the professional engineer who signed and sealed those documents. Additionally, concurrence with the submitted documents and their intent is not to be construed as a check of every item submitted and does not prevent Port Wentworth from requiring corrections and/or addressing of omissions in the submitted documents and/or construction.

Should you have any questions, comments or need additional information please contact us.

Sincerely,

A handwritten signature in blue ink that reads "Trent R. Long".

Trent R. Long, P.E.



PREPARED FOR:
ROBERTS CIVIL ENGINEERING, INC.
A PRELIMINARY SUBDIVISION PLAT OF
RICE CREEK - TRACT C2 - PHASE V
8TH G.M. DISTRICT, CITY OF PORT WENTWORTH, CHATHAM COUNTY, GEORGIA

Attachment: RICE CREEK TRACT C2 PH 5 PRELIMINARY PLAT MAR 22 - Preliminary Plat 12.8.21 (2614 - Subdivision Application Rice Creek Tract C-2 Ph V Preliminary Plat MAR 2022)

PROJECT #:	210267
FIELD DATE:	05/10/2021
DRAWING DATE:	12/08/2021
LAST REVISED:	N/A
DRAWN BY:	SCJ
SCALE:	1"=40'
SHEET:	1 OF 1

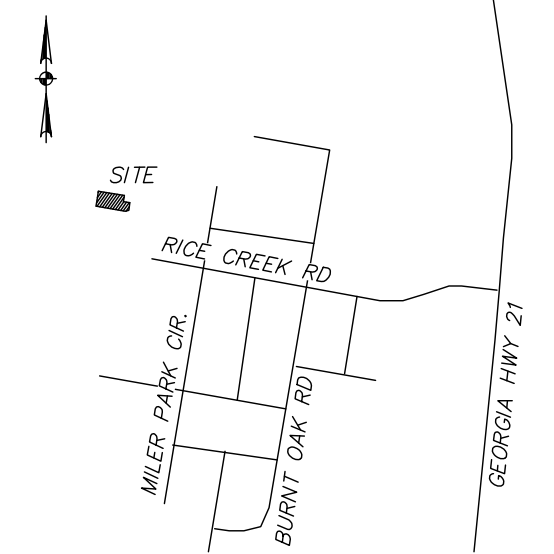
EQUIPMENT USED: TOTAL STATION
ANGULAR ERROR = 9" PER POINT
ADJUSTED BY: COMPASS RULE
PLAT CLOSURE = 1/264,207
FIELD CLOSURE = 1/27,397

LEGEND

- IRF 1/2" IRON ROD FOUND
- XF X FOUND IN CONCRETE
- IRS 5/8" IRON ROD SET
- B.S.L. BUILDING SETBACK LINE
- C/M/S CONCRETE MONUMENT SET
- ADDRESS

REFERENCES

1. P.R.B. 34-P PG 73
2. S.M.B. 40-S PG 68
3. P.R.B. 46-P PG 42
4. P.B. 50 PG 137
5. P.B. 51 PG 569
6. P.B. 53 PG 206

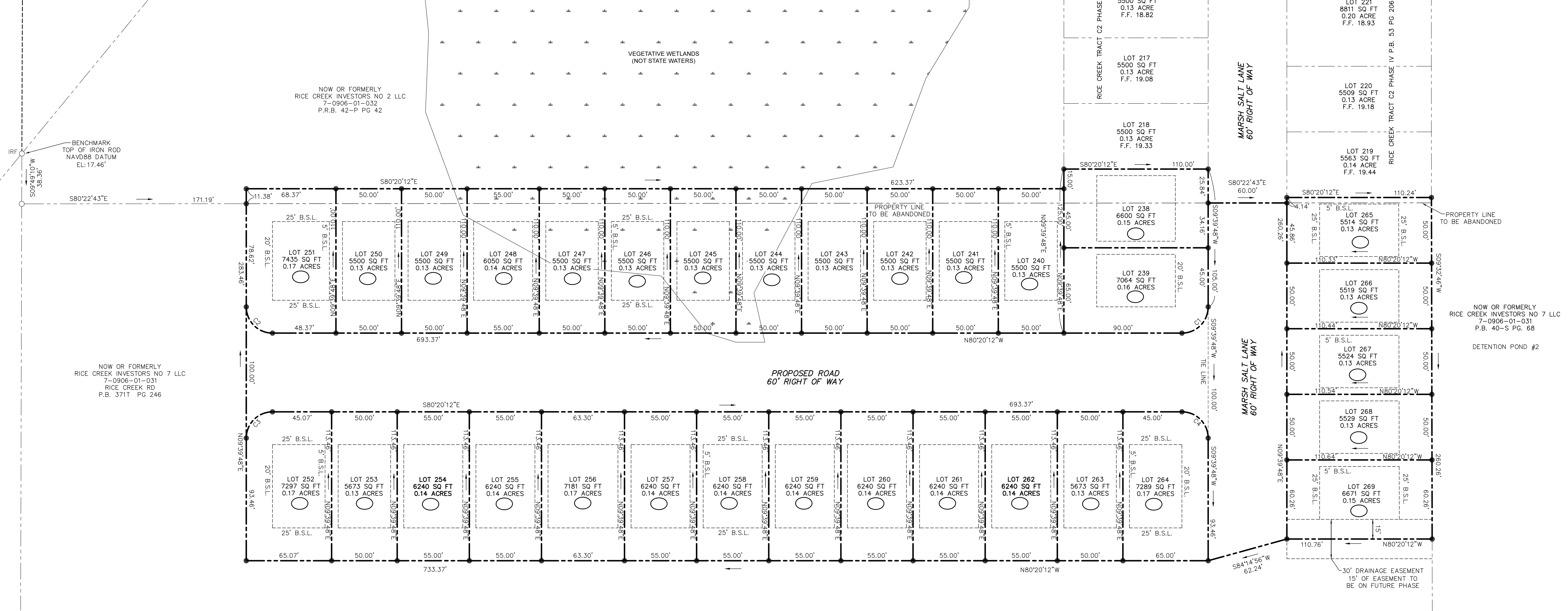


THIS BLOCK IS RESERVED FOR THE CLERK OF SUPERIOR COURT

VICINITY MAP NOT TO SCALE

245' SAVANNAH ELECTRIC POWER COMPANY EASEMENT AS PER PRB 46-P, PG 42

50' SAVANNAH GAS COMPANY GAS LINE EASEMENT AS PER PRB 46-P, PG 42



NOW OR FORMERLY
RICE CREEK INVESTORS NO 7 LLC
7-0906-01-031
RICE CREEK RD
P.B. 3711 PG 246

NOW OR FORMERLY
RICE CREEK INVESTORS NO 2 LLC
7-0906-01-032
P.R.B. 42-P PG 42

NOW OR FORMERLY
RICE CREEK INVESTORS NO 7 LLC
7-0906-01-031
P.B. 40-S PG 68

THE FOLLOWING GOVERNMENTAL BODIES
HAVE APPROVED THIS PLAT FOR FILING:

APPROVED BY MAYOR AND CITY COUNCIL, PORT WENTWORTH

MAYOR	DATE
COUNCILMAN	DATE
COUNCILMAN	DATE
COUNCILMAN	DATE
COUNCILMAN	DATE
COUNCILMAN	DATE
COUNCILMAN	DATE
COUNCILMAN	DATE
COUNCILMAN	DATE

NOW OR FORMERLY
RICE CREEK INVESTORS NO 7 LLC
7-0906-01-031
RICE CREEK RD
P.B. 3711 PG 246

SURVEYOR'S NOTES

1. ALL COORDINATES AND BEARINGS ARE BASED ON GEORGIA STATE PLANE COORDINATE SYSTEM, NAD 83, EAST ZONE.
2. ACCORDING TO THE FLOOD INSURANCE RATE MAP AS PREPARED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY, THIS PROPERTY LIES IN ZONE X, NOT WITHIN A 100 YEAR FLOOD HAZARD AREA. SEE COMMUNITY PANEL NO. 13051C00306, DATED 08/16/2018.
3. THIS PROPERTY IS SUBJECT TO ANY AND ALL EASEMENTS, COVENANTS, OR RESTRICTIONS EITHER RECORDED OR UNRECORDED.
4. THIS PROPERTY IS SERVED BY CITY OF PORT WENTWORTH WATER AND SEWER SYSTEMS.
5. THE PUBLIC RECORDS REFERENCED WERE USED FOR THE ESTABLISHMENT OF THE BOUNDARY OF THIS PROPERTY; THEY ARE NOT AND DO NOT CONSTITUTE A TITLE SEARCH.
6. THE PARENT TRACT TAX PARCEL NUMBERS OF THIS PROPERTY IS 7-0906-01-032 & 7-0906-01-032.
7. THE CERTIFICATION, AS SHOWN HEREON, IS PURELY A STATEMENT OF PROFESSIONAL OPINION BASED ON KNOWLEDGE, INFORMATION AND BELIEF, AND BASED ON EXISTING FIELD EVIDENCE AND AVAILABLE DOCUMENTS. THE CERTIFICATION IS NOT AN EXPRESSED OR IMPLIED WARRANTY OR GUARANTEE.
8. THIS SUBDIVISION CONTAINS A TOTAL AREA OF 5.83 ACRES
LOT AREA 4.45 ACRES
RIGHT-OF-WAY AREA 1.38 ACRES

SURVEYOR'S SPECIAL NOTE

NO FIELD WORK HAS BEEN PERFORMED BY BREWER LAND SURVEYING FOR THIS PRELIMINARY PLAT. PROPOSED LOT LINES TAKEN FROM ENGINEERING PLANS BY ROBERTS CIVIL ENGINEERING. BREWER LAND SURVEYING WILL PERFORM FIELD SURVEY ON THIS SUBDIVISION PRIOR TO FINAL PLAT BEING SUBMITTED.

SURVEYOR'S CERTIFICATION

AS REQUIRED BY SUBSECTION (d) OF O.C.G.A. SECTION 15-6-67, THIS PLAT HAS BEEN PREPARED BY A LAND SURVEYOR AND APPROVED BY ALL APPLICABLE LOCAL JURISDICTIONS FOR RECORDING AS EVIDENCED BY APPROVAL CERTIFICATES, SIGNATURES, STAMPS, OR STATEMENTS HEREON. SUCH APPROVALS OR AFFIRMATIONS SHOULD BE CONFIRMED WITH THE APPROPRIATE GOVERNMENTAL BODIES BY ANY PURCHASER OR USER OF THIS PLAT AS TO INTENDED USE OF ANY PARCEL. FURTHERMORE, THE UNDERSIGNED LAND SURVEYOR CERTIFIES THAT THIS PLAT COMPLIES WITH THE MINIMUM TECHNICAL STANDARDS FOR PROPERTY SURVEYS IN GEORGIA AS SET FORTH IN THE RULES AND REGULATIONS OF THE GEORGIA BOARD OF REGISTRATION FOR PROFESSIONAL ENGINEERS AND LAND SURVEYORS AND AS SET FORTH IN O.C.G.A. SECTION 15-6-67.

JAMES CRAIG BREWER GA PLS# 3022 DATE



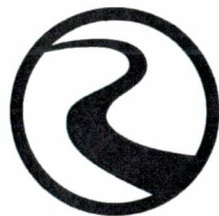
ALL STREETS, RIGHT-OF-WAY, EASEMENTS AND ANY SITES FOR PUBLIC USE AS NOTED ON THIS PLAT ARE HEREBY DEDICATED TO THE CITY OF PORT WENTWORTH FOR THE USE INTENDED. SUCH DEDICATIONS ARE MORE SPECIFICALLY DESCRIBED IN THE DEED THAT ACCOMPANIES THIS PLAT.

OWNER OR ATTORNEY AS AGENT DATE

SITE CONSTRUCTION PLANS

Rice Creek Phase 5

PREPARED FOR:
Rice Creek Investors #7, LLC
2702 Whatley Ave, Ste. B-1
Savannah, GA 31404
912.925.3440



ROBERTS
CIVIL ENGINEERING
WWW.ROBERTSCIVILENGINEERING.COM

301 SEA ISLAND ROAD, SUITE 10
ST. SIMONS ISLAND, GA 31522
912-638-9681

6001 CHATHAM CENTER DRIVE, SUITE 255
SAVANNAH, GA 31405
912-298-7006

14600 WHIRLWIND AVENUE, SUITE 119A
JACKSONVILLE, FL 32218
904-741-0099

4000 FABER PLACE DRIVE, SUITE 300
NORTH CHARLESTON, SC 29405
843-323-4224



VICINITY MAP NTS
Port Wentworth
Rice Creek Phase 5

<p style="text-align: center;">OWNER Rice Creek Investors #7, LLC CONTACT Cole Chenoweth EMAIL cchenoweth@landmark24.com 912.925.3440</p>	<p style="text-align: center;">ENGINEER ROBERTS CIVIL ENGINEERING CONTACT Jessica Vick, P.E. EMAIL jvick@robertscivilengineering.com 912.977.5244</p>
--	--

#	REVISIONS
1	2022-01-31: REVISIONS PER CITY OF PORT WENTWORTH
2	
3	
4	
5	

12/04/21: ORIGINAL ISSUE DATE RCE PROJECT NUMBER: 21507

CONTENTS		
SHEET		DATE
0	COVER	01/31/22
1	GENERAL NOTES	01/31/22
2	EXISTING CONDITIONS	01/31/22
3	STAKING PLAN	01/31/22
4	DETAILED GRADING PLAN	01/31/22
5	ROAD PROFILES	01/31/22
6	DRAINAGE PLAN	01/31/22
7	STORM PROFILES	01/31/22
8	SANITARY SEWER PLAN	01/31/22
9	SEWER PROFILES	01/31/22
10	WATER PLAN	01/31/22
11	RECLAIMED WATER PLAN	01/31/22
D1-D4	CONSTRUCTION DETAILS	01/31/22



COVER

Attachment: RICE CREEK TRACT C2 PH 5 PRELIMINARY PLAT MAR 22 - Civil Drawings 1.31.22

GENERAL NOTES

1. ALL CONSTRUCTION METHODS AND MATERIALS SHALL CONFORM TO ALL APPLICABLE FEDERAL, STATE, AND LOCAL LAWS.
2. ALL PERMITS NECESSARY FOR CONSTRUCTION SHALL BE OBTAINED BY CONTRACTOR.
3. ANY DEVIATIONS FROM THE PLANS ARE PROHIBITED WITHOUT THE WRITTEN CONSENT OF THE ENGINEER.
4. THE CONTRACTOR IS TO IMMEDIATELY CONTACT THE ENGINEER IF ANY UNFORESEEN COMPLICATIONS OR DISCREPANCIES OCCUR.
5. CONTRACTOR SHALL COORDINATE THE CONSTRUCTION OF ALL UTILITIES ON SITE WITH THE APPROPRIATE PROVIDER (e.g. POWER, PHONE, CABLE, ETC.).
6. THE ENGINEER SHALL NOT BE HELD RESPONSIBLE FOR THE PHYSICAL CONSTRUCTION OF THE SITE.
7. CONTRACTOR SHALL MAINTAIN A SAFE SITE AND MEET ALL APPROPRIATE REGULATIONS CONCERNING SAFETY.
8. SURVEY DATA PROVIDED BY: BREWER LAND SURVEYING 804 U.S. HIGHWAY 90 FOLEY, GA. 31212 (912)864-2266
9. EXISTING SURVEY INFORMATION TO BE VERIFIED BY CONTRACTOR PRIOR TO CONSTRUCTION. CONTRACTOR TO NOTIFY ENGINEER OF ANY DISCREPANCIES IN FIELD OBSERVATIONS VERSUS SURVEY DATA.
10. CONTRACTOR TO LOCATE ALL UTILITIES PRIOR TO CONSTRUCTION BY CALLING THE CALL BEFORE YOU DIG HOTLINE: 811.
11. ACCORDING TO FEMA FLOOD INSURANCE RATEMAP# 130610C0095 DATED 6/16/2010 THE SITE IS LOCATED IN ZONE X.
12. HORIZONTAL DATUM BASED ON GEORGIA STATE PLANE COORDINATE SYSTEM EAST ZONE, NAD83. VERTICAL DATUM BASED ON NAVD83.

ADDITIONAL NOTES

1. THE CONTRACTOR IS RESPONSIBLE FOR ADHERING TO ALL CURRENT ADA REQUIREMENTS.
2. THE EXTERIOR ACCESSIBLE ROUTE SHALL HAVE A MINIMUM WIDTH OF 3 FEET. IF THE ACCESSIBLE ROUTE CLEAR WIDTH IS LESS THAN 5 FEET, THEN 1/4" RAMPING SPACES SHALL BE PROVIDED EVERY 20" OR LESS. INTERESTING SIDEWALKS MEET THIS REQUIREMENT.
3. THE FINISHED SURFACE HEIGHT DIFFERENCE REQUIREMENTS SHALL MEET THE FOLLOWING:
 - 0'-0" NO REQUIREMENTS
 - 0'-2" NO REQUIREMENTS
 - GREATER THAN 2" CONFORM TO RAMP REQUIREMENTS
4. RAMPS SHALL MEET THE FOLLOWING CONSTRAINTS:
 - MAX SLOPE 1:12
 - MAX RAMP RISE 8"
 - MAX RAMP LENGTH 30'
 - MAX CROSS SLOPE 2:100.
5. RAMP LANDINGS SHALL MEET THE FOLLOWING CONSTRAINTS:
 - A MINIMUM 6' LONG LEVEL LANDING AT LEAST AS WIDE AS THE RAMP SHALL BE PLACED AT THE TOP AND BOTTOM OF THE RAMP.
 - LANDINGS SHALL BE MINIMUM 5'x5' OVER RAMP CHANGES DIRECTION.
 - LANDINGS SHALL NOT EXCEED A 2.0% SLOPE.
6. HANDRAILS SHALL MEET THE FOLLOWING CONSTRAINTS:
 - IF RAMP RISE IS GREATER THAN 6", THEN HANDRAILS ARE REQUIRED ON BOTH SIDES OF RAMP MINIMUM OF 12" LONG HANDRAIL EXTENSION SHALL BE PROVIDED AT THE TOP AND BOTTOM OF LANDINGS.

EARTHWORK NOTES

1. CONTRACTOR TO REMOVE ALL UNSUITABLE MATERIAL SUCH THAT THERE IS A MINIMUM 2" SEPARATION BETWEEN THE PLASTIC CLAY LAYER AND THE BOTTOM OF THE FOOTING, BOTTOM OF SLAB-ON-GRADE, AND BOTTOM OF PAVEMENT SECTIONS.
2. THE UPPER 12 INCHES OF SUBGRADE BELOW THE PAVEMENT AND BUILDING SHALL BE SCAMPED AND RECOMPACTED TO 100% STANDARD PROCTOR MAX DRY WEIGHT DENSITY WITH A MOISTURE CONTENT WITHIN 2% OF THE OPTIMUM MOISTURE CONTENT.
3. IN AREAS WHERE STRUCTURAL FILL IS REQUIRED, FILL SHALL BE PLACED IN LIFTS OF 6 INCHES AND COMPACTED TO 100% STANDARD PROCTOR MAX DRY WEIGHT DENSITY. STRUCTURAL FILL SHALL CONSIST OF GRANULAR SOIL CONTAINING LESS THAN 1% MATERIAL FINER THAN NO. 200 SIEVE.
4. ALL FILLING AND EXCAVATION SHALL BE COMPLETED PRIOR TO THE INSTALLATION OF ANY UTILITIES.
5. CONTRACTOR TO PROVIDE TEST RESULTS OF SUBGRADE AND BASE COURSE COMPACTION TO ENGINEER.
6. ALL UNSUITABLE SOIL IN ROADWAY AND/OR UNDER UTILITIES, SHALL BE REMOVED AND REPLACED WITH STRUCTURAL FILL.

SEWER/STORM DRAINAGE NOTES

1. STORM PIPES SHALL BE JOINED PER DOT SPECIFICATIONS.
2. ALL PIPES SHALL BE INSTALLED IN NEW CONDITION.
3. A RIGHT OF WAY WORK PERMIT MAY BE REQUIRED BEFORE ANY WORK CAN BE DONE IN THE RIGHT OF WAY.
4. ALL STORM DRAINAGE PIPING SHALL BE CONSTRUCTED PER DOT SPEC.
5. ALL STORM DRAINAGE PIPING JOINTS SHALL BE WRAPPED IN FILTER FABRIC.
6. CONTRACTOR TO REQUEST CONFIRMATION OF LATEST PLAN REVISION DATE FROM ENGINEER IN WRITING PRIOR TO ORDERING MATERIALS.
7. IT IS THE CONTRACTOR'S SOLE RESPONSIBILITY TO REVIEW AND APPROVE SHOP DRAWINGS PRIOR TO ORDERING MATERIALS.
8. CONTRACTOR SHALL USE APPROVED STRUCTURAL FILL WHERE THE RIGHT-OF-WAY CROSSES THE EXISTING DITCHES.

GENERAL WATER NOTES

1. PVC PIPE SHALL BE BLUE IN COLOR. PVC 4" TO 12" SHALL CONFORM TO REQUIREMENTS OF AWWA C900 OR 18 PRESSURE CLASS 200 P.S.I. AND SHALL HAVE THE FOLLOWING MINIMUM WALL THICKNESS:

4"	0.281 INCHES
6"	0.381 INCHES
8"	0.503 INCHES
10"	0.617 INCHES
12"	0.733 INCHES

 PIPE LESS THAN 4" IN DIAMETER SHALL CONFORM TO ASTM D-1784 AND DUNN (DNR 21). THE PIPE SHALL HAVE A MINIMUM PRESSURE RATING OF 200 P.S.I. THE PVC PIPE SHALL BEAR THE NATIONAL SANITATION FOUNDATION SEAL OF APPROVAL.
2. FITTING FOR PVC SHALL BE DUCTILE IRON IN ACCORDANCE WITH ANSI A11.53 (AWWA C-153). FITTINGS SHALL BE CEMENT RING END IN ACCORDANCE WITH ANSI A11.54 (AWWA C-154). FITTINGS LESS THAN 4" SHALL BE PVC WITH RING TYPE RUBBER JOINTS CONFORMING TO ASTM D-2151.
3. ALL VALVES 4" OR GREATER SHALL BE INSTALLED IN A MANHOLE. SEE CITY OF PORT WENTWORTH DETAILS W4 AND W4 FOR SPECIFICATIONS. THERE SHALL BE NO MANHOLE STEPS IN ANY STRUCTURE AT FINAL INSPECTION.
4. MAINTAIN A TEN (10) FOOT HORIZONTAL SEPARATION BETWEEN ANY EXISTING OR PROPOSED WATER MAIN AND SANITARY SEWER, STORM SEWER, OR SEWER MANHOLE.
5. WHEN A 10 FOOT HORIZONTAL SEPARATION CANNOT BE MAINTAINED, THE WATER MAIN MAY BE Laid CLOSER TO THE SEWER PROVIDED THAT THE WATER MAIN IS Laid IN SEPARATE TRENCH AT LEAST 9 INCHES ABOVE THE "TOP" OF THE SEWER.
6. WATER CROSSING A SEWER SHALL BE AT LEAST 18" ABOVE THE TOP OF THE SEWER. A FULL LENGTH OF WATER PIPE SHALL BE USED AT THE CROSSING WITH THE ENDS OF THE WATER AS FAR AWAY FROM THE SEWER AS POSSIBLE.
7. VERIFY SIZE AND LOCATION OF WATER SERVICES PRIOR TO CONSTRUCTION. NOTIFY ENGINEER OF ANY DISCREPANCIES PRIOR TO ORDERING MATERIALS.
8. IF UTILITY CONFLICT IS ENCOUNTERED IN THE FIELD, SEE UTILITY CONFLICT DETAIL.

GENERAL SEWER NOTES

1. PVC PIPE SHALL BE POLYETHYLENE GLYCOL MODIFIED PVC (PEM) SHALL MEET ALL REQUIREMENTS OF ASTM D 2665 OR 36. DEPTH IS LESS THAN 3 FEET SHALL BE DUCTILE IRON PIPE. ASTM D 2527 MUST BE FOLLOWED FOR THE INSTALLATION OF PVC PIPE. RUBBER JOINTS SHOULD BE USED FOR CONNECTION AND SEPARATION AT EACH JOINT. FITTINGS SHALL MEET THE SAME SPECIFICATION REQUIREMENTS AS THE PIPE. TESTS ON PVC PIPE SHALL BE DEGRADED TO PASS ALL TESTS AT 77°F. PIPE STANDARD LENGTHS SHALL BE 12 FEET PLUS OR MINUS 1/8". THE SIZE AND DIMENSIONS SHALL BE AS SHOWN IN THE TABLE BELOW:

PIPE SIZE	OUTSIDE DIA.	MIN WALL THICKNESS
4"	4.215	0.162
6"	6.275	0.241
8"	8.400	0.323
10"	10.500	0.404
12"	12.600	0.481
2. JOINTS ON PVC PIPE SHALL BE INTERIOR WALL BELL AND SPOUT WITH RUBBER RING GASKET. THE JOINTS SHALL CONFORM TO ASTM D 2665 AND THE GASKETS SHALL CONFORM TO ASTM F 477.
3. PRECAST CONCRETE MANHOLES SHALL BE REINFORCED CONCRETE CONSTRUCTED IN ACCORDANCE WITH ASTM C 174 AND THE DETAILS SHOWN ON THE PLANS. THE JOINTS SHALL BE TONGUE AND GROOVE SEALED WITH FLEXIBLE GASKETS OR MAJIC SEALANT. GASKETS SHALL BE 1/8" OR EQUIVALENT TO TYPE A OR TYPE B TYPIC CONFORMING TO ASTM C 443. MAJIC SHALL BE EQUIVALENT TO MAJIC-MT WITH INSTRUCTIONS. ALL CONTACT SURFACES OF THE MANHOLE JOINT SHALL HAVE THE PREMIER "M" LOGO MARKING WITH THE MANUFACTURER'S IDENTIFICATION.
4. FRAMES AND COVERS SHALL BE THE EQUIVALENT OF MEEHAN FOUNDRY CO. R-1668 TYPE "C" LID.
5. MANHOLE STEPS - THERE SHALL BE NO MANHOLE STEPS AT FINAL INSPECTION.
6. PIPES CONNECTIONS SHALL HAVE FLEXIBLE WATER TIGHT JOINTS AT THE POINT OF ENTRY OF ANY SUBMER MAIN TO THE MANHOLE. THE JOINT SHALL BE WEDGED RUBBER SHIM EQUIVALENT TO "SEWER WEDGE" OR A RUBBER SHIM EQUIVALENT TO "GORN SEAL" OR "LOCK JOINT".
7. #12 GAUGE SINGLE STRAND COPPER TRACING WIRE SHALL BE USED OVER ALL FORCE MAIN, SANITARY SEWER, AND SERVICE LATERAL LINES.
8. SEWER EXCAVATIONS SHALL BE TO THE DESIRED DEPTHS SHOWN ON THE PLANS WITH ADHERENCE TO THE OCCUPATIONAL AND SAFETY HEALTH ADMINISTRATION'S (OSHA) REGULATIONS. IN AREAS OF UNSUITABLE SOIL CONDITIONS, THE TRENCH MAY BE REQUIRED ADDITIONAL EXCAVATION AND BACKFILLED WITH SAND, GRAVEL, OR CONCRETE.
9. SEWER PIPES SHALL BE Laid UPONCE WITH SHROUFS FOR TRENCH DOWNGRADE. ASSEMBLY OF JOINTS SHALL COMPLY WITH MANUFACTURER'S RECOMMENDATIONS. SEAL OPEN ENDS OF PIPES AT INSTALLATION IS UNACCEPTED. MANHOLE CONNECTIONS SHOULD BE WEDGED TIGHT WITH THE USE OF FLEXIBLE WATER TIGHT JOINTS AND RESINLET CONNECTORS.
10. MANHOLES SHALL HAVE A CHANNEL IN THE BOTTOM THAT IS SMOOTH AND ROUNDED. MANHOLE TOP ELEVATION SHALL BE GREATER THAN OR EQUAL TO THE FIFTY (50) YEAR FLOOD ELEVATION UNLESS WATER TIGHT COVERS ARE PROVIDED. OUTSIDE OF PAVED AREAS, THE MANHOLE TOP ELEVATION SHALL BE 1' ABOVE THE FLOODING SURFACE IN UNDEVELOPED AREAS AND 2' ABOVE THE FLOODING SURFACE IN UNDEVELOPED AREAS UNLESS SHOWN OTHERWISE ON THE PLANS. MANHOLES IN PAVED AREAS SHALL BE BUILT AS DESIGNATED BY THE ENGINEER. NO LEAKS IN MANHOLES ARE ACCEPTABLE.

GENERAL STORM NOTES

1. MANHOLE STEPS - THERE SHALL BE NO MANHOLE STEPS AT FINAL INSPECTION.
2. THE MINIMUM OPENING OF ALL CURBS ALONG THE GUTTER LINE IS 9" IS.
3. ALL STRUCTURES AND INLETS SHALL HAVE A MINIMUM 6" CLEARANCE FROM THE INTERIOR STRUCTURE WALLS TO THE OUTSIDE DIAMETER OF ALL INCOMING/OUTGOING PIPES.



01/31/22

REVISIONS
 2022-05-10: RESPONSE PER CITY OF PORT WENTWORTH



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 10000 WINDY HOLLOW LANE SUITE 100
 PORT WENTWORTH, GA 30127
 WWW.ROBERTSCVILENGINEERING.COM

GENERAL NOTES

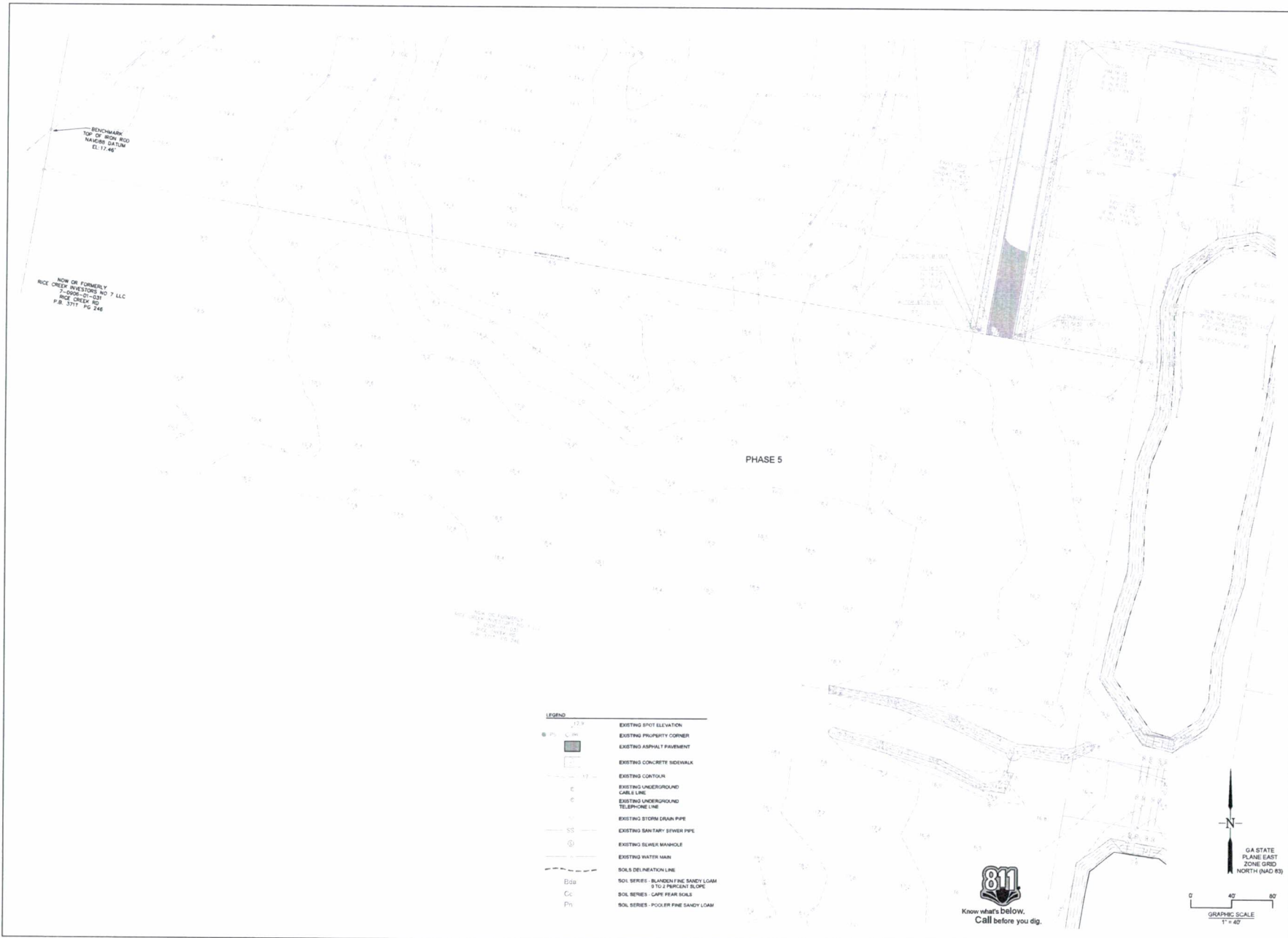
Rice Creek Phase 5
Port Wentworth
 PREPARED FOR:
 Rice Creek Investors #7, LLC

DATE: 12/04/21
 PROJECT NUMBER: 21507
 DRAWN BY: JAF
 CHECKED BY: JLV
 SCALE: NTS

1

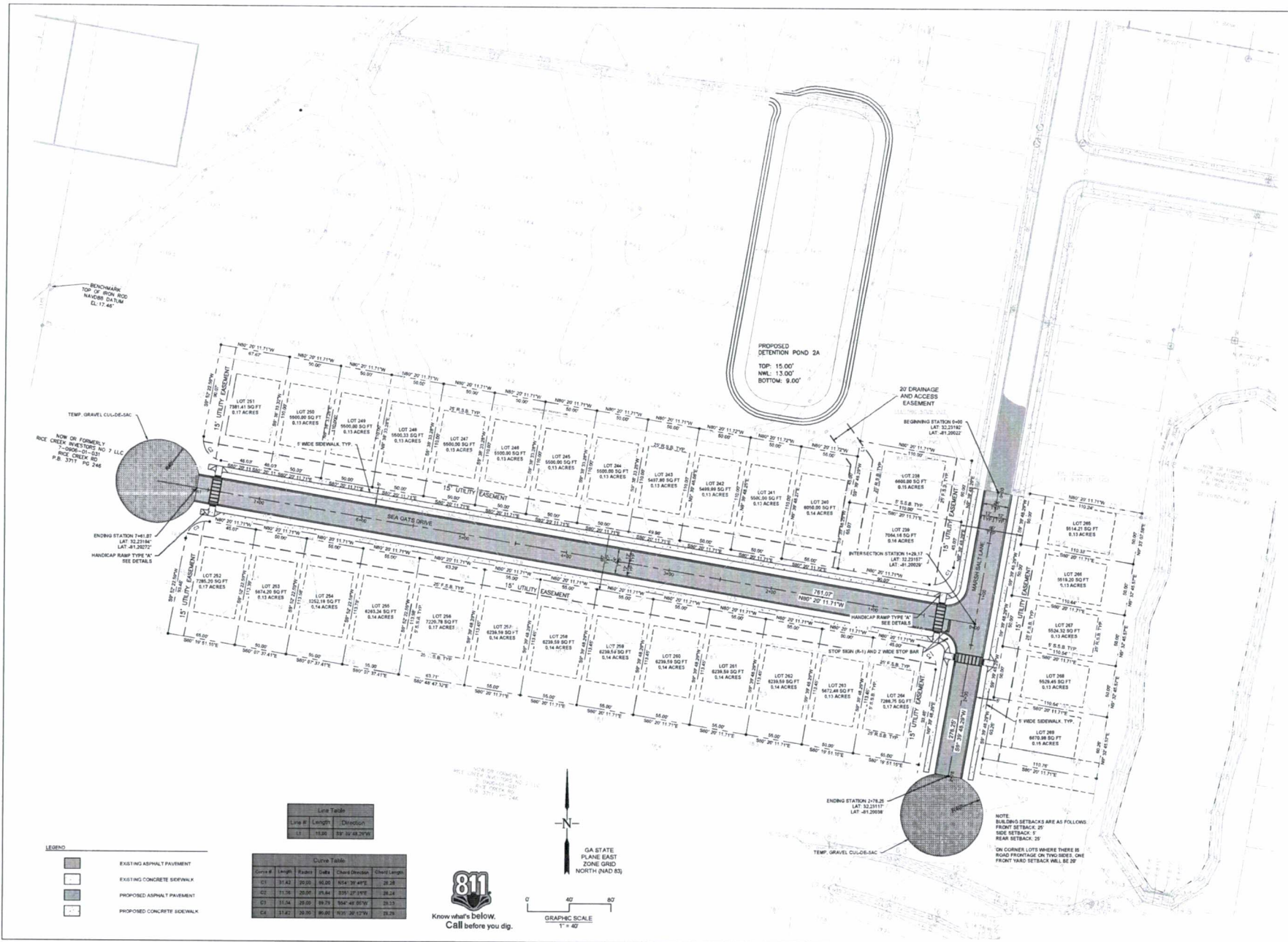
SHEET:

Attachment: RICE CREEK TRACT C2 PH 5 PRELIMINARY PLAT MAR 22 - Civil Drawings 1.31.22



REVISIONS 2024-03-13 REVISIONS PER CITY OF FORT WORTH	
EXISTING CONDITIONS Rice Creek Phase 5 Port Wentworth PREPARED FOR: Rice Creek Investors #7, LLC	
DATE: 12/04/21 PROJECT NUMBER: 21507	DRAWN BY: JAF CHECKED BY: JLV SCALE: 1"=40' per 100' x 100'
<h1>2</h1> SHEET:	

Attachment: RICE CREEK TRACT C2 PH 5 PRELIMINARY PLAT MAR 22 - Civil Drawings 1.31.22



LEGEND

- EXISTING ASPHALT PAVEMENT
- EXISTING CONCRETE SIDEWALK
- PROPOSED ASPHALT PAVEMENT
- PROPOSED CONCRETE SIDEWALK

Line Table

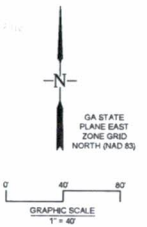
Line #	Length	Direction
1	14.96	S 30.46° E 27.96'

Curve Table

Curve #	Length	Radius	Chord	Chord Direction	Chord Length
C1	31.42	25.00	30.00	S 54.39° W 49.16'	28.28
C2	31.02	25.00	29.84	S 55.07° W 49.20'	28.24
C3	31.04	25.00	29.73	S 55.40° W 49.20'	28.23
C4	31.42	25.00	29.81	S 54.20° W 49.20'	28.26



Know what's below.
Call before you dig.



REVISIONS

No.	Description

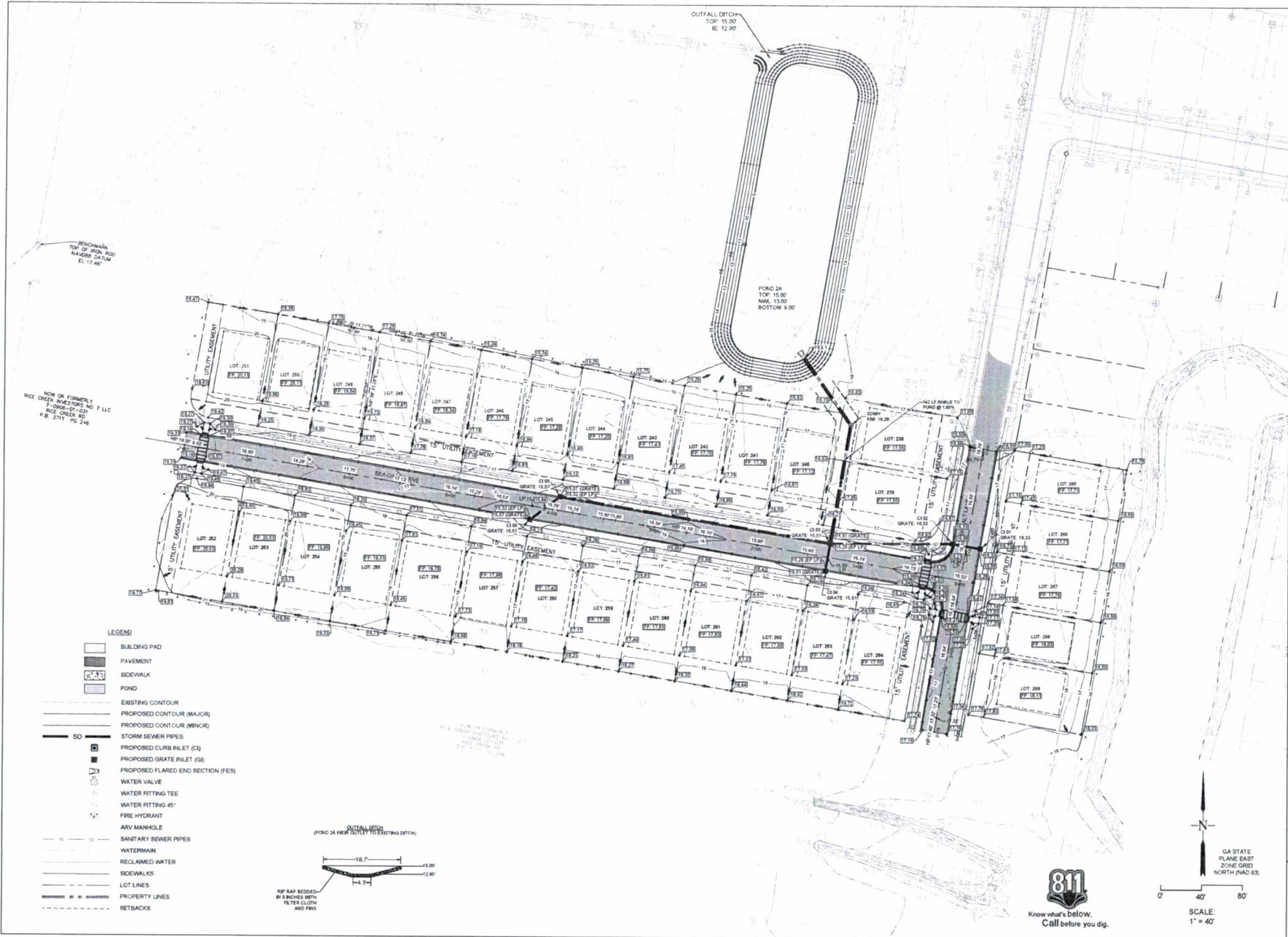


STAKING PLAN
Rice Creek Phase 5
Port Wentworth
 PREPARED FOR: Rice Creek Investors #7, LLC

DATE: 12/04/21
 PROJECT NUMBER: 21507
 DRAWN BY: JAF
 CHECKED BY: JLV
 SCALE: 1" = 40' (SEE PLAN FOR NOTES)

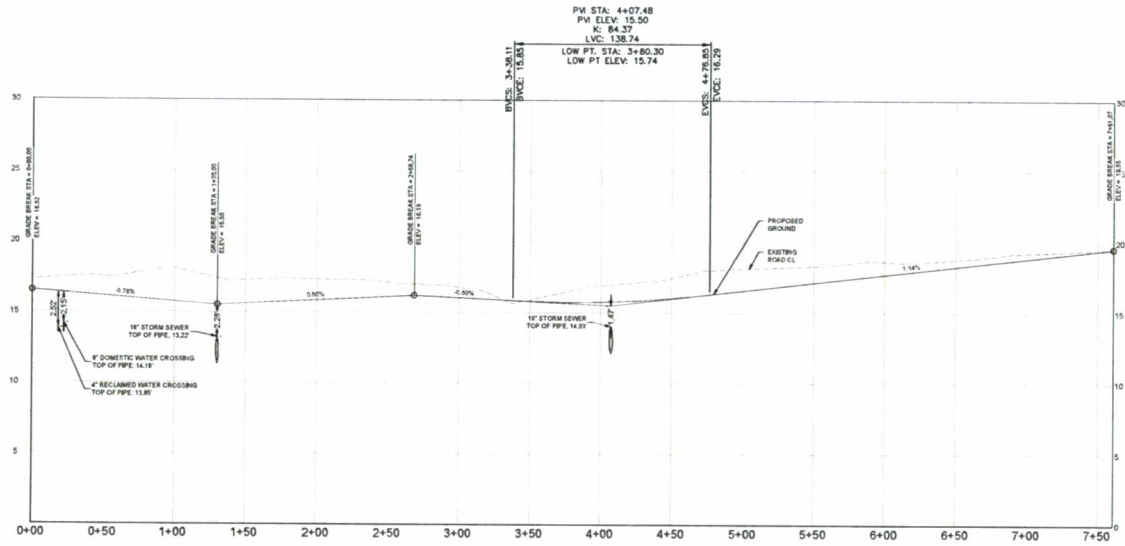
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Attachment: RICE CREEK TRACT C2 PH 5 PRELIMINARY PLAT MAR 22 - Civil Drawings 1.31.22

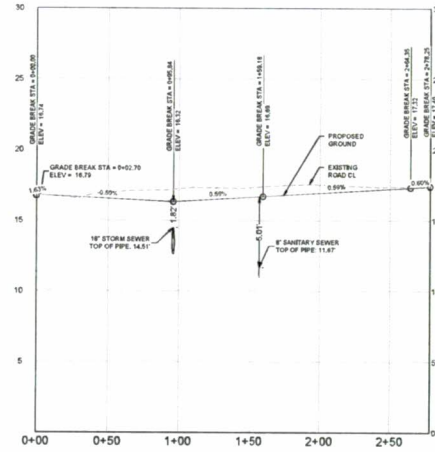


<p>ROBERTS CIVIL ENGINEERING 100 MAIN STREET, SUITE 100, PORT WENTWORTH, GA 31507 WWW.ROBERTSCIVILENGINEERING.COM</p>	
<p>DETAILED GRADING PLAN</p> <p>Rice Creek Phase 5 Port Wentworth PREPARED FOR: Rice Creek Investors #7, LLC</p>	
DATE: 12/04/21	PROJECT NUMBER: 21507
DRAWN BY: JAF	CHECKED BY: JLV
SCALE: 1" = 40' (SEE PLAN FOR MORE)	
<p>4</p> <p>SHEET:</p>	

Attachment: RICE CREEK TRACT C2 PH 5 PRELIMINARY PLAT MAR 22 - Civil Drawings 1.31.22



SEA OATS DRIVE ROAD PROFILE
 Vertical Scale: 1" = 4 FT
 Horizontal Scale: 1" = 40 FT



MARSH SALT LN ROAD PROFILE
 Vertical Scale: 1" = 4 FT
 Horizontal Scale: 1" = 40 FT



REVISIONS

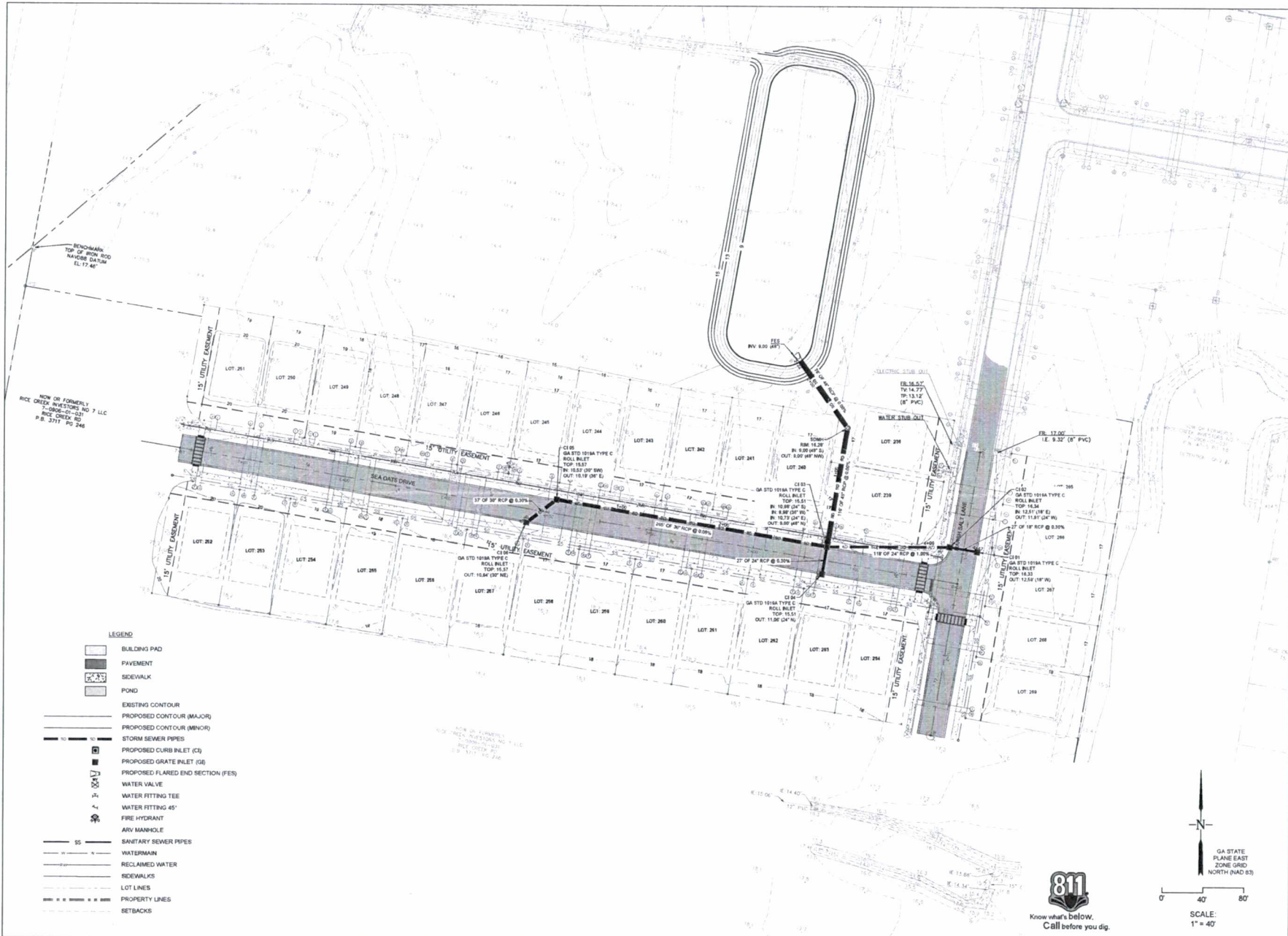


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ROAD PROFILES
Rice Creek Phase 5
Port Wentworth
 PREPARED FOR:
 Rice Creek Investors #7, LLC

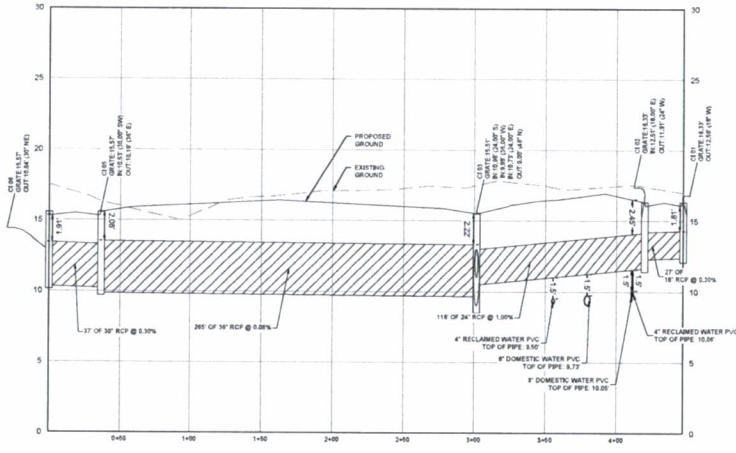
DATE: 12/04/21
 PROJECT NUMBER: 21507
 DRAWN BY: JAF
 CHECKED BY: JLV
 SCALE: AS SHOWN

5
 SHEET:

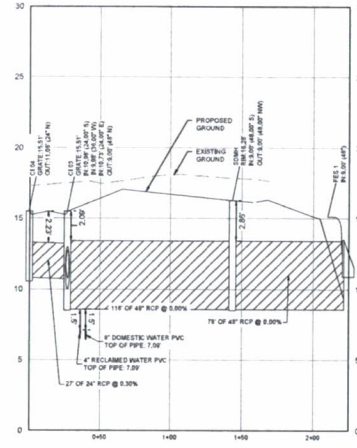


REVISIONS 2022-02-26: REVISIONS BY CITY OF PORT WENTWORTH	
DRAINAGE PLAN Rice Creek Phase 5 Port Wentworth PREPARED FOR: Rice Creek Investors #7, LLC	
DATE: 12/04/21 PROJECT NUMBER: 21507 DRAWN BY: JAF CHECKED BY: ILV SCALE: 1"=40' (per sheet notes)	SHEET: <div style="font-size: 2em; font-weight: bold; text-align: center;">6</div>

Attachment: RICE CREEK TRACT C2 PH 5 PRELIMINARY PLAT MAR 22 - Civil Drawings 1.31.22



STORM 100
 Vertical Scale: 1" = 4 FT
 Horizontal Scale: 1" = 40 FT



STORM 200
 Vertical Scale: 1" = 4 FT
 Horizontal Scale: 1" = 40 FT



REVISIONS
2022-03-11 RESPONSE TO CITY OF PORT WENTWORTH

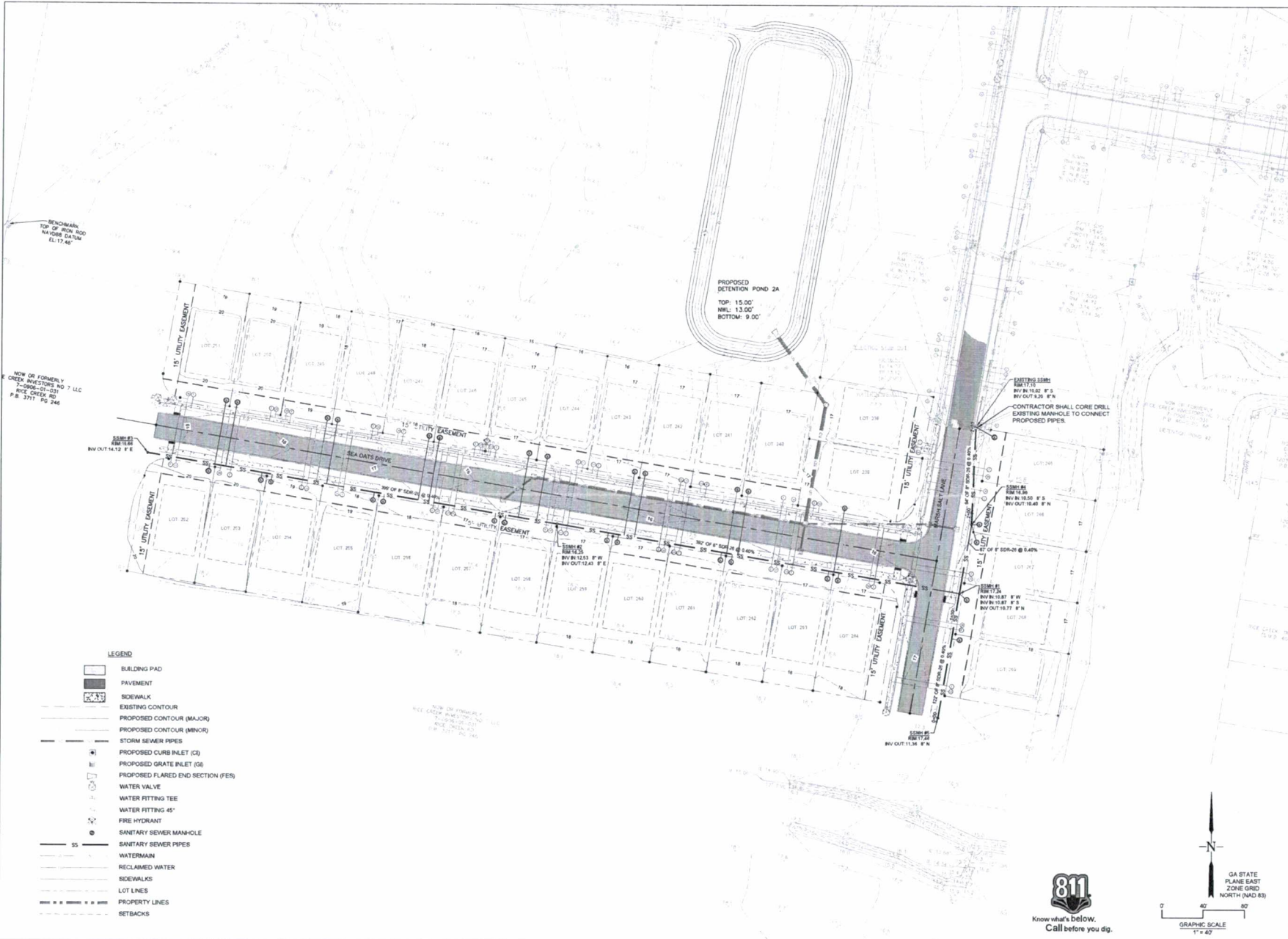


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 15 BROWN BLVD. SUITE 100 | PORT WENTWORTH, GA 31507
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STORM PROFILES
 Rice Creek Phase 5
 Port Wentworth
 PREPARED FOR:
 Rice Creek Investors #7, LLC

DATE: 12/17/2021
 PROJECT NUMBER: 21507
 DRAWN BY: JAF
 CHECKED BY: JLV
 SCALE: AS SHOWN

7
 SHEET:



- LEGEND**
- BUILDING PAD
 - PAVEMENT
 - SIDEWALK
 - EXISTING CONTOUR
 - PROPOSED CONTOUR (MAJOR)
 - PROPOSED CONTOUR (MINOR)
 - STORM SEWER PIPES
 - PROPOSED CURB INLET (CI)
 - PROPOSED GRATE INLET (GI)
 - PROPOSED FLARED END SECTION (FES)
 - WATER VALVE
 - WATER FITTING TEE
 - WATER FITTING 45°
 - FIRE HYDRANT
 - SANITARY SEWER MANHOLE
 - SANITARY SEWER PIPES
 - WATERMAIN
 - RECLAIMED WATER
 - SIDEWALKS
 - LOT LINES
 - PROPERTY LINES
 - SETBACKS



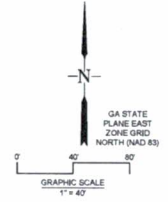
REVISIONS



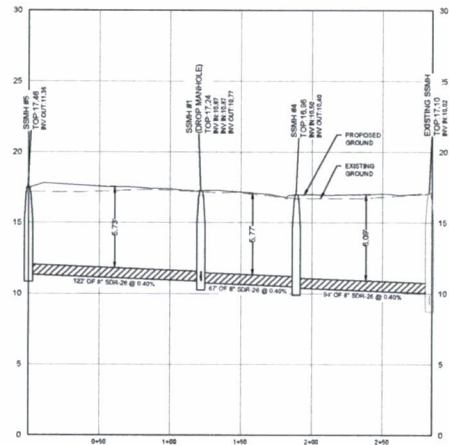
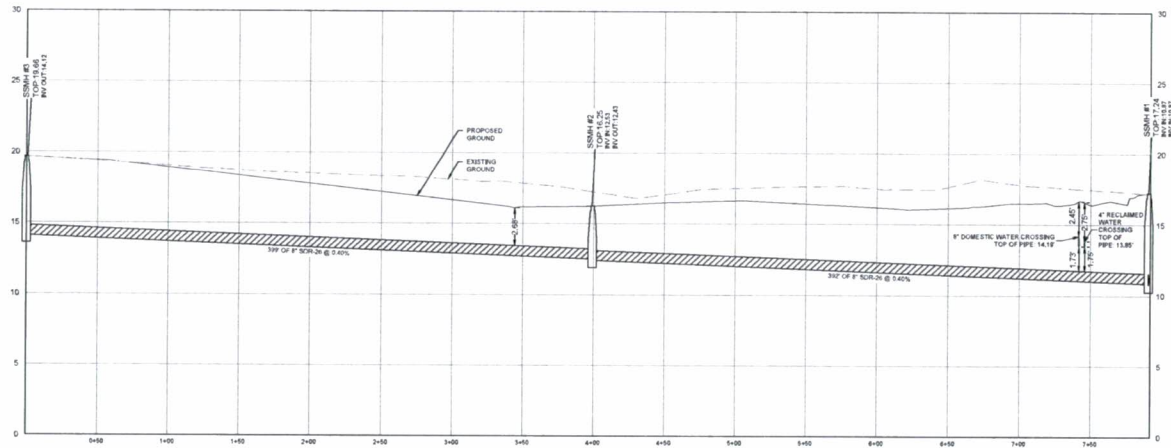
SANITARY SEWER PLAN
Rice Creek Phase 5
Port Wentworth
 PREPARED FOR:
 Rice Creek Investors #7, LLC

DATE: 12/04/21
 PROJECT NUMBER: 21507
 DRAWN BY: JAF
 CHECKED BY: ILV
 SCALE: 1"=40' (SEE DRAWING NOTES)

8
 SHEET:

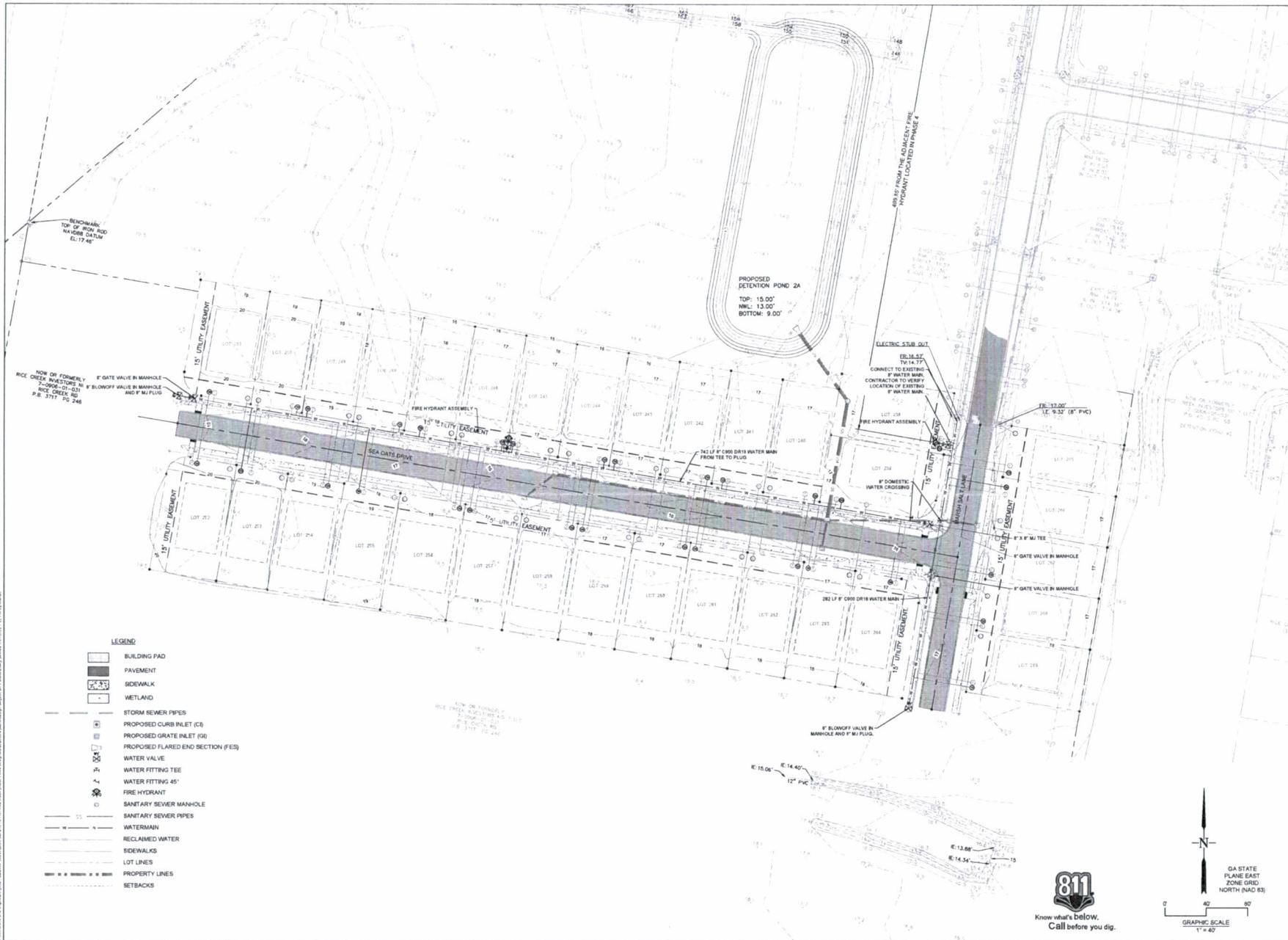



Attachment: RICE CREEK TRACT C2 PH 5 PRELIMINARY PLAT MAR 22 - Civil Drawings 1.31.22



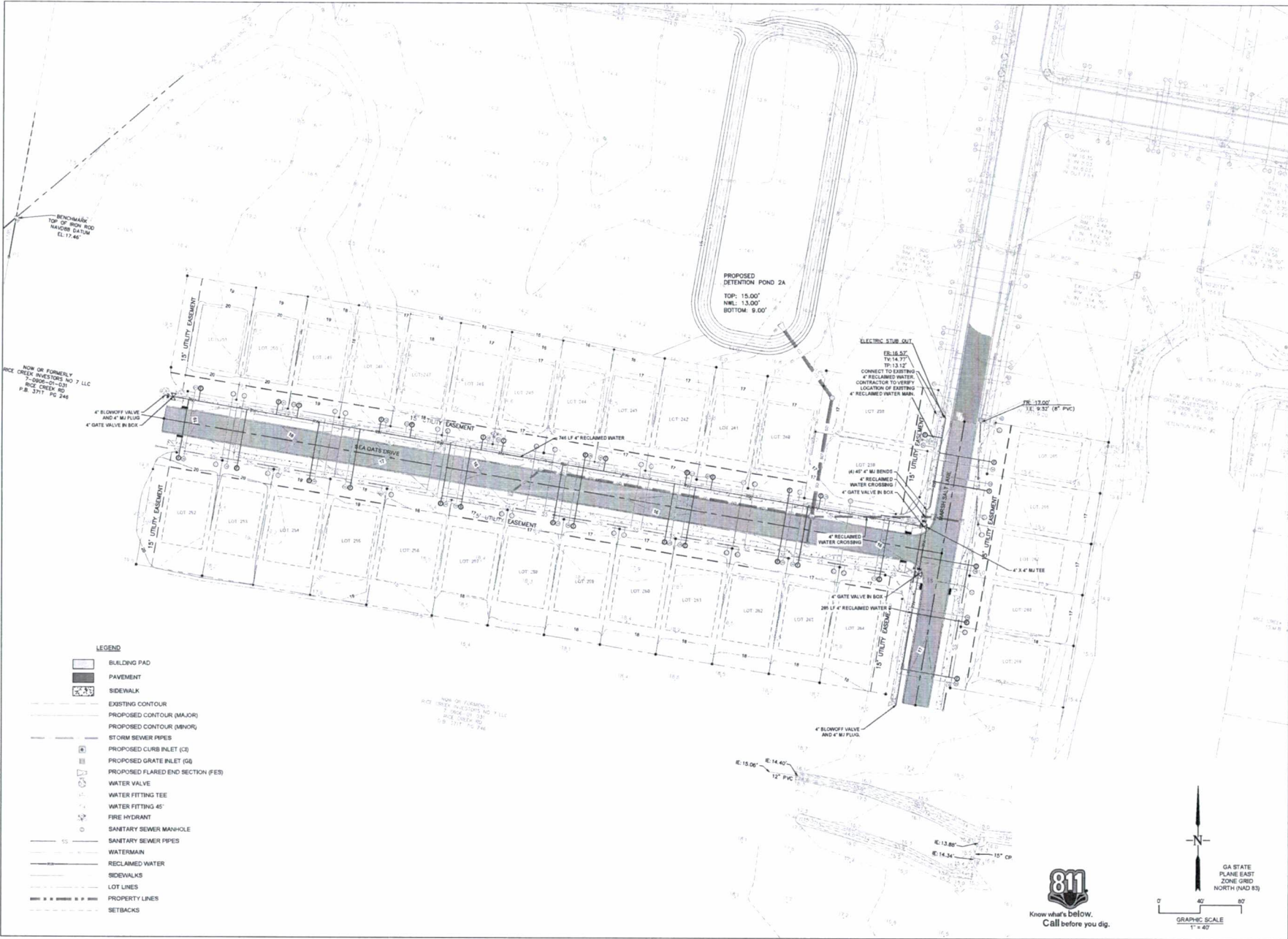
		REVISIONS 2022-01-31 REVISIONS PER CITY OF PORT WENTWORTH	
		ROBERTS CIVIL ENGINEERING WWW.ROBERTSCIVILENGINEERING.COM	
SEWER PROFILES Rice Creek Phase 5 Port Wentworth PREPARED FOR: Rice Creek Investors #7, LLC		DATE: 12/04/21 PROJECT NUMBER: 21507 DRAWN BY: JAF CHECKED BY: JLV SCALE: 1" = 40' (FROM 3/4" FOR 300')	SHEET: <h1 style="text-align: center;">9</h1>

Attachment: RICE CREEK TRACT C2 PH 5 PRELIMINARY PLAT MAR 22 - Civil Drawings 1.31.22



 No. 046602 PROFESSIONAL ENGINEER 01/01/22	
REVISIONS 2022.03.31: REVISIONS BY CITY OF PORT WENTWORTH	
 ROBERTS CIVIL ENGINEERING WWW.ROBERTSCIVILENGINEERING.COM	
WATER PLAN Rice Creek Phase 5 Port Wentworth PREPARED FOR: Rice Creek Investors #7, LLC	
DATE: 12/04/21 PROJECT NUMBER: 21507	DRAWN BY: JAF CHECKED BY: JLV SCALE: 1"=40' (PER STATE PLAN)
10 SHEET:	

Attachment: RICE CREEK TRACT C2 PH 5 PRELIMINARY PLAT MAR 22 - Civil Drawings 1.31.22



	
REVISIONS 02/23/23, REVISIONS BY: JAF	
 ROBERTS CIVIL ENGINEERING 11 SHAW ROAD, LAWRENCE, ILLINOIS 62550 WWW.ROBERTSCIVILENGINEERING.COM	
RECLAIMED WATER PLAN Rice Creek Phase 5 Port Wentworth PREPARED FOR: Rice Creek Investors #7, LLC	
DATE: 12/04/21 PROJECT NUMBER: 21507 DRAWN BY: JAF CHECKED BY: JLV SCALE: 1"=40' (see 2nd sheet)	11 SHEET:

Attachment: RICE CREEK TRACT C2 PH 5 PRELIMINARY PLAT MAR 22 - Civil Drawings 1.31.22

INLET FRAME & COVER
City of Port Wentworth
TECHNICAL DETAILS
SD-5

6" UNDERDRAIN PIPE
City of Port Wentworth
TECHNICAL DETAILS
SD-10

PRECAST STORM MANHOLE
City of Port Wentworth
TECHNICAL DETAILS
SD-12

STORM MANHOLE RING & COVER
City of Port Wentworth
TECHNICAL DETAILS
SD-14

DIMENSIONS FOR VARIOUS PIPE SIZES			
PIPE SIZE (WT or WT) _s	Min t	Min H	
18"	2'-0"	2'-7"	3'-3.5"
18"	2'-0"	2'-10"	3'-6.5"
24"	3'-0"	0'-4"	4'-3.5"
30"	3'-6"	0'-4"	4'-10.5"
36"	4'-0"	1'-0"	5'-3.5"
42"	4'-6"	1'-2"	6'-0.5"
48"	5'-0"	1'-4"	6'-7.5"
54"	5'-6"	1'-4"	7'-2.5"
60"	6'-0"	2'-0"	7'-6.5"

1 GA STD 1019A TYPE C ROLL INLET
NTS



01/31/22

REVISIONS	



CONSTRUCTION DETAILS

Rice Creek Phase 5
Port Wentworth
PREPARED FOR:
Rice Creek Investors #7, LLC

DATE: 12/04/21
PROJECT NUMBER: 21507
DRAWN BY: JAF
CHECKED BY: JLV
SCALE: NTS

D1
SHEET:

Attachment: RICE CREEK TRACT C2 PH 5 PRELIMINARY PLAT MAR 22 - Civil Drawings 1.31.22



0191322

REVISIONS	

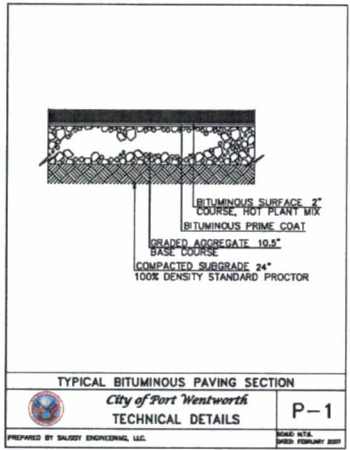


CONSTRUCTION DETAILS
Rice Creek Phase 5
Port Wentworth
 PREPARED FOR:
 Rice Creek Investors #7, LLC

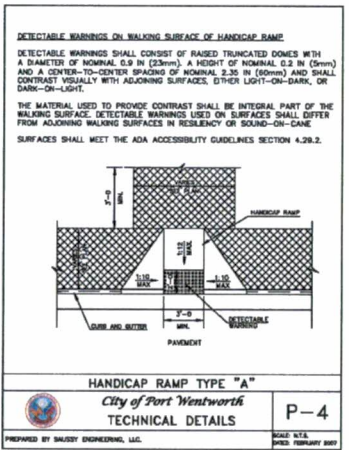
DATE: 12/04/21
 PROJECT NUMBER: 21507
 DRAWN BY: JAF
 CHECKED BY: JLV
 SCALE: NTS

D2

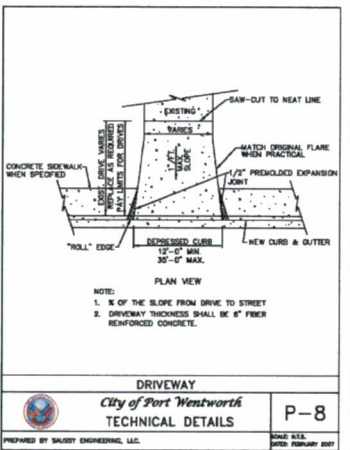
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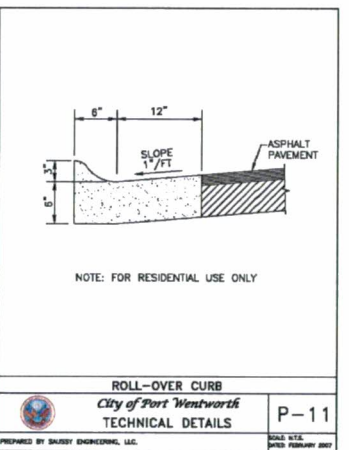
TYPICAL BITUMINOUS PAVING SECTION
 City of Port Wentworth TECHNICAL DETAILS
 P-1
 PREPARED BY SISKIYOU ENGINEERING, LLC. DATE: NTS, 01/20/20 FEBRUARY 2007



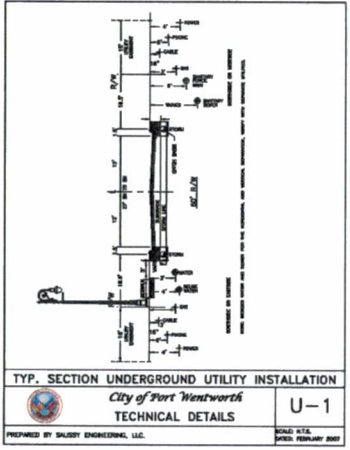
HANDICAP RAMP TYPE \"A\"
 City of Port Wentworth TECHNICAL DETAILS
 P-4
 PREPARED BY SISKIYOU ENGINEERING, LLC. DATE: NTS, 01/20/20 FEBRUARY 2007



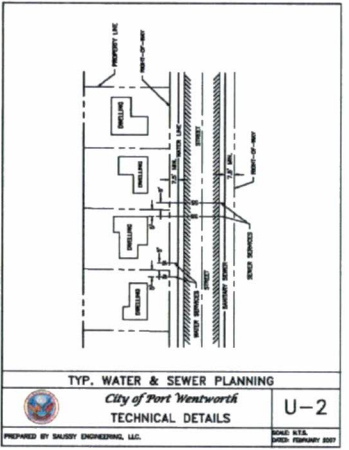
DRIVEWAY
 City of Port Wentworth TECHNICAL DETAILS
 P-8
 PREPARED BY SISKIYOU ENGINEERING, LLC. DATE: NTS, 01/20/20 FEBRUARY 2007



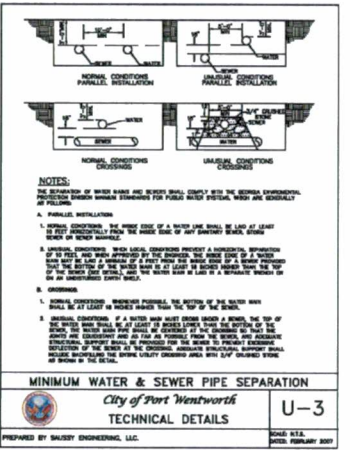
ROLL-OVER CURB
 City of Port Wentworth TECHNICAL DETAILS
 P-11
 PREPARED BY SISKIYOU ENGINEERING, LLC. DATE: NTS, 01/20/20 FEBRUARY 2007



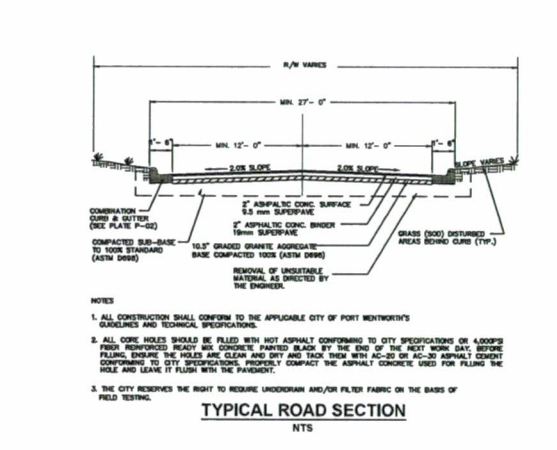
TYP. SECTION UNDERGROUND UTILITY INSTALLATION
 City of Port Wentworth TECHNICAL DETAILS
 U-1
 PREPARED BY SISKIYOU ENGINEERING, LLC. DATE: NTS, 01/20/20 FEBRUARY 2007



TYP. WATER & SEWER PLANNING
 City of Port Wentworth TECHNICAL DETAILS
 U-2
 PREPARED BY SISKIYOU ENGINEERING, LLC. DATE: NTS, 01/20/20 FEBRUARY 2007



MINIMUM WATER & SEWER PIPE SEPARATION
 City of Port Wentworth TECHNICAL DETAILS
 U-3
 PREPARED BY SISKIYOU ENGINEERING, LLC. DATE: NTS, 01/20/20 FEBRUARY 2007



TYPICAL ROAD SECTION
 NTS
 PREPARED BY SISKIYOU ENGINEERING, LLC. DATE: NTS, 01/20/20 FEBRUARY 2007

- NOTES:**
1. ALL CONSTRUCTION MATERIALS AND WORKMANSHIP SHALL BE IN ACCORDANCE WITH THE CITY OF PORT WENTWORTH'S LATEST CONSTRUCTION SPECIFICATIONS AND DETAILS. THE SYSTEM SHALL BE DESIGNED AND TESTED PER THE SPECIFICATIONS AND REQUIREMENTS MAINTAINED BY THE CITY ENGINEER.
 2. AN APPROVED WATER SUPPLY FOR FIRE PROTECTION, EITHER TEMPORARY OR PERMANENT, SHALL BE MADE AVAILABLE AS SOON AS CONSTRUCTIBLE MATERIAL ARRIVES ON THE SITE.
 3. ALL WATER METER INSTALLATIONS SHALL BE INSTALLED THROUGH AN APPROVED BACKFLOW PREVENTION DEVICE AND FIRE HYDRANT METER OBTAINED FROM THE CONVEYANCE AND DISTRIBUTION DEPARTMENT.
 4. ALL ADDRESSED SANITARY RESISTOR SHALL BE PROVIDED.
 5. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO ENSURE SEWER LINES ARE PLACED WITHIN THE EASEMENTS WITH A MINIMUM 7' OF AVAILABILITY FROM THE CENTERLINE TO EASEMENT LINE.
 6. CONTACT THE UTILITIES PROTECTION CENTER (811 IN GEORGIA OR 1-800-282-3111) FOR LOCATION OF CITY SEWER LINES A MINIMUM OF SEVENTY-TWO (72) HOURS PRIOR TO DIGGING.
 7. CONTRACTOR SHALL NOTIFY RESIDENTS A MINIMUM OF 24 HOURS IN ADVANCE OF ANY WORK THAT MAY IMPACT THEM, INCLUDING BUT NOT LIMITED TO TRAFFIC STALL IMPACT, LOSS OF SERVICE, DRIVEWAY CUTS, REMOVAL/RELOCATION OF FENCES AND MAIL BOXES, SIDEWALK IMPACTS, ETC.

Attachment: RICE CREEK TRACT C2 PH 5 PRELIMINARY PLAT MAR 22 - Civil Drawings 1.31.22

<p>PRECAST CONCRETE MANHOLE City of Port Wentworth TECHNICAL DETAILS</p> <p>S-1</p> <p>PREPARED BY SALUSY ENGINEERING, LLC. MAILED 12/14/21 ISSUED FEBRUARY 2022</p>	<p>MANHOLE RING & COVER City of Port Wentworth TECHNICAL DETAILS</p> <p>S-2</p> <p>PREPARED BY SALUSY ENGINEERING, LLC. MAILED 12/14/21 ISSUED FEBRUARY 2022</p>	<p>SANITARY SEWER SERVICE CONNECTION City of Port Wentworth TECHNICAL DETAILS</p> <p>S-4</p> <p>PREPARED BY SALUSY ENGINEERING, LLC. MAILED 12/14/21 ISSUED FEBRUARY 2022</p>	<p>PRECAST STRUCTURE PIPE CONNECTION City of Port Wentworth TECHNICAL DETAILS</p> <p>S-6</p> <p>PREPARED BY SALUSY ENGINEERING, LLC. MAILED 12/14/21 ISSUED FEBRUARY 2022</p>	<p>PIPE BEDDING City of Port Wentworth TECHNICAL DETAILS</p> <p>S-8</p> <p>PREPARED BY SALUSY ENGINEERING, LLC. MAILED 12/14/21 ISSUED FEBRUARY 2022</p>
<p>WATER SERVICE LATERAL City of Port Wentworth TECHNICAL DETAILS</p> <p>W-1</p> <p>PREPARED BY SALUSY ENGINEERING, LLC. MAILED 12/14/21 ISSUED FEBRUARY 2022</p>	<p>1\"/> </p>	<p>STANDARD UTILITY CROSSING City of Port Wentworth TECHNICAL DETAILS</p> <p>W-6</p> <p>PREPARED BY SALUSY ENGINEERING, LLC. MAILED 12/14/21 ISSUED FEBRUARY 2022</p>	<p>PIPE BEDDING City of Port Wentworth TECHNICAL DETAILS</p> <p>W-8</p> <p>PREPARED BY SALUSY ENGINEERING, LLC. MAILED 12/14/21 ISSUED FEBRUARY 2022</p>	<p>STANDARD FIRE HYDRANT City of Port Wentworth TECHNICAL DETAILS</p> <p>W-9</p> <p>PREPARED BY SALUSY ENGINEERING, LLC. MAILED 12/14/21 ISSUED FEBRUARY 2022</p>

01/31/22

ROBERTS
 CIVIL ENGINEERING
 WWW.ROBERTSCIVILENGINEERING.COM

CONSTRUCTION DETAILS
 Rice Creek Phase 5
 Port Wentworth
 PREPARED FOR:
 Rice Creek Investors #7, LLC

DATE: 12/04/21
 PROJECT NUMBER: 21507
 DRAWN BY: JAF
 CHECKED BY: JLV
 SCALE: NTS

D3
 SHEET:

Attachment: RICE CREEK TRACT C2 PH 5 PRELIMINARY PLAT MAR 22 - Civil Drawings 1.31.22

BLOW-OFF HYDRANT
City of Port Wentworth
TECHNICAL DETAILS

W-10
DATE: FEBRUARY 2007

PREPARED BY: SAUSLEY ENGINEERING, LLC.

VALVE MANHOLE FOR 8" & GREATER GATE VALVE
City of Port Wentworth
TECHNICAL DETAILS

W-14
DATE: FEBRUARY 2007

PREPARED BY: SAUSLEY ENGINEERING, LLC.

WATER METER
City of Port Wentworth
TECHNICAL DETAILS

W-17
DATE: FEBRUARY 2007

PREPARED BY: SAUSLEY ENGINEERING, LLC.

STANDARD VERTICAL BEND RESTRAINT
City of Port Wentworth
TECHNICAL DETAILS

W-28
DATE: FEBRUARY 2007

PREPARED BY: SAUSLEY ENGINEERING, LLC.

STANDARD TEE RESTRAINT (PVC LINE)
City of Port Wentworth
TECHNICAL DETAILS

W-29
DATE: FEBRUARY 2007

PREPARED BY: SAUSLEY ENGINEERING, LLC.

STANDARD DEAD END RESTRAINT
City of Port Wentworth
TECHNICAL DETAILS

W-31
DATE: FEBRUARY 2007

PREPARED BY: SAUSLEY ENGINEERING, LLC.

MANHOLE RING & COVER
City of Port Wentworth
TECHNICAL DETAILS

W-34
DATE: FEBRUARY 2007

PREPARED BY: SAUSLEY ENGINEERING, LLC.

REUSE WATER MANHOLE RING & COVER
City of Port Wentworth
TECHNICAL DETAILS

RW-2
DATE: FEBRUARY 2007

PREPARED BY: SAUSLEY ENGINEERING, LLC.

WATER VALVE 4" OR 6"
City of Port Wentworth
TECHNICAL DETAILS

RW-6
DATE: FEBRUARY 2007

PREPARED BY: SAUSLEY ENGINEERING, LLC.

BRASS FITTINGS FOR WATER METER
City of Port Wentworth
TECHNICAL DETAILS

RW-14
DATE: FEBRUARY 2007

PREPARED BY: SAUSLEY ENGINEERING, LLC.

TEMPORARY GRAVEL TURN-AROUND
NTS

TEMPORARY STORM PIPE BRICK AND MORTAR SEAL
NTS

1010122

ROBERTS CIVIL ENGINEERING

CONSTRUCTION DETAILS

Rice Creek Phase 5
Port Wentworth
PREPARED FOR:
Rice Creek Investors #7, LLC

DATE: 12/04/21
PROJECT NUMBER: 21507
DRAWN BY: JAF
CHECKED BY: JLV
SCALE: NTS

D4

SHEET:

Attachment: RICE CREEK TRACT C2 PH 5 PRELIMINARY PLAT MAR 22 - Civil Drawings 1.31.22



EROSION CONTROL PLANS

Rice Creek Phase 5

PREPARED FOR:
Rice Creek Investors #7, LLC
2702 Whatley Ave, Ste. B-1
Savannah, GA 31404
912.925.3440



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CIVIL ENGINEERING
WWW.ROBERTSCIVILENGINEERING.COM

301 SEA ISLAND ROAD, SUITE 10
ST. SIMONS ISLAND, GA 31522
912-638-9681

6001 CHATHAM CENTER DRIVE, SUITE 255
SAVANNAH, GA 31405
912-298-7006

14600 WHIRLWIND AVENUE, SUITE 119A
JACKSONVILLE, FL 32218
904-741-0099

4000 FABER PLACE DRIVE, SUITE 300
NORTH CHARLESTON, SC 29405
843-323-4224



VICINITY MAP NTS

Port Wentworth

Rice Creek Phase 5

OWNER
Rice Creek Investors #7, LLC
CONTACT
Cole Chenoweth
EMAIL
cchenowith@landmark24.com
912.925.3440

ENGINEER
ROBERTS CIVIL ENGINEERING
CONTACT
Jessica Vick, P.E.
EMAIL
jvick@robertscivilengineering.com
912.977.5244

#	REVISIONS
1	
2	
3	
4	
5	

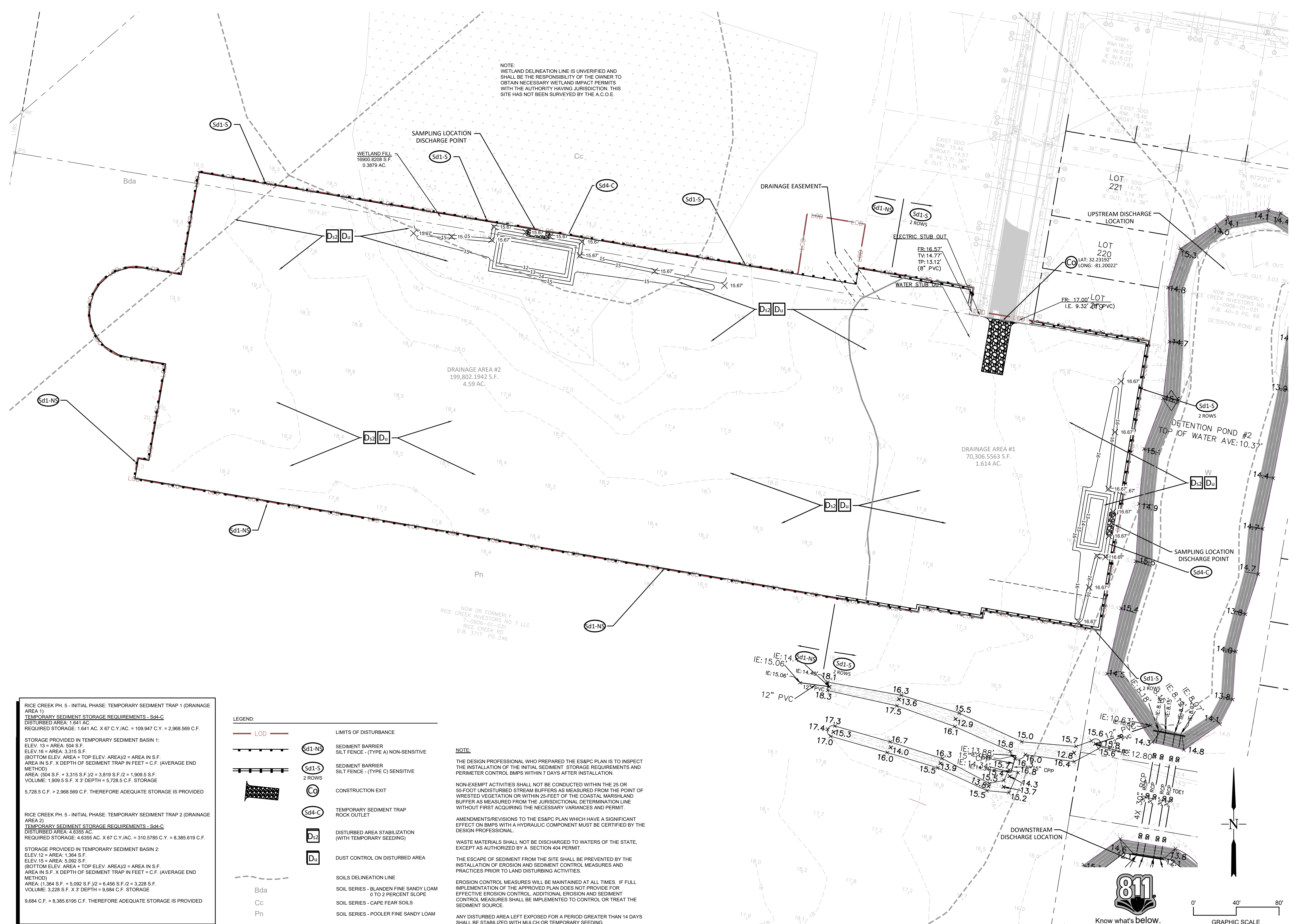
12/02/2021: ORIGINAL ISSUE DATE RCE PROJECT NUMBER: 21507

CONTENTS

SHEET		DATE
0	COVER SHEET	12/02/21
1	INITIAL EROSION CONTROL PLAN	12/02/21
2	INTERMEDIATE EROSION CONTROL PLAN	12/02/21
3	FINAL EROSION CONTROL PLAN	12/02/21
4	EROSION CONTROL NOTES	12/02/21
5	EROSION CONTROL DETAILS	12/02/21
6	EROSION CONTROL DETAILS	12/02/21

COVER

Attachment: RICE CREEK TRACT C2 PH 5 PRELIMINARY PLAT MAR 22 - Approved LDA Plans 2.2.22 (2614 : Subdivision Application Rice Creek Tract C2 Ph V Preliminary Plat MAR 2022)



NOTE:
WETLAND DELINEATION LINE IS UNVERIFIED AND SHALL BE THE RESPONSIBILITY OF THE OWNER TO OBTAIN NECESSARY WETLAND IMPACT PERMITS WITH THE AUTHORITY HAVING JURISDICTION. THIS SITE HAS NOT BEEN SURVEYED BY THE A.C.O.E.

RICE CREEK PH. 5 - INITIAL PHASE: TEMPORARY SEDIMENT TRAP 1 (DRAINAGE AREA 1)
 TEMPORARY SEDIMENT STORAGE REQUIREMENTS - Sd4-C
 DISTURBED AREA: 1.641 AC.
 REQUIRED STORAGE: 1.641 AC. X 67 C.Y./AC. = 109.947 C.Y. = 2,968.569 C.F.
 STORAGE PROVIDED IN TEMPORARY SEDIMENT BASIN 1:
 ELEV. 13 = AREA: 504 S.F.
 ELEV. 16 = AREA: 3,315 S.F.
 (BOTTOM ELEV. AREA + TOP ELEV. AREA)/2 = AREA IN S.F.
 AREA IN S.F. X DEPTH OF SEDIMENT TRAP IN FEET = C.F. (AVERAGE END METHOD)
 AREA: (504 S.F. + 3,315 S.F.)/2 = 3,819 S.F. / 2 = 1,909.5 S.F.
 VOLUME: 1,909.5 S.F. X 3' DEPTH = 5,728.5 C.F. STORAGE
 5,728.5 C.F. > 2,968.569 C.F. THEREFORE ADEQUATE STORAGE IS PROVIDED

RICE CREEK PH. 5 - INITIAL PHASE: TEMPORARY SEDIMENT TRAP 2 (DRAINAGE AREA 2)
 TEMPORARY SEDIMENT STORAGE REQUIREMENTS - Sd4-C
 DISTURBED AREA: 4.6355 AC.
 REQUIRED STORAGE: 4.6355 AC. X 67 C.Y./AC. = 310.5785 C.Y. = 8,385.619 C.F.
 STORAGE PROVIDED IN TEMPORARY SEDIMENT BASIN 2:
 ELEV. 12 = AREA: 1,364 S.F.
 ELEV. 15 = AREA: 5,092 S.F.
 (BOTTOM ELEV. AREA + TOP ELEV. AREA)/2 = AREA IN S.F.
 AREA IN S.F. X DEPTH OF SEDIMENT TRAP IN FEET = C.F. (AVERAGE END METHOD)
 AREA: (1,364 S.F. + 5,092 S.F.)/2 = 6,456 S.F. / 2 = 3,228 S.F.
 VOLUME: 3,228 S.F. X 3' DEPTH = 9,684 C.F. STORAGE
 9,684 C.F. > 8,385.619 C.F. THEREFORE ADEQUATE STORAGE IS PROVIDED

- LEGEND:
- LOD LIMITS OF DISTURBANCE
 - Sd1-NS SEDIMENT BARRIER SILT FENCE - (TYPE A) NON-SENSITIVE
 - Sd1-S SEDIMENT BARRIER SILT FENCE - (TYPE C) SENSITIVE
 - CO CONSTRUCTION EXIT
 - Sd4-C TEMPORARY SEDIMENT TRAP ROCK OUTLET
 - Ds2 DISTURBED AREA STABILIZATION (WITH TEMPORARY SEEDING)
 - Du DUST CONTROL ON DISTURBED AREA
 - Bda SOILS DELINEATION LINE
 - Cc SOIL SERIES - BLANDEN FINE SANDY LOAM 0 TO 2 PERCENT SLOPE
 - Pn SOIL SERIES - CAPE FEAR SOILS
 - SOIL SERIES - POOLER FINE SANDY LOAM

NOTE:
 THE DESIGN PROFESSIONAL WHO PREPARED THE E&SPC PLAN IS TO INSPECT THE INSTALLATION OF THE INITIAL SEDIMENT STORAGE REQUIREMENTS AND PERIMETER CONTROL BMPs WITHIN 7 DAYS AFTER INSTALLATION.
 NON-EXEMPT ACTIVITIES SHALL NOT BE CONDUCTED WITHIN THE 25 OR 50-FOOT UNDISTURBED STREAM BUFFERS AS MEASURED FROM THE POINT OF WRESTED VEGETATION OR WITHIN 25-FEET OF THE COASTAL MARSHLAND BUFFER AS MEASURED FROM THE JURISDICTIONAL DETERMINATION LINE WITHOUT FIRST ACQUIRING THE NECESSARY VARIANCES AND PERMIT.
 AMENDMENTS/REVISIONS TO THE E&SPC PLAN WHICH HAVE A SIGNIFICANT EFFECT ON BMPs WITH A HYDRAULIC COMPONENT MUST BE CERTIFIED BY THE DESIGN PROFESSIONAL.
 WASTE MATERIALS SHALL NOT BE DISCHARGED TO WATERS OF THE STATE, EXCEPT AS AUTHORIZED BY A SECTION 404 PERMIT.
 THE ESCAPE OF SEDIMENT FROM THE SITE SHALL BE PREVENTED BY THE INSTALLATION OF EROSION AND SEDIMENT CONTROL MEASURES AND PRACTICES PRIOR TO LAND DISTURBING ACTIVITIES.
 EROSION CONTROL MEASURES WILL BE MAINTAINED AT ALL TIMES. IF FULL IMPLEMENTATION OF THE APPROVED PLAN DOES NOT PROVIDE FOR EFFECTIVE EROSION CONTROL, ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IMPLEMENTED TO CONTROL OR TREAT THE SEDIMENT SOURCE.
 ANY DISTURBED AREA LEFT EXPOSED FOR A PERIOD GREATER THAN 14 DAYS SHALL BE STABILIZED WITH MULCH OR TEMPORARY SEEDING.



12/02/21
 CERTIFIED DESIGN PROFESSIONAL:
 Jessica Vick, P.E.
 LEVEL II CERTIFICATION #: 0000062699

NO.	DESCRIPTION	DATE



ROBERTS
 CIVIL ENGINEERING
 15 BANKS BLVD., SUITE 100 | LAWRENCEVILLE, GA 30046
 WWW.ROBERTSCIVILENGINEERING.COM

INITIAL EROSION CONTROL PLAN

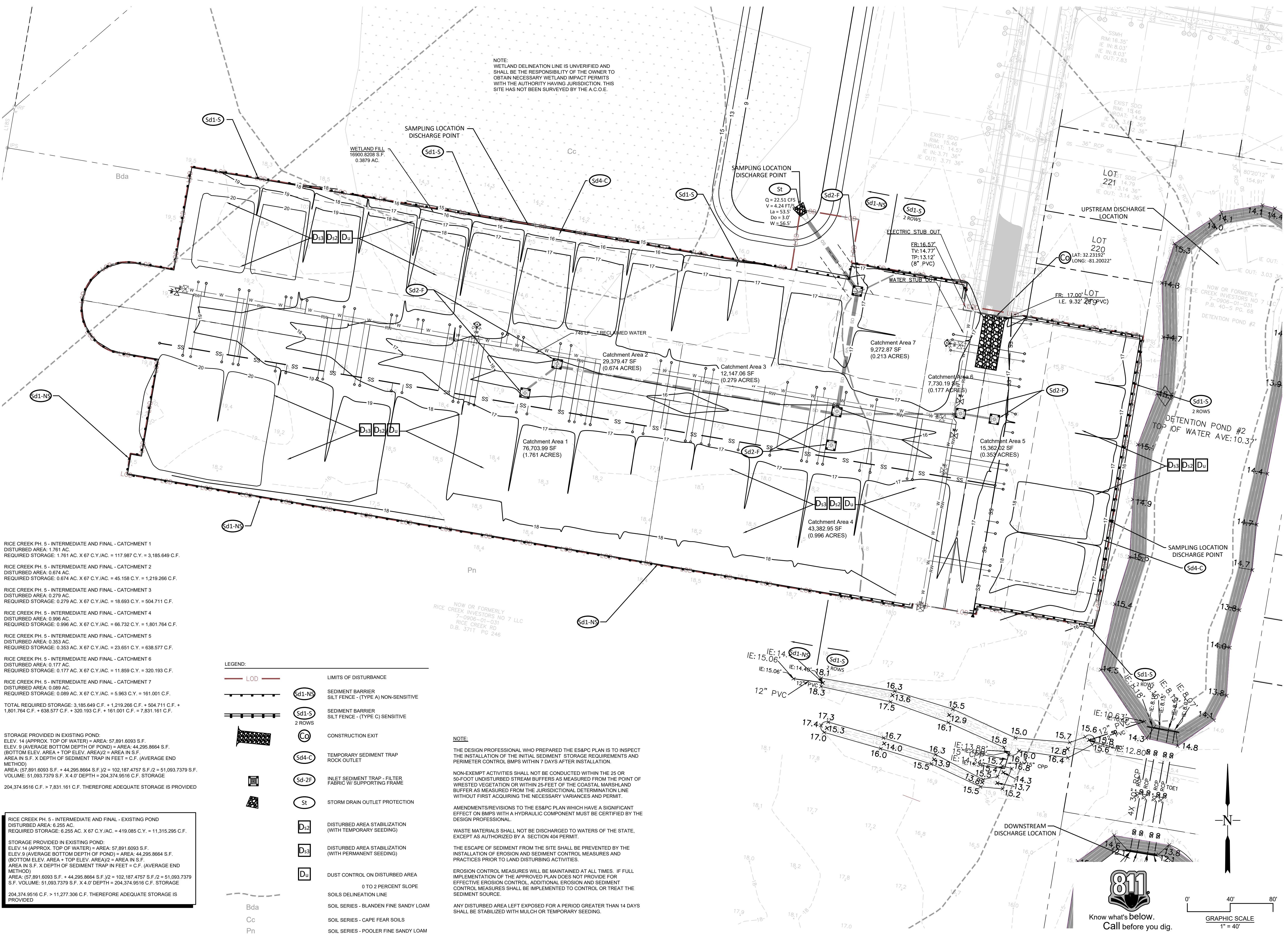
**Rice Creek Phase 5
 Port Wentworth**
 PREPARED FOR:
 Rice Creek Investors #7, LLC

DATE: 12/02/21
 PROJECT NUMBER: 21507
 DRAWN BY: JAF
 CHECKED BY: JLV
 SCALE: 1"=40'

1

SHEET:

811
 Know what's below.
 Call before you dig.
 GRAPHIC SCALE
 1" = 40'



RICE CREEK PH. 5 - INTERMEDIATE AND FINAL - CATCHMENT 1
DISTURBED AREA: 1.761 AC.
REQUIRED STORAGE: 1.761 AC. X 67 C.Y./AC. = 117,987 C.Y. = 3,185,649 C.F.

RICE CREEK PH. 5 - INTERMEDIATE AND FINAL - CATCHMENT 2
DISTURBED AREA: 0.674 AC.
REQUIRED STORAGE: 0.674 AC. X 67 C.Y./AC. = 45,158 C.Y. = 1,219,266 C.F.

RICE CREEK PH. 5 - INTERMEDIATE AND FINAL - CATCHMENT 3
DISTURBED AREA: 0.279 AC.
REQUIRED STORAGE: 0.279 AC. X 67 C.Y./AC. = 18,693 C.Y. = 504,711 C.F.

RICE CREEK PH. 5 - INTERMEDIATE AND FINAL - CATCHMENT 4
DISTURBED AREA: 0.996 AC.
REQUIRED STORAGE: 0.996 AC. X 67 C.Y./AC. = 66,732 C.Y. = 1,801,764 C.F.

RICE CREEK PH. 5 - INTERMEDIATE AND FINAL - CATCHMENT 5
DISTURBED AREA: 0.353 AC.
REQUIRED STORAGE: 0.353 AC. X 67 C.Y./AC. = 23,651 C.Y. = 638,577 C.F.

RICE CREEK PH. 5 - INTERMEDIATE AND FINAL - CATCHMENT 6
DISTURBED AREA: 0.177 AC.
REQUIRED STORAGE: 0.177 AC. X 67 C.Y./AC. = 11,859 C.Y. = 320,193 C.F.

RICE CREEK PH. 5 - INTERMEDIATE AND FINAL - CATCHMENT 7
DISTURBED AREA: 0.089 AC.
REQUIRED STORAGE: 0.089 AC. X 67 C.Y./AC. = 5,963 C.Y. = 161,001 C.F.

TOTAL REQUIRED STORAGE: 3,185,649 C.F. + 1,219,266 C.F. + 504,711 C.F. + 1,801,764 C.F. + 638,577 C.F. + 320,193 C.F. + 161,001 C.F. = 7,831,161 C.F.

STORAGE PROVIDED IN EXISTING POND:
ELEV. 14 (APPROX. TOP OF WATER) = AREA: 57,891,609 S.F.
ELEV. 9 (AVERAGE BOTTOM DEPTH OF POND) = AREA: 44,295,864 S.F.
(BOTTOM ELEV. AREA + TOP ELEV. AREA) / 2 = AREA IN S.F.
AREA IN S.F. X DEPTH OF SEDIMENT TRAP IN FEET = C.F. (AVERAGE END METHOD)
AREA: 167,891,609 S.F. + 44,295,864 S.F. / 2 = 102,187,477 S.F. / 2 = 51,093,737 S.F.
VOLUME: 51,093,737 S.F. X 4.0' DEPTH = 204,374,951 C.F. STORAGE
204,374,951 C.F. > 7,831,161 C.F. THEREFORE ADEQUATE STORAGE IS PROVIDED

RICE CREEK PH. 5 - INTERMEDIATE AND FINAL - EXISTING POND
DISTURBED AREA: 6.255 AC.
REQUIRED STORAGE: 6.255 AC. X 67 C.Y./AC. = 419,085 C.Y. = 11,315,295 C.F.

STORAGE PROVIDED IN EXISTING POND:
ELEV. 14 (APPROX. TOP OF WATER) = AREA: 57,891,609 S.F.
ELEV. 9 (AVERAGE BOTTOM DEPTH OF POND) = AREA: 44,295,864 S.F.
(BOTTOM ELEV. AREA + TOP ELEV. AREA) / 2 = AREA IN S.F.
AREA IN S.F. X DEPTH OF SEDIMENT TRAP IN FEET = C.F. (AVERAGE END METHOD)
AREA: 167,891,609 S.F. + 44,295,864 S.F. / 2 = 102,187,477 S.F. / 2 = 51,093,737 S.F.
VOLUME: 51,093,737 S.F. X 4.0' DEPTH = 204,374,951 C.F. STORAGE
204,374,951 C.F. > 11,277,306 C.F. THEREFORE ADEQUATE STORAGE IS PROVIDED

- LEGEND:
- LOD — LIMITS OF DISTURBANCE
 - Sd1-NS — SEDIMENT BARRIER SILT FENCE - (TYPE A) NON-SENSITIVE
 - Sd1-S — SEDIMENT BARRIER SILT FENCE - (TYPE C) SENSITIVE
 - Co — CONSTRUCTION EXIT
 - Sd4-C — TEMPORARY SEDIMENT TRAP ROCK OUTLET
 - Sd2-F — INLET SEDIMENT TRAP - FILTER FABRIC W/ SUPPORTING FRAME
 - St — STORM DRAIN OUTLET PROTECTION
 - Ds2 — DISTURBED AREA STABILIZATION (WITH TEMPORARY SEEDING)
 - Ds3 — DISTURBED AREA STABILIZATION (WITH PERMANENT SEEDING)
 - Du — DUST CONTROL ON DISTURBED AREA
- 0 TO 2 PERCENT SLOPE
SOILS DELINEATION LINE
SOIL SERIES - BLANDEN FINE SANDY LOAM
SOIL SERIES - CAPE FEAR SOILS
SOIL SERIES - POOLER FINE SANDY LOAM

NOTE:
THE DESIGN PROFESSIONAL WHO PREPARED THE ES&PC PLAN IS TO INSPECT THE INSTALLATION OF THE INITIAL SEDIMENT STORAGE REQUIREMENTS AND PERIMETER CONTROL BMPs WITHIN 7 DAYS AFTER INSTALLATION.
NON-EXEMPT ACTIVITIES SHALL NOT BE CONDUCTED WITHIN THE 25 OR 50-FOOT UNDISTURBED STREAM BUFFERS AS MEASURED FROM THE POINT OF WRESTED VEGETATION OR WITHIN 25-FEET OF THE COASTAL MARSHLAND BUFFER AS MEASURED FROM THE JURISDICTIONAL DETERMINATION LINE WITHOUT FIRST ACQUIRING THE NECESSARY VARIANCES AND PERMIT.
AMENDMENTS/REVISIONS TO THE ES&PC PLAN WHICH HAVE A SIGNIFICANT EFFECT ON BMPs WITH A HYDRAULIC COMPONENT MUST BE CERTIFIED BY THE DESIGN PROFESSIONAL.
WASTE MATERIALS SHALL NOT BE DISCHARGED TO WATERS OF THE STATE, EXCEPT AS AUTHORIZED BY A SECTION 404 PERMIT.
THE ESCAPE OF SEDIMENT FROM THE SITE SHALL BE PREVENTED BY THE INSTALLATION OF EROSION AND SEDIMENT CONTROL MEASURES AND PRACTICES PRIOR TO LAND DISTURBING ACTIVITIES.
EROSION CONTROL MEASURES WILL BE MAINTAINED AT ALL TIMES. IF FULL IMPLEMENTATION OF THE APPROVED PLAN DOES NOT PROVIDE FOR EFFECTIVE EROSION CONTROL, ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IMPLEMENTED TO CONTROL OR REDUCE THE SEDIMENT SOURCE.
ANY DISTURBED AREA LEFT EXPOSED FOR A PERIOD GREATER THAN 14 DAYS SHALL BE STABILIZED WITH MULCH OR TEMPORARY SEEDING.



12/02/21
CERTIFIED DESIGN
PROFESSIONAL:
Jessica Vick, P.E.
LEVEL II CERTIFICATION #: 0000062699

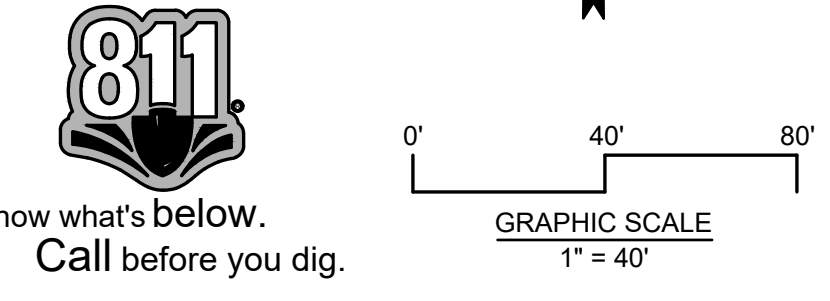
REVISIONS

NO.	DESCRIPTION



INTERMEDIATE EROSION CONTROL PLAN
Rice Creek Phase 5
Port Wentworth
PREPARED FOR:
Rice Creek Investors #7, LLC

DATE: 12/02/21
PROJECT NUMBER: 21507
DRAWN BY: JAF
CHECKED BY: JLJ
SCALE: 1"=40'
SHEET: 2





12/02/21
CERTIFIED DESIGN
PROFESSIONAL:
Jessica Vick, P.E.
LEVEL II CERTIFICATION #: 0000062699

NO.	DATE	DESCRIPTION

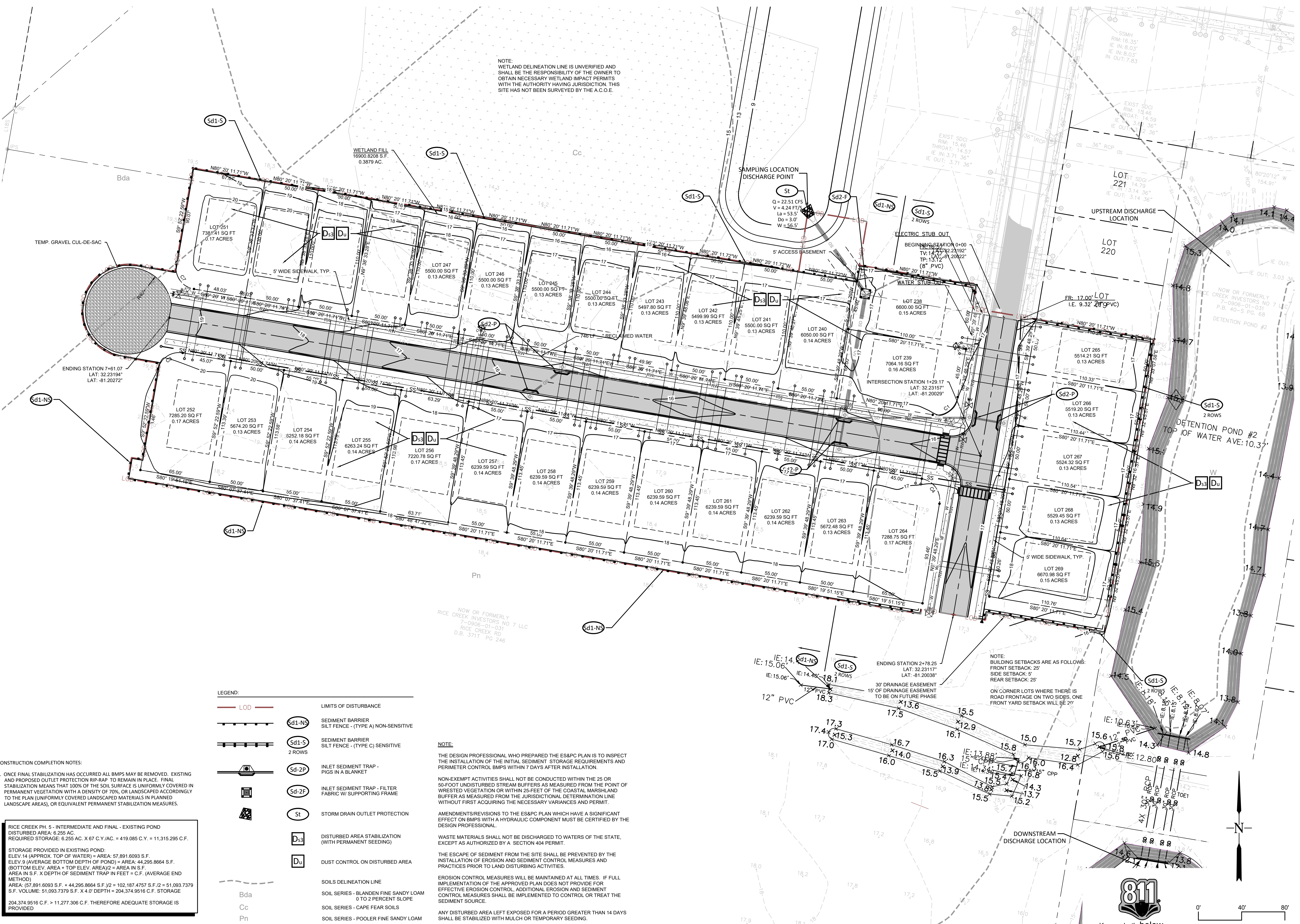


FINAL EROSION CONTROL PLAN

Rice Creek Phase 5 Port Wentworth

PREPARED FOR:
Rice Creek Investors #7, LLC

DATE: 12/02/21
PROJECT NUMBER: 21507
DRAWN BY: JAF
CHECKED BY: JLV
SCALE: 1"=40'
3
SHEET:



LEGEND:

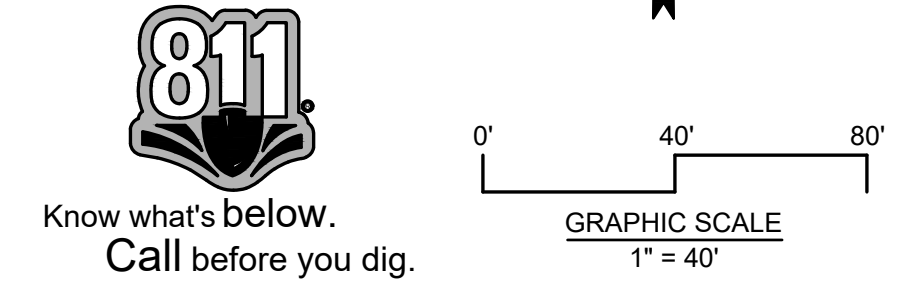
	LOD		LIMITS OF DISTURBANCE
	Sd1-NS		SEDIMENT BARRIER SILT FENCE - (TYPE A) NON-SENSITIVE
	Sd1-S		SEDIMENT BARRIER SILT FENCE - (TYPE C) SENSITIVE
	Sd2-P		INLET SEDIMENT TRAP - PIGS IN A BLANKET
	Sd2-F		INLET SEDIMENT TRAP - FILTER FABRIC W/ SUPPORTING FRAME
	St		STORM DRAIN OUTLET PROTECTION
	Ds3		DISTURBED AREA STABILIZATION (WITH PERMANENT SEEDING)
	Du		DUST CONTROL ON DISTURBED AREA
	Bda		SOILS DELINEATION LINE
	Cc		SOIL SERIES - BLANDEN FINE SANDY LOAM 0 TO 2 PERCENT SLOPE
	Pn		SOIL SERIES - CAPE FEAR SOILS
			SOIL SERIES - POOLER FINE SANDY LOAM

CONSTRUCTION COMPLETION NOTES:

- ONCE FINAL STABILIZATION HAS OCCURRED ALL BMPs MAY BE REMOVED. EXISTING AND PROPOSED OUTLET PROTECTION RIP-RAP TO REMAIN IN PLACE. FINAL STABILIZATION MEANS THAT 100% OF THE SOIL SURFACE IS UNIFORMLY COVERED IN PERMANENT VEGETATION WITH A DENSITY OF 70%, OR LANDSCAPED ACCORDINGLY TO THE PLAN (UNIFORMLY COVERED LANDSCAPED MATERIALS IN PLANNED LANDSCAPE AREAS), OR EQUIVALENT PERMANENT STABILIZATION MEASURES.

RICE CREEK PH. 5 - INTERMEDIATE AND FINAL - EXISTING POND
DISTURBED AREA: 6.255 AC.
REQUIRED STORAGE: 6.255 AC. X 67 C.Y./AC. = 419.085 C.Y. = 11,315.295 C.F.

STORAGE PROVIDED IN EXISTING POND:
ELEV 14 (APPROX. TOP OF WATER) = AREA: 57,891.6093 S.F.
ELEV 9 (AVERAGE BOTTOM DEPTH OF POND) = AREA: 44,295.8664 S.F.
(BOTTOM ELEV. AREA + TOP ELEV. AREA)/2 = AREA IN S.F.
AREA IN S.F. X DEPTH OF SEDIMENT TRAP IN FEET = C.F. (AVERAGE END METHOD)
AREA: (57,891.6093 S.F. + 44,295.8664 S.F.)/2 = 102,187.4757 S.F./2 = 51,093.7379 S.F.
S.F. VOLUME: 51,093.7379 S.F. X 4.0' DEPTH = 204,374.9516 C.F. STORAGE
204,374.9516 C.F. > 11,277.306 C.F. THEREFORE ADEQUATE STORAGE IS PROVIDED



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Attachment: RICE CREEK TRACT C2 PH 5 PRELIMINARY PLAT MAR 22 - Approved LDA Plans 2.2.22 (2614 - Subdivision Application Rice Creek Tract C2 Ph 5 Preliminary Plat MAR 2022)

1. The applicable Erosion, Sedimentation and Pollution Control Plan Checklist established by the Commission as of January 1 of the year in which the land-disturbing activity was permitted. Effective January 1, 2021.
This Plan shall be used for a Common Development.
2. Level II certification number issued by the Commission, signature and seal of the certified design professional.
Shown on each ES&PC plan sheets.
3. Limits of disturbance shall be no greater than 50 acres at any one time without prior written authorization from the EPD District Office. If EPD approves the request to disturb 50 acres or more at any one time, the plan must include at least 4 of the BMPs listed in Appendix 1 of this checklist.
NA, disturbed acreage is less than 50 acres
4. The name and phone number of the 24-hour local contact responsible for erosion, sedimentation and pollution controls.
Cole Chenoweth (912)925-3440
5. Provide the name, address, email address and phone number of primary permittee.
Cole Chenoweth
Landmark 24 Homes of Savannah, LLC
2702 Whately Ave.
Savannah, GA 31404
chenoweth@landmark24.com
(912)925-3440
6. Note total and disturbed acreage of the project or phase under construction.
Total Project Acreage: 6.28 Acres
Disturbed Acreage: 6.28 Acres
7. Provide the GPS location of the construction exit for the site. Give the Latitude and Longitude in decimal degrees.
Latitude: 32.23192; Longitude: -81.20022
8. Initial date of the Plan and the dates of any revisions made to the Plan including the entity who requested the revisions.
Shown on cover and plan sheets
9. Description of the nature of construction activity.
The existing site is mostly cleared with a few under story brush and trees. Landmark 24 Homes of Savannah, LLC is proposing to continue building the next phase (Ph. 5) of Rice Creek Subdivision consisting of 32 lots, utilities and infrastructure to complete this phase. The storm drainage will be collected through a piping system and will discharge into an existing master planned drainage detention pond system. The existing master planned drainage detention pond system has an emergency overflow weir that outfalls to unnamed ditches and unnamed wetlands that flow to the Black Creek, which then outfalls to the Savannah River and ultimately to the Atlantic Ocean.
10. Provide vicinity map showing sites relation to surrounding areas. Include designation of specific phase, if necessary.
Vicinity Map shown on cover
11. Identify the project receiving waters and describe all sensitive adjacent areas including streams, lakes, residential areas, wetlands, marshlands, etc. which may be affected.
The master planned subdivision's storm drainage collects through a piping system and discharge into a connected multiple detention pond system. This detention pond system if ever full will overflow through an emergency overflow weir into an unnamed existing ditching system and unnamed existing wetlands which then discharge into the Black Creek, which then discharges into the Savannah River and ultimately discharges into the Atlantic Ocean.
12. Design professional's certification statement and signature that the site was visited prior to development of the ES&PC Plan as stated on page 15 of the permit.
I certify under penalty of law that this Plan was prepared after a site visit to the location described herein by myself or my authorized agent, under my supervision.
Jessica V. Wick
Certified By: Jessica V. Wick 0000058719 Certification #
13. Design professional's certification statement and signature that the permittee ES&PC Plan provides for an appropriate and comprehensive system of BMPs and sampling to meet permit requirements as stated on page 15 of the permit.
I certify that the Permittee's Erosion, Sedimentation and Pollution Control Plan provides for an appropriate and comprehensive system of Best Management Practices required by the Georgia Water Quality Control Act and the document "Manual for Erosion and Sediment Control in Georgia" (Manual) published by the Georgia Soil and Water Conservation Commission as of January 1 of the year in which land-disturbing activity was permitted, provides for the sampling of the receiving water(s) or the sampling of the storm water outfalls and that the designed system of best management practice and sampling methods is expected to meet the requirements contained in the General NPDES Permit No. GAR 100003."
Jessica V. Wick
Certified By:
14. Clearly note the statement that "The design professional who prepared the ES&PC Plan is to inspect the installation of the initial sediment storage requirements and perimeter control BMPs within 7 days after installation."
15. Clearly note the statement that "Non-exempt activities shall not be conducted within the 25 or 50-foot undisturbed stream buffer as measured from the point of wasted vegetation or within 25-feet of the coastal marshland buffer as measured from the Jurisdictional Determination Line without first acquiring the necessary variances and permits."
Shown on Plan Sheet
16. Clearly note a description of any buffer encroachments and indicate whether a buffer variance is required.
N/A
17. Clearly note the statement that "Amendments/ revisions to the ES&PC Plan which have a significant effect on BMPs with a hydraulic component must be certified by the design professional." Any deviations from the ES&PC Plan which effect the hydraulic component of BMPs must be certified by the design professional."
Shown on Plan Sheet
18. Clearly note the statement that "Waste materials shall not be discharged to waters of the State, except as authorized by a section 404 permit."
Shown on Plan Sheet
19. Clearly note statement that "The escape of sediment from the site shall be prevented by the installation of erosion and sediment control measures and practices prior to land disturbing activities."
Shown on Plan Sheet
20. Clearly note statement that "Erosion control measures will be maintained at all times. If full implementation of the approved plan does not provide for effective erosion control, additional erosion and sediment control measures shall be implemented to control or treat the sediment source."
Shown on Plan Sheet
21. Clearly note the statement "Any disturbed area left exposed for a period greater than 14 days shall be stabilized with mulch or temporary seeding."
Shown on Plan Sheet
22. Indication that the applicable portion of the primary permittees ES&PC Plan is to be provided to each secondary permittee prior to the secondary conducting any construction activity and that each secondary shall sign the Plan or portion of this Plan applicable to their site. List the names and addresses of all secondary permittees.
N/A
23. Any construction activity which discharges storm water into an Impaired Stream Segment, or within 1 linear mile upstream of and within the same watershed as, any portion of an Blot Impaired Stream Segment must comply with Part III. C. of the Permit. Include the completed Appendix 1 listing all the BMPs that will be used for those areas of the site which discharge to the Impaired Stream Segment.
N/A
24. If a TMDL Implementation Plan for sediment has been finalized for the Impaired Stream Segment (Identified in Item 22 above) at least six months prior to submittal of NOI, the ES&PC Plan must address any site-specific conditions or requirements included in the TMDL Implementation Plan.
N/A
25. BMPs for concrete washdown of tools, concrete mixer chutes, hoppers and the rear of the vehicles. Washout of the drum at the construction site is prohibited.
Washout of the drum and washdown of tools, concrete mixer chutes, hoppers, and the rear of vehicles at the construction site is prohibited.
26. Provide BMPs for the remediation of all petroleum spills and leaks.
-Local, State, and manufacturer's recommended methods for spill cleanup will be clearly posted and procedures will be made available to personnel.
-Materials and equipment for spill cleanup shall be kept in the material storage area (i.e. brooms, mops, rags, goggles, gloves, cat litter, etc.)
-Spill prevention practices and procedures will be reviewed after a spill and adjusted as necessary to prevent future spills.
-All spills shall be cleaned up immediately upon discovery. All spills will be reported as required by Local, State, and Federal Regulations.
-For spills that impacts surface water (Leave a sheen on Surface water) requires the NRC (National Response Center) to be contacted within 24 hrs 800-424-8802.
-Spills greater than 25 gallons with no surface water impacts require the Georgia EPD to be contacted within 24 hrs.
-Spills less than 25 gallons with no surface water impacts require local authorities to be contacted as required.
-For spills of unknown amount, the National Center (NRC) will be contacted within 24 hours at 800-424-8802.
-The contractor shall notify the licensed professional who prepared this plan if more than 1320 gallons of petroleum is stored onsite (this includes capacities of equipment) or if any piece of equipment has a capacity greater than 660 gallons. The contractor will need a Spill Prevention Containment and Countermeasures Plan prepared by the licensed professional.
27. Description of practices to provide cover for building materials and building products on site.
Plastic sheeting will be used to cover building materials and building products on site.
28. Description of the measures that will be installed during the construction process to control pollutants in storm water that will occur after construction operations have been completed.
Permanent grassing will continue to reduce storm water pollutants after the completion of construction.
29. Description of the practices that will be used to reduce the pollutants in storm water discharges.
Product Specific Practices:
Petroleum Based Products - Containers for products such as fuels, lubricants and tars will be inspected daily for leaks and spills. This includes all vehicles, machinery, daily inspections and regular preventive maintenance of such equipment. Equipment maintenance areas will be located away from state water, natural drains and storm water drainage inlets. In addition, temporary fueling tanks shall have a secondary containment liner to prevent/minimize site contamination. Discharge of oils, fuels and lubricants is prohibited. Proper disposal methods will include collection in a suitable container and disposal as required by local and State regulations.
Paints/Finishes/Solvents - All products will be stored in tightly sealed original containers when not in use. Excess product will not be discharged to the storm water collection system. Excess product, materials used with these products and product containers will be disposed of according to manufacturer's specifications and recommendations.
Concrete Truck washing - No concrete trucks will be allowed to wash out or discharge surplus concrete of drum wash water onsite.
Fertilizer/Herbicides - These products will be applied at rates that do not exceed the manufacturer's specifications or above the guidelines set forth in the crop establishment or in the GSWCC Manual for Erosion and Sediment Control in Georgia. Any storage of these materials will be under roof in sealed containers.
Building Materials - No building or construction materials will be buried or disposed of onsite. All such material will be disposed of in proper waste disposal procedures.
30. Description of the order or timeline of the intended sequence of major activities which disturb soils for the major portions of the site (i.e., initial perimeter and sediment storage BMPs, clearing and grubbing activities, excavation activities, utility activities, temporary and final stabilization).
Shown on detail sheet
31. Provide requirements of inspections and record keeping by the primary permittee.
a. Primary Permittee.

- (2). Measure and record rainfall within disturbed areas of the site that have not met final stabilization once every 24 hours except any non-working Saturday, non-working Sunday and non-working Federal holiday. The data collected for the purpose of compliance with this permit shall be representative of the monitored activity. Measurement of rainfall may be suspended if all areas of the site have undergone final stabilization or established a crop of annual vegetation and a seeding of target perennials appropriate for the region.
- (3). Certified personnel (provided by the primary permittee) shall inspect the following at least once every seven (7) calendar days and within 24 hours of the end of a storm that is 0.5 inches rainfall or greater (unless such storm ends after 5:00 PM on any Friday or on any non-working Saturday, non-working Sunday or any non-working Federal holiday in which case the inspection shall be completed by the end of the next business day and/or working day, whichever occurs first): (a) disturbed areas of the secondary permittee's construction site; (b) areas used by the primary permittee for storage of materials that are exposed to precipitation; and (c) structural control measures. Erosion and sediment control measures identified in the Plan applicable to the primary permittee's site shall be observed to ensure that they are operating correctly. Where discharge locations or points are accessible, they shall be inspected to ascertain whether erosion control measures are effective in preventing significant impacts to receiving water(s). For areas of a site that have undergone final stabilization or established a crop of annual vegetation and a seeding of target perennials appropriate for the region, the permittee must comply with Part IV.D.4.c.(4). These inspections must be conducted until a Notice of Termination is submitted.
- (4). Certified personnel (provided by the primary permittee) shall inspect at least once per month during the term of this permit (i.e., until a Notice of Termination is submitted to EPD) the areas of the site that have undergone final stabilization or established a crop of annual vegetation and a seeding of target perennials appropriate for the region. These areas shall be inspected for evidence of, or the potential for, pollutants entering the drainage system and the receiving water(s). Erosion and sediment control measures identified in the Plan shall be observed to ensure that they are operating correctly. Where discharge locations or points are accessible, they shall be inspected to ascertain whether erosion control measures are effective in preventing significant impacts to receiving water(s).
- (5). Based on the results of each inspection, the site description and the pollution prevention and control measures identified in the Erosion, Sedimentation and Pollution Control Plan, the Plan shall be revised as appropriate not later than seven (7) calendar days following each inspection. Implementation of such changes shall be made as soon as practical but in no case later than seven (7) calendar days following each inspection. The primary permittee must amend the Plan in accordance with Part IV.D.4.b.(5), when a secondary permittee notifies the primary permittee of any Plan deficiencies.
- (6). A report of each inspection that includes the name(s) of certified personnel making each inspection, the date(s) of each inspection, construction phase (i.e., initial, intermediate or final), major observations relating to the implementation of the Erosion, Sedimentation and Pollution Control Plan, and actions taken in accordance with Part IV.D.4.a.(5), of the permit shall be made and retained at the site or be readily available at a designated alternate location until the entire site or that portion of the construction site that has been inspected has undergone final stabilization and a Notice of Termination is submitted to EPD. Such reports shall be readily available by end of the second business day and/or working day and shall identify all incidents of best management practices that have not been properly installed and/or maintained as described in the Plan. Where the report does not identify an incident, the inspection report shall contain a statement that the best management practices are in compliance with the Erosion, Sedimentation and Pollution Control Plan. The report shall be signed in accordance with Part IV of this permit.
b. Secondary Permittee.
- (1). Each day when any type of construction activity has taken place at a secondary permittee's site, certified personnel provided by the secondary permittee shall inspect: (a) all areas used by the secondary permittee where petroleum products are stored, used, or handled for spills and leaks from vehicles and equipment; and (b) all locations at the secondary permittee site where that permittee's vehicles enter or exit the site for evidence of off-site sediment tracking. These inspections must be conducted until a Notice of Termination is submitted. This paragraph is not applicable to utility companies and utility contractors if they are secondary permittees.
- (2). Certified personnel (provided by the utility companies and utility contractors if they are secondary permittees) shall inspect the following each day any type of construction activity has taken place at the construction site: (a) areas of the construction site disturbed by the utility companies and utility contractors that have not undergone final stabilization or established a crop of annual vegetation and a seeding of target perennials appropriate for the region; (b) areas used by the utility companies and utility contractors for storage of materials that are exposed to precipitation that have not undergone final stabilization or established a crop of annual vegetation and a seeding of target perennials appropriate for the region or established a crop of annual vegetation and a seeding of target perennials appropriate for the region; and (c) structural control measures. Erosion and sediment control measures identified in the Plan applicable to the utility companies and utility contractors construction activities shall be observed to ensure that they are operating correctly. Where discharge locations or points are accessible, they shall be inspected to ascertain whether erosion control measures are effective in preventing significant impacts to receiving water(s). This paragraph is not applicable to utility companies and utility contractors when they are secondary permittees performing service line installations or when conducting repairs on existing line installations.
- (3). Certified personnel (provided by the secondary permittee) shall inspect the following at least once every seven calendar days and within 24 hours of the end of a storm that is 0.5 inches rainfall or greater (unless such storm ends after 5:00 PM on any Friday or on any non-working Saturday, non-working Sunday or any non-working Federal holiday in which case the inspection shall be completed by the end of the next business day and/or working day, whichever occurs first): (a) disturbed areas of the secondary permittee's construction site; (b) areas used by the secondary permittee for storage of materials that are exposed to precipitation; and (c) structural control measures. Erosion and sediment control measures identified in the Plan applicable to the secondary permittee's site shall be observed to ensure that they are operating correctly. Where discharge locations or points are accessible, they shall be inspected to ascertain whether erosion control measures are effective in preventing significant impacts to receiving water(s). For areas of a site that have undergone final stabilization or established a crop of annual vegetation and a seeding of target perennials appropriate for the region, the permittee must comply with Part IV.D.4.b.(4). These inspections must be conducted until a Notice of Termination is submitted. This paragraph is not applicable to utility companies and utility contractors if they are secondary permittees.
- (4). Certified personnel (provided by the secondary permittee) shall inspect at least once per month during the term of this permit (i.e., until a Notice of Termination is submitted to EPD) the areas of their sites that have undergone final stabilization or established a crop of annual vegetation and a seeding of target perennials appropriate for the region. These areas shall be inspected for evidence of, or the potential for, pollutants entering the drainage system and the receiving water(s). Erosion and sediment control measures identified in the Plan shall be observed to ensure that they are operating correctly. Where discharge locations or points are accessible, they shall be inspected to ascertain whether erosion control measures are effective in preventing significant impacts to receiving water(s). This paragraph is not applicable to utility companies and utility contractors if they are secondary permittees.
- (5). Based on the results of each inspection, the secondary permittee must notify the primary permittee within 24-hours of any suspected BMP design deficiencies. If primary permittee fails to evaluate whether design deficiencies exist within 48-hours of such notice, and if these deficiencies are found to exist must amend the Plan in accordance with Part IV.C. of this permit to address those deficient BMPs within seven (7) days of being notified by the secondary permittee. When the Plan is amended, the primary permittee must notify and provide a copy of the amendment to all affected secondary permittee(s) within this seven (7) day period. The secondary permittee must implement any new Plan requirements affecting their site(s) within 48-hours of notification by the primary permittee.
- (6). A report of each inspection that includes the name(s) of certified personnel making each inspection, the date(s) of each inspection, construction phase (i.e., initial, intermediate or final), major observations relating to the implementation of the Erosion, Sedimentation and Pollution Control Plan, and actions taken in accordance with Part IV.D.4.b.(5), of the permit shall be made and retained at the site or be readily available at a designated alternate location until the entire site has undergone final stabilization and a Notice of Termination is submitted to EPD. Such reports shall be readily available by the end of the second business day and/or working day and shall identify all incidents of best management practices that have not been properly installed and/or maintained as described in the Plan. Where the report does not identify any incidents, the inspection report shall contain a certification that the best management practices are in compliance with the Erosion, Sedimentation and Pollution Control Plan. The report shall be signed in accordance with Part V.G.2. of this permit. This paragraph is not applicable to utility companies and utility contractors if they are secondary permittees performing only service line installations or when conducting repairs on existing line installations.
- c. Tertiary Permittee.
- (1). Each day when any type of construction activity has taken place at a tertiary permittee's site, certified personnel provided by the tertiary permittee shall inspect: (a) all areas used by the tertiary permittee where petroleum products are stored, used, or handled for spills and leaks from vehicles and equipment; and (b) all locations at the tertiary permittee site where that permittee's vehicles enter or exit the site for evidence of off-site sediment tracking. These inspections must be conducted until a Notice of Termination is submitted. This paragraph is not applicable to utility companies and utility contractors performing only service line installations or when conducting repairs on existing line installations.
- (2). Measure and record rainfall within disturbed areas of the site that have not met final stabilization once every 24 hours except any non-working Saturday, non-working Sunday and non-working Federal holiday. The data collected for the purpose of compliance with this permit shall be representative of the monitored activity. Measurement of rainfall may be suspended if all areas of the site have undergone final stabilization or established a crop of annual vegetation and a seeding of target perennials appropriate for the region.
- (3). Certified personnel (provided by the tertiary permittee) shall inspect at least the following once every seven calendar days and within 24 hours of the end of a storm that is 0.5 inches rainfall or greater (unless such storm ends after 5:00 PM on any Friday or on any non-working Saturday, non-working Sunday or any nonworking Federal holiday in which case the inspection shall be completed by the end of the next business day and/or working day, whichever occurs first): (a) disturbed areas of the tertiary permittee's construction site; (b) areas used by the tertiary permittee for storage of materials that are exposed to precipitation; and (c) structural control measures. Erosion and sediment control measures identified in the Plan applicable to the tertiary permittee's site shall be observed to ensure that they are operating correctly. Where discharge locations or points are accessible, they shall be inspected to ascertain whether erosion control measures are effective in preventing significant impacts to receiving water(s). For areas of a site that have undergone final stabilization or established a crop of annual vegetation and a seeding of target perennials appropriate for the region, the permittee must comply with Part IV.D.4.c.(4). These inspections must be conducted until a Notice of Termination is submitted. This paragraph is not applicable to utility companies and utility contractors when they are secondary permittees performing only service line installations or when conducting repairs on existing line installations.
- (4). Certified personnel (provided by the tertiary permittee) shall inspect at least once per month during the term of this permit (i.e., until a Notice of Termination is submitted to EPD) the areas of their sites that have undergone final stabilization or established a crop of annual vegetation and a seeding of target perennials appropriate for the region. These areas shall be inspected for evidence of, or the potential for, pollutants entering the drainage system and the receiving water(s). Erosion and sediment control measures identified in the Plan shall be observed to ensure that they are operating correctly. Where discharge locations or points are accessible, they shall be inspected to ascertain whether erosion control measures are effective in preventing significant impacts to receiving water(s). This paragraph is not applicable to utility companies and utility contractors performing only service line installations or when conducting repairs on existing line installations.
- (5). Based on the results of each inspection, the site description and the pollution prevention and control measures identified in the Erosion, Sedimentation and Pollution Control Plan, the Plan shall be revised as appropriate not later than seven (7) calendar days following each inspection. Implementation of such changes shall be made as soon as practical but in no case later than seven (7) calendar days following the inspection.
- (6). A report of each inspection that includes the name(s) of certified personnel making each inspection, the date(s) of each inspection, construction phase (i.e., initial, intermediate or final), major observations relating to the implementation of the Erosion, Sedimentation and Pollution Control Plan, and actions taken in accordance with Part IV.D.4.c.(5), of the permit shall be made and retained at the site or be readily available at a designated alternate location until the entire site has undergone final stabilization and a Notice of Termination is submitted to EPD. Such reports shall be readily available by the end of the second business day and/or working day and shall identify all incidents of best management practices that have not been properly installed and/or maintained as described in the Plan. Where the report does not identify any incidents, the inspection report shall contain a certification that the best management practices are in compliance with the Erosion, Sedimentation and Pollution Control Plan. The report shall be signed in accordance with Part V.G.2. of this permit. This paragraph is not applicable to utility companies and utility contractors performing only service line installations or when conducting repairs on existing line installations.
- NAME: _____ Phone: _____
Company Address: _____
GSWCC Level 1A Certification No. _____
Signature _____
- Provide complete requirements of sampling frequency and reporting of sampling results.
Sampling Frequency
(1). The primary permittee must sample in accordance with the plan at least once for each rainfall event described below. For a qualifying event, the permittee shall sample at the beginning of any stormwater discharge to a monitored receiving water and/or from a monitored outfall location within in forty-five (45) minutes or as soon as possible.
(2). However, where manual and automatic sampling are impossible (as defined in this permit), or are beyond the permittees control, the permittee shall take samples as soon as possible, but in no case more than twelve (12) hours after the beginning of the stormwater discharge.
(3). Sampling by the permittee shall occur for the following qualifying events:
(a). For each area of the site that discharges to a receiving water or from an outfall, the first rain event that reaches or exceeds 0.5 inch with a stormwater discharge that occurs during normal business hours as defined in this permit after all clearing and grubbing operations have been completed, but prior to completion of mass grading operations, in the drainage area of the location selected as the sampling location;
(b). In addition to (a) above, for each area of the site that discharges to a receiving water or from an outfall, the first rain event that reaches or exceeds 0.5 inch with a stormwater discharge that occurs during normal business hours as defined in this permit either 90 days after the first sampling event or after all mass grading operations have been completed, but prior to submittal of a N.O.T., in the drainage area of the location selected as the sampling location, whichever comes first;
(c). At the time of sampling performed pursuant to (a) and (b) above, if BMPs in any area of the site that discharges to a receiving water or from an outfall are not properly designed, installed and maintained, corrective action shall be defined and implemented within two (2) business days, and turbidity samples shall be taken from discharges from that area of the site for each subsequent rain event that reaches or exceeds 0.5 inch during normal business hours* until the selected turbidity standard is attained, or until post-storm event inspections determine that BMPs are properly designed, installed and maintained;
(d). Where sampling pursuant to (a), (b) or (c) above is required but not possible (or not required because there was no discharge), the permittee, in accordance with Part IV.D.4.c.(6), must include a written justification in the inspection report of why sampling was not performed. Providing this justification does not relieve the permittee of any subsequent sampling obligations under (a), (b) or (c) above; and

- (e) Existing construction activities, i.e., those that are occurring on or before the effective date of this permit, that have met the sampling required by (c) above shall sample in accordance with (b). These existing construction activities that have met the sampling required by (b) above shall not be required to conduct additional sampling other than as noted by (c) above.
*The permittee may choose to meet the requirements of (a) and above by collecting turbidity samples from an rain event that reaches or exceeds 0.5 inch and allows for sampling at any time of the day or week.
- E. Reporting.
1. The applicable permittees are required to submit the sampling results to the EPD at the address shown in Part II.C. by the fifteenth day of the month following the reporting period. Reporting periods are months during which samples are taken in accordance with this permit. Sampling results shall be in a clearly legible format. Upon written notification, EPD may require the permittee to submit more than one report. Sampling and analysis of any stormwater discharge(s) or the receiving water(s) beyond the minimum frequency stated in this permit must be reported in a similar manner to the EPD. The sampling reports must be signed in accordance with Part V.G.2. Sampling reports must be submitted to EPD using the electronic submittal service provided by EPD. Sampling reports must be submitted to EPD until such time as a NOT is submitted in accordance with Part VI.
2. All sampling reports shall include the following information:
a. The rainfall amount, date, exact place and time of sampling or measurements;
b. The name(s) of the certified personnel who performed the sampling and measurements;
c. The date(s) analyses were performed;
d. The time(s) analyses were initiated;
e. The name(s) of the certified personnel who performed the analysis;
f. References and written procedures, when available, for the analytical techniques or methods used;
g. The results of such analyses, including the bench sheets, instrument readouts, computer disks or tapes, etc., used to determine these results;
h. Results which exceed 1000 NTU shall be reported as "exceeds 1000 NTU;" and
i. Certification statement that sampling was conducted as per the Plan.
3. All written correspondence required by this permit shall be submitted by return receipt certified mail (or similar service) to the appropriate District Office of the EPD according to the schedule in Appendix A of this permit. The applicable permittees shall retain a copy of the proof of submittal at the construction site or the proof of submittal shall be readily available at a designated location from commencement of construction until such time as a NOT is submitted in accordance with Part VI.
33. Provide complete details for retention of records as per Part IV.F. of the permit.
1. The primary permittee shall retain the following records at the construction site or the records shall be readily available at a designated alternate location from commencement of construction until such time as a NOT is submitted in accordance with Part VI:
a. A copy of all Notices of Intent submitted to EPD;
b. A copy of the Erosion, Sedimentation and Pollution Control Plan required by this permit;
c. The design professional's report of the results of the inspection conducted in accordance with Part IV.A.5 of this permit;
d. A copy of all sampling information, results, and reports required by this permit;
e. A copy of all inspection reports generated in accordance with Part IV.D.4.c of this permit;
f. A copy of all violation summaries and violation summary reports generated in accordance with Part III.D.2 of this permit; and
g. Daily rainfall information collected in accordance with Part IV.D.4.a.(2), of this permit.
2. Copies of all Notices of Intent, Notices of Termination, inspection reports, sampling reports (including all calibration and maintenance records and all original strip chart recordings for continuous monitoring instrumentation) or other reports requested by EPD, Erosion, Sedimentation and Pollution Control Plans, records of all data used to complete the Notice of Intent be covered by this permit and all other records required by this permit shall be retained by the permittee who either produced or used it for a period of at least three years from the date that the NOT is submitted in accordance with Part VI of this permit. These records must be maintained at the permittee's primary place of business or at a designated alternate location once the construction activity has ceased at the permitted site. This period may be extended by request of the EPD at any time upon written notification to the permittee.
33. Provide complete details for retention of records as per Part IV.F. of the permit.
1. The primary permittee shall retain the following records at the construction site or the records shall be readily available at a designated alternate location from commencement of construction until such time as a NOT is submitted in accordance with Part VI:
a. A copy of all Notices of Intent submitted to EPD;
b. A copy of the Erosion, Sedimentation and Pollution Control Plan required by this permit;
c. The design professional's report of the results of the inspection conducted in accordance with Part IV.A.5 of this permit;
d. A copy of all sampling information, results, and reports required by this permit;
e. A copy of all inspection reports generated in accordance with Part IV.D.4.c of this permit;
f. A copy of all violation summaries and violation summary reports generated in accordance with Part III.D.2 of this permit; and
g. Daily rainfall information collected in accordance with Part IV.D.4.a.(2), of this permit.
2. Each secondary permittee shall retain the following records at the construction site or the records shall be readily available at a designated alternate location from commencement of construction until such time as a NOT is submitted in accordance with Part VI:
a. A copy of all Notices of Intent submitted to EPD;
b. A copy of the Erosion, Sedimentation and Pollution Control Plan required by this permit or the applicable portion of the Erosion, Sedimentation and Pollution Control Plan for their activities as required by this permit;
c. A copy of all inspection reports generated in accordance with Part IV.D.4.b. of this permit; and
d. A copy of all violation summaries and violation summary reports generated in accordance with Part III.D.2 of this permit.
3. Each tertiary permittee shall retain the following records at the construction site or the records shall be readily available at a designated alternate location from commencement of construction until such time as a NOT is submitted in accordance with Part VI:
a. A copy of all Notices of Intent submitted to EPD;
b. A copy of the Erosion, Sedimentation and Pollution Control Plan required by this permit;
c. The design professional's report of the results of the inspection conducted in accordance with Part IV.A.5. of this permit;
d. A copy of all sampling information, results, and reports required by this permit;
e. A copy of all inspection reports generated in accordance with Part IV.D.4.c of this permit;
f. A copy of all violation summaries and violation summary reports generated in accordance with Part III.D.2 of this permit; and
g. Daily rainfall information collected in accordance with Part IV.D.4.c.(2), of this permit.
4. Copies of all Notices of Intent, Notices of Termination, inspection reports, sampling reports (including all calibration and maintenance records and all original strip chart recordings for continuous monitoring instrumentation) or other reports requested by the EPD, Erosion, Sedimentation and Pollution Control Plans, records of all data used to complete the Notice of Intent to be covered by this permit and all other records required by this permit shall be retained by the permittee who either produced or used it for a period of at least three years from the date that the NOT is submitted in accordance with Part VI of this permit. These records must be maintained at the permittee's primary place of business once the construction activity has ceased at the permitted site. This period may be extended by request of the EPD at any time upon written notification to the permittee.
34. Description of analysis methods to be used to collect and analyze the samples from each location.*
*Sample Analysis - Storm water samples are to be analyzed in accordance with methodology and test procedures established by 40 CFR Part 136 and the guidance document titled "NPDES Storm Water Sampling Guidance Document, EPA 833-B-92-001." Stormwater to be sampled for nephelometric turbidity units (NTU) at the outfall location. A discharge of any kind that impairs the implementation of the Erosion, Sedimentation and Pollution Control Plan, and which has not been properly installed and/or maintained as required by this permit for each day on which such condition results in the turbidity of the discharge exceeding 75, the value that was selected from Appendix B in Permit No 1000001. The NTU is based upon the disturbed acreage for the project site, the surface water drainage area, and receiving water which supports warm water fisheries.
35. Appendix B outline for the use of off-site sediment storage.
Water supporting warm water fisheries: 0-4.99 Square Miles NTU Value = 75
36. Delineate all sampling locations, perennial and intermittent streams and other water bodies into which storm water is discharged.*
Shown on plan sheets
37. A description of appropriate controls and measures that will be implemented at the construction site including: (1) initial sediment storage requirements and perimeter control BMPs, (2) intermediate grading and drainage BMPs, and (3) final BMPs. For construction sites where there will be no mass grading and the initial perimeter control BMPs, intermediate grading and drainage BMPs, and final BMPs are the same, the plan may combine all of the BMPs into a single phase.*
The final BMPs shall include the construction exit, silt fencing, filter fabric with supporting frame, stone outlet protection and temporary seeding and dust control.
Intermittent BMPs shall include a construction exit, silt fencing, filter fabric with supporting frame, stone outlet protection and temporary seeding and dust control.
The final BMPs shall include silt fencing, filter fabric with supporting frame, curb inlet protection - pigs in a blanket, stone outlet protection and permanent seeding and dust control.
38. Plan address BMPs for all phases of common development including individual building lots and out-parcels, etc. regardless of who owns or operates the individual sites. Include a typical and any situational lots applicable.
Shown on plan sheet.
39. Graphic scale and north arrow.
Shown on all plan sheets.
40. Existing and proposed contour lines with contour lines drawn at an interval in accordance with the following:
Existing and proposed contour lines are shown on the plan sheet.
- | Map Scale | Ground Slope | Contour Intervals, ft. |
|--------------------------------|---|----------------------------------|
| 1 inch = 100ft or larger scale | Flat 0-2%
Rolling 2-8%
Steep 8% + | 0.5 or 1
1 or 2
2.5, or 10 |
41. Use of alternative BMPs whose performance has been documented to be equivalent to or superior to conventional BMPs as certified by a Design Professional (unless disapproved by EPD or the Georgia Soil and Water Conservation Commission). Please refer to the Alternative BMP Guidance Document found at www.gswcc.org.
No alternative BMPs are proposed.
42. Use of alternative BMP for application to the Equivalent BMP List. Please refer to Appendix A-2 of the Manual for Erosion & Sediment Control in Georgia 2016 Edition.
No alternative BMPs are proposed.
43. Delineation of the applicable 25-foot or 50-foot undisturbed buffers adjacent to State waters and any additional buffers required by the local issuing Authority. Clearly note and delineate all areas of impact.
N/A
44. Delineation of on-site wetlands and all State waters located on and within 200 feet of the project site.
Shown on plan sheets
45. Delineation and acreage of contributing drainage basins on the project site.
Shown on plan sheets
46. Provide hydrology study and maps of drainage basins for both the pre- and post-developed conditions.*
Pre-developed and post-developed drainage basins are shown on plan sheets
47. An estimate of the runoff coefficient or peak discharge flow of the site prior to and after construction activities are completed.*
Pre-developed Runoff Coefficient, C = 0.30 ; Post-developed Runoff Coefficient, C = 0.39
Pre-Development
Total Area: 6.28 ac; Impervious Area: 0.00 ac, C=0.95; Pervious Area: 6.28 ac, C=0.30
Composite C: [(0.00 ac*0.95)+(6.28 ac*0.30)]/6.28 ac = 0.30
Post-Development
Total Area: 6.28 ac; Impervious Area: 0.80 ac, C=0.95; Pervious Area: 5.37 ac, C=0.30; Gravel: 0.11 ac, C=0.50
Composite C: [(0.80 ac*0.95)+(5.37 ac*0.30)+(0.11 ac*0.5)]/6.28 ac = 0.39
48. Storm-drain pipe and weir velocities with appropriate outlet protection to accommodate discharges without erosion/identify/delineate all storm water discharge points.
Shown on plan sheets
49. Soil series for the project site and their delineation.
Bds - Blonden fine sandy loam, 0 to 2 percent slopes
Cc - Cape Fear soils
Pc - Foster Fine sandy loam
50. The limits of disturbance for each phase of construction.
Limits of disturbance for all phases shown on each sheet.
51. Provide a minimum of 87 cubic yards of sediment storage per acre drained using a temporary sediment basin, retrofitted detention pond, and/or excavated inlet sediment traps for each acre of drainage location. Sediment storage volume must be in place prior to and during all land disturbance activities until final stabilization of the site has been achieved. A written justification explaining the decision to use equivalent controls when a sediment basin is not attainable must be included in the Plan for each common drainage location. A written justification explaining the decision to use 87 cubic yards of storage is not attainable must also be given. Notwithstanding from the Manual must be included for structural BMPs and all calculations used by the design professional to obtain the required sediment storage when using equivalent controls. When discharging from sediment basins and impoundments, permittees are required to utilize outlet structures that withdraw water from the surface, unless infeasible. If outlet structures that withdraw water from the surface are not feasible, a written justification explaining the decision must be included in the Plan.
Due to topography and location sit fence is preferred over sedimentation basins.
52. Location of Erosion Prevention Practices that are consistent with and no less stringent than the Manual for Erosion and Sediment Control in Georgia. Use uniform coding symbols from the Manual, Chapter 6, with legend.
Shown on Plan sheets
53. Provide detailed drawings for all structural practices. Specifications must, at a minimum, meet the guidelines set forth in the Manual for Erosion and Sediment Control in Georgia.
See Detail sheets
54. Provide vegetative plan, noting all temporary and permanent vegetative practices. Include species, planting dates and seeding, fertilizer, lime and mulching rates. Vegetative plan shall be site specific for appropriate time of year that seeding will take place and for the appropriate geographic region of Georgia.
See Detail sheets



12/02/21
CERTIFIED DESIGN
PROFESSIONAL:
JESSICA V. WICK, P.E.
LEVEL II CERTIFICATION #: 000006299

NO.	REVISIONS

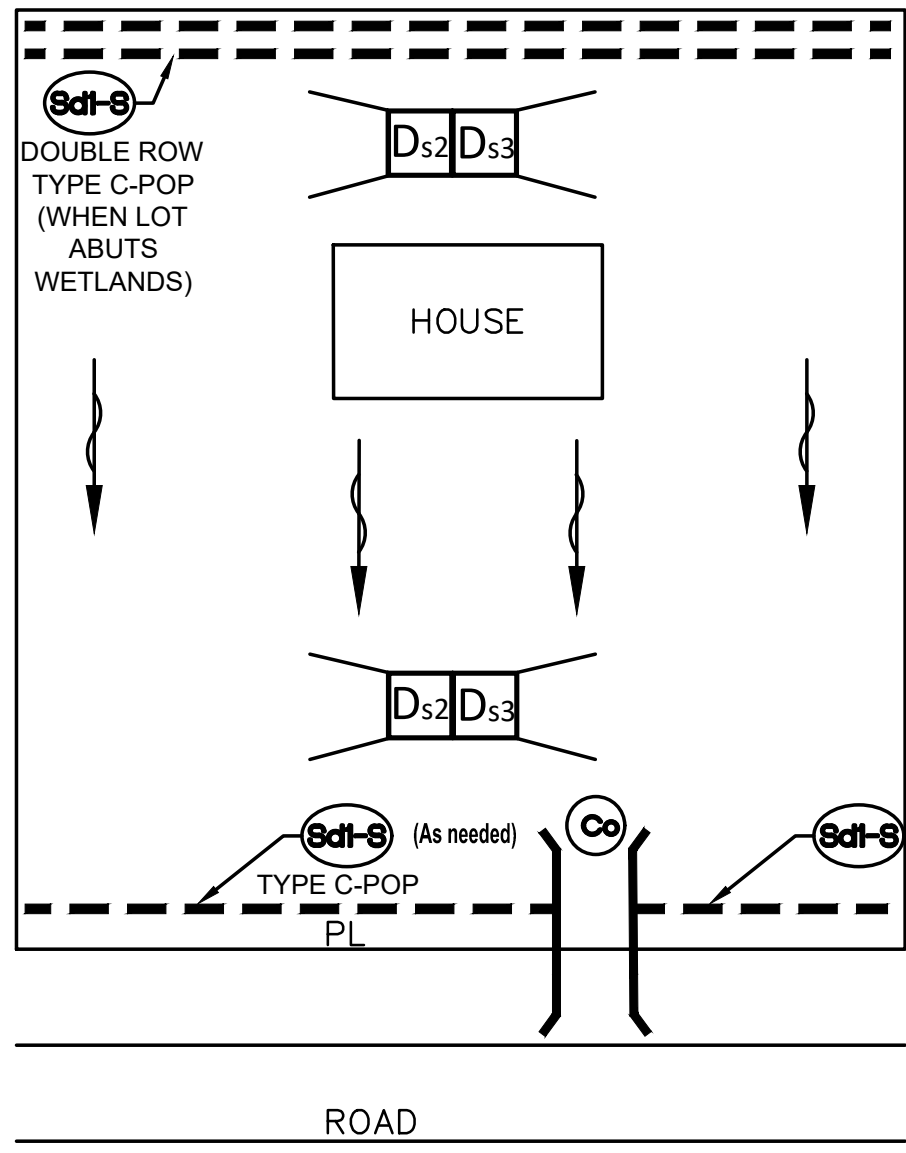


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15 SHILOH ROAD SAVANNAH, GEORGIA 31406
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EROSION CONTROL NOTES
Rice Creek Phase 5
Port Wentworth
PREPARED FOR:
Rice Creek Investors #7, LLC

DATE: 12/02/21
PROJECT NUMBER: 21507
DRAWN BY: JAF
CHECKED BY: JLV
SCALE: NTS

4
SHEET:

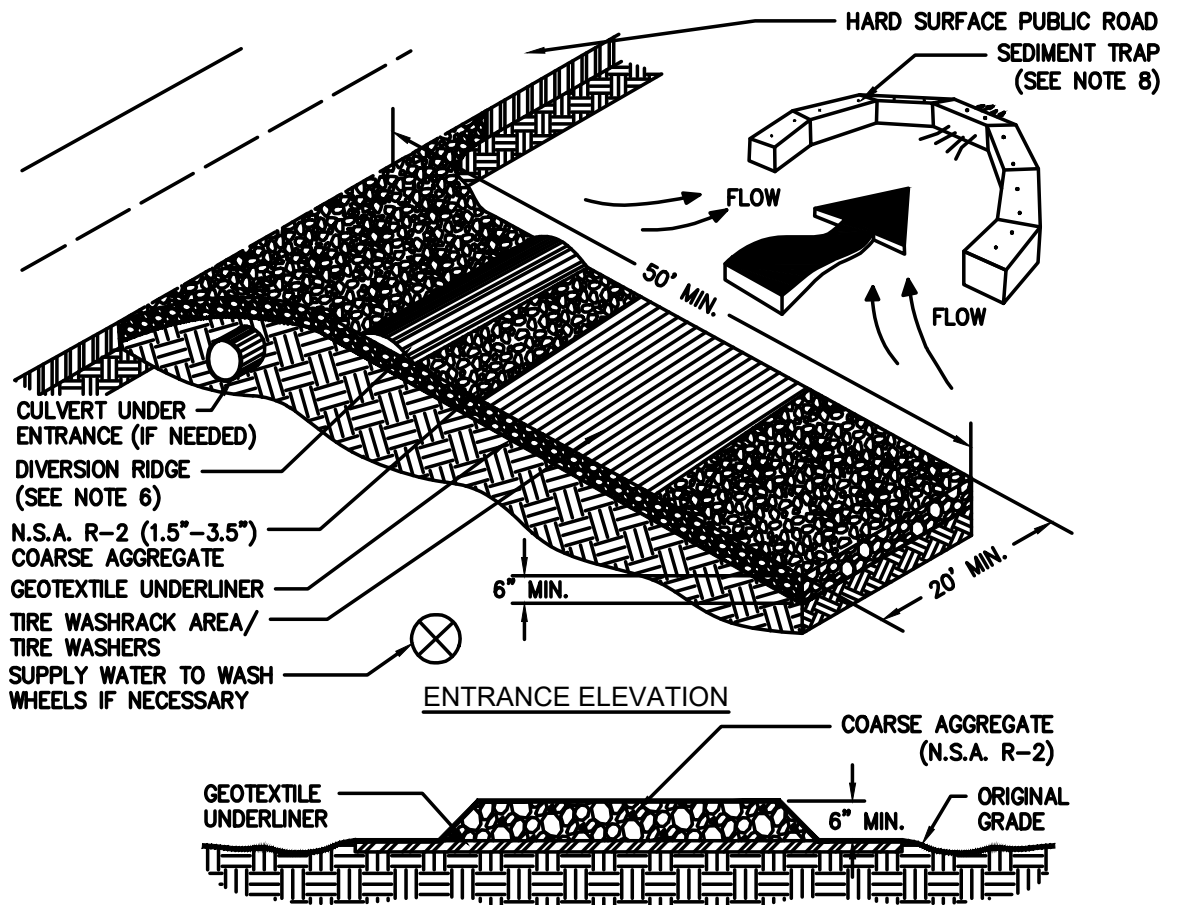


TYPICAL LOT BMPs
NTS

Co

MAINTENANCE
The exit shall be maintained in a condition that will prevent tracking or flow of mud onto public rights-of-way. This may require periodic top dressing with 1.5-3.5 inch stone, as conditions demand, and repair and/or cleanout of any structures to trap sediment. All materials spilled, dropped, washed, or tracked from vehicles or site onto roadways or into storm drains must be removed immediately.

CRUSHED STONE CONSTRUCTION EXIT
EXIT DIAGRAM



- NOTES:**
1. AVOID LOCATING ON STEEP SLOPES OR AT CURVES ON PUBLIC ROADS.
2. REMOVE ALL VEGETATION AND OTHER UNSUITABLE MATERIAL FROM THE FOUNDATION AREA, GRADE, AND GROUND FOR POSITIVE DRAINAGE.
3. AGGREGATE SIZE SHALL BE IN ACCORDANCE WITH NATIONAL STONE ASSOCIATION R-2 (1.5"-3.5" STONE).
4. GRAVEL PAD SHALL HAVE A MINIMUM THICKNESS OF 6".
5. PAD WIDTH SHALL BE EQUAL FULL WIDTH AT ALL POINTS OF VEHICULAR EGRESS, BUT NO LESS THAN 20'.
6. A DIVERSION RIDGE SHOULD BE CONSTRUCTED WHEN GRADE TOWARD PAVED AREA IS GREATER THAN 2%.
7. INSTALL PIPE UNDER THE ENTRANCE IF NEEDED TO MAINTAIN DRAINAGE DITCHES.
8. WHEN WASHING IS REQUIRED, IT SHOULD BE DONE ON AN AREA STABILIZED WITH CRUSHED STONE THAT DRAINS INTO AN APPROVED SEDIMENT TRAP OR SEDIMENT BASIN (DIVERT ALL SURFACE RUNOFF AND DRAINAGE FROM THE ENTRANCE TO A SEDIMENT CONTROL DEVICE).
9. WASHRACKS AND/OR TIRE WASHERS MAY BE REQUIRED DEPENDING ON SCALE AND CIRCUMSTANCE. IF NECESSARY, WASHRACK DESIGN MAY CONSIST OF ANY MATERIAL SUITABLE FOR TRUCK TRAFFIC THAT REMOVE MUD AND DIRT.
10. MAINTAIN AREA IN A WAY THAT PREVENTS TRACKING AND/OR FLOW OF MUD ONTO PUBLIC RIGHTS-OF-WAYS. THIS MAY REQUIRE TOP DRESSING, REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT.

Figure 6-14.1

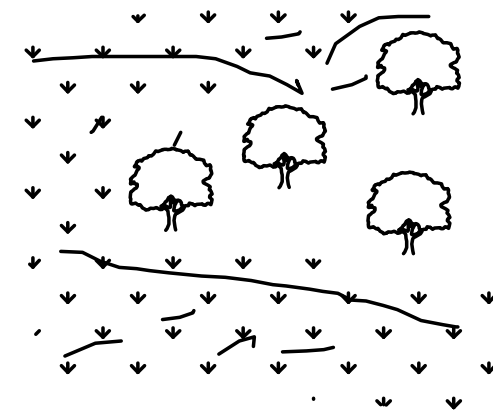
GSWCC 2016 Edition

6-90

Ds3

DISTURBED AREA STABILIZATION (WITH PERMANENT SEEDINGS)

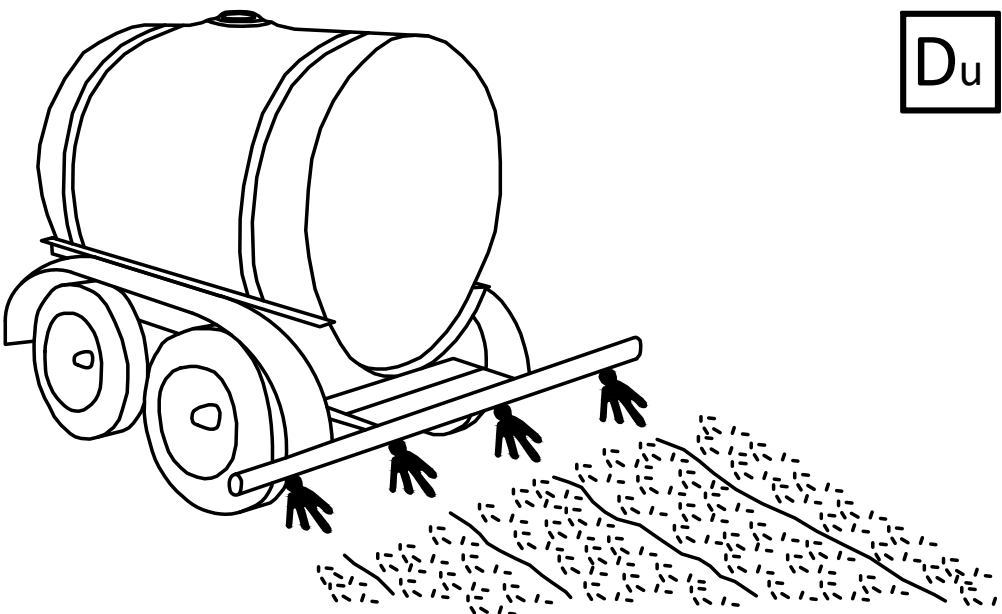
ESTABLISHING A PERMANENT VEGETATIVE COVER WITH FAST GROWING SEEDINGS.



APPLICABLE ON HIGHLY ERODIBLE OR SEVERELY ERODED AREAS, SOMETIMES CALLED "CRITICAL AREAS" INCLUDING:

- * CUT OR FILL SLOPES
- * EARTH SPILLWAYS
- * BORROW AREAS
- * CHANNEL BANKS
- * BERMS
- * ROADSIDES
- * SPOIL AREAS
- * GULLIED LANDS

DUST CONTROL FOR ALL DISTURBED AREAS ALL PHASES



Du

CONTRACTOR SHALL EMPLOY THE FOLLOWING METHODS TO LIMIT THE SURFACE AND AIR MOVEMENT OF DUST FROM EXPOSED SOIL SURFACES.

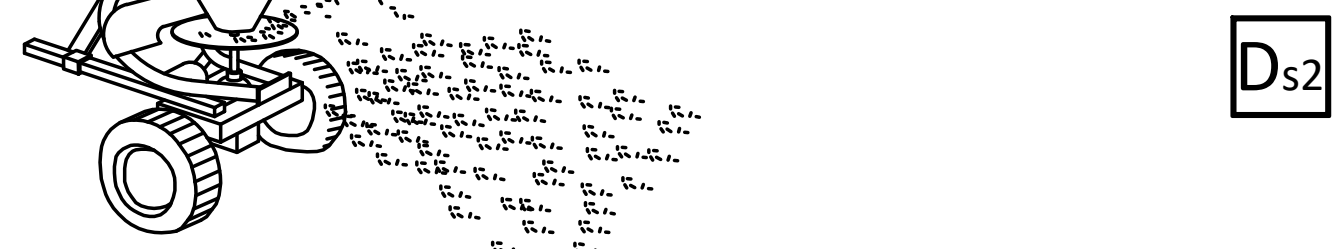
- TEMPORARY METHODS:**
- BARRIERS
- CALCIUM CHLORIDE
- IRRIGATION
- MULCHING
- SPRAY ON ADHESIVES
- TILLING
- PERMANENT METHODS:**
- PERMANENT VEGETATION
- TOPSOIL
- STONE COVER

CHEMICAL CONTROL

CHEMICAL	WATER DILUTION	TYPE OF NOZZLE	APPLICATION RATE (GAL/AC)
ADHESIVE			
ANIONIC ASPHALT EMULSION	7:1	SPRAY	1200
LATEX EMULSION	12 1/2:1	FINE SPRAY	235
RESIN - IN - WATER EMULSION	4:1	FINE SPRAY	300

DUST CONTROL DETAIL
NTS

DISTURBED AREA STABILIZATION (WITH TEMPORARY SEEDING)
ESTABLISHING TEMPORARY VEGETATIVE COVER WITH QUICK GROWING GROUND COVER ON DISTURBED OR BARE LAND



Ds2

ANY DISTURBED AREA LEFT EXPOSED FOR A PERIOD GREATER THAN 14 DAYS SHALL BE STABILIZED WITH TEMPORARY SEEDING OR MULCH

- SITE PREPARATION**
- GRADING AND SHAPING
- SEEDBED PREPARATION
- APPLY LIME AND FERTILIZER
- PLANT SEEDING, AS SPECIFIED BY REGION AND SEASON
- APPLY MULCHING MATERIAL IF NEEDED
- IRRIGATE IF NEEDED WITHOUT CAUSING EROSION
- * PLANTING DATES DEPEND ON SPECIES AND REGION (MOUNTAIN, PIEDMONT OR COASTAL)

SEEDING RATES FOR TEMPORARY SEEDINGS

SPECIES	RATE (LBS) PER 1,000 SQ FT	RATE (LBS) PER ACRE	MTS - L-STONE	PLANTING DATES COASTAL (#)
RYEGRASS	0.9 POUNDS	40-50 LBS	8/1 - 12/1	8/15 - 3/1
ANNUAL LESPEDEZA	0.9 POUNDS	40 LBS	3/1 - 4/1	2/1 - 3/1
WEeping LOVEGRASS	0.1 POUNDS	4 - 6 LBS	3/15 - 8/1	2/15 - 8/15

* ALL SEEDING NUMBERS ARE ALONE FOR MIXTURE NUMBER SEE MANUAL FOR EROSION AND SEDIMENT TABLE 6-24.1 PAGES 6-134 - 6-136
^ UNUSUAL SITE CONDITIONS MAY REQUIRE HEAVIER SEEDING RATES
SEEDING DATES MAY NEED TO BE ALTERED TO FIT TEMPERATURE VARIATIONS AND LOCAL CONDITIONS.

TEMPORARY SEEDING DETAIL
NTS

Ds3

DISTURBED AREA STABILIZATION (WITH PERMANENT VEGETATION)

01-01-21 to 07-01-22

ACTIVITY	MONTH					
	1	2	3	4	5	6
INSTALL AND MAINTAIN INITIAL BMP'S (CONSTRUCTION EXIT, SILT FENCE, TEMPORARY GRASSING)	████████████████████					
CLEARING/CONSTRUCTION	████████████████████					
INSTALL AND MAINTAIN INTERMEDIATE BMP'S (TEMPORARY GRASSING)	████████████████████					
INSTALL FINAL BMP'S (PERMANENT GRASSING)	████████████████████					
REMOVAL OF TEMPORARY BMP'S	████████████████████					

CONSTRUCTION TIMELINE

DEFINITION

The planting of perennial vegetation such as trees, shrubs, vines, grasses, or legumes on exposed areas for final permanent stabilization. Permanent perennial vegetation shall be used to achieve final stabilization.

CONDITIONS

Permanent perennial vegetation is used to provide a protective cover for exposed areas including cuts, fills, dams, and other erodible areas.

SPECIFICATIONS

Grading and Shaping
Grading and shaping may not be required where hydraulic seeding and fertilizing equipment is to be used. Vertical banks shall be sloped to enable plant establishment.

When conventional seeding and fertilizing is to be done, grade and shape where feasible and practical, so that equipment can be used safely and efficiently during seedbed preparation, seeding, mulching and maintenance of the vegetation.

Seeds of water that will cause excessive soil erosion shall be diverted to a safe outlet. Diversions and other treatment practices shall conform with the appropriate standards and specifications.

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- Seeds of water that will cause excessive soil erosion shall be diverted to a safe outlet. Diversions and other treatment practices shall conform with the appropriate standards and specifications.**
- Broadcast plantings
1. Tillage at a minimum, shall adequately loosen the soil to a depth of 4 to 6 inches, alleviate compaction, incorporate lime and fertilizer, smooth and firm the soil, allow for the proper placement of seed, sprigs, or plants, and allow for the anchoring of straw or hay mulch if a disk is to be used.
2. Tillage may be done with any suitable equipment.
3. Tillage should be done on the contour where feasible.

surface shall be pitted or trenched across the slope with appropriate hand tools to provide two places 6 to 8 inches apart in which seed may lodge and germinate. Hydraulic seeding may also be used.

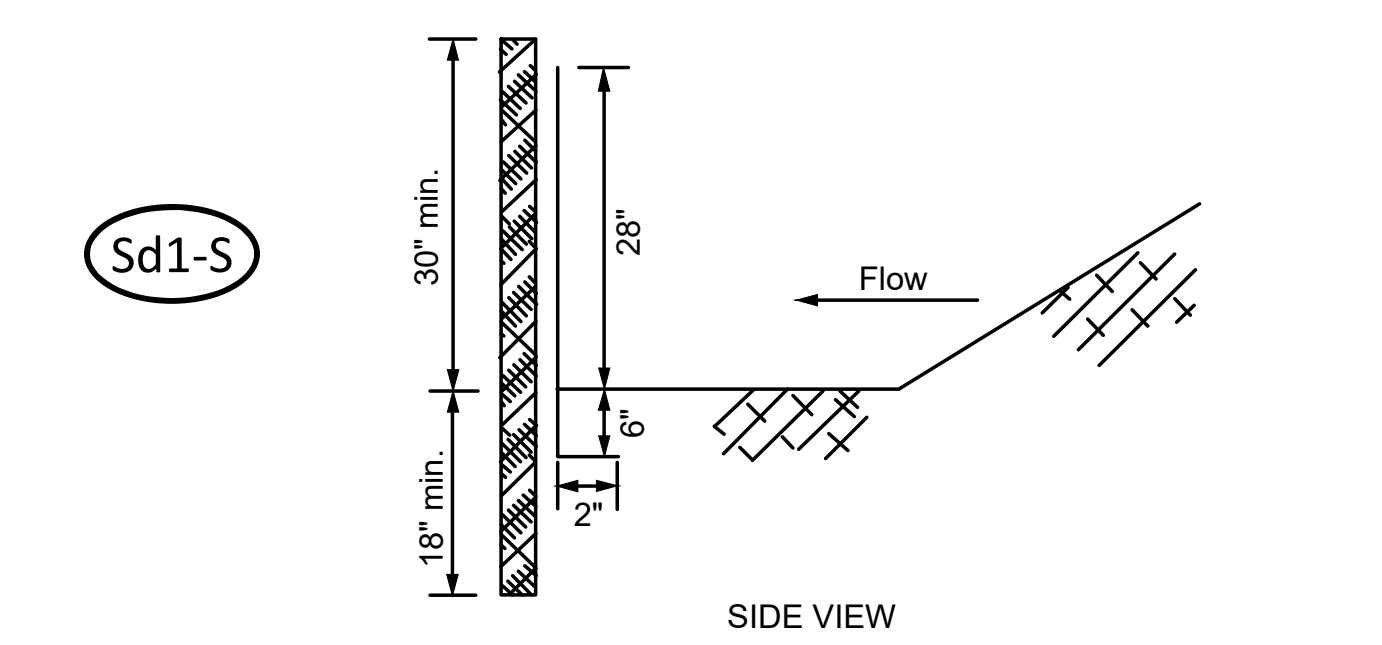
- Individual Plants**
1. Where individual plants are to be set, the soil shall be prepared by excavating holes, opening furrows, or dibble planting.
2. For nursery stock plants, holes shall be large enough to accommodate roots without crowding.
3. Where pine seedlings are to be planted, subsoil under the row 36 inches deep on the contour four to six months prior to planting. Subsoiling should be done when the soil is dry, preferably in August or September.

Planting
Hydraulic Seeding
Mix the seed (incubated if needed), fertilizer, and wood cellulose or wood pulp fiber mulch with water and apply in a slurry uniformly over the area to be treated. Apply within one hour after the mixture is made.

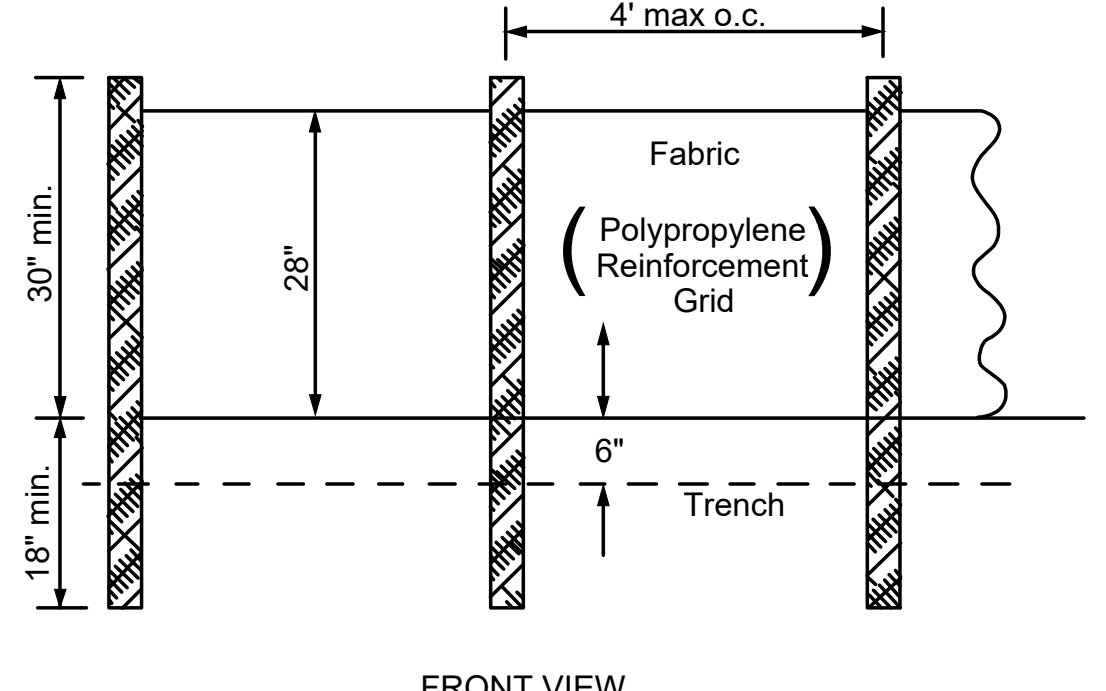
Conventional Seeding
Seeding will be done on a freshly prepared and firmed seedbed. For broadcast planting, use a cultipacker seeder, drill, rotary seeder, or other mechanical seeder, or hand seeding to distribute the seed uniformly over the area to be treated. Cover the seed lightly with 1/8 to 1/4 inch of soil for small seed and 1/2 to 1 inch for large seed when using a cultipacker or other suitable equipment.

No-Till Seeding
No-till seeding is permissible into annual cover crops when planting is done following maturity of the cover crop or if the temporary cover stand is sparse enough to allow adequate growth of the permanent (perennial) species. No-till seeding shall be done with appropriate no-till seeding equipment. The seed must be uniformly distributed and planted at the proper depth.

Individual Plants
Shrubs, vines and sprigs may be planted with appropriate planters or hand tools. Pine trees shall be planted manually in the subsoil furrow. Each plant shall be set in a manner that will avoid crowding the roots. Nursery stock plants shall be planted at the same depth or slightly deeper than they grew at the nursery. The tips of vines and sprigs must be at or slightly above the ground surface. Where individual holes are dug, fertilizer shall be placed in the bottom of the hole, two inches of soil shall be added and the plant shall be set in the hole.



SIDE VIEW



FRONT VIEW

NOTE:
Use 36" D.O.T. approved fabric.
Use wooden stakes.

SILT FENCE - TYPE C-POP
NTS

DEFINITION

The establishment of temporary vegetative cover with fast growing seedlings for seasonal protection on disturbed or denuded areas.

CONDITIONS

Temporary grassing, instead of mulch, can be applied to rough graded areas that will be exposed for less than six months. Temporary vegetative measures should be coordinated with permanent measures to assure economical and effective stabilization. Most types of temporary vegetation are ideal to use as companion crops until the permanent vegetation is established.

SPECIFICATIONS

Grading and Shaping
Excessive water run-off shall be reduced by properly designed and installed erosion control practices such as closed drains, ditches, dikes, diversions, sediment barriers and others.

No shaping or grading is required if slopes can be stabilized by hand-seeded vegetation or if hydraulic seeding equipment is to be used.

Seedbed Preparation
When a hydraulic seeder is used, seedbed preparation is not required. When using conventional or hand-seeding, seedbed preparation is not required if the soil material is loose and not sealed by rainfall.

When soil has been sealed by rainfall or consists of smooth cut slopes, the soil shall be pitted, trenched or scarified to provide a place for seed to lodge and germinate.

Lime and Fertilizer
Agricultural lime is required unless soil tests indicate otherwise. Apply agricultural lime at a rate of one ton per acre. Graded areas require lime application. Soils can be tested to determine if fertilizer is needed. On reasonably fertile soils or soil material, fertilizer is not required. For soils with very low fertility, 500 to 700 pounds of 10-10-10 fertilizer or the equivalent per acre (12-16 lbs./1,000 sq. ft.) shall be applied. Fertilizer should be applied before land preparation and incorporated with a disk, ripper or chisel.

Seeding
Select a grass or grass-legume mixture suitable to the area and season of the year. Seed shall be applied uniformly by hand, cyclone seeder, drill, cultipacker seeder, or hydraulic seeder (slurry including seed and fertilizer). Drill or cultipacker seeders should normally place seed one-quarter to one-half inch deep. Appropriate depth of planting is ten times the seed diameter. Soil should be "raked" lightly to cover seed with soil if seeded by hand.

Mulching
Temporary vegetation can, in most cases, be established without the use of mulch. Mulch without seeding should be considered for short term protection. Refer to Ds1 - Disturbed Area Stabilization (With Mulching Only).

Irrigation
During times of drought, water shall be applied at a rate not causing runoff and erosion. The soil shall be thoroughly wetted to a depth that will insure germination of the seed. Subsequent applications should be made when needed.

Ds2

DISTURBED AREA STABILIZATION (WITH TEMPORARY SEEDING)

Mulching
Mulch is required for all permanent vegetative applications. Mulch applied to seeded areas shall achieve 75% soil cover. Select the mulching material from the following and apply as indicated:

1. Dry straw or dry hay of good quality and free of weed seeds can be used. Dry straw shall be applied at the rate of 2 tons per acre. Dry hay shall be applied at a rate of 1 1/2 tons per acre.
2. Wood cellulose mulch or wood pulp fiber shall be used with hydraulic seeding. It shall be applied at the rate of 500 pounds per acre. Dystraw or dry hay shall be applied at the rate indicated above after hydraulic seeding.
3. One thousand pounds of wood cellulose or wood pulp fiber, which includes a tackifier, shall be used with hydraulic seeding on slopes 3:1 or steeper.
4. Sintered polypropylene hay containing mulch seed shall be applied at a rate of three tons per acre.
5. Pine straw or pine bark shall be applied at a thickness of 3 inches for bedding purposes. Other suitable materials in sufficient quantity may be used where ornamentals or other ground covers are planted. This is not appropriate for seeded areas.
6. When using temporary erosion control blankets or block sod, mulch is not required.
7. Bituminous treated roving may be applied on planted areas on slopes, in ditches or dry waterways to prevent erosion. Bituminous treated roving shall be applied within 24 hours after an area has been planted. Application rates and materials must meet Georgia Department of Transportation specifications.

Wood cellulose and wood pulp fibers shall not contain germination or growth inhibiting factors. They shall be evenly dispersed when applied in water. The fibers shall contain a dye to allow visual metering and aid in uniform application during seeding.

Applying Mulch
Straw or hay mulch will be spread uniformly within 24 hours after seeding and/or planting. The mulch may be spread by blower-type spreading equipment or other spreading equipment or by hand. Mulch shall be applied to cover 75% of the soil surface.

Wood cellulose or wood pulp fiber mulch shall be applied uniformly with hydraulic seeding equipment.

Anchoring Mulch
Anchor straw or hay mulch immediately after application by one of the following methods:
1. Emulsified asphalt can be (a) sprayed uniformly onto the mulch as it is ejected from the blower machine or (b) sprayed on the mulch immediately following mulch application when straw or hay is spread by methods other than special blower equipment.

SEEDING RATES FOR PERMANENT SEEDING

SPECIES	RATE Per 1,000 sq.ft.	RATE Per Acre *	PLANTING DATES **
BAHIA	1.4 POUNDS	60 LBS.	1/1-12/31
BERMUDA	0.2 POUND	10 LBS.	2/15-1/1
CENTPEDE	BLOCK SOD ONLY	BLOCK SOD ONLY	4/1-7/1
LESPEDEZA	1.7 POUNDS	75 LBS.	1/1-12/31
WEeping LOVE GRASS	0.1 POUND	4 LBS.	2/1-6/15
SWITCH GRASS	0.9 POUND	40 LBS.	3/15-6/1

* Unusual site conditions may require heavier seeding rates.
** Seeding dates may need to be altered to fit temperature variations and conditions.



12/02/21
CERTIFIED DESIGN PROFESSIONAL:
Jessica Vick, P.E.
LEVEL II CERTIFICATION #: 0000062699

REVISIONS



EROSION CONTROL DETAILS

Rice Creek Phase 5
Port Wentworth
PREPARED FOR:
Rice Creek Investors #7, LLC

DATE: 12/02/21
PROJECT NUMBER: 21507

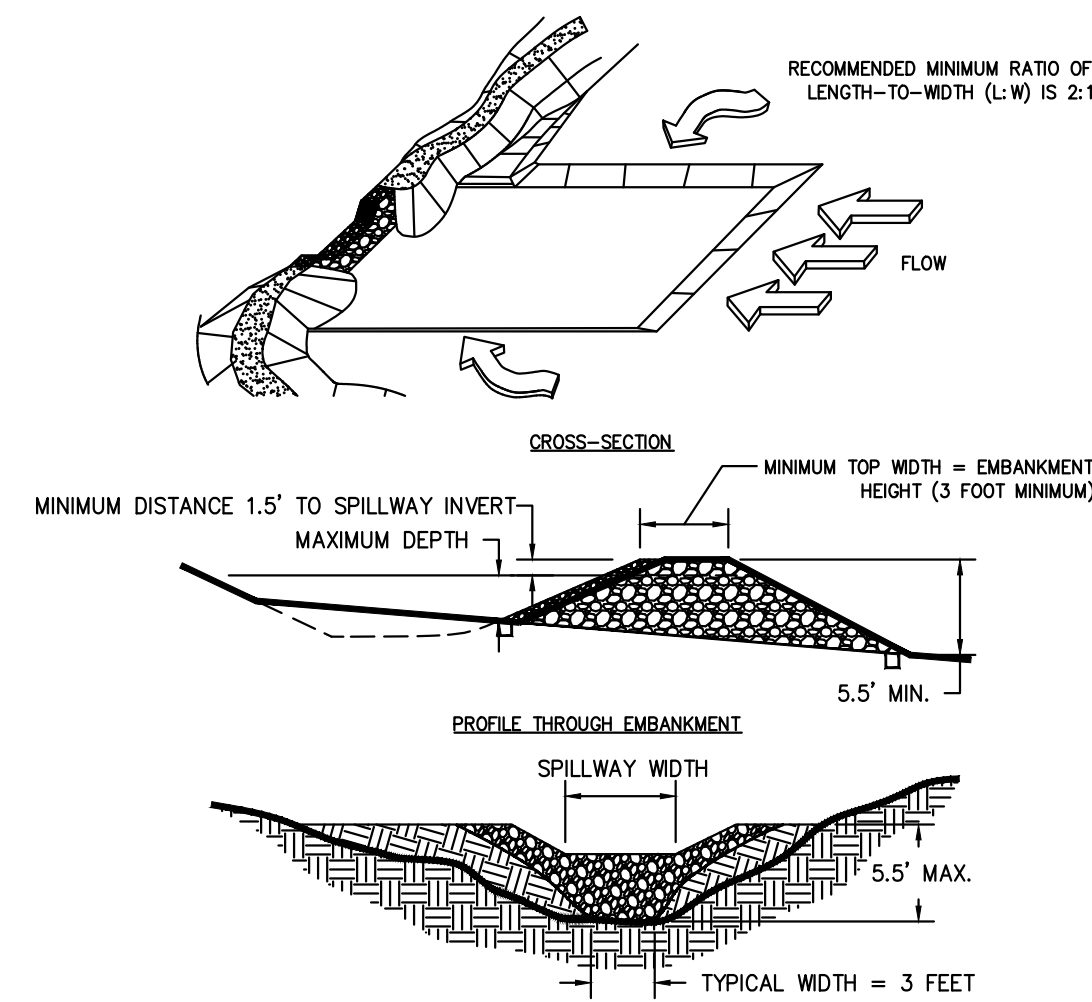
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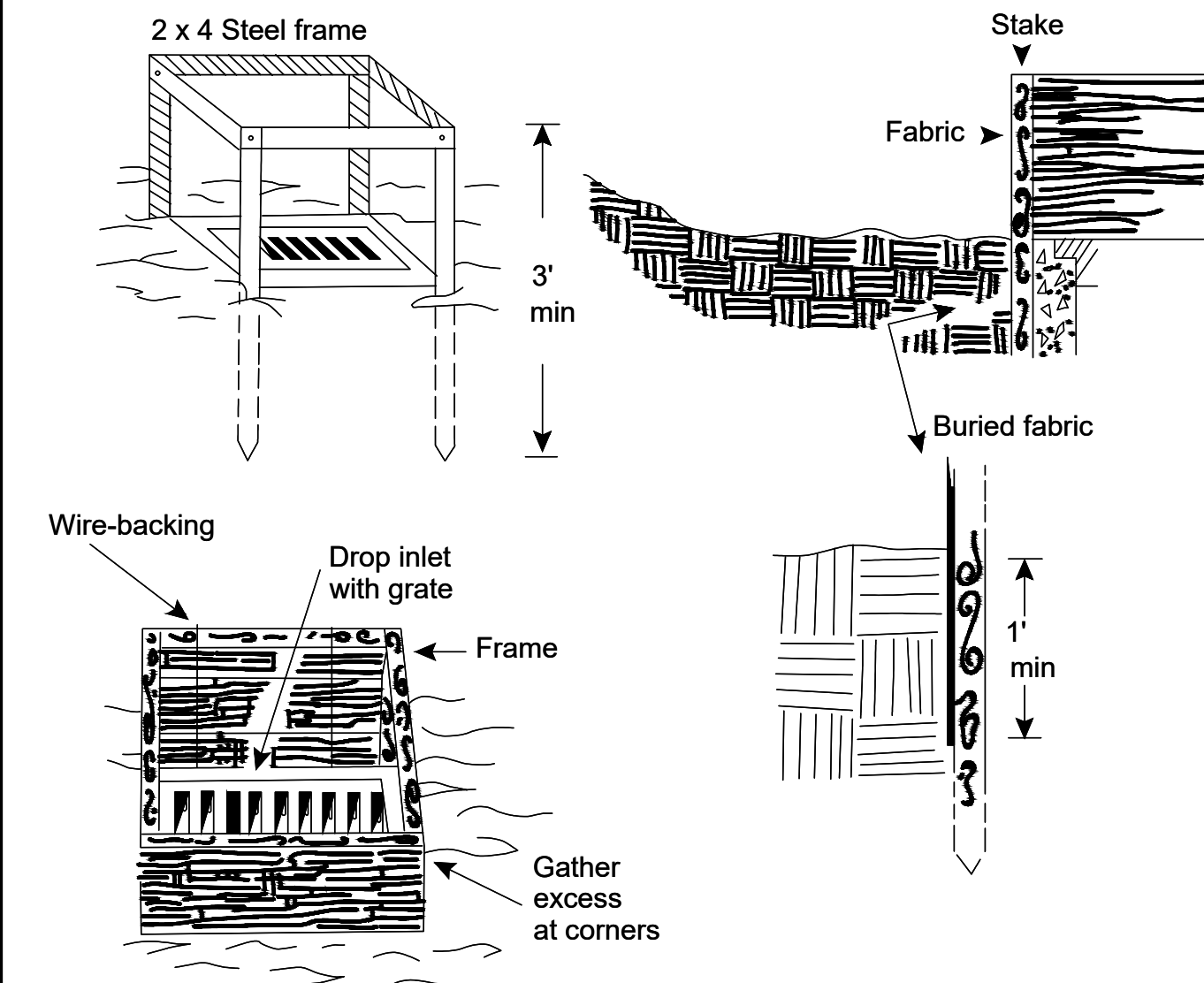
SHEET:



COURTESY OF CITY OF KNOXVILLE BMP EROSION AND SEDIMENT



Sd4-C
TEMPORARY SEDIMENT TRAP W/ ROCK OUTLET
NTS



Sd2-F
INLET SEDIMENT TRAP FABRIC AND FRAME
NTS



12/02/21
CERTIFIED DESIGN
PROFESSIONAL:
Jessica Vick, P.E.
LEVEL II CERTIFICATION #: 0000062699

REVISIONS

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EROSION CONTROL DETAILS

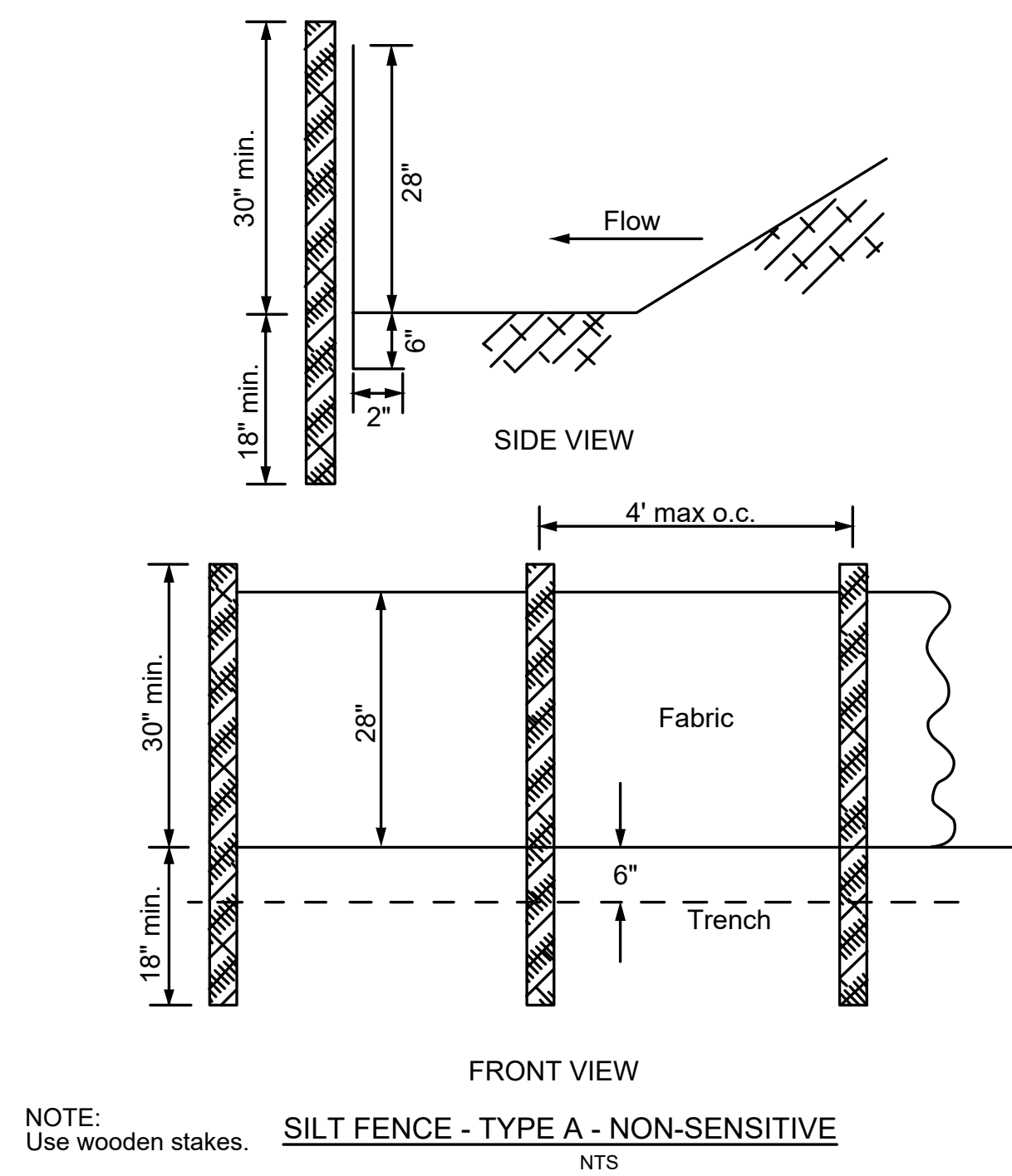
**Rice Creek Phase 5
Port Wentworth**
PREPARED FOR:
Rice Creek Investors #7, LLC

DATE: 12/02/21
PROJECT NUMBER: 21507
DRAWN BY: JAF
CHECKED BY: JLV
SCALE: NTS

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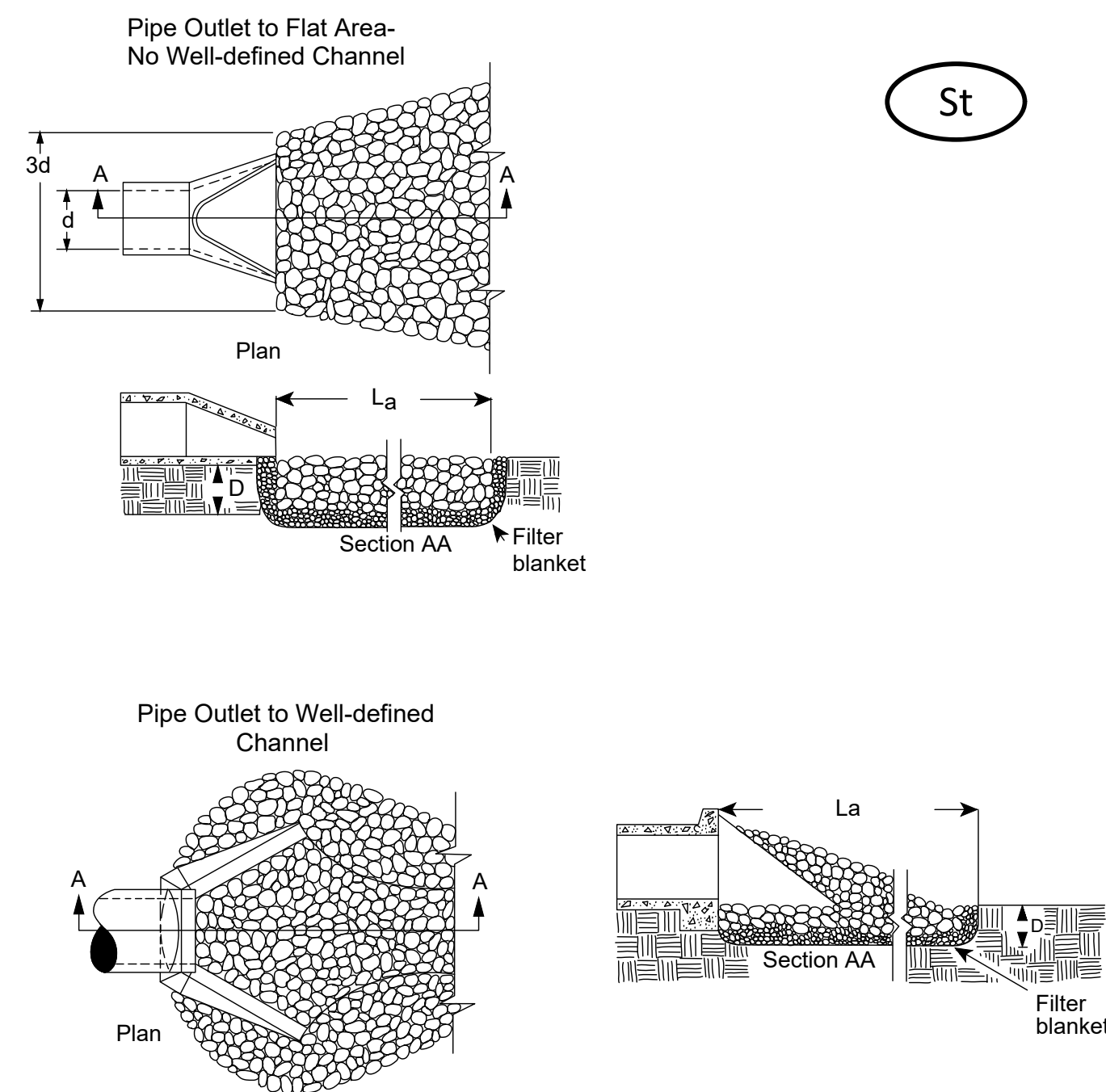
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Sd-1NS



NOTE: Use wooden stakes.
SILT FENCE - TYPE A - NON-SENSITIVE
NTS

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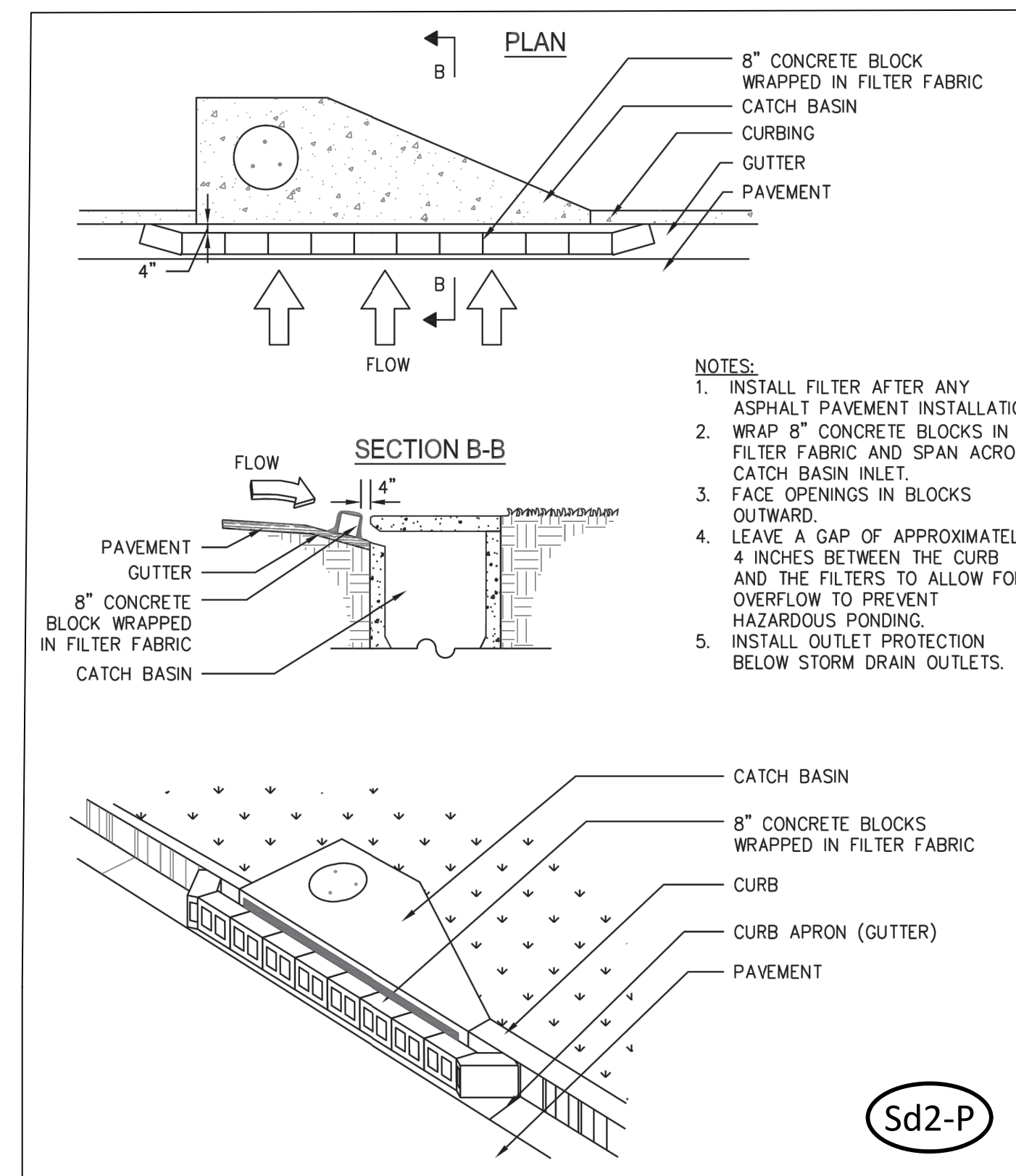


Notes

1. La is the length of the riprap apron.
2. D = 1.5 times the maximum stone diameter but not less than 6".
3. In a well-defined channel extend the apron up the channel banks to an elevation of 6" above the maximum tailwater depth of to the top of the bank, whichever is less.
4. A filter blanket or filter fabric should be installed between the riprap and soil foundation.

STORM OUTFALL PROTECTION
NTS

- NOTES:
1. INSTALL FILTER AFTER ANY ASPHALT PAVEMENT INSTALLATION.
 2. WRAP 8" CONCRETE BLOCKS IN FILTER FABRIC AND SPAN ACROSS CATCH BASIN INLET.
 3. FACE OPENINGS IN BLOCKS OUTWARD.
 4. LEAVE A GAP OF APPROXIMATELY 4 INCHES BETWEEN THE CURB AND THE FILTERS TO ALLOW FOR OVERFLOW TO PREVENT HAZARDOUS PONDING.
 5. INSTALL OUTLET PROTECTION BELOW STORM DRAIN OUTLETS.



Sd2-P

CURB INLET PROTECTION
NTS



Planning Commission
305 South Coastal Highway
Port Wentworth, GA 31407

Meeting: 03/14/22 06:30 PM
Department: Development Services
Category: Planning/Zoning Item
Prepared By: Melanie Ellis
Department Head: Brian Harvey

SUBMITTED

AGENDA ITEM (ID # 2613)

DOC ID: 2613

Subdivision Application submitted by Jessica Vick, Roberts Civil Engineering, LLC., on behalf of Landmark 24 Homes of Savannah, LLC., for PIN # 7-0906-01-031 (Miller Park Circle) located in a P-R-M (Planned Residential Multi-Family) Zoning District for a Preliminary Plat of a Major Subdivision (Rice Creek Tract C-1 Phase VI) for the purpose of Single-Family Homes

Issue/Item: Subdivision Application submitted by Jessica Vick, Roberts Civil Engineering, LLC., on behalf of Landmark 24 Homes of Savannah, LLC., for PIN # 7-0906-01-031 (Miller Park Circle) located in a P-R-M (Planned Residential Multi-Family) Zoning District for a Preliminary Plat of a Major Subdivision (Rice Creek Tract C-1 Phase VI) for the purpose of Single-Family Homes

Background: This is the Preliminary Plat Submittal for Phase VI of the Rice Creek Subdivision. Rice Creek Tract C-1 Phase VI includes twenty (20) single-family lots on approximately 4.54 acres.

Facts and Findings: The application appears to be complete. The Subdivision will be connected to City water and sanitary sewer utilities and will include the extension of Marsh Salt Lane. This application is currently under review by City engineers T.R. Long Engineering.

Funding: N/A

Recommendation: The Planning Commission will hear this application on Monday, March 14, 2022 at 6:30 P.M.

ATTACHMENTS:

- RICE CREEK TRACT C1 PH 6 PRELIMINARY PLAT MAR 22 - Application (PDF)
- RICE CREEK TRACT C1 PH 6 PRELIMINARY PLAT MAR 22 - NPDES Letter (PDF)
- RICE CREEK TRACT C1 PH 6 PRELIMINARY PLAT MAR 22 - Timeline (DOCX)
- RICE CREEK TRACT C1 PH 6 PRELIMINARY PLAT MAR 22 - 1st Review Comment Letter TR Long 3.7.22(PDF)
- RICE CREEK TRACT C1 PH 6 PRELIMINARY PLAT MAR 22 - Preliminary Plat (PDF)
- RICE CREEK TRACT C1 PH 6 PRELIMINARY PLAT MAR 22 - Site Plan 1.3.22 (PDF)

220009

**SUBDIVISION APPLICATION FORM
FOR THE
CITY OF PORT WENTWORTH**

RECEIVED
JAN 05 2022
BY: *MSB*
8.D.a

Application Form Required

This application form is to accompany **all** subdivisions submitted for Port Wentworth Planning Commission review and is to be filled out in its **entirety**. Plats/subdivisions not accompanied by this application will not be accepted for processing. All subdivisions with their completed applications must be received by the City of Port Wentworth at least 20 business days prior to the Planning Commission meeting at which they are to be considered. Revisions to a subdivision under review by the Port Wentworth Planning Commission must be received 10 business days prior to the Port Wentworth Planning Commission at which each subdivision is scheduled to be heard.

Subdivision Name: Rice Creek Phase VI - Tract C-1

Location: 0 Miller Park Circle, Port Wentworth, GA 31407

Number of Lots: 20

Number of Acres: 4.54

PIN #: 70906 01031

Current Zoning: PUD-M

Type of Subdivision: (Check applicable blanks from each column)

- A. Sketch Plan
- Master Plan
- Preliminary Plat
- Final Plat
- Revision to a Recorded Plat

- B. Major Subdivision
(4 or more lots or a new road)
- Minor Subdivision
(3 or less lots & no new road)

Purpose of Subdivision:

- Single-Family
- Multi-Family
- Retail
- Other Business

- Industrial
- Institutional
- Other
- Sign

Variances: (List all variances being requested)

None

Attachment: RICE CREEK TRACT C1 PH 6 PRELIMINARY PLAT MAR 22 - Application (2613 : Subdivision Application Rice Creek Tract C-1 Ph

Georgia DOT Review

In all applications in which property being subdivided lies along a State Highway or access is needed from a State Highway, all applicants are required to submit a plat to the Georgia Department of Transportation for review. The subdivision application will not be considered by the Port Wentworth Planning Commission until the Georgia Department of Transportation has commented on the subdivision. The comments must accompany the application.

Previous Submittal

Has this tract of land being proposed for subdividing been submitted to the Port Wentworth Planning Commission under a different subdivision name?

Yes _____

No _____

If yes, what name? _____

Date Submitted: _____

PWPC File No: _____

Number of Required Prints

All submittals, regardless of type, shall include fifteen (15) prints. **Final Plats must include a copy of the plat scanned to a CD along with the fifteen (15) printed copies. Stamp must be in contrasting ink.**

Statements as to Covenants/Deed Restrictions: (Check One)

A copy of all existing deed restrictions or subdivision covenants applicable to this property are attached.

There are no added restrictions or subdivision covenants on this property.

Contact Person (s): (Type or Print Legibly)

Engineer/Surveyor: Roberts Civil Engineering - Jessica Vick, P.E.

Address: 6001 Chatham Center Dr., Suite 255 Savannah, GA

Zip Code: 31405

Phone #: 912-298-7006

Fax #: _____

Owner: Landmark 24 Homes of Savannah, LLC - Cole Chenowith

Address: 2702 Whatley Ave, Savannah, GA

Zip Code: 31404

Phone #: 912-925-3440

Fax #: _____

Date of Submittal: 12-20-2021

Attachment: RICE CREEK TRACT C1 PH 6 PRELIMINARY PLAT MAR 22 - Application (2613 : Subdivision Application Rice Creek Tract C-1 PH

Please list all property owners that are adjacent to the parcel to be subdivided including those across the public right-of-way:

Please see the attached list

Multiple horizontal lines for listing property owners.

Certifications

- 1. I hereby certify that this proposed subdivision/plan does not violate any covenants or deed restrictions currently in effect for the property being subdivided.
2. I hereby certify that all taxes applicable to this property have been paid and that there are no delinquent taxes outstanding.
3. I hereby certify that I am the owner of the property being proposed for subdivision.
4. I hereby certify that all the information pertained in this application is true and correct.

DocuSigned by: Cole Chenoweth
134762836A304D3...
Signature of Owner

Comments: Place any pertinent comments you wish to make in the following space:

Large empty space for providing comments.

Submit this form along with the proposed subdivision and any accompanying information to:

CITY OF PORT WENTWORTH
7306 HIGHWAY 21, SUITE 301
PORT WENTWORTH, GEORGIA 31407

Attachment: RICE CREEK TRACT C1 PH 6 PRELIMINARY PLAT MAR 22 - Application (2613 : Subdivision Application Rice Creek Tract C-1 Ph

Adjacent Property Owners Within 250 Feet of the Project Property Lines

OWNER NAME	ADDRESS	PIN #
RICE CREEK INVESTORS NO 2 LLC	15 Marsh Salt Ln, PORT WENTWORTH, GA	70906C16008
RICE CREEK INVESTORS NO 2 LLC	17 Marsh Salt Ln, PORT WENTWORTH, GA	70906C16009
RICE CREEK INVESTORS NO 2 LLC	38 Marsh Salt Ln, PORT WENTWORTH, GA	70906C16030
RICE CREEK INVESTORS NO 2 LLC	40 Marsh Salt Ln, PORT WENTWORTH, GA	70906C16031
RICE CREEK INVESTORS NO 2 LLC	42 Marsh Salt Ln, PORT WENTWORTH, GA	70906C16032
RICE CREEK INVESTORS NO 2 LLC	44 Marsh Salt Ln, PORT WENTWORTH, GA	70906C16033
RICE CREEK INVESTORS NO 2 LLC	46 Marsh Salt Ln, PORT WENTWORTH, GA	70906C16034
RICE CREEK INVESTORS NO 2 LLC	48 Marsh Salt Ln, PORT WENTWORTH, GA	70906C16035
DONNA EDWARDS, TRUSTEE, OR HER SUCCESSOR	87 BURNT OAK RD, PORT WENTWORTH, GA	70906C11031
KELLY BEULAH M.	92 BURNT OAK RD, PORT WENTWORTH, GA	70906C11051
RICE CREEK INVESTORS NO 2 LLC	94 BURNT OAK RD, PORT WENTWORTH, GA	70906C11050
HYMAN BRUCE MARTIN NATALIE JEAN	HYMAN 96 BURNT OAK RD, PORT WENTWORTH, GA	70906C11049
FAMBLE WARREN & HUNTER TERADESHIA M	98 BURNT OAK RD, PORT WENTWORTH, GA	70906C11048
GARDENHIRE CANTON	100 BURNT OAK RD, PORT WENTWORTH, GA	70906C11047
PHILADELPHIA DENESHEA DANIELLE	102 BURNT OAK RD, PORT WENTWORTH, GA	70906C11046
BLUNT, SR BERNARD E. & BLUNT CYNTHIA B.	104 BURNT OAK RD, PORT WENTWORTH, GA	70906C11045
READY JAMECIA	106 BURNT OAK RD, PORT WENTWORTH, GA	70906C11044
PATTEN ZACHARY AARON & PATTEN CRYSTAL MICHELLE	108 BURNT OAK RD, PORT WENTWORTH, GA	70906C11043
JOHNSON JORDAN CHRISTOPHER & JOHNSON SARA EMILY	4 CORONEDO LANE, PORT WENTWORTH, GA	70906C11024
STARLING KENDRIC R.	6 CORONEDO LANE, PORT WENTWORTH, GA	70906C11025
BOPP JAMIE L & JAMIE LYNN *	7 CORONEDO LANE, PORT WENTWORTH, GA	70906C10014
DIXON VERONICA L	8 CORONEDO LANE, PORT WENTWORTH, GA	70906C11026
BOSTICK & BING ANTONIO & WHITNEY*	9 CORONEDO LANE, PORT WENTWORTH, GA	70906C10015
WARE PHILLIP	10 CORONEDO LANE, PORT WENTWORTH, GA	70906C11027
CAMPFIELD SAM II	11 CORONEDO LANE, PORT WENTWORTH, GA	70906C10016
LANDON JARVIS J	12 CORONEDO LANE, PORT WENTWORTH, GA	70906C11028
HERNDON JOHN HERNDON ANNA D.	13 CORONEDO LANE, PORT WENTWORTH, GA	70906C10017
TART JONATHAN LORENZO & FLOR M*	15 CORONEDO LANE, PORT WENTWORTH, GA	70906C10018

Attachment: RICE CREEK TRACT C1 PH 6 PRELIMINARY PLAT MAR 22 - Application (2613 : Subdivision Application Rice Creek Tract C-1 Ph

RENE RONALD & RENE MARIE CLAUDE	89 BURNT OAK RD, PORT WENTWORTH, GA	70906C11032
RAMOS JOSE E. & ALICEA-SOTO EDGARDO J.	91 BURNT OAK RD, PORT WENTWORTH, GA	70906C11033
ANCRUM DERRICK T.	93 BURNT OAK RD, PORT WENTWORTH, GA	70906C11034
GRAVES JENNIFER A.	95 BURNT OAK RD, PORT WENTWORTH, GA	70906C11035
COOPER DOMONICK L.	97 BURNT OAK RD, PORT WENTWORTH, GA	70906C11036
BRYANT JAMORI R.	99 BURNT OAK RD, PORT WENTWORTH, GA	70906C11037
GRACE AUNDRELL	101 BURNT OAK RD, PORT WENTWORTH, GA	70906C11038
SHELLMAN FELICIA	103 BURNT OAK RD, PORT WENTWORTH, GA	70906C11039
RICHEY LOREAL TIERA	105 BURNT OAK RD, PORT WENTWORTH, GA	70906C11040
LOPEZ JOMAR ACEVEDO	107 BURNT OAK RD, PORT WENTWORTH, GA	70906C11041
HUBERT KRISTEN NICOLE* & HUBERT DANIEL P.	109 BURNT OAK RD, PORT WENTWORTH, GA	70906C11042
RICE CREEK INVESTORS NO 7 LLC	0 Miller Park Circle, Port Wentworth, GA 31407	70906 01031
ROBERTS-SMITH LOUKISHA M	15 HERITAGE RD, Port Wentworth, GA 31407	70906C15015
BRISBON LASHAWN F	10 HERITAGE RD, Port Wentworth, GA 31407	70906C10004
BROWN GLORIA G	12 HERITAGE RD, Port Wentworth, GA 31407	70906C10003
BURNETT CYNTHIA R	14 HERITAGE RD, Port Wentworth, GA 31407	70906C10002
DAVIS CONSWEULO	16 HERITAGE RD, Port Wentworth, GA 31407	70906C10001
WALLACE & WALLACE-MILSON KENNETH & PHYLL	121 MILLER PARK CIR, PORT WENTWORTH, GA 31407	70906C09003
SAMS DARNIKI AISHA & JAMES	123 MILLER PARK CIR, PORT WENTWORTH, GA 31407	70906C09004
BAILEY DOUGLAS W. & BURGOA MELANIE F.	125 MILLER PARK CIR, PORT WENTWORTH, GA 31407	70906C09005
SCOTT DENISE PINCKNEY	127 MILLER PARK CIR, PORT WENTWORTH, GA 31407	70906C09006
BING PHILLIP REID	129 MILLER PARK CIR, PORT WENTWORTH, GA 31407	70906C09007

CITY OF PORT WENTWORTH
(912) 964-4379

REC#: 00339246 1/07/2022 2:41 PM
OPER: ME TERM: 011
REF#: CK 1269

TRAN: 112.0000 BLDG PERMIT
220009 1,466.00CR
LANDMARK 24 HOMES OF SAVANNAH
7-0906-01-031
I-SUBDIV 1,466.00CR

TENDERED: 1,466.00 CHECK
APPLIED: 1,466.00-

CHANGE: 0.00

WWW.CITYOFPORTWENTWORTH.COM

Attachment: RICE CREEK TRACT C1 PH 6 PRELIMINARY PLAT MAR 22 - Application (2613 : Subdivision Application Rice Creek Tract C-1 Ph



Richard E. Dunn, Director

Watershed Protection Branch

Coastal District Office

400 Commerce Center Drive

Brunswick, Georgia 31523-8251

Phone: 912-264-7284; Fax: (912) 262-3160

December 27, 2021

Rice Creek Investors #7
c/o Cole Chenowith
chenowith@landmark24.com

Re: Proposed Land Disturbing Activity
Rice Creek Phase 6
Chatham County, Georgia
File: SW-025-04-160

Dear Mr. Chenowith:

In accordance with the General NPDES Permit No. GAR100003 for Storm Water Discharges Associated with Construction Activities for Common Developments, issued by the Georgia Environmental Protection Division (EPD) in August 2018, this Project has been reviewed for deficiencies in the identification of waters of the state and potential encroachment of land disturbing activities within 25 foot immediately adjacent and upland of the identifiable point from which the State mandated buffer is measured.

Based upon this review, the EPD has determined the following:

- (1) The project does **not** have deficiencies in the identification of waters of the state.
- (2) The project will **not** require a buffer variance from the EPD.

However, the EPD reserves the right to change this determination if information that conflicts with the original submittal is obtained during a later site inspection.

Additionally, in accordance with the General NPDES Permit No. GAR100003, each Erosion, Sedimentation and Pollution Control Plan (ESPCP) submittal shall include a completed and applicable ESPCP Checklist established by the Georgia Soil and Water Conservation as of January 1 of the year in which the land-disturbing activity was permitted.

Attachment: RICE CREEK TRACT C1 PH 6 PRELIMINARY PLAT MAR 22 - NPDES Letter (2613 : Subdivision Application Rice Creek Tract C-1 Ph

Rice Creek Phase 6
Page 2

A deficient ESPCP is a violation of the NPDES Permit. If violations occur on the proposed project site and enforcement actions become necessary, a deficient ESPCP may increase the fines incurred. The applicable Checklist as well as a guidance document are available on the Georgia EPD website @ <http://epd.georgia.gov>.

Based upon this review, EPD has determined the following:

- (1) The ESPCP for this Project does **not** have deficiencies.

If additional information is required, please contact me at 912-230-4880.

Sincerely,



Shannon K. Winsness
Environmental Specialist

cc: Robert Civil Engineering
c/o Jessica Vick
jvick@robertscivilengineering.com

Alice Vick
EPD Coastal District Office
400 Commerce Center Drive
Brunswick, GA 31523-8251

File: SW-025-04-160

Project Timeline

Project Number: 220009

Project Name: Rice Creek Tract C1 Phase 6 – Preliminary Plat

Applicant / Engineer: Jessica Vick, Roberts Civil Engineering

Owner: Landmark 24 Homes of Savannah

City Review Engineer: TR Long

- 1/5/2022 – Application Received: Complete
- 1/13/2022 – sent project documents to TR Long for review.
- 2/16/2022 – sent email to Trent Long for review update.
- 2/24/2022 – sent public hearing notice to Savannah Morning News
- 2/25/2022 – public hearing notice published in Savannah Morning News
- 2/25/2022 – mailed public hearing notice letters.
- 3/7/2022 – sent email to Trent Long for review update.
- 3/7/2022 – received 1st comment letter from TR Long.
- 3/8/2022 – Forwarded comment letter to Robert Civil Engineering.

114 North Commerce Street
Hinesville, Georgia 31313
Office: (912) 368-5664
Fax: (912) 368-7206



308 Commercial Drive
Savannah, Georgia 31406
Office: (912) 335-1046
Fax: (912) 355-1642

March 7, 2022

Mr. Brian Harvey
City of Port Wentworth
7224 Georgia Highway 21
Port Wentworth, Georgia 31407

Re: Rice Creek Subdivision – Phase 6
Port Wentworth, Georgia

Dear Mr. Harvey,

T. R. Long Engineering, P.C. has reviewed the "Site Construction Plans, Rice Creek Phase 6" prepared by Roberts Civil Engineering dated January 3, 2022. We offer the following comments:

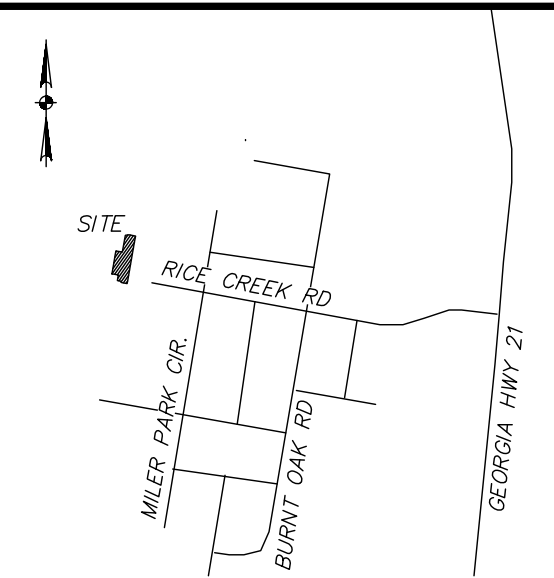
1. The plans do not include any benchmarks or control point references. Additionally, the north arrow does not indicate whether project is magnetic or state plane. Please update the plan accordingly.
2. Please provide copy of Erosion and Sedimentation Control Plans for the above referenced project.
3. Provide a fire hydrant assembly at Huntington Road instead of an 8" blowoff valve. Terminate the line with an 8" gate valve in a manhole.
4. Please provide pressure test and fire flow calculations for the new water line.
5. Please clarify the note to the contractor to use 2" asphalt concrete surface "E" mix over the typical roadway section. Is this just replacing the 1.5" topping or the entire pavement section?
6. All unsuitable soil in roadway and/or under utilities, shall be removed and replaced with structural fill.
7. Please update the drainage plan to reflect the pipe network shown in the master drainage report revised 1/31/2022.

Should you have any questions, comments, or need additional information please contact us.

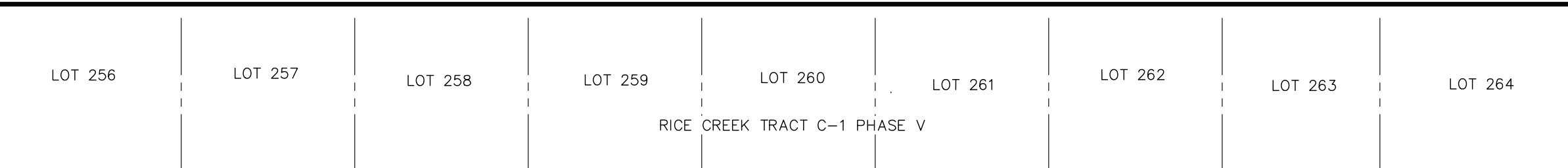
Sincerely,

A handwritten signature in blue ink that reads "Trent R. Long".

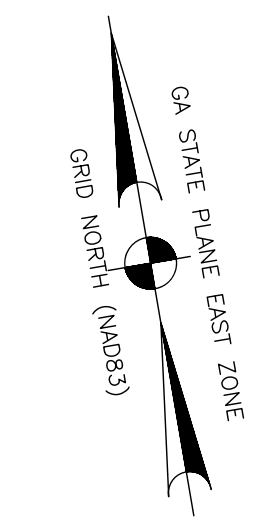
Trent R. Long, P.E.



THIS BLOCK IS RESERVED FOR THE CLERK OF SUPERIOR COURT
VICINITY MAP NOT TO SCALE



CURVE	RADIUS	ARC LENGTH	CHORD LENGTH	CHORD BEARING	DELTA ANGLE
C1	20.00'	31.42'	28.28'	S35°20'12"E	90°00'00"
C2	20.00'	31.39'	28.27'	N35°25'58"W	89°59'57"
C3	20.00'	31.46'	28.31'	N54°36'04"E	90°07'28"



BREWER LAND SURVEYING
 604 U.S. Highway 80 W
 Pooler, GA 31322
 info@brewersurvey.com
 Phone (912) 856-2205
 www.BrewerSurvey.com
 LSF # 1095

SURVEYOR'S SPECIAL NOTE

NO FIELD WORK HAS BEEN PERFORMED BY BREWER LAND SURVEYING FOR THIS PRELIMINARY PLAT. PROPOSED LOT LINES TAKEN FROM ENGINEERING PLANS BY ROBERTS CIVIL ENGINEERING. BREWER LAND SURVEYING WILL PERFORM FIELD SURVEY ON THIS SUBDIVISION PRIOR TO FINAL PLAT BEING SUBMITTED.

- REFERENCES**
1. P.R.B. 34-P PG 73
 2. S.M.B. 40-S PG 68
 3. P.R.B. 46-P PG 42
 4. P.B. 50 PG 137
 5. P.B. 51 PG 569
 6. P.B. 53 PG 206

- LEGEND**
- IRF 1/2" IRON ROD FOUND
 - ⊗ XF X FOUND IN CONCRETE
 - ⊙ IRS 5/8" IRON ROD SET
 - B.S.L. BUILDING SETBACK LINE
 - ◻ CMS CONCRETE MONUMENT SET
 - ADDRESS

- SURVEYOR'S NOTES**
1. ALL COORDINATES AND BEARINGS ARE BASED ON GEORGIA STATE PLANE COORDINATE SYSTEM, NAD 83, EAST ZONE.
 2. ACCORDING TO THE FLOOD INSURANCE RATE MAP AS PREPARED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY, THIS PROPERTY LIES IN ZONE X, NOT WITHIN A 100 YEAR FLOOD HAZARD AREA. SEE COMMUNITY PANEL NO. 1305100300, DATED 08/16/2018.
 3. THIS PROPERTY IS SUBJECT TO ANY AND ALL EASEMENTS, COVENANTS, OR RESTRICTIONS EITHER RECORDED OR UNRECORDED.
 4. THIS PROPERTY IS SERVED BY CITY OF PORT WENTWORTH WATER AND SEWER SYSTEMS.
 5. THE PUBLIC RECORDS REFERENCED WERE USED FOR THE ESTABLISHMENT OF THE BOUNDARY OF THIS PROPERTY. THEY ARE NOT AND DO NOT CONSTITUTE A TITLE SEARCH.
 6. THE PARENT TRACT TAX PARCEL NUMBER OF THIS PROPERTY IS 7-0906-01-031
 7. THE CERTIFICATION, AS SHOWN HEREON, IS PURELY A STATEMENT OF PROFESSIONAL OPINION BASED ON KNOWLEDGE, INFORMATION AND BELIEF, AND BASED ON EXISTING FIELD EVIDENCE AND AVAILABLE DOCUMENTS. THE CERTIFICATION IS NOT AN EXPRESSED OR IMPLIED WARRANTY OR GUARANTEE.
 8. THIS SUBDIVISION CONTAINS A TOTAL AREA OF 4.12 ACRES
- LOT AREA 2.89 ACRES
 RIGHT-OF-WAY AREA 1.23 ACRES

SURVEYOR'S CERTIFICATION

AS REQUIRED BY SUBSECTION (d) OF O.C.G.A. SECTION 15-6-67, THIS PLAT HAS BEEN PREPARED BY A LAND SURVEYOR AND APPROVED BY ALL APPLICABLE LOCAL JURISDICTIONS FOR RECORDING AS EVIDENCED BY APPROVAL CERTIFICATES, SIGNATURES, STAMPS, OR STATEMENTS HEREON. SUCH APPROVALS OR AFFIRMATIONS SHOULD BE CONFIRMED WITH THE APPROPRIATE GOVERNMENTAL BODIES BY ANY PURCHASER OR USER OF THIS PLAT AS TO INTENDED USE OF ANY PARCEL. FURTHERMORE, THE UNDERSIGNED LAND SURVEYOR CERTIFIES THAT THIS PLAT COMPLIES WITH THE MINIMUM TECHNICAL STANDARDS FOR PROPERTY SURVEYS IN GEORGIA AS SET FORTH IN THE RULES AND REGULATIONS OF THE GEORGIA BOARD OF REGISTRATION FOR PROFESSIONAL ENGINEERS AND LAND SURVEYORS AND AS SET FORTH IN O.C.G.A. SECTION 15-6-67.

JAMES CRAIG BREWER GA PLS# 3022 DATE _____



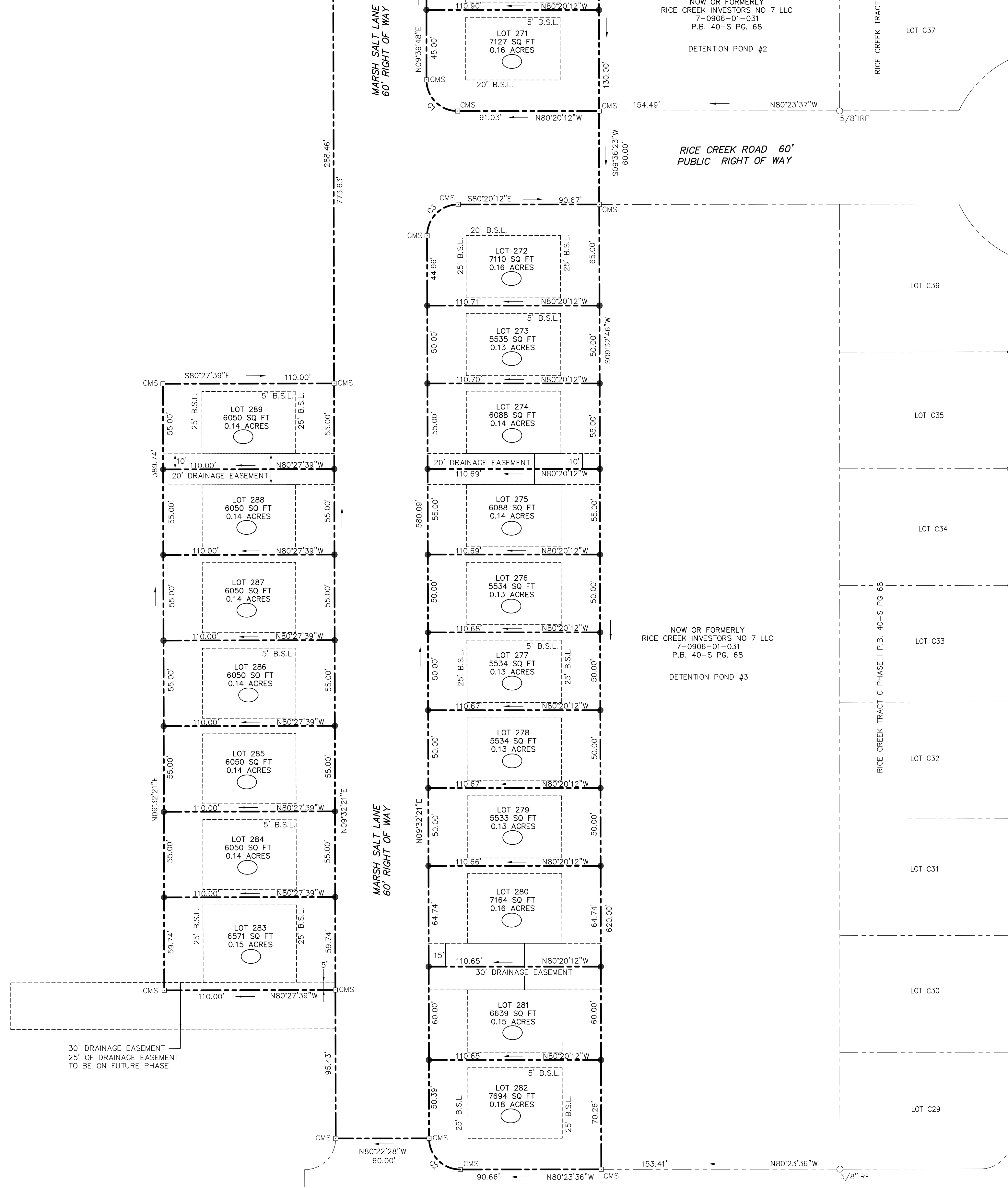
THE FOLLOWING GOVERNMENTAL BODIES HAVE APPROVED THIS PLAT FOR FILING:

APPROVED BY MAYOR AND CITY COUNCIL, PORT WENTWORTH

OFFICE	DATE
MAYOR	_____
COUNCILMAN	_____
COUNCILMAN	_____
COUNCILMAN	_____
COUNCILMAN	_____
COUNCILMAN	_____
COUNCILMAN	_____
COUNCILMAN	_____
COUNCILMAN	_____
COUNCILMAN	_____

OWNER OR ATTORNEY AS AGENT _____ DATE _____

ALL STREETS, RIGHT-OF-WAY, EASEMENTS AND ANY SITES FOR PUBLIC USE AS NOTED ON THIS PLAT ARE HEREBY DEDICATED TO THE CITY OF PORT WENTWORTH FOR THE USE INTENDED. SUCH DEDICATIONS ARE MORE SPECIFICALLY DESCRIBED IN THE DEED THAT ACCOMPANIES THIS PLAT.



MILLER PARK CIRCLE 60' PUBLIC RIGHT OF WAY

HUNTINGTON ROAD 60' PUBLIC RIGHT OF WAY

A PRELIMINARY SUBDIVISION PLAT OF
RICE CREEK - TRACT C-1 - PHASE VI
 8TH G.M. DISTRICT, CITY OF PORT WENTWORTH, CHATHAM COUNTY, GEORGIA

PREPARED FOR:
ROBERTS CIVIL ENGINEERING, INC.

PROJECT #:	210267
FIELD DATE:	05/10/2021
DRAWING DATE:	12/13/2021
LAST REVISED:	N/A
DRAWN BY:	SCB
SCALE:	1"=40'
SHEET:	1 OF 1

EQUIPMENT USED: TOTAL STATION
 ANGULAR ERROR = 9" PER POINT
 ADJUSTED BY: COMPASS RULE
 PLAT CLOSURE = 1/264,207
 FIELD CLOSURE = 1/27,397

SITE CONSTRUCTION PLANS

Rice Creek Phase 6



VICINITY MAP		NTS
Port Wentworth		
Rice Creek Phase 6		
<p style="text-align: center;"><u>OWNER</u> Landmark 24, LLC <u>CONTACT</u> Cole Chenoweth <u>EMAIL</u> cchenowith@landmark24.com 912-925-3440</p>	<p style="text-align: center;"><u>ENGINEER</u> ROBERTS CIVIL ENGINEERING <u>CONTACT</u> Jessica Vick, P.E. jvick@robertscivilengineering.com 912-977-5244</p>	
#	REVISIONS	
1		
2		
3		
4		
5		
01/03/2022: ORIGINAL ISSUE DATE		RCE PROJECT NUMBER: 21508
CONTENTS		
SHEET		DATE
0	COVER	01/03/22
1	GENERAL NOTES	01/03/22
2	EXISTING CONDITIONS	01/03/22
3	STAKING PLAN	01/03/22
4	DETAILED GRADING PLANS	01/03/22
5	ROAD PROFILE	01/03/22
6	STORM SEWER PLAN	01/03/22
7	STORM PROFILE	01/03/22
8	SANITARY PLAN	01/03/22
9	SANITARY PROFILE	01/03/22
10	WATER PLAN	01/03/22
11	RECLAIMED WATER PLAN	01/03/22
D1-D4	CONSTRUCTION PLANS	01/03/22
COVER		

PREPARED FOR:
Landmark 24, LLC
2702 Whatley Ave, Ste. B-1
Savannah, GA 31404
912-925-3440



ROBERTS
CIVIL ENGINEERING
WWW.ROBERTSCIVILENGINEERING.COM

301 SEA ISLAND ROAD, SUITE 10
ST. SIMONS ISLAND, GA 31522
912-638-9681

6001 CHATHAM CENTER DRIVE, SUITE 255
SAVANNAH, GA 31405
912-298-7006

14600 WHIRLWIND AVENUE, SUITE 119A
JACKSONVILLE, FL 32218
904-741-0099

4000 FABER PLACE DRIVE, SUITE 300
NORTH CHARLESTON, SC 29405
843-323-4224



GENERAL NOTES

1. ALL CONSTRUCTION METHODS AND MATERIALS SHALL CONFORM TO ALL APPLICABLE FEDERAL, STATE, AND LOCAL LAWS.
2. ALL PERMITS NECESSARY FOR CONSTRUCTION SHALL BE OBTAINED BY CONTRACTOR.
3. ANY DEVIATIONS FROM THE PLANS ARE PROHIBITED WITHOUT THE WRITTEN CONSENT OF THE ENGINEER.
4. THE CONTRACTOR IS TO IMMEDIATELY CONTACT THE ENGINEER IF ANY UNFORESEEN COMPLICATIONS OR DISCREPANCIES OCCUR.
5. CONTRACTOR SHALL COORDINATE THE CONSTRUCTION OF ALL UTILITIES ON SITE WITH THE APPROPRIATE PROVIDER (e.g. POWER, PHONE, CABLE, ETC.)
6. THE ENGINEER SHALL NOT BE HELD RESPONSIBLE FOR THE PHYSICAL CONSTRUCTION OF THE SITE.
7. CONTRACTOR SHALL MAINTAIN A SAFE SITE AND MEET ALL APPROPRIATE REGULATIONS CONCERNING SAFETY.
8. SURVEY DATA PROVIDED BY:
BREWER LAND SURVEYING
604 U.S. HIGHWAY 80
POOLER, GA 311322
(912)856-2205
9. EXISTING SURVEY INFORMATION TO BE VERIFIED BY CONTRACTOR PRIOR TO CONSTRUCTION. CONTRACTOR TO NOTIFY ENGINEER OF ANY DISCREPANCIES IN FIELD OBSERVATIONS VERSUS SURVEY DATA.
10. CONTRACTOR TO LOCATE ALL UTILITIES PRIOR TO CONSTRUCTION BY CALLING THE CALL BEFORE YOU DIG HOTLINE: 811.
11. ACCORDING TO FEMA FLOOD INSURANCE RATEMAPS 1305100030G DATED 8/16/2018 THE SITE IS LOCATED IN ZONE X.
12. HORIZONTAL DATUM BASED ON GEORGIA STATE PLANE COORDINATE SYSTEM, EAST ZONE. NAD83. VERTICAL DATUM BASED ON NAVD 88.

ADA NOTES:

1. THE CONTRACTOR IS RESPONSIBLE FOR ADHERING TO ALL CURRENT ADA REQUIREMENTS.
2. THE EXTERIOR ACCESSIBLE ROUTE SHALL HAVE A MINIMUM WIDTH OF 3 FEET. IF THE ACCESSIBLE ROUTE CLEAR WIDTH IS LESS THAN 5 FEET, THEN 6"x5" PASSING SPACES SHALL BE PROVIDED EVERY 20' OR LESS. INTERSECTING SIDEWALKS MEET THIS REQUIREMENT.
3. THE FINISHED SURFACE HEIGHT DIFFERENCE REQUIREMENTS SHALL MEET THE FOLLOWING:
0 - 1/2" NO REQUIREMENTS
1/2" - 1/2" BEVEL WITH 1:2 SLOPE
GREATER THAN 1/2" CONFORM TO RAMP REQUIREMENTS
4. RAMPS SHALL MEET THE FOLLOWING CONSTRAINTS:
MAX SLOPE 1:12
MAX RAMP RISE IS 30"
MAX RAMP LENGTH IS 30'
MAX CROSS SLOPE IS 2.00%
5. RAMP LANDINGS SHALL MEET THE FOLLOWING CONSTRAINTS:
A MINIMUM 5' LONG LEVEL LANDING AT LEAST AS WIDE AS THE RAMP SHALL BE PLACED AT THE TOP AND BOTTOM OF THE RAMP.
LANDING SHALL BE MINIMUM 6'x5' WHERE RAMP CHANGES DIRECTION.
LANDINGS SHALL NOT EXCEED A 2.00% SLOPE
6. HANDRAILS SHALL MEET THE FOLLOWING CONSTRAINTS:
IF RAMP RISE IS GREATER THAN 6", THEN HANDRAILS ARE REQUIRED ON BOTH SIDES OF RAMP. MINIMUM OF 12" LONG HANDRAIL EXTENSIONS SHALL BE PROVIDED AT THE TOP AND BOTTOM OF LANDINGS.

EARTHWORK AND PAVING

1. CONTRACTOR TO REMOVE ALL UNSUITABLE MATERIAL SUCH THAT THERE IS A MINIMUM 2" SEPARATION BETWEEN THE PLASTIC CLAY LAYER AND THE BOTTOM OF THE FOOTINGS, BOTTOM OF SLAB-ON-GRADE, AND BOTTOM OF PAVEMENT SECTIONS.
2. THE UPPER 12 INCHES OF SUBGRADE BELOW THE PAVEMENT AND BUILDINGS SHALL BE SCARIFIED AND RECOMPACTED TO 100% STANDARD PROCTOR MAX DRY WEIGHT DENSITY WITH A MOISTURE CONTENT WITHIN 2% OF THE OPTIMUM MOISTURE CONTENT.
3. IN AREAS WHERE STRUCTURAL FILL IS REQUIRED, THE FILL SHALL BE PLACED IN LIFTS OF 6 INCHES AND COMPACTED TO 100% STANDARD PROCTOR MAX DRY WEIGHT DENSITY. STRUCTURAL FILL SHALL CONSIST OF GRANULAR SOIL CONTAINING LESS THAN 10% MATERIAL PASSING THE NO 200 SIEVE.
4. ALL FILLING AND EXCAVATION SHALL BE COMPLETED PRIOR TO THE INSTALLATION OF ANY UTILITIES.
5. CONTRACTOR TO PROVIDE TEST RESULTS OF SUBGRADE AND BASE COURSE COMPACTION TO ENGINEER.

GRADING & DRAINAGE NOTES:

1. STORM PIPES SHALL BE JOINED PER DOT SPECIFICATIONS.
2. ALL PIPE SHALL BE INSTALLED IN NEW CONDITION.
3. A RIGHT OF WAY WORK PERMIT MAY BE REQUIRED BEFORE ANY WORK CAN BE DONE IN THE RIGHT OF WAY.
4. ALL STORM DRAINAGE PIPING SHALL BE CONSTRUCTED PER DOT SPECS.
5. ALL STORM DRAINAGE PIPING JOINTS SHALL BE WRAPPED IN FILTER FABRIC.
6. CONTRACTOR TO REQUEST CONFIRMATION OF LATEST PLAN REVISION DATE FROM ENGINEER IN WRITING PRIOR TO ORDERING MATERIALS.
7. IT IS THE CONTRACTOR'S SOLE RESPONSIBILITY TO REVIEW AND APPROVE SHOP DRAWINGS PRIOR TO ORDERING MATERIALS.
8. CONTRACTOR SHALL USE APPROVED STRUCTURAL FILL WHERE THE RIGHT-OF-WAY CROSSES THE EXISTING DITCHES.

GENERAL WATER NOTES:

1. PVC PIPE SHALL BE BLUE IN COLOR. PIPE 4" TO 12" SHALL CONFORM TO REQUIREMENTS OF AWWA C-900, DR 18 PRESSURE CASS 235 P.S.I. AND SHALL HAVE THE FOLLOWING MINIMUM WALL THICKNESS:
4" 0.267 INCHES
6" 0.383 INCHES
8" 0.503 INCHES
10" 0.617 INCHES
12" 0.733 INCHES
PIPE LESS THAN 4" IN DIAMETER SHALL CONFORM TO ASTM D-1784 AND D-2241 (SDR 21). THE PIPE SHALL HAVE A MINIMUM PRESSURE RATING OF 200 P.S.I. THE PVC PIPE SHALL BEAR THE NATIONAL SANITATION FOUNDATION SEAL OF APPROVAL.
2. FITTING FOR PVC SHALL BE DUCTILE IRON IN ACCORDANCE WITH ANSI A-21.53 (AWWA C-153). FITTINGS SHALL BE CEMENT LINED IN ACCORDANCE WITH ANSI A-21.4 (AWWA C-104). FITTINGS LESS THAN 4" SHALL BE PVC WITH RING TITE RUBBER JOINTS CONFORMING TO ASTM D-3159.
3. ALL VALVES 8" OR GREATER SHALL BE INSTALLED IN A MANHOLE. SEE CITY OF PORT WENTWORTH DETAILS W14 AND W34 FOR SPECIFICATIONS. THERE SHALL BE NO MANHOLE STEPS IN ANY STRUCTURE AT FINAL INSPECTION.
4. MAINTAIN A TEN (10) FOOT HORIZONTAL SEPARATION BETWEEN ANY EXISTING OR PROPOSED WATER MAIN AND SANITARY SEWER, STORM SEWER, OR SEWER MANHOLE.
5. WHEN A 10 FOOT HORIZONTAL SEPARATION CANNOT BE MAINTAINED, THE WATER MAIN MAY BE LAID CLOSER TO THE SEWER PROVIDED THAT THE WATER MAIN IS LAID IN A SEPARATE TRENCH AT LEAST 18 INCHES ABOVE THE TOP OF THE SEWER.
6. WATER CROSSING A SEWER SHALL BE AT LEAST 18" ABOVE THE TOP OF THE SEWER. A FULL LENGTH OF WATER PIPE SHALL BE USED AT THE CROSSING WITH THE ENDS OF THE WATER AS FAR AWAY FROM THE SEWER AS POSSIBLE.
7. VERIFY SIZE AND LOCATION OF WATER SERVICES PRIOR TO CONSTRUCTION. NOTIFY ENGINEER OF ANY DISCREPANCIES PRIOR TO ORDERING MATERIALS.
8. IF UTILITY CONFLICT IS ENCOUNTERED IN THE FIELD, SEE UTILITY CONFLICT DETAIL.

GENERAL SEWER NOTES:

1. PVC PIPE SHALL BE POLYVINYL CHLORIDE PLASTIC (PVC) AND SHALL MEET ALL REQUIREMENTS OF ASTM D 3034 SDR 26. DEPTHS LESS THAN 3 FEET SHALL BE DUCTILE IRON PIPE. ASTM D 2321 MUST BE FOLLOWED FOR THE INSTALLATION OF PVC PIPE. RUBBER RINGS SHOULD BE USED FOR CONTRACTION AND EXPANSION AT EACH JOINT. FITTINGS SHALL MEET THE SAME SPECIFICATION REQUIREMENTS AS THE PIPE. TESTS ON PVC PIPE SHALL BE DESIGNED TO PASS ALL TESTS AT 73° F. PIPE STANDARD LENGTHS SHALL BE 12.5 FEET (PLUS OR MINUS 1 INCH). PIPE SIZES AND DIMENSIONS SHALL BE AS SHOWN IN THE TABLE BELOW:

NOM SIZE	OUTSIDE DIA	MIN WALL THICKNESS
4"	4.215	0.162
6"	6.275	0.241
8"	8.400	0.323
10"	10.500	0.404
12"	12.500	0.481
2. JOINTS FOR PVC PIPE - SHALL BE INTEGRAL WALL BELL AND SPIGOT WITH A RUBBER RING GASKET. THE JOINTS SHALL CONFORM TO ASTM D 3212 AND THE GASKETS SHALL CONFORM TO ASTM F 477.
3. PRECAST CONCRETE MANHOLES- SHALL BE REINFORCED CONCRETE CONSTRUCTED IN ACCORDANCE WITH ASTM C 478 AND THE DETAILS SHOWN ON THE PLANS. THE JOINTS SHALL BE TONGUE AND GROOVE SEALED WITH FLEXIBLE GASKETS OR MASTIC SEALANT. GASKETS SHALL BE O-RING OR EQUIVALENT TO TYPE A OR B "TYLOX" CONFORMING TO ASTM C 443. MASTIC SHALL BE EQUIVALENT TO "RAM-NEK" WITH PRIMER. ALL CONTACT SURFACES OF THE MANHOLE JOINT SHALL HAVE THE PRIMER IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS.
4. FRAMES AND COVERS - SHALL BE THE EQUIVALENT OF NEENAH FOUNDRY CO. R-1668 TYPE "C" LID
5. MANHOLE STEPS - THERE SHALL BE NO MANHOLE STEPS AT FINAL INSPECTION.
6. PIPE CONNECTIONS - SHALL HAVE FLEXIBLE WATERTIGHT JOINTS AT THE POINT OF ENTRY OF ANY SEWER MAIN INTO THE MANHOLE. THE JOINT SHALL BE WEDGED RUBBER SHAPE EQUIVALENT TO "PRESS WEDGE II," OR A RUBBER SLEEVE EQUIVALENT TO "KOR-N-SEAL" OR "LOCK JOINT."
7. #12 GAUGE SINGLE STRAND COPPER TRACING WIRE SHALL BE USED OVER ALL FORCE MAIN, SANITARY SEWER, AND SERVICE LATERAL LINES.
8. SEWER EXCAVATIONS SHALL BE TO THE DESIRED DEPTHS SHOWN ON THE PLANS WITH ADHERENCE TO THE OCCUPATIONAL AND SAFETY HEALTH ADMINISTRATIONS (OSHA) REGULATIONS. IN AREAS OF UNSUITABLE SOIL CONDITIONS, THE TRENCH MAY BE REQUIRE ADDITIONAL EXCAVATION AND BACKFILLED WITH SAND, GRAVEL, OR CONCRETE.
9. SEWER PIPES SHALL BE LAID UPGRADE WITH SPIGOTS POINTING DOWNGRADE. ASSEMBLY OF JOINTS SHALL COMPLY WITH MANUFACTURER'S RECOMMENDATIONS. SEAL OPEN ENDS OF PIPES IF INSTALLATION IS INTERRUPTED. MANHOLE CONNECTIONS SHOULD BE WATER TIGHT WITH THE USE OF FLEXIBLE WATER STOPS AND RESILIENT CONNECTORS.
10. MANHOLES SHALL HAVE A CHANNEL IN THE BOTTOM THAT IS SMOOTH AND ROUNDED. MANHOLE TOP ELEVATIONS SHALL BE GREATER THAN OR EQUAL TO THE FIFTY (50) YEAR FLOOD ELEVATION, UNLESS WATERTIGHT COVERS ARE PROVIDED. OUTSIDE OF PAVED AREAS, THE MANHOLE TOP ELEVATION SHALL BE 1" ABOVE THE GROUND SURFACE IN DEVELOPED AREAS AND 6" ABOVE THE GROUND SURFACE IN UNDEVELOPED AREAS UNLESS SHOWN OTHERWISE ON THE PLANS. MANHOLES IN PAVED AREAS SHALL BE BUILT AS DESIGNATED BY THE ENGINEER. NO LEAKS IN MANHOLES ARE ACCEPTABLE.

GENERAL STORM NOTES:

1. MANHOLE STEPS - THERE SHALL BE NO MANHOLE STEPS AT FINAL INSPECTION.
2. THE MINIMUM OPENING OF ALL CURB INLETS ALONG THE GUTTER LINE IS 3'-10".
3. ALL STRUCTURES AND INLETS SHALL HAVE A MINIMUM 6" CLEARANCE FROM THE INNER STRUCTURE WALLS TO THE OUTSIDE DIAMETER OF ALL INCOMING/OUTGOING PIPES.



REVISIONS																			
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GENERAL NOTES

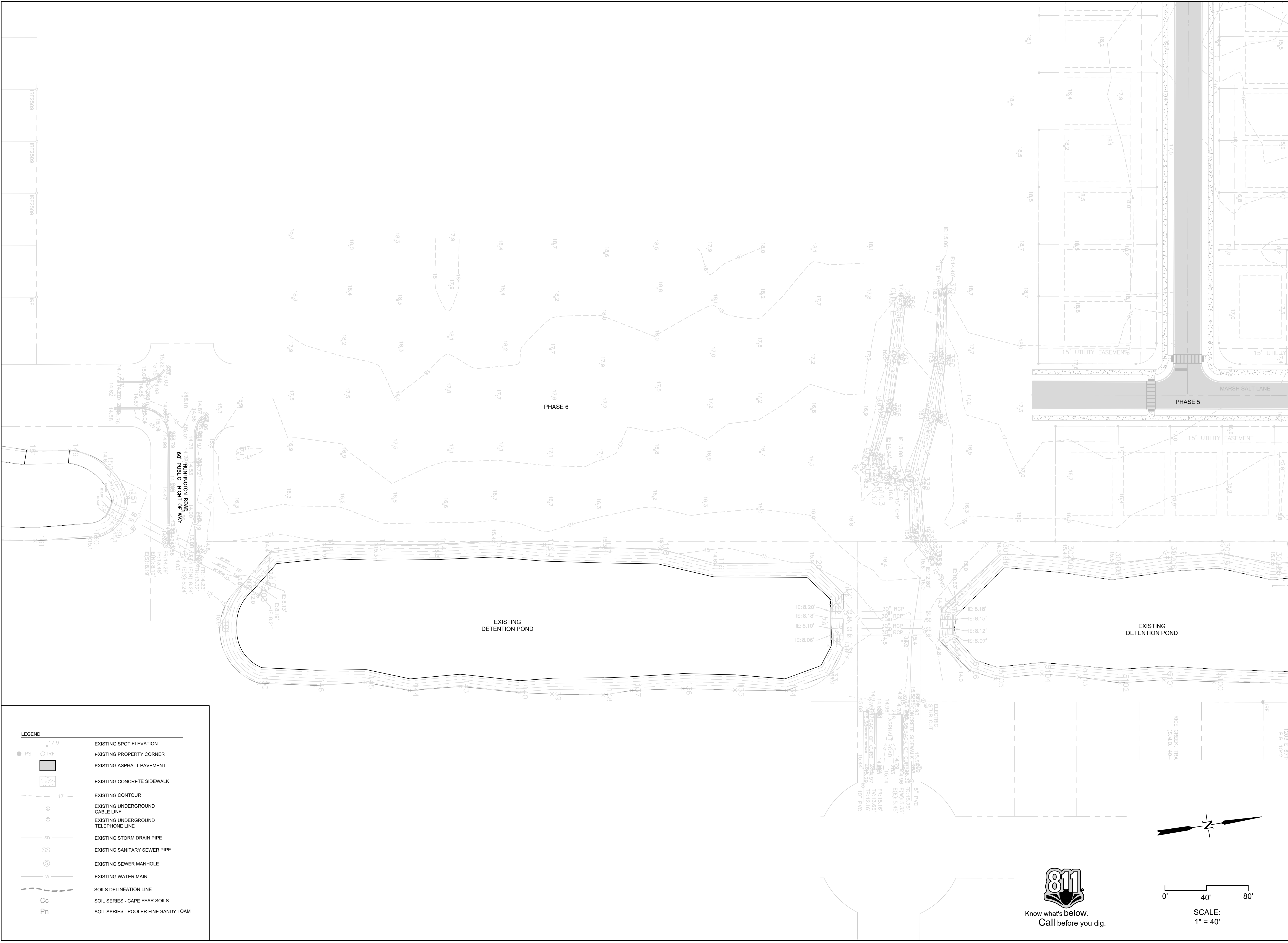
**Rice Creek Phase 6
Port Wentworth**

PREPARED FOR:
Landmark 24, LLC

DATE: 01/03/2022
PROJECT NUMBER: 21508
DRAWN BY: JLV
CHECKED BY: JLV
SCALE: NTS

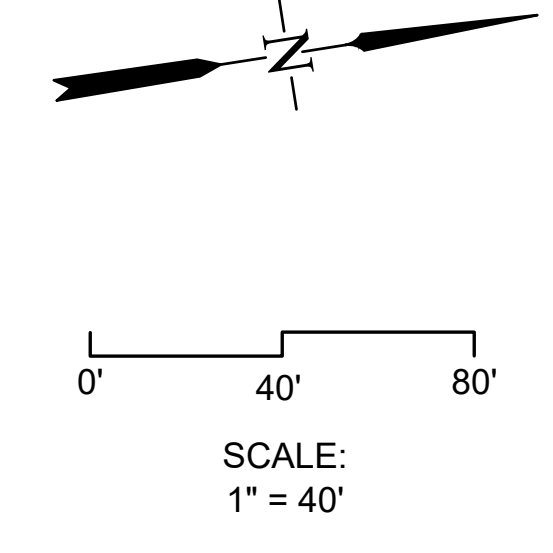
1

SHEET:



LEGEND

●	IPS	EXISTING SPOT ELEVATION
○	IRF	EXISTING PROPERTY CORNER
■	(Hatched)	EXISTING ASPHALT PAVEMENT
■	(Dotted)	EXISTING CONCRETE SIDEWALK
- - -	(Dashed)	EXISTING CONTOUR
⊗	(Circle with cross)	EXISTING UNDERGROUND CABLE LINE
⊙	(Circle with dot)	EXISTING UNDERGROUND TELEPHONE LINE
— 8"	(Line with '8')	EXISTING STORM DRAIN PIPE
— SS	(Line with 'SS')	EXISTING SANITARY SEWER PIPE
⊙	(Circle with 'S')	EXISTING SEWER MANHOLE
— W	(Line with 'W')	EXISTING WATER MAIN
- - -	(Dashed)	SOILS DELINEATION LINE
Cc	(Text)	SOIL SERIES - CAPE FEAR SOILS
Pn	(Text)	SOIL SERIES - POOLER FINE SANDY LOAM



REVISIONS



EXISTING CONDITIONS

Rice Creek Phase 6
Port Wentworth
 PREPARED FOR:
 Landmark 24, LLC

DATE: 01/03/2022
 PROJECT NUMBER: 21508
 DRAWN BY: JLV
 CHECKED BY: JLV
 SCALE: 1"=40' (FOR 24"x36" PLOT)

2
 SHEET:



NO.	DESCRIPTION	DATE



STAKING PLAN

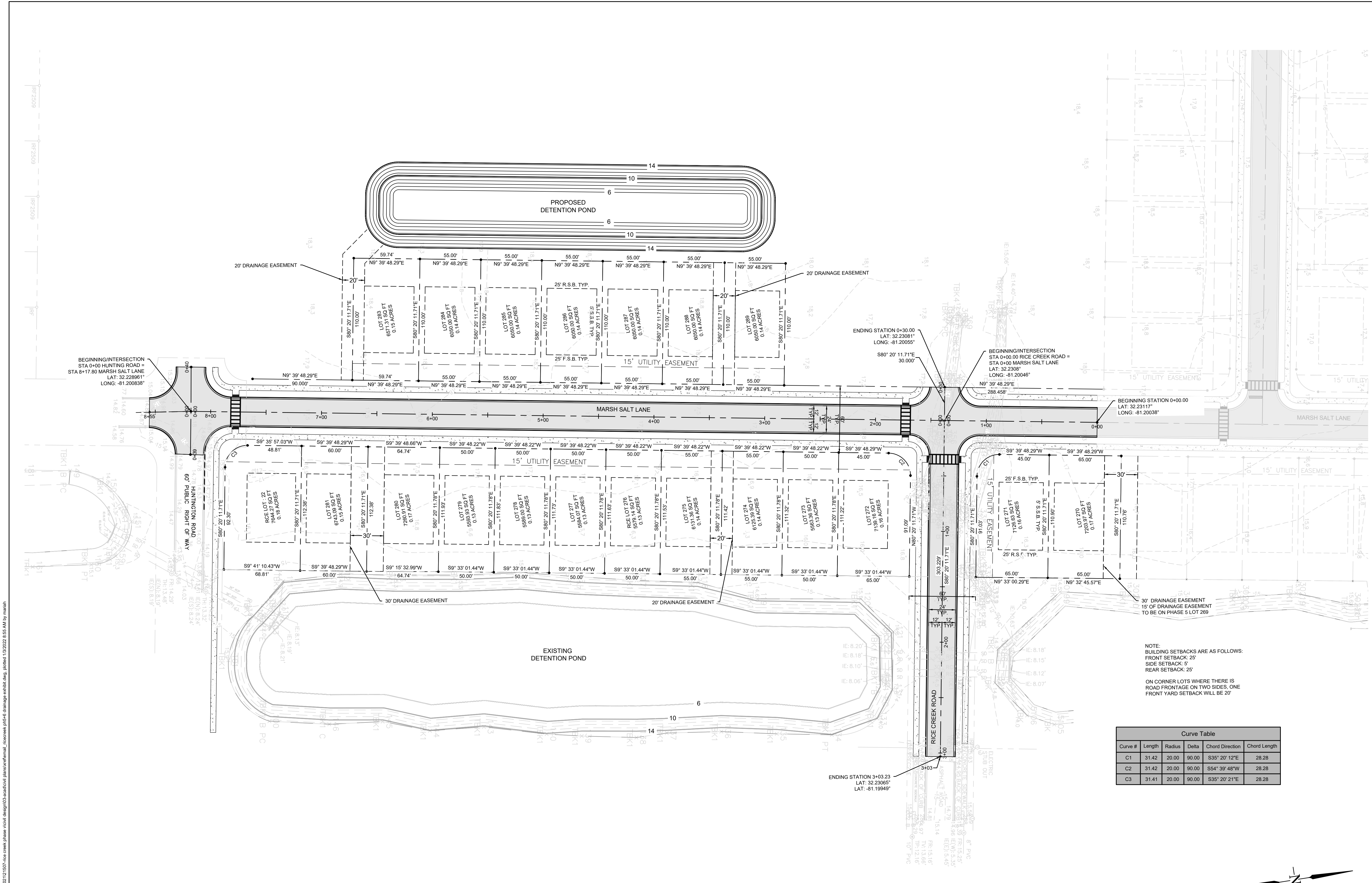
Rice Creek Phase 6

Port Wentworth

PREPARED FOR:
Landmark 24, LLC

DATE: 01/03/2022
PROJECT NUMBER: 21508
DRAWN BY: JLV
CHECKED BY: JLV
SCALE: 1"=40'

3
SHEET:



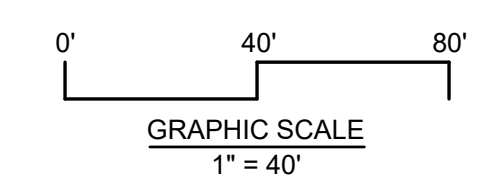
Curve Table

Curve #	Length	Radius	Delta	Chord Direction	Chord Length
C1	31.42	20.00	90.00	S35° 20' 12"E	28.28
C2	31.42	20.00	90.00	S54° 39' 48"W	28.28
C3	31.41	20.00	90.00	S35° 20' 21"E	28.28

NOTE:
BUILDING SETBACKS ARE AS FOLLOWS:
FRONT SETBACK: 25'
SIDE SETBACK: 5'
REAR SETBACK: 25'
ON CORNER LOTS WHERE THERE IS ROAD FRONTAGE ON TWO SIDES, ONE FRONT YARD SETBACK WILL BE 20'

LEGEND

[Symbol]	EXISTING ASPHALT PAVEMENT
[Symbol]	EXISTING CONCRETE SIDEWALK
[Symbol]	PROPOSED ASPHALT PAVEMENT
[Symbol]	PROPOSED CONCRETE SIDEWALK



c:\roberts_civ\engineering\civ\data\rice_creek\phase_6\port_wentworth\plan\stake\plan\stake.dwg, plotted 1/3/2022 8:55 AM by mwah



NO.	DESCRIPTION	DATE

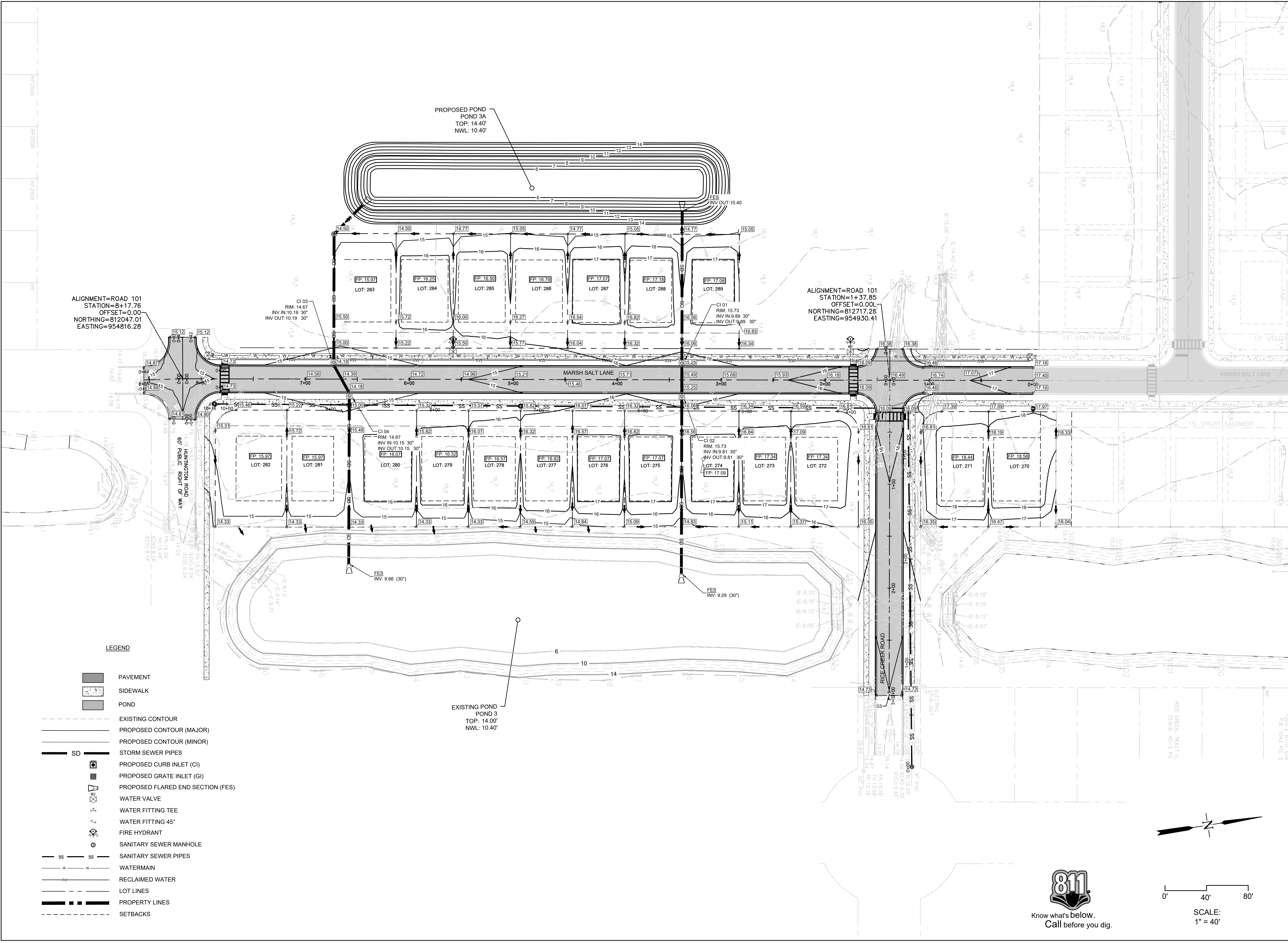


GRADING PLAN

Rice Creek Phase 6
Port Wentworth
 PREPARED FOR:
Landmark 24, LLC

DATE: 01/03/2022
 PROJECT NUMBER: 21508
 DRAWN BY: JAF
 CHECKED BY: JLV
 SCALE: 1"=40' (FOR 24"x36" PLOT)

4
 SHEET:

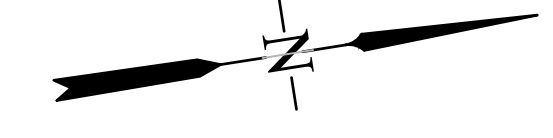


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 OFFSET=0.00
 NORTHING=812047.01
 EASTING=954816.28

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LEGEND

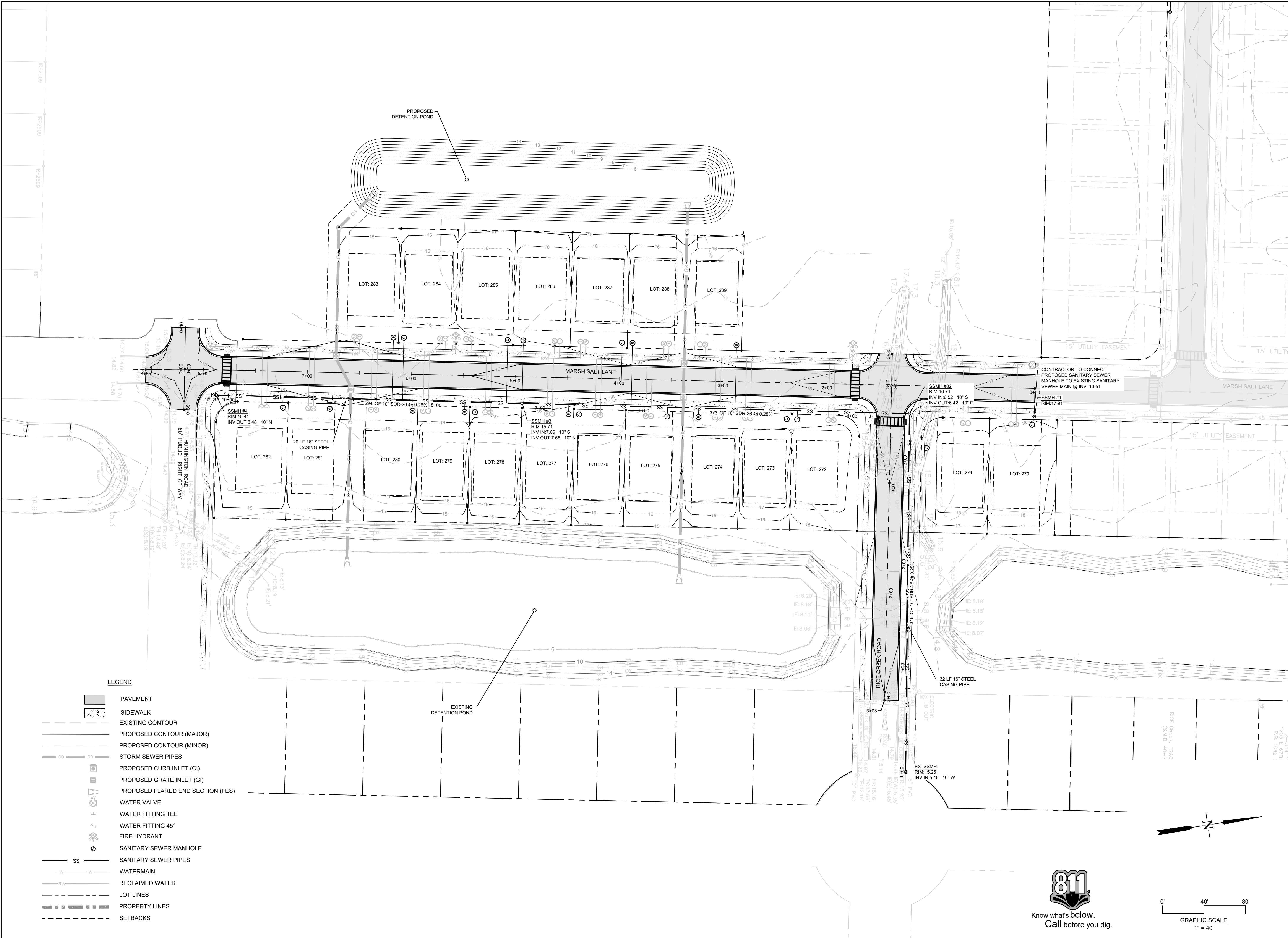
- PAVEMENT
- SIDEWALK
- POND
- EXISTING CONTOUR
- PROPOSED CONTOUR (MAJOR)
- PROPOSED CONTOUR (MINOR)
- SD STORM SEWER PIPES
- PROPOSED CURB INLET (CI)
- PROPOSED GRATE INLET (GI)
- PROPOSED FLARED END SECTION (FES)
- WATER VALVE
- WATER FITTING TEE
- WATER FITTING 45°
- FIRE HYDRANT
- SANITARY SEWER MANHOLE
- SS SANITARY SEWER PIPES
- W WATERMAIN
- RW RECLAIMED WATER
- LOT LINES
- PROPERTY LINES
- SETBACKS



0' 40' 80'



SCALE:
1" = 40'



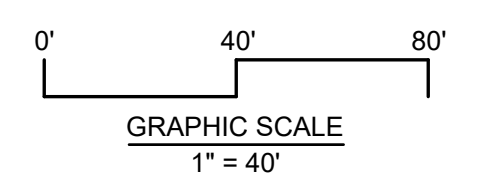
REVISIONS

ROBERTS
CIVIL ENGINEERING
15 BARRY ROAD, SUWANNEE, GEORGIA 30088
WWW.ROBERTSCIVILENGINEERING.COM

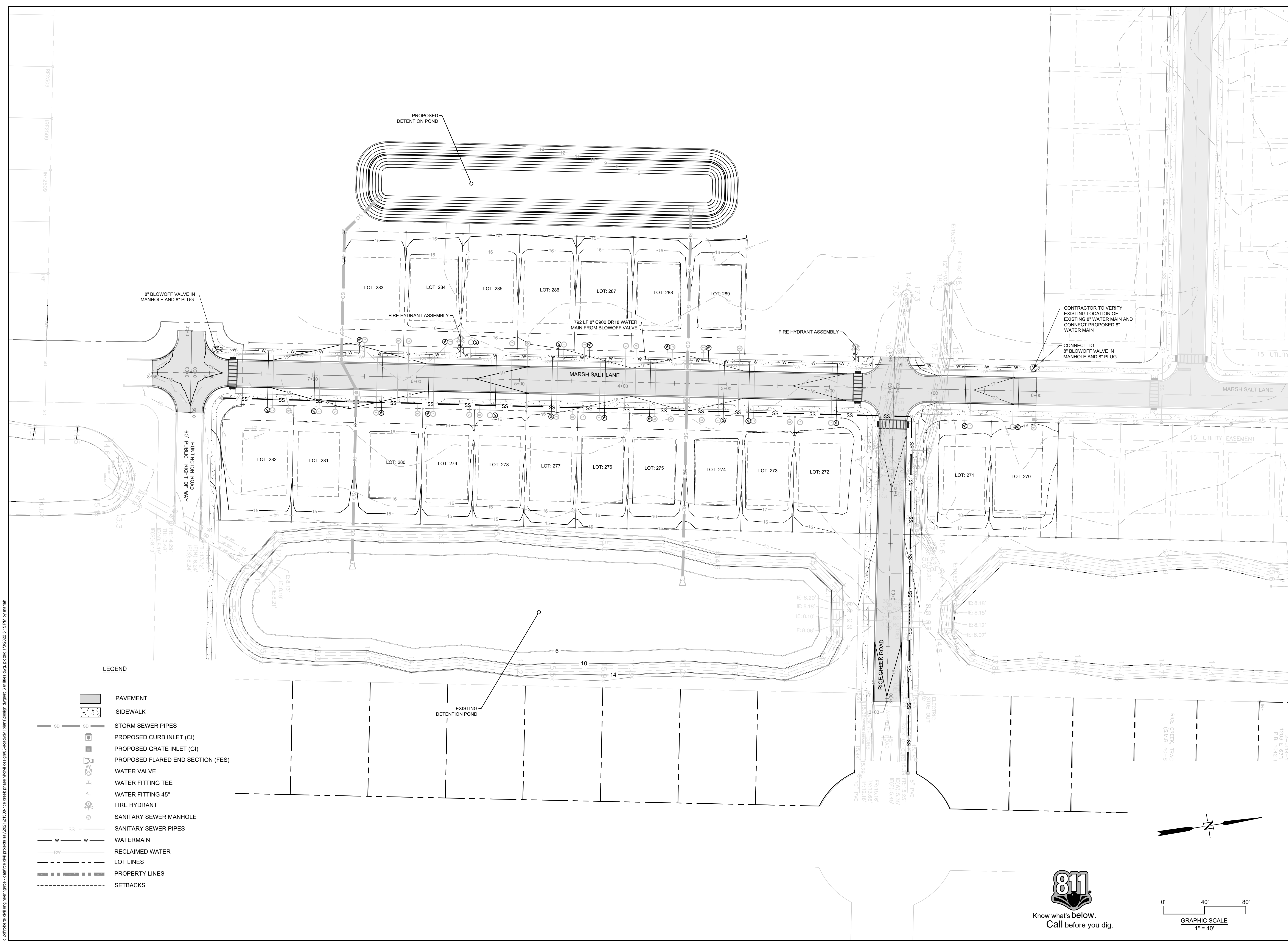
SANITARY PLAN
Rice Creek Phase 6
Port Wentworth
PREPARED FOR:
Landmark 24, LLC

DATE: 01/03/2022
PROJECT NUMBER: 21508
DRAWN BY: JLV
CHECKED BY: JLV
SCALE: 1"=40' (FOR 24"x36" PLOT)

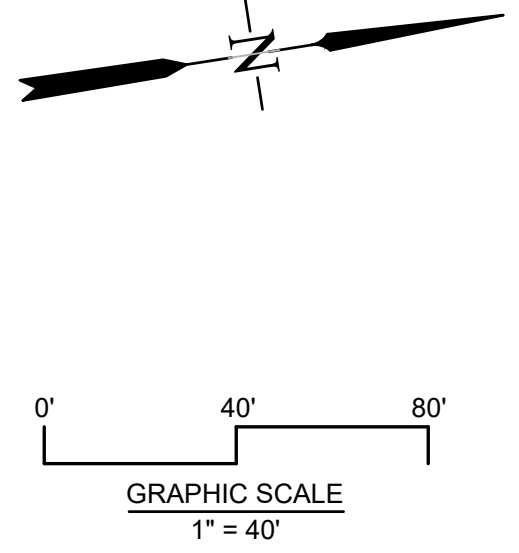
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- LEGEND**
- PAVEMENT
 - SIDEWALK
 - STORM SEWER PIPES
 - PROPOSED CURB INLET (CI)
 - PROPOSED GRATE INLET (GI)
 - PROPOSED FLARED END SECTION (FES)
 - WATER VALVE
 - WATER FITTING TEE
 - WATER FITTING 45°
 - FIRE HYDRANT
 - SANITARY SEWER MANHOLE
 - SANITARY SEWER PIPES
 - WATERMAIN
 - RECLAIMED WATER
 - LOT LINES
 - PROPERTY LINES
 - SETBACKS



REVISIONS

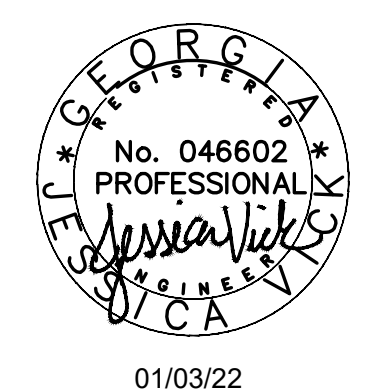


WATER PLAN

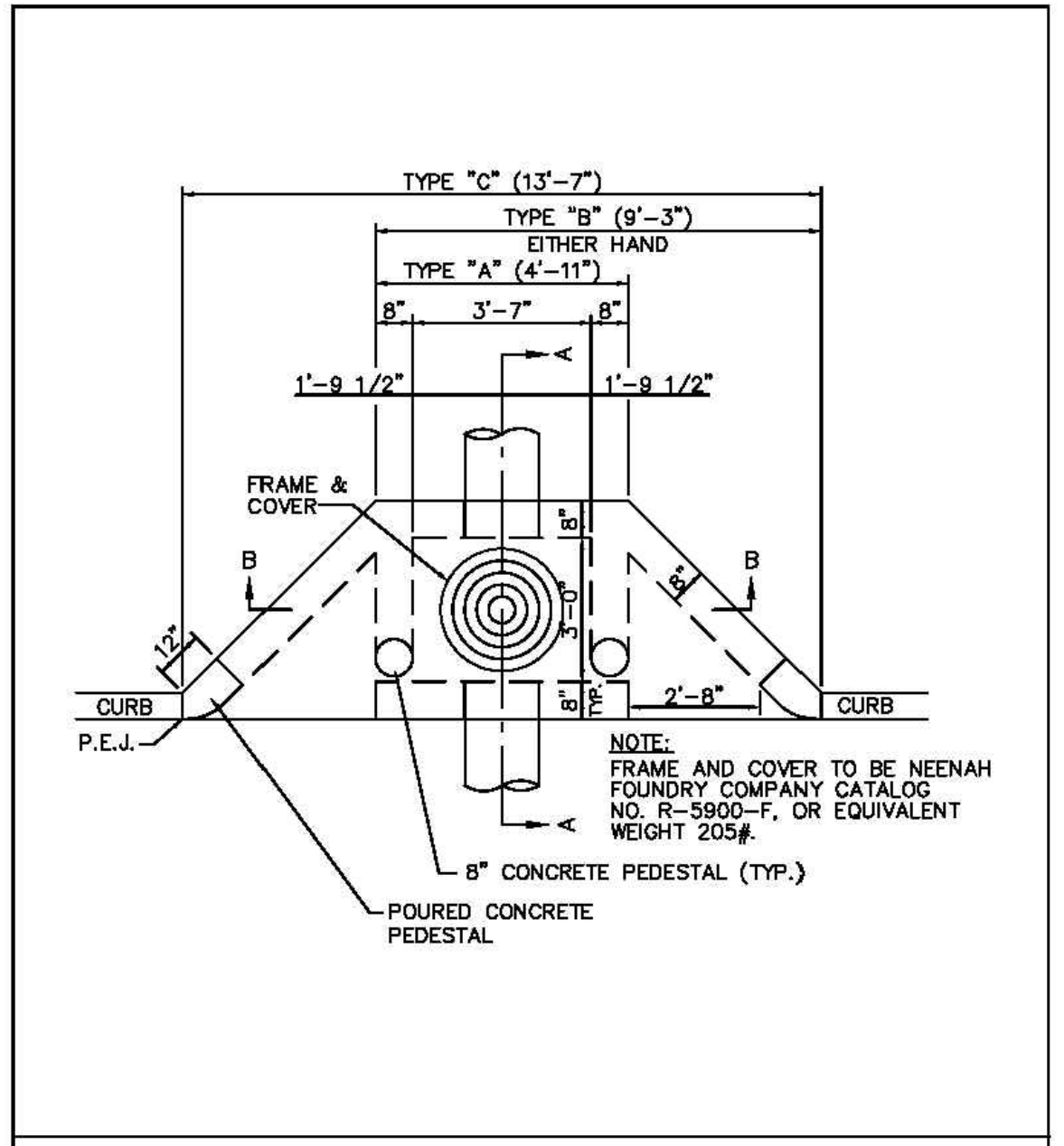
Rice Creek Phase 6
Port Wentworth
PREPARED FOR:
Landmark 24, LLC

DATE: 01/03/2022
PROJECT NUMBER: 21508
DRAWN BY: JLV
CHECKED BY: JLV
SCALE: 1"=40' (FOR 24"x36" PLOT)

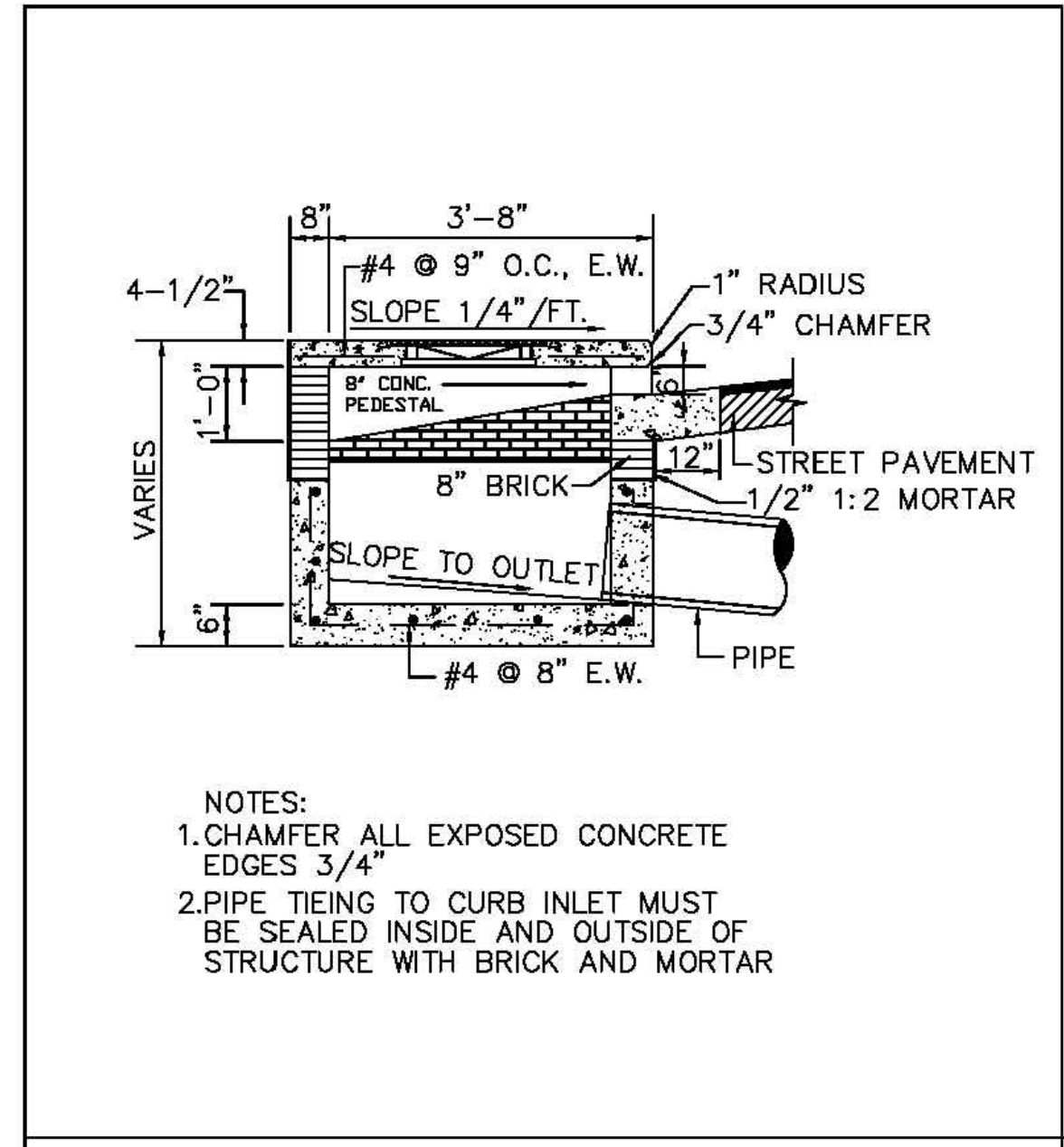
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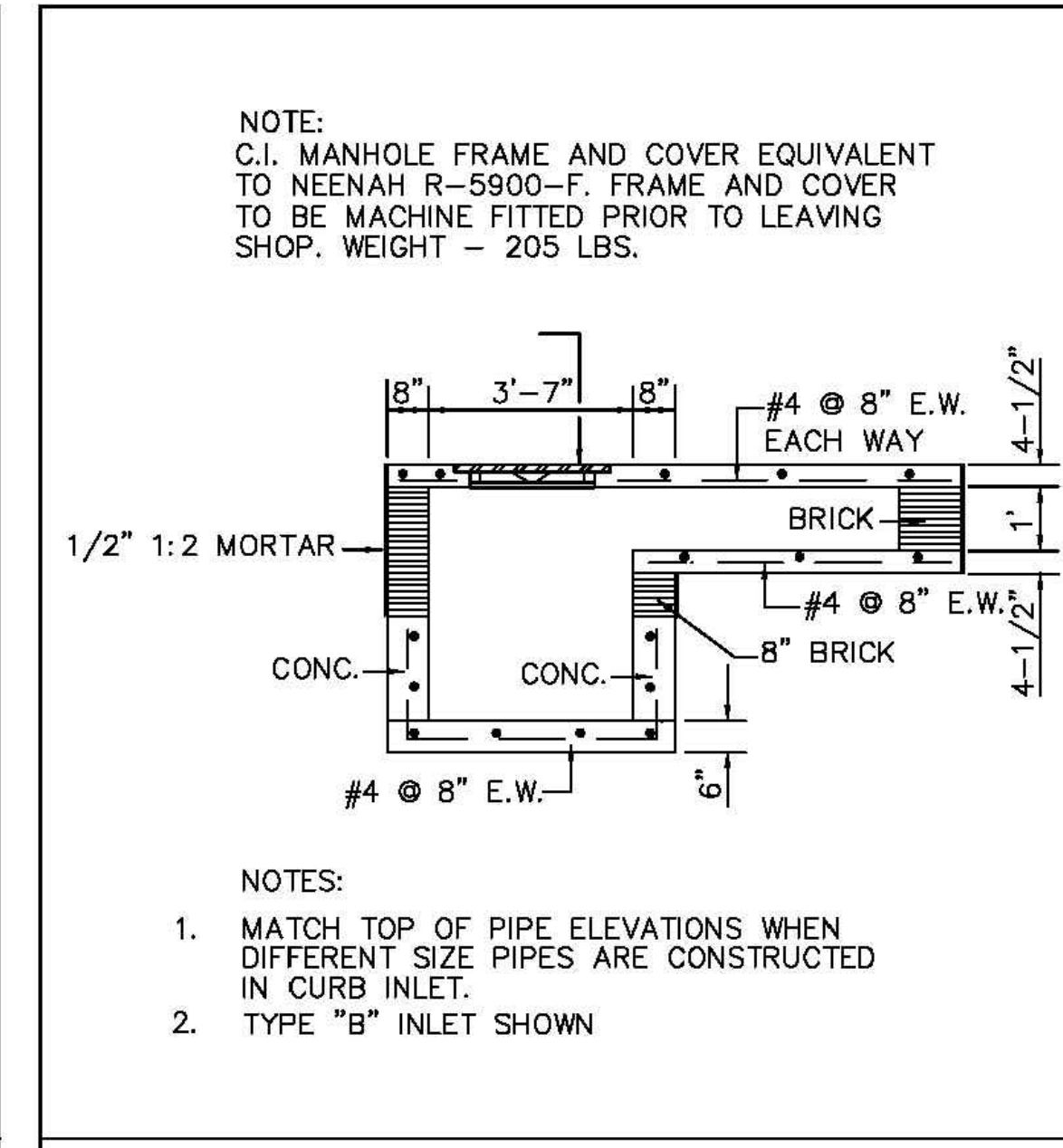
01/03/22



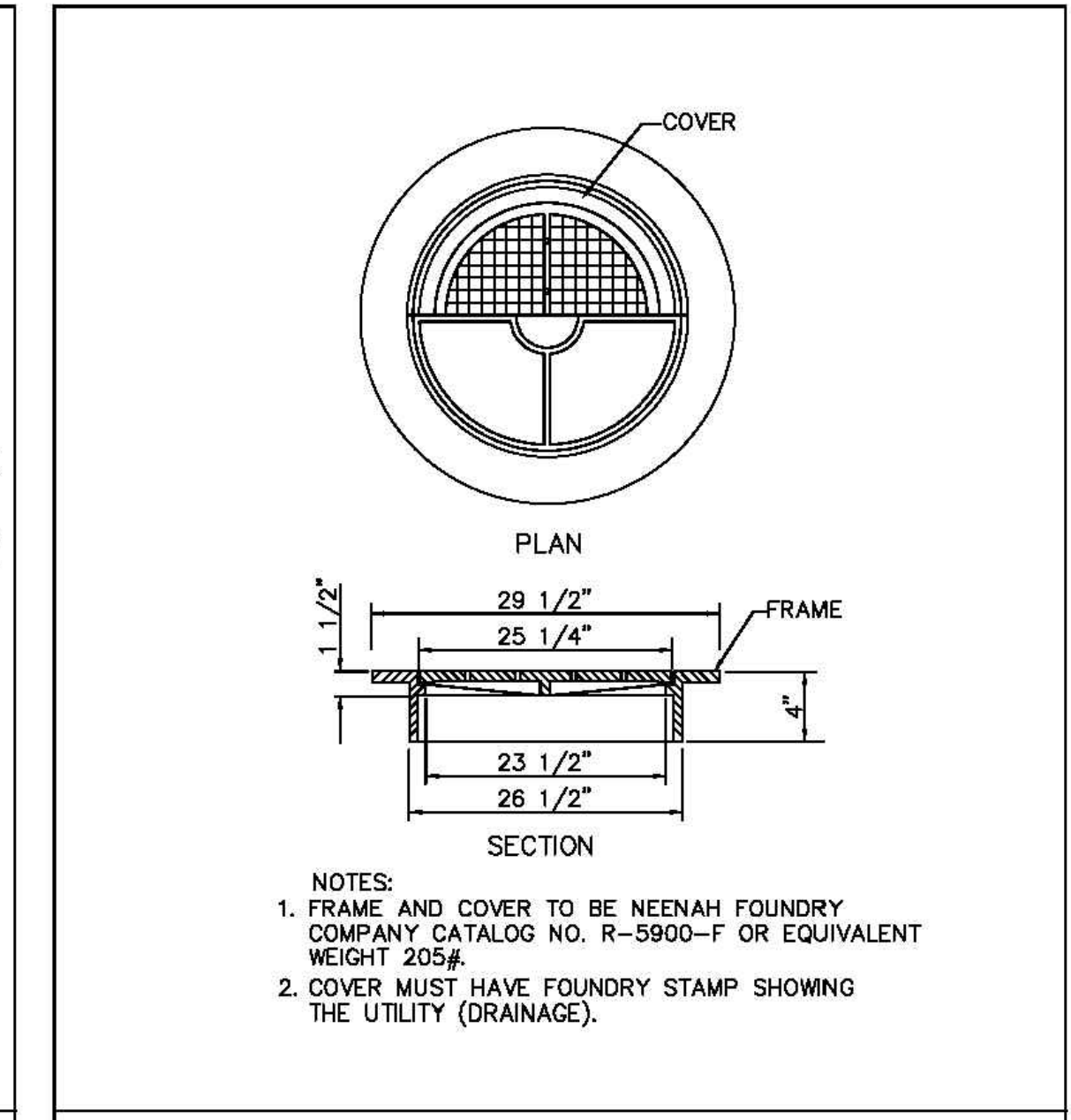
PLAN OF CURB INLET
 City of Port Wentworth
 TECHNICAL DETAILS
 SD-1
 PREPARED BY SAUSSY ENGINEERING, LLC. SCALE: N.T.S. DATED: FEBRUARY 2007



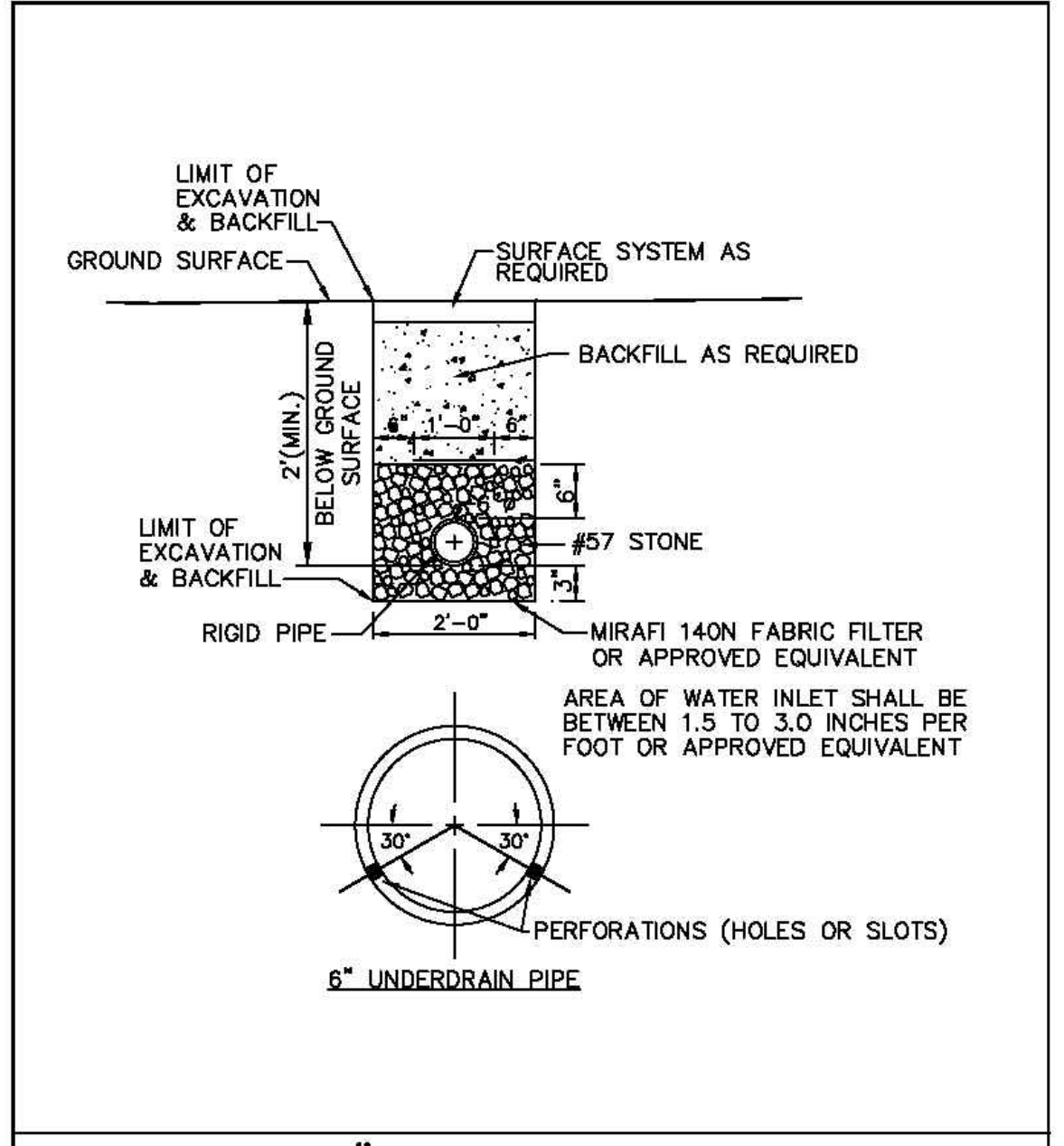
CURB INLET SECTION A - A
 City of Port Wentworth
 TECHNICAL DETAILS
 SD-3
 PREPARED BY SAUSSY ENGINEERING, LLC. SCALE: N.T.S. DATED: FEBRUARY 2007



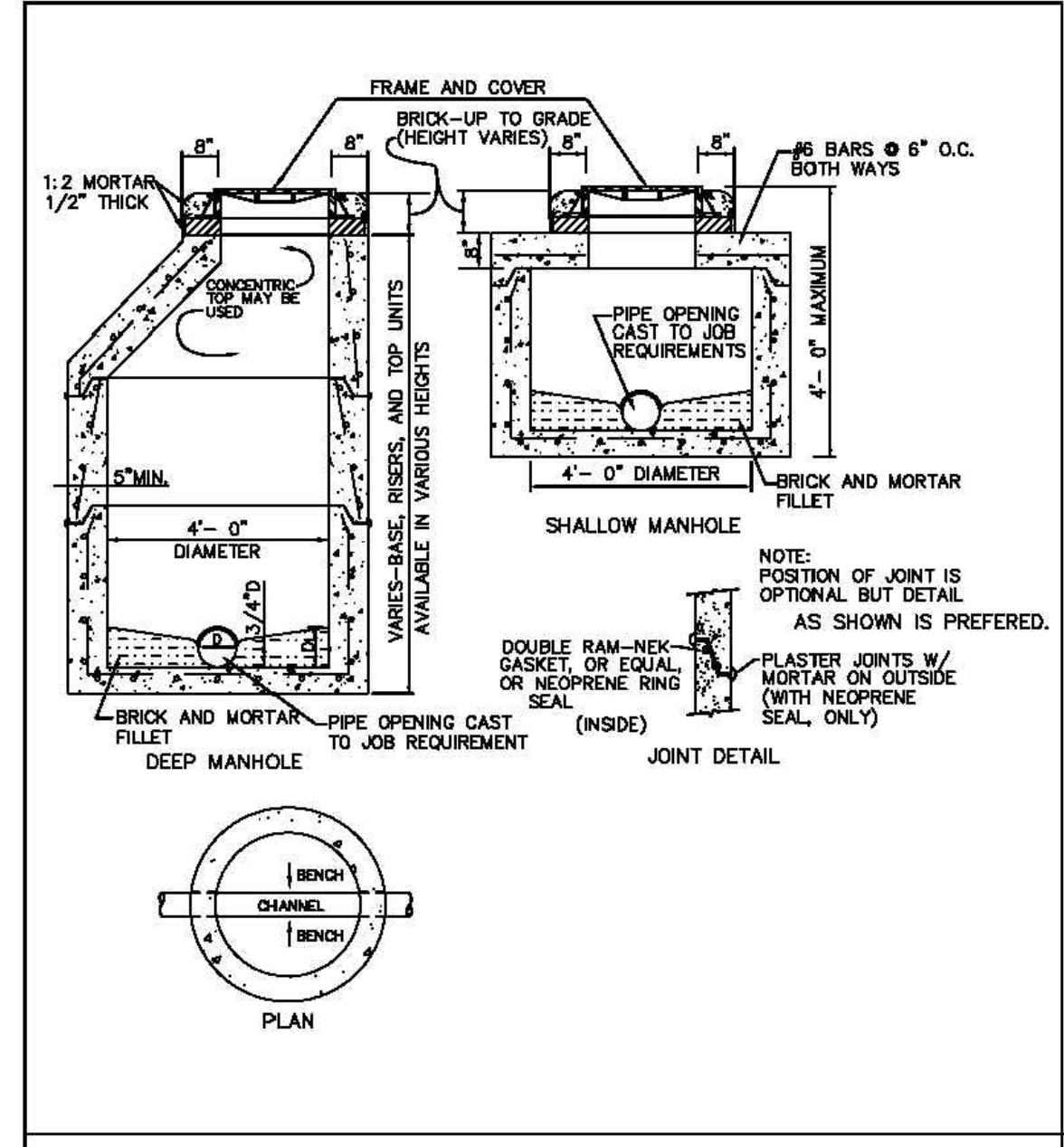
CURB INLET SECTION B - B
 City of Port Wentworth
 TECHNICAL DETAILS
 SD-4
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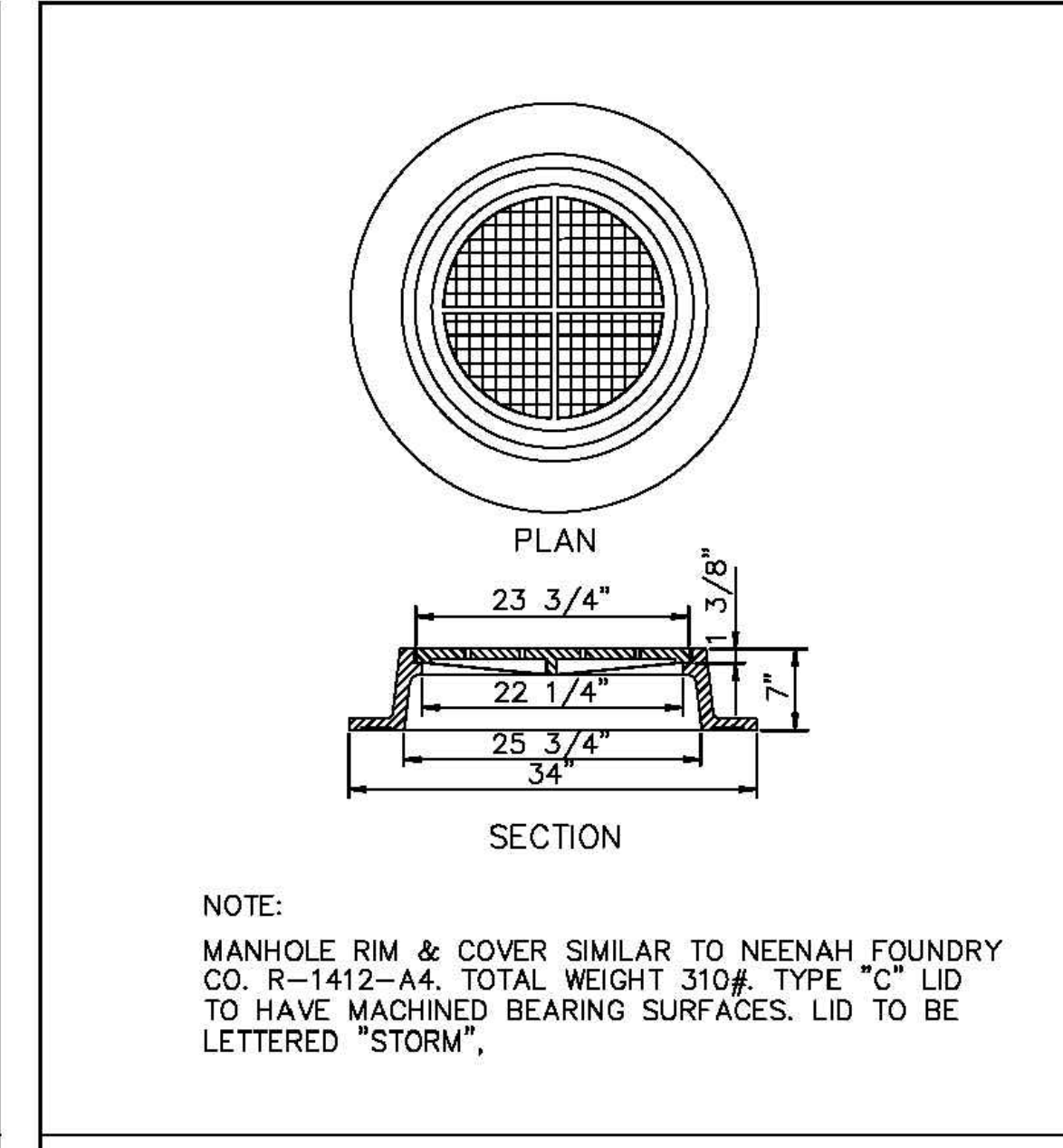
INLET FRAME & COVER
 City of Port Wentworth
 TECHNICAL DETAILS
 SD-5
 PREPARED BY SAUSSY ENGINEERING, LLC. SCALE: N.T.S. DATED: FEBRUARY 2007



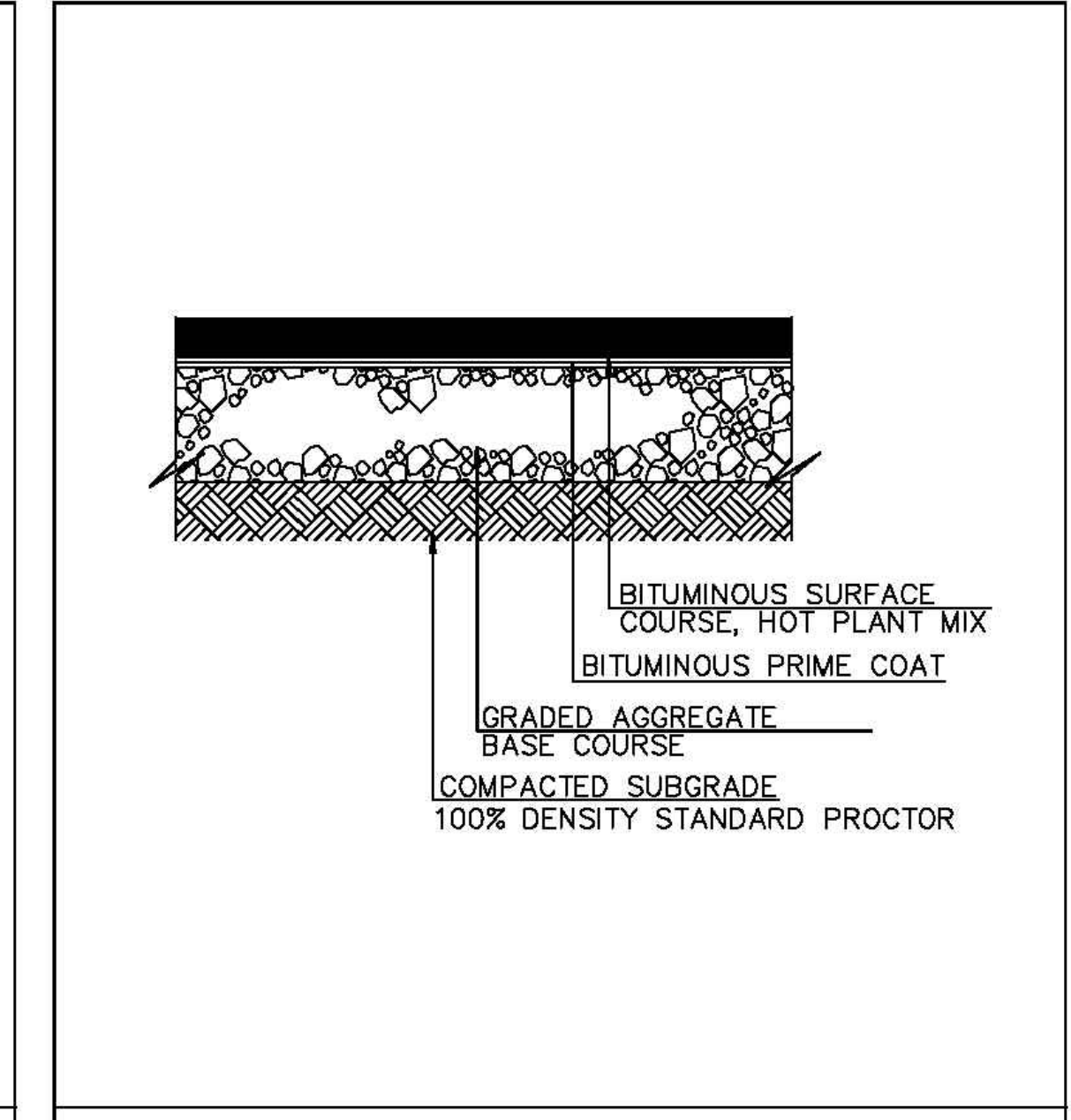
6" UNDERDRAIN PIPE
 City of Port Wentworth
 TECHNICAL DETAILS
 SD-10
 PREPARED BY SAUSSY ENGINEERING, LLC. SCALE: N.T.S. DATED: FEBRUARY 2007



PRECAST STORM MANHOLE
 City of Port Wentworth
 TECHNICAL DETAILS
 SD-12
 PREPARED BY SAUSSY ENGINEERING, LLC. SCALE: N.T.S. DATED: FEBRUARY 2007

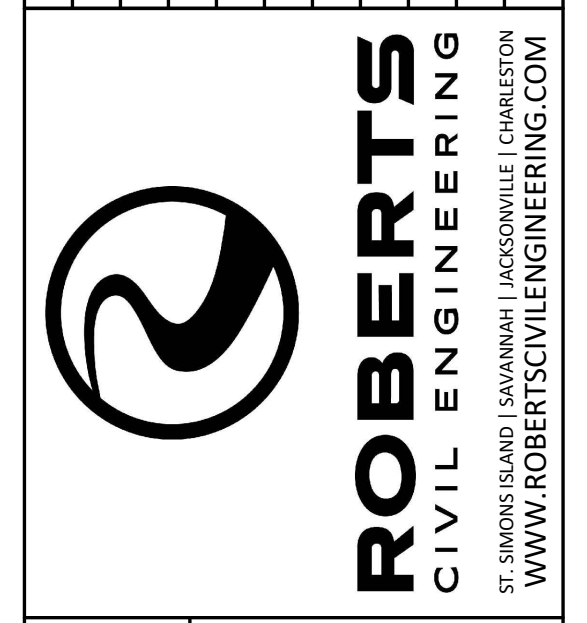


STORM MANHOLE RING & COVER
 City of Port Wentworth
 TECHNICAL DETAILS
 SD-14
 PREPARED BY SAUSSY ENGINEERING, LLC. SCALE: N.T.S. DATED: FEBRUARY 2007



TYPICAL BITUMINOUS PAVING SECTION
 City of Port Wentworth
 TECHNICAL DETAILS
 P-1
 PREPARED BY SAUSSY ENGINEERING, LLC. SCALE: N.T.S. DATED: FEBRUARY 2007

REVISIONS



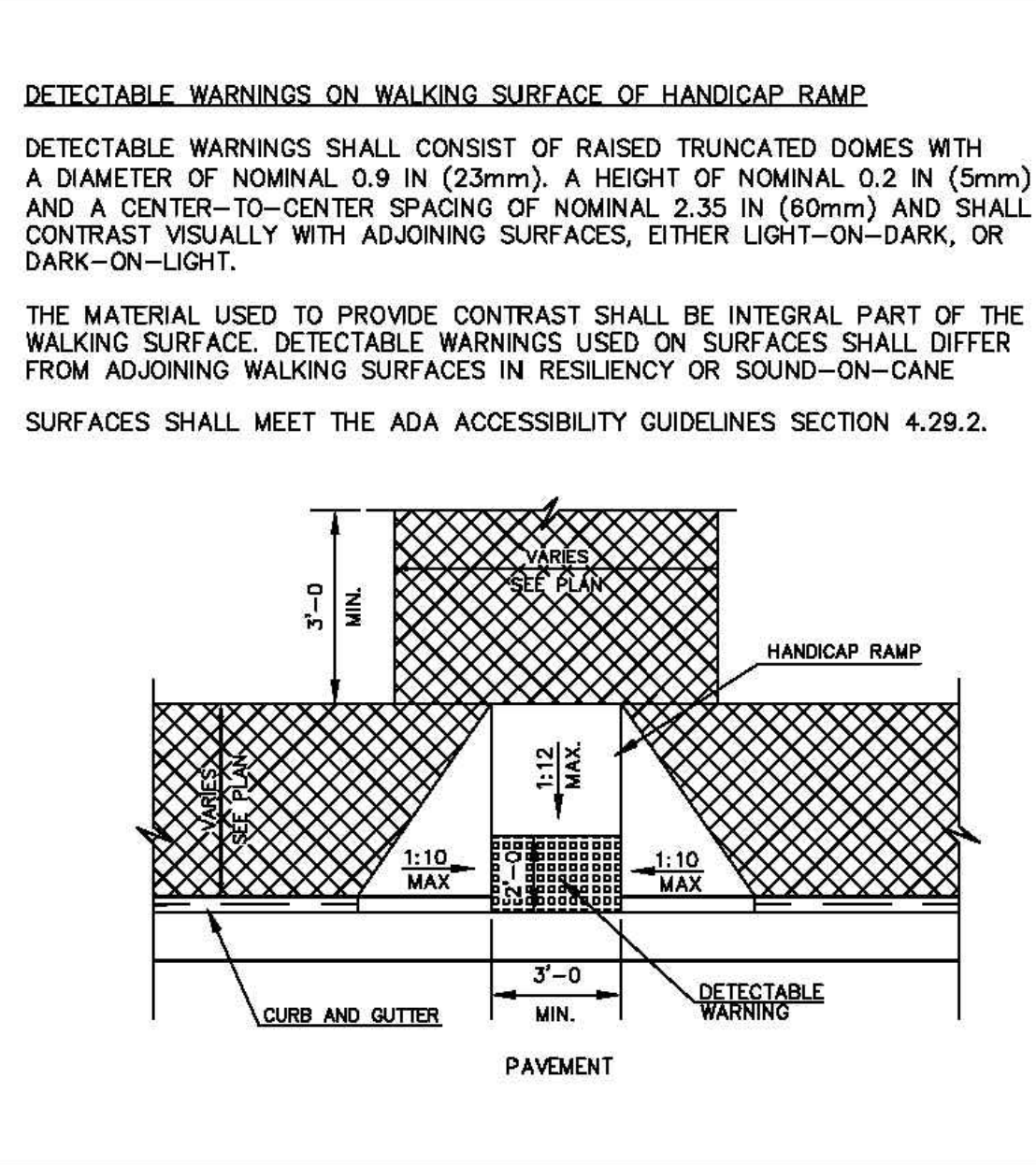
CONSTRUCTION DETAILS
 Rice Creek Phase 6
 Port Wentworth
 PREPARED FOR:
 Landmark 24, LLC

DATE: 01/03/2022
 PROJECT NUMBER: 21508
 DRAWN BY: JLV
 CHECKED BY: JLV
 SCALE: NTS

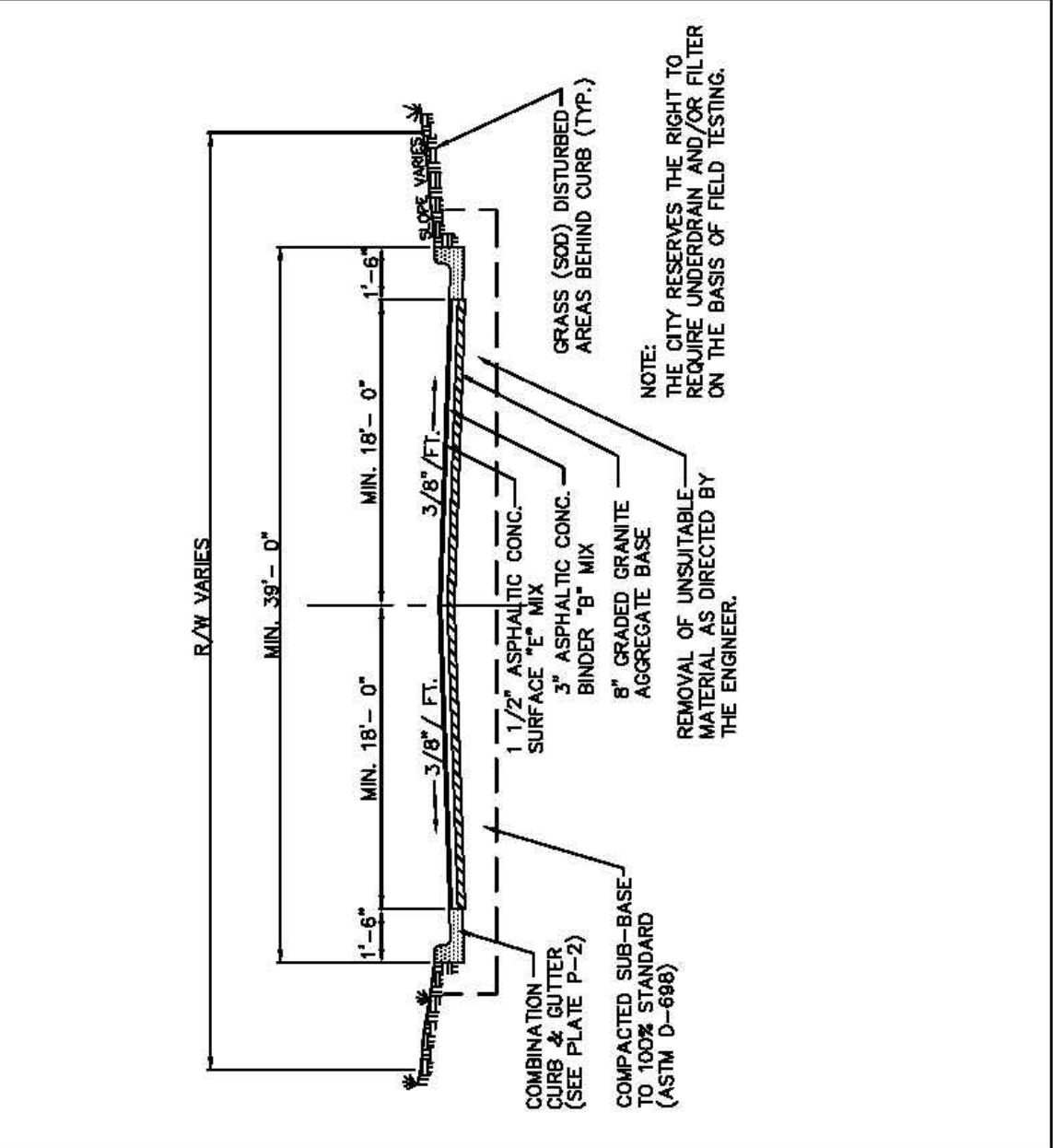
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SHEET:

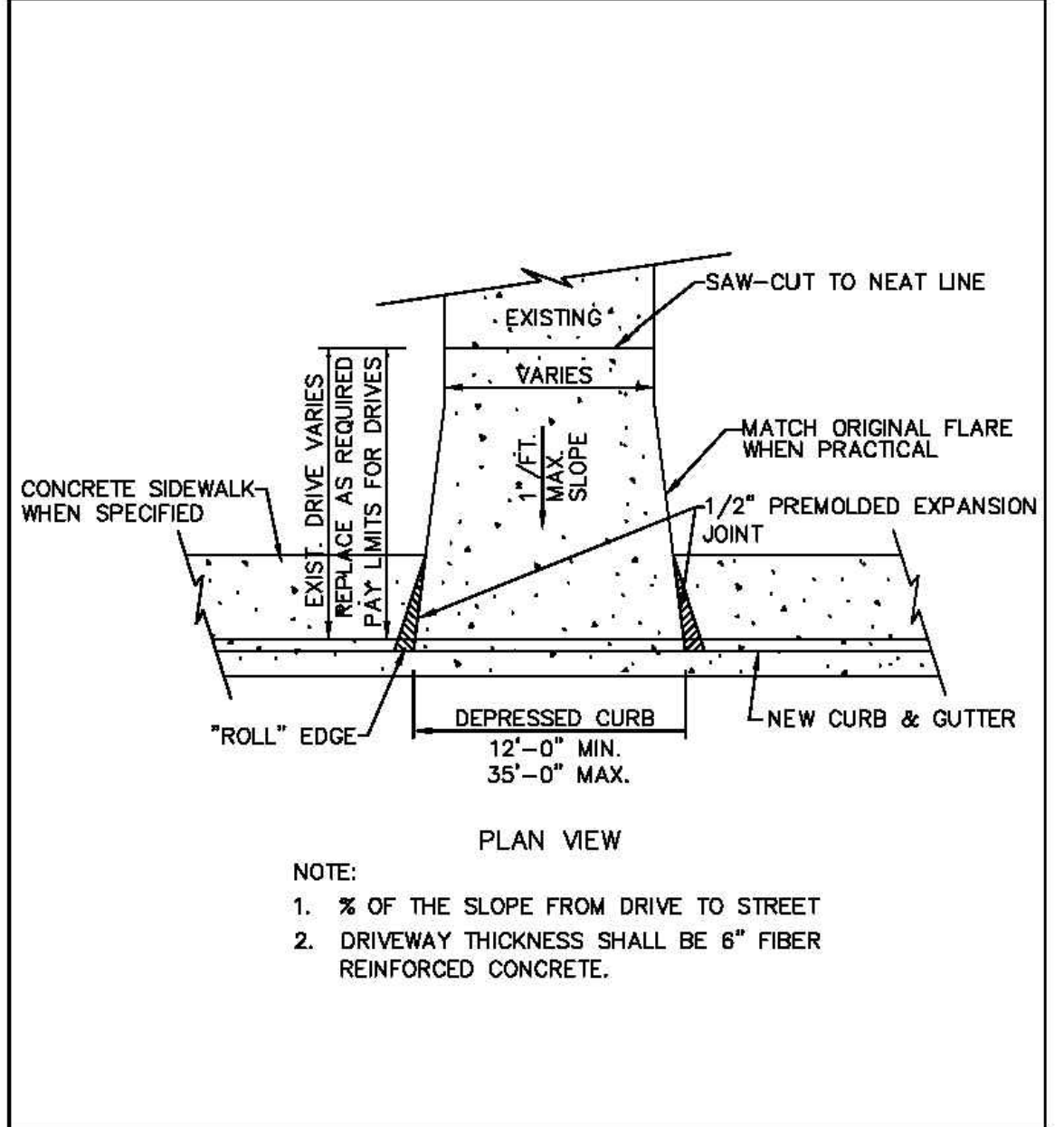
NOTE:
CONTRACTOR IS TO USE 2" ASPHALT CONCRETE SURFACE "E" MIX.



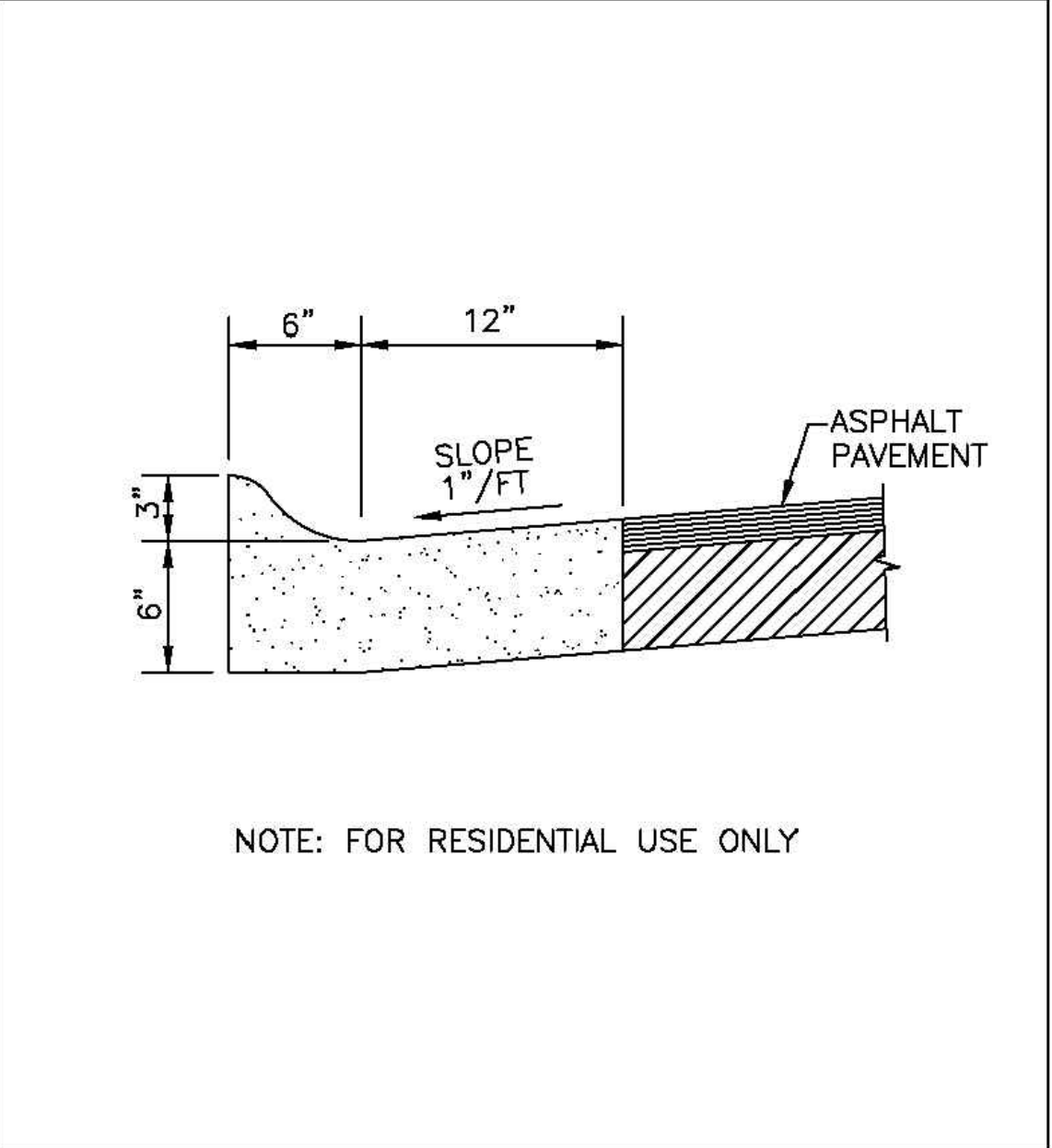
HANDICAP RAMP TYPE "A"
City of Port Wentworth
TECHNICAL DETAILS
P-4
PREPARED BY SAUSSY ENGINEERING, LLC. SCALE: N.T.S. DATED: FEBRUARY 2007



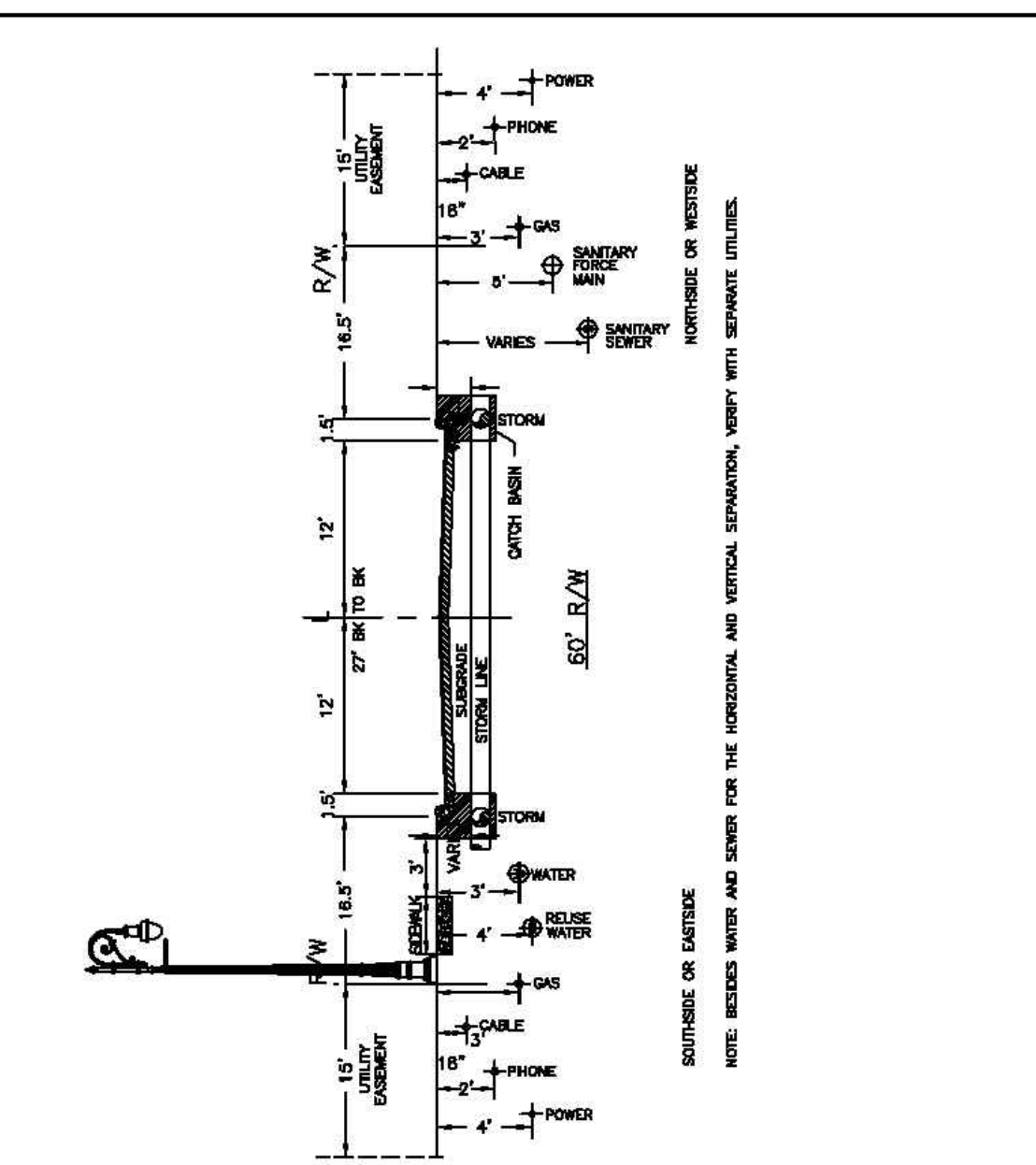
TYPICAL SECTION COLLECTOR/ARTERIAL STREET
City of Port Wentworth
TECHNICAL DETAILS
P-6
PREPARED BY SAUSSY ENGINEERING, LLC. SCALE: N.T.S. DATED: FEBRUARY 2007



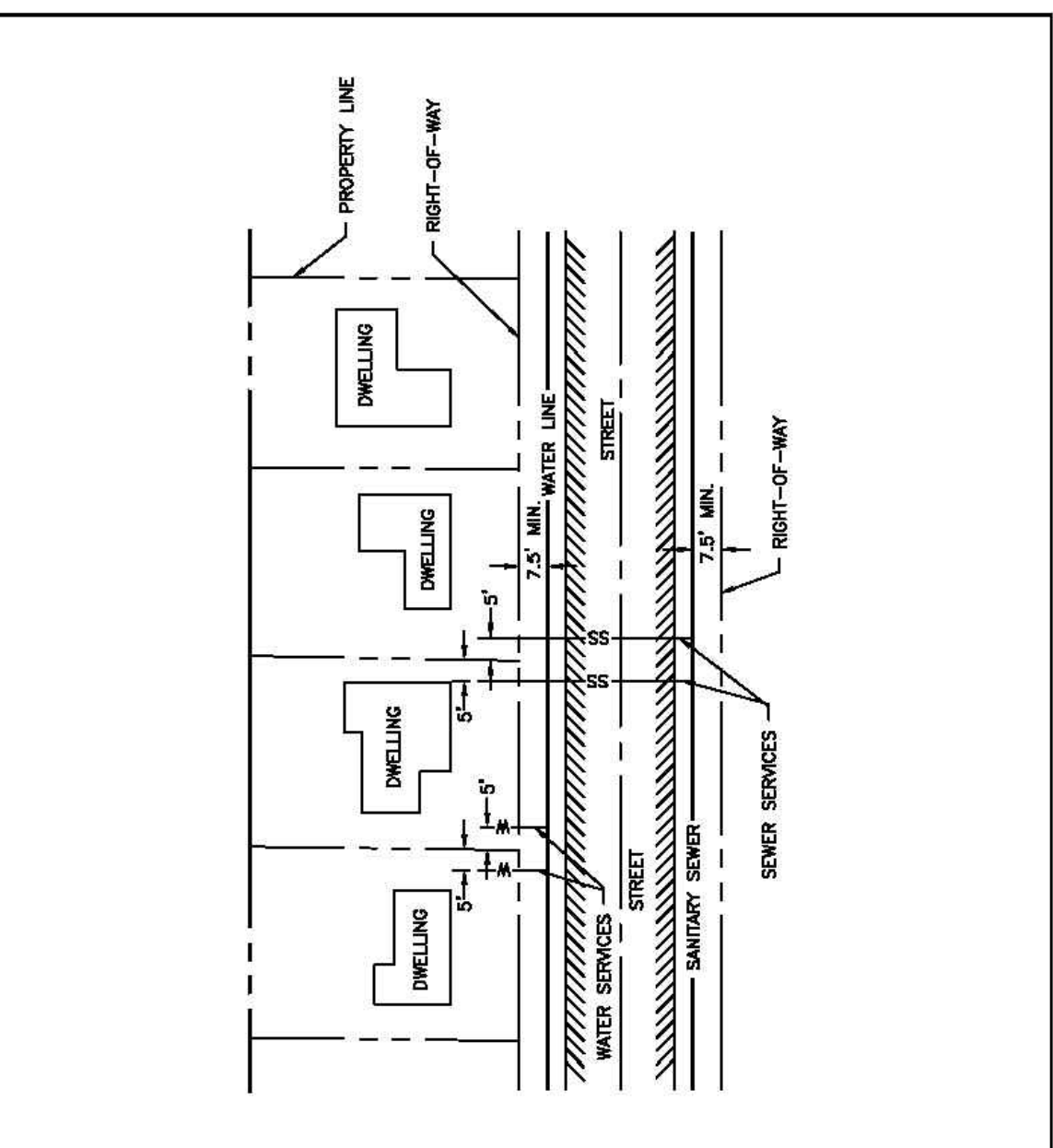
DRIVEWAY
City of Port Wentworth
TECHNICAL DETAILS
P-8
PREPARED BY SAUSSY ENGINEERING, LLC. SCALE: N.T.S. DATED: FEBRUARY 2007



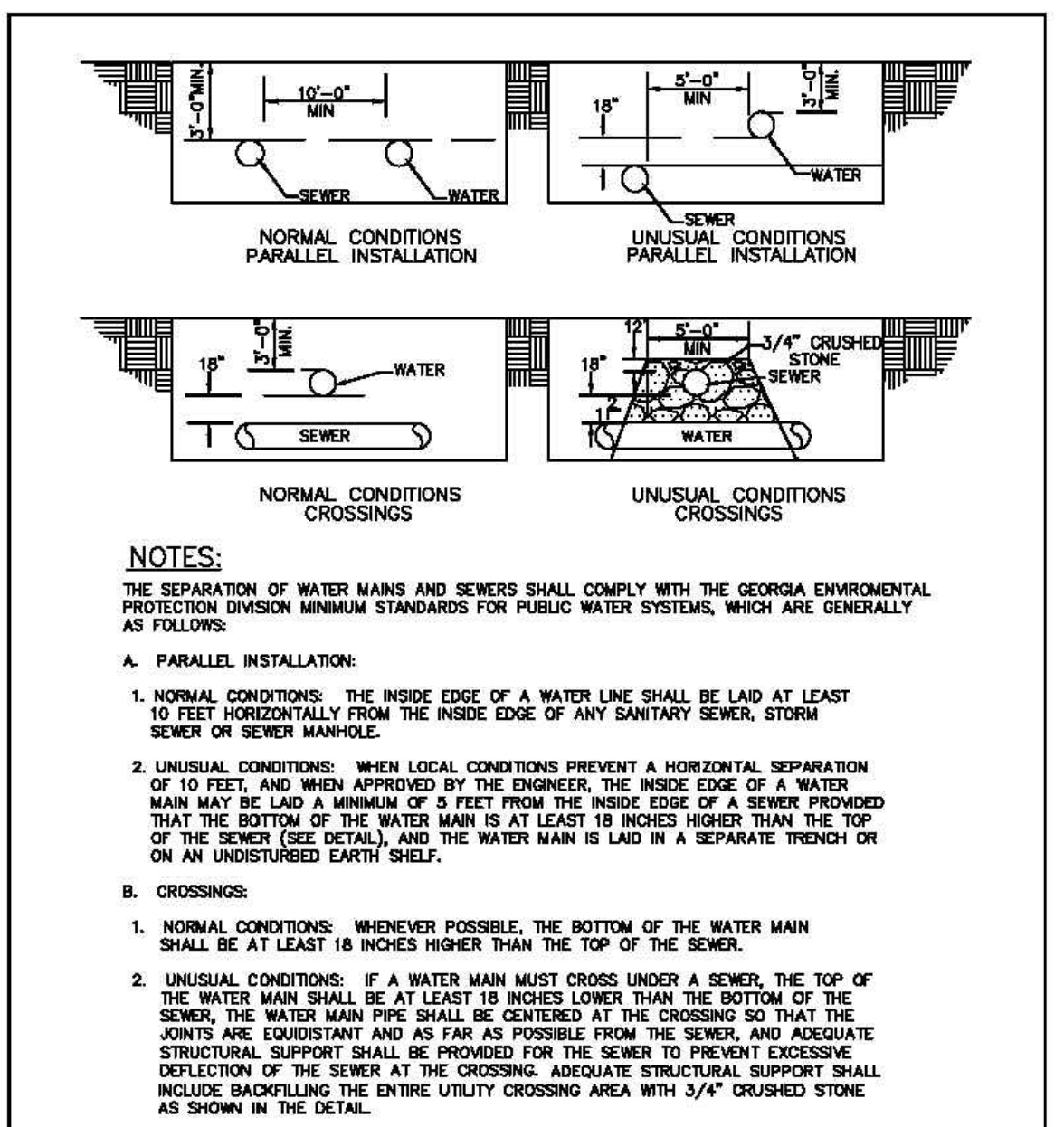
ROLL-OVER CURB
City of Port Wentworth
TECHNICAL DETAILS
P-11
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TYP. SECTION UNDERGROUND UTILITY INSTALLATION
City of Port Wentworth
TECHNICAL DETAILS
U-1
PREPARED BY SAUSSY ENGINEERING, LLC. SCALE: N.T.S. DATED: FEBRUARY 2007



TYP. WATER & SEWER PLANNING
City of Port Wentworth
TECHNICAL DETAILS
U-2
PREPARED BY SAUSSY ENGINEERING, LLC. SCALE: N.T.S. DATED: FEBRUARY 2007



MINIMUM WATER & SEWER PIPE SEPARATION
City of Port Wentworth
TECHNICAL DETAILS
U-3
PREPARED BY SAUSSY ENGINEERING, LLC. SCALE: N.T.S. DATED: FEBRUARY 2007

NOTES:
1. ALL CONSTRUCTION MATERIALS AND WORKMANSHIP SHALL BE IN ACCORDANCE WITH THE CITY OF PORT WENTWORTH'S LATEST CONSTRUCTION SPECIFICATIONS AND DETAILS. THE SYSTEM SHALL BE DESIGNED AND TESTED PER THE SPECIFICATIONS AND REQUIREMENTS MAINTAINED BY THE CITY ENGINEER.
2. AN APPROVED WATER SUPPLY FOR FIRE PROTECTION, EITHER TEMPORARY OR PERMANENT, SHALL BE MADE AVAILABLE AS SOON AS COMBUSTIBLE MATERIAL ARRIVES ON THE SITE.
3. ALL WATER USED FOR CONSTRUCTION SHALL BE METERED THROUGH AN APPROVED BACKFLOW-PREVENTION DEVICE AND FIRE HYDRANT METER OBTAINED FROM THE CONVEYANCE AND DISTRIBUTION DEPARTMENT.
4. ALL ABANDONED SANITARY SEWER LINES SHALL BE PLUGGED.
5. IT WILL BE THE RESPONSIBILITY OF THE CONTRACTOR TO ENSURE SEWER LINES ARE PLACED WITHIN THE EASEMENTS WITH A MINIMUM 7'-6" AVAILABLE FROM PIPE CENTERLINE TO EASEMENT LINE.
6. CONTACT THE UTILITIES PROTECTION CENTER (811 IN GEORGIA OR 1-800-282-7411) FOR LOCATION OF CITY SEWER LINES A MINIMUM OF SEVENTY-TWO (72) HOURS PRIOR TO DIGGING.
7. CONTRACTOR SHALL NOTIFY RESIDENTS A MINIMUM OF 24 HOURS IN ADVANCE OF ANY WORK THAT MAY IMPACT THEM, INCLUDING BUT NOT LIMITED TO: PARKING STALL IMPACT, LOSS OF SERVICE, DRIVEWAY CUTS, REMOVAL/RELOCATION OF FENCES AND MAIL BOXES, SIDEWALK IMPACTS, ETC.



Table with 2 columns: REVISIONS, and empty rows for recording changes.



CONSTRUCTION DETAILS
Rice Creek Phase 6
Port Wentworth
PREPARED FOR:
Landmark 24, LLC

DATE: 01/03/2022
PROJECT NUMBER: 21508
DRAWN BY: JLV
CHECKED BY: JLV
SCALE: NTS

D2

SHEET:

BLOW-OFF HYDRANT
City of Port Wentworth
TECHNICAL DETAILS
W-10

PREPARED BY SAUSSY ENGINEERING, LLC. SCALE: N.T.S. DATED: FEBRUARY 2007

VALVE MANHOLE FOR 8" & GREATER GATE VALVE
City of Port Wentworth
TECHNICAL DETAILS
W-14

PREPARED BY SAUSSY ENGINEERING, LLC. SCALE: N.T.S. DATED: FEBRUARY 2007

WATER METER
City of Port Wentworth
TECHNICAL DETAILS
W-17

PREPARED BY SAUSSY ENGINEERING, LLC. SCALE: N.T.S. DATED: FEBRUARY 2007

STANDARD VERTICAL BEND RESTRAINT
City of Port Wentworth
TECHNICAL DETAILS
W-28

PREPARED BY SAUSSY ENGINEERING, LLC. SCALE: N.T.S. DATED: FEBRUARY 2007

STANDARD TEE RESTRAINT (PVC LINE)
City of Port Wentworth
TECHNICAL DETAILS
W-29

PREPARED BY SAUSSY ENGINEERING, LLC. SCALE: N.T.S. DATED: FEBRUARY 2007

STANDARD DEAD END RESTRAINT
City of Port Wentworth
TECHNICAL DETAILS
W-31

PREPARED BY SAUSSY ENGINEERING, LLC. SCALE: N.T.S. DATED: FEBRUARY 2007

MANHOLE RING & COVER
City of Port Wentworth
TECHNICAL DETAILS
W-34

PREPARED BY SAUSSY ENGINEERING, LLC. SCALE: N.T.S. DATED: FEBRUARY 2007

REUSE WATER MANHOLE RING & COVER
City of Port Wentworth
TECHNICAL DETAILS
RW-2

PREPARED BY SAUSSY ENGINEERING, LLC. SCALE: N.T.S. DATED: FEBRUARY 2007

WATER VALVE 4" OR 6"
City of Port Wentworth
TECHNICAL DETAILS
RW-6

PREPARED BY SAUSSY ENGINEERING, LLC. SCALE: N.T.S. DATED: FEBRUARY 2007

BRASS FITTINGS FOR WATER METER
City of Port Wentworth
TECHNICAL DETAILS
RW-14

PREPARED BY SAUSSY ENGINEERING, LLC. SCALE: N.T.S. DATED: FEBRUARY 2007

TEMPORARY STORM PIPE BRICK AND MORTAR SEAL
NTS

NON-TREATED 2 X 4 TEMPORARY WOOD BRACE W/ 5/8" NON-TREATED PLYWOOD ATTACHED WITH NAILS AS AN EXTRA BARRIER BETWEEN COMPACTED FILL AND TEMPORARY BRICK AND MORTAR SEAL

DRAPE BURLAP SANDBAG OVER TEMPORARY TIMBER BRACE FOR STABILITY

BRICK AND MORTAR INSIDE OF PIPE TO CREATE TEMPORARY SEAL FROM SEDIMENT

STEEL CASING AND CARRIER PIPE INSTALLATION
NTS

CARRIER PIPE DIAMETER (INCHES)	CASING PIPE DIAMETER (INCHES)	WALL THICKNESS* (INCHES)
6	12	0.375
8	16	0.375
10	18	0.375
12	20	0.375
14	22	0.375
16	24	0.375
18	30	0.375
20	30	0.375
24	36	0.375
30	42	0.375

* SEE NOTE 2

ROBERTS CIVIL ENGINEERING
15 GARDEN SQUARE, LAWRENCEVILLE, GEORGIA 30046
WWW.ROBERTSCIVILENGINEERING.COM

CONSTRUCTION DETAILS
Rice Creek Phase 6
Port Wentworth
PREPARED FOR:
Landmark 24, LLC

DATE: 01/03/2022
PROJECT NUMBER: 21508
DRAWN BY: JLV
CHECKED BY: JLV
SCALE: NTS

D4
SHEET:



Planning Commission
305 South Coastal Highway
Port Wentworth, GA 31407

Meeting: 03/14/22 06:30 PM
Department: Development Services
Category: Planning/Zoning Item
Prepared By: Brian Harvey
Department Head: Brian Harvey

DRAFT

AGENDA ITEM (ID # 2620)

DOC ID: 2620

A Resolution of the Mayor and City Council of the City of Port Wentworth to Amend the Zoning Ordinance Regarding the Approval of Final Plats

Issue/Item: A Resolution of the Mayor and City Council of the City of Port Wentworth to Amend the Zoning Ordinance Regarding the Approval of Final Plats

Background: This resolution is proposed to streamline the final plat approval process for the City of Port Wentworth

Facts and Findings:

Funding: N/A

Recommendation: Approval

ATTACHMENTS:

- Resolution to Amend the Zoning Ordinance for Approval of Final Plats MARCH 2022 (PDF)



TO: Mayor and City Council of the City of Port Wentworth

FROM: Scott C. Robichaux, Interim City Attorney

DATE: March 8, 2022, for the City Council Meeting on March 8, 2022

ITEM: Resolution to Amend the Zoning Ordinance for Approval of Final Plats

BACKGROUND:

This Agenda Memo is regarding a request to amend the City's Zoning Ordinance with respect to review and approval of final plats. The City Attorney's Office does not take a position or make a recommendation on whether to adopt or reject these proposed changes.

DISCUSSION:

Port Wentworth City Code, Appendix B – Zoning is the City's Zoning Ordinance. Article XV deals with Subdivision Regulations, and specifically Section 15.4 et. seq. deals with various aspects of plat submissions, reviews, and approvals. The changes put forth by this Agenda Memo and accompanying Resolution do not affect the process or submission, review, or approval of preliminary plats. The changes put forth by this Agenda Memo and accompanying Resolution also do not affect the Planning Commission's role in recommending approval of final plats. The changes put forth would amend the current code from requiring Mayor and City Council's approval of a final plat to placing that final approval with the City Manager.

This Resolution may not be voted upon at the March 8, 2022 Meeting. This Resolution will take two readings, require enhanced notice before the final reading pursuant to O.C.G.A. § 33-66-4 (at least 15 days' notice for a heading resulting in a change in the zoning ordinance), and enhanced public comment pursuant to O.C.G.A. § 36-66-4 (set minimum time period of equal time for proponents and opponents of change, with a minimum of 10 minutes per side). In addition, the Zoning Ordinance, Sec. 15.8 requires amendments to the Zoning Ordinance to be submitted to the Planning Commission for review and recommendation prior to enactment.

ATTACHMENTS:

- 1) Resolution to Amend Zoning Ordinance
- 2) Redline changes to existing Zoning Ordinance

RESOLUTION NO. R2022-XXX

**STATE OF GEORGIA
COUNTY OF CHATHAM
CITY OF PORT WENTWORTH**

**A RESOLUTION OF THE MAYOR AND CITY COUNCIL OF THE
CITY OF PORT WENTWORTH TO AMEND THE ZONING ORDINANCE
REGARDING APPROVAL OF FINAL PLATS**

WHEREAS, it is necessary from time to time to modify the City's ordinances; and

WHEREAS, the administrative approval process for neighborhood plats has not been updated in over approximately 4 years; and

WHEREAS, the City of Port Wentworth experienced fantastic population growth from the 2010 to the 2020 census, seeing a 103% increase in overall population; and

WHEREAS, the Mayor and City Council desire to foster and promote new construction, especially of neighborhoods, in the City; and

WHEREAS, the Mayor and City Council desire to foster and promote business in the City by cutting 'red tape' and, where prudent, streamlining processes in the City;

NOW, THEREFORE, BE IT RESOLVED by the Mayor and City Council of the City of Port Wentworth, while in regular session on _____, that:

The Code of Ordinance, Appendix B – Zoning is amended to read as follows:

- **Section 15.4 - Administrative Agency.**

- 15.4-1

- Administration.* The Mayor and Council and the City Planning Commission shall administer this ordinance. It shall be the duty of the Planning Commission to inspect sketch plans and to suggest changes which should be made in the proposed design of a subdivision to insure the approval of the preliminary plat. It shall be the duty of the Planning Commission to inspect preliminary plats and to recommend approval or disapproval of such plats. It shall be the duty of the Planning Commission to inspect final plats and the information submitted with such final plats, and to recommend approval of such final plats when the requirements of this ordinance have been met and to recommend disapproval of such final plats when the requirements of this ordinance have not been met. When the Planning Commission acts on a preliminary plat it shall forward it to the Mayor and Council with its recommendations. When the Planning Commission acts on a final plat it shall forward it to the City Manager with its recommendations.

- **Section 15.5 - Procedure on Plats.**

- ...

15.5-4

Final Plat. Before a plat of a subdivision is recorded with the Clerk of the Superior Court of Chatham County and the lots thereon offered for sale, an original and four (4) prints of a final plat showing the final design of the subdivision shall be submitted to the Planning Commission for review. Until a final plat of a subdivision has been submitted to and reviewed by the Planning Commission and approved and signed by the City Manager, the Clerk of Superior Court of Chatham County shall not record the plat of such subdivision, nor shall the owner or agent of such subdivision be authorized to transfer or sell any of the land within such subdivision by reference to a plat. For large subdivisions the final plat may be submitted for approval progressively in contiguous sections satisfactory to the Planning Commission.

...

15.5-4.5

If the Planning Commission finds that all the requirements of this ordinance have been met, it shall recommend approval of the final plat and submit such plat to the City Manager. If the Planning Commission finds that all the requirements of this ordinance have not been met, and after deficiencies have been discussed and reviewed with the developer, and the developer given a period of time which shall not exceed ninety (90) business days to take corrective action, then the Planning Commission shall recommend disapproval of the final plat to the City Manager and shall set forth its reasons for such recommendation in writing. Except where an extension of time is authorized by the applicant for final plat review, the Planning Commission shall have thirty (30) business days from the date of the submittal of a final plat to the City Manager to approve or disapprove the final plat. Unless such action is taken within such thirty-day period, then such plat shall be deemed to have received a recommendation for approval from the Planning Commission and the City Manager may take final action on such plat without waiting further for the recommendations of the Planning Commission.

...

15.5-5

...

(b)

Minor Revisions: Proposed revisions to a recorded plat which do not alter or change in any way the street and/or utility layout of said plat shall be submitted as follows: The subdivider shall file with the Planning Commission four (4) copies of the original plat with all minor revisions shown in red. The plats shall be accompanied by a statement signed by all affected property owners acknowledging their awareness and approval of the revisions. Proposed revisions shall be reviewed by the Planning Commission. Upon a finding that revisions comply with all applicable regulations, the revised plats shall be submitted to the City Manager for approval. One (1) copy of the approved plat shall be recorded and one (1) copy shall be attached to the originally recorded plat as part of the public record.

15.5-6

Minor Subdivision. Minor subdivisions may be submitted as final plats, and shall comply with the requirements of these regulations, including minimum finished floor elevation requirements, with the following exceptions:

(a)

Minor subdivisions shall be processed as major subdivisions if requested by either the Planning Commission or the City Manager.

(b)

Topographic information shall not be required unless specifically requested by the Planning Commission or the City Manager.

...

(d)

The developer shall submit a drainage plan for approval if requested by the Planning Commission or the City Manager.

(e)

Provided that where a series of minor subdivisions are developed or proposed immediately adjacent to one another, the Planning Commission or City Manager may require the developer to comply with the procedures for major subdivisions.

...

• **Section 15.6 - Exemptions and Modifications.**

...

15.6-3

Variance. When a peculiar shape, or the topography of a tract of land, or other unusual condition, makes it impractical for a developer to comply with the literal interpretations of the design requirements of this ordinance, the City Manager, following a recommendation of the Planning Commission, may approve variances to these regulations; provided, however, that in so doing the intent and purpose of this ordinance are not violated.

RESOLVED this the _____.

Approved:

Gary Norton, Mayor

Attest:

Clerk, or City Staff